



INTRACORP

WHERE THE EXTRAORDINARY IS DEVELOPING

August 21, 2013

City of Costa Mesa
Antonio Gardea – Senior Planner
77 Fair Drive
Costa Mesa, 92628

**RE: SCREENING APPLICATION For Alternate (49 Unit Plan) Live/Work
Townhome Project at 635 - 651 W. 17th Street and 1677 Superior Avenue,
City of Costa Mesa**

Dear Antonio,

As presented during the July 16, 2013 City Council Screening Hearing for our proposed 29 live/work unit townhome project, we are pursuing the acquisition of an additional 1 acre site which will extend the project to the corner of 17th Street and Superior Ave. and add another 20 units to the project.

Attached is a Modified Architectural Design Package, which includes the expanded site plan for the Alternate 49 unit plan.

PROJECT DESCRIPTION

As an Alternate to the 29 unit plan which is currently being processed for master plan and VTTM approval and subject to successful completion of the site acquisition, we propose to develop 49 new three-story attached live/work units, each having a private 2-car garage as well as 49 on-site guest parking spaces. The proposed project is located within the 19 West Urban Plan and is consistent with the Live Work standards per the West Bluffs Urban Plan.

The project is proposed to include two floor plan types in Row townhome configurations and each unit shall include a ground level workspace to accommodate a home office and/or place of business. The alternate project includes 2.56 acres of site area and has an overall FAR of .87, which is below the 1.0 limit.

4041 MacArthur Blvd., Suite 250
Newport Beach, CA 92660

EXISTING USES

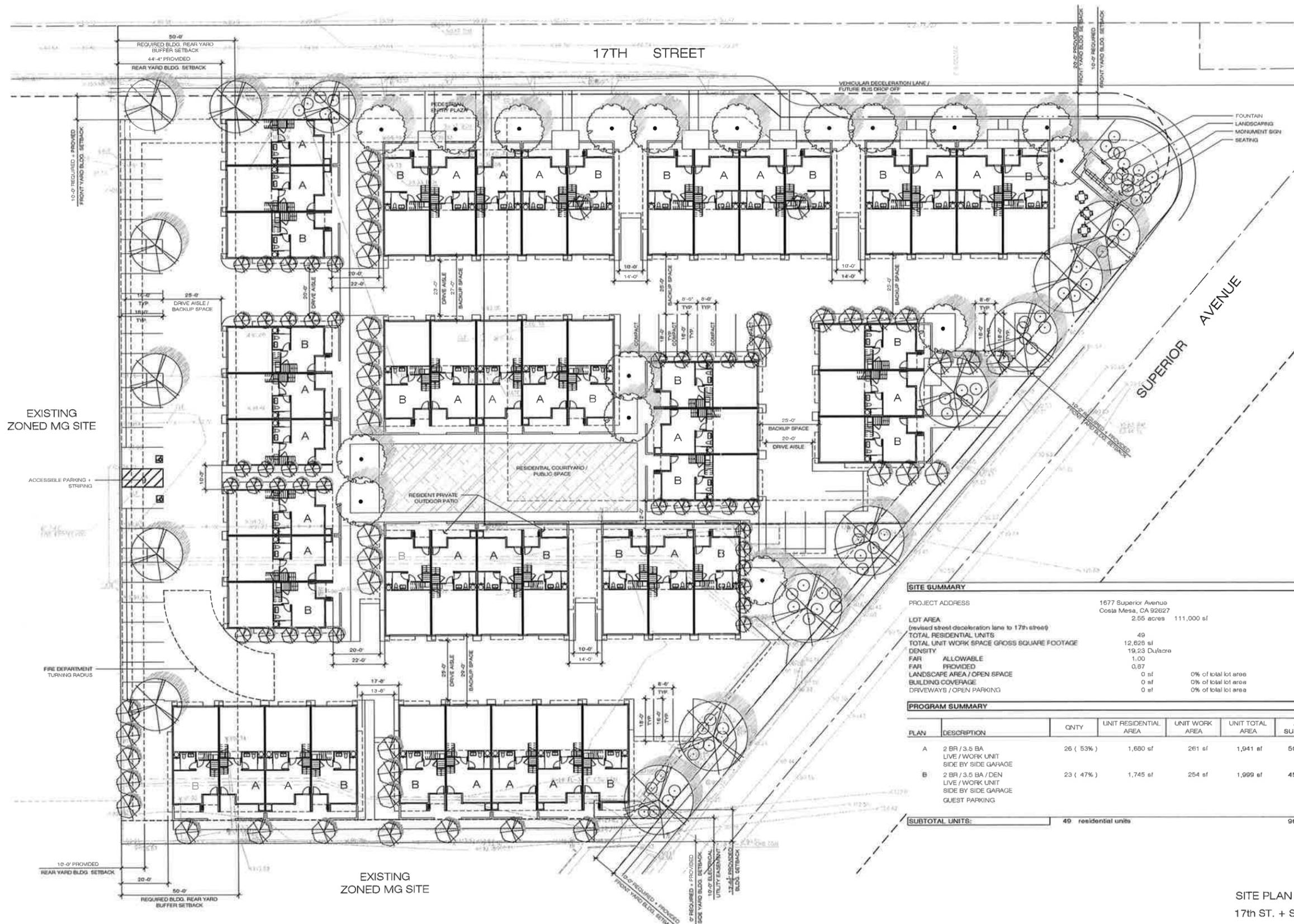
Approximately 1.5 acres of the site is developed with tenant occupied single story concrete industrial buildings and extensive asphalt paving. A vacant single story frame building with driveway and parking area is located on site as well as a concrete foundation that once supported a Gas Station building. Existing uses in the active buildings include light industrial, Office, Retail Sales/Showroom and a Fitness Club. The tenants are all on month to month leases.

Please don't hesitate to contact me with any questions or concerns you may have at (949) 757-8461.

Regards,



Ken Benson
Vice President
Intracorp Socal-1, LLC



SITE SUMMARY

PROJECT ADDRESS	1677 Superior Avenue Costa Mesa, CA 92627		
LOT AREA	2.55 acres	111,000 sf	
(revised street deceleration lane to 17th street)			
TOTAL RESIDENTIAL UNITS	49		
TOTAL UNIT WORK SPACE GROSS SQUARE FOOTAGE	12,628 sf		
DENSITY	19.23 DU/acre		
FAR ALLOWABLE	1.00		
FAR PROVIDED	0.87		
LANDSCAPE AREA / OPEN SPACE	0 sf	0% of total lot area	
BUILDING COVERAGE	0 sf	0% of total lot area	
DRIVEWAYS / OPEN PARKING	0 sf	0% of total lot area	

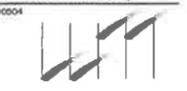
PROGRAM SUMMARY

PLAN	DESCRIPTION	QNTY	UNIT RESIDENTIAL AREA	UNIT WORK AREA	UNIT TOTAL AREA	AREA SUBTOTAL	PARKING RATIO	REQUIRED PARKING
A	2 BR / 3.5 BA LIVE / WORK UNIT SIDE BY SIDE GARAGE	26 (53%)	1,650 sf	261 sf	1,941 sf	50,466 sf	2.00	52 spaces
B	2 BR / 3.5 BA / DEN LIVE / WORK UNIT SIDE BY SIDE GARAGE GUEST PARKING	23 (47%)	1,745 sf	254 sf	1,999 sf	45,977 sf	2.00	46 spaces
							1.0 per unit	49 spaces

SUBTOTAL UNITS:	49 residential units				96,443 sf			147 spaces required
								147 spaces provided
								(4 compact spaces)
								8% of guest spaces

SITE PLAN - OPTION O
 17th ST. + SUPERIOR LIVE / WORK
 INTERCOPR COMPANIES
 4061 Main Avenue Blvd, Suite 200
 Newport Beach, CA 92660
 WITHEE MALCOLM ARCHITECTS, LLP
 2251 West 160th Street Torrance, CA 90504
 (310) 217-8888
 www.withee.com
 JOB NO. 03015 200
 06/15/13 11:27:21

17th STREET + SUPERIOR LIVE / WORK
 COSTA MESA, CALIFORNIA
 JUNE 4, 2013



643-651 W. 17th STREET & 1677 SUPERIOR AVENUE MASTER PLAN VESTING TENTATIVE TRACT NO. 17639 FOR CONDOMINIUM PURPOSES CITY COSTA MESA, STATE OF CALIFORNIA



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION

APN 424-301-01
THIS LEGAL DESCRIPTION IS FROM COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY UNDER ORDER NO. NCS-578123-SA1 DATED JANUARY 10, 2013, AND AMENDED MAY 7, 2013. NO RESPONSIBILITY IS ASSUMED AS TO THE ACCURACY AND COMPLETENESS OF SAID REPORT.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THE WEST 156 FEET OF THE FOLLOWING DESCRIBED LAND:

THAT PORTION OF LOT 409 OF "NEWPORT MESA TRACT", AS SHOWN ON A MAP RECORDED IN BOOK 5, PAGE 1, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT, BEING THE INTERSECTION OF THE CENTER LINES OF SEVENTEENTH STREET AND NEWPORT ROAD AS SHOWN ON SAID MAP, AND RUNNING THENCE WEST ALONG THE NORTH LINE OF SAID LOT (SAID NORTH LINE BEING THE CENTER LINE OF A 60.00 FOOT STREET KNOWN AS SEVENTEENTH STREET) 559.10 FEET TO THE NORTHWEST CORNER OF SAID LOT; THENCE SOUTH ALONG THE WEST LINE OF SAID LOT, 213.00 FEET; THENCE EAST PARALLEL WITH THE NORTH LINE OF SAID LOT 378.59 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF SAID LOT (SAID SOUTHEASTERLY LINE BEING THE CENTER LINE OF A 60.00 FOOT STREET KNOWN AS NEWPORT ROAD) 279.25 FEET SOUTHWESTERLY FROM THE POINT OF BEGINNING; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY LINE OF SAID LOT 279.25 FEET TO THE POINT OF BEGINNING.

SAID LAND IS SHOWN ON A LICENSED SURVEY FILED IN BOOK 7, PAGE 16 OF RECORDS OF SURVEYS OF SAID ORANGE COUNTY.

TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN: NANCY LEE ANDERSSON, AN UNDIVIDED 1/6TH INTEREST, ROBERT W. CLARK, AN UNDIVIDED 1/6TH INTEREST AND CHRISTINE ELIZABETH MEANS AND EDWARD GLEN MEANS III, TRUSTEES OF THE MEANS FAMILY TRUST ESTABLISHED SEPTEMBER 28, 2004, AN UNDIVIDED 1/6TH INTEREST, SCOTT C. OWEN AS TO AN UNDIVIDED 1/8 INTEREST, SUSAN M. MULLEN AS TO AN UNDIVIDED 1/8 INTEREST AND KATHLEEN M. OWEN, AS TO AN UNDIVIDED 1/4 INTEREST.

APN 424-301-04
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GENERAL NOTES

- SITE ADDRESS: 643-651 W. 17th STREET COSTA MESA, CA 92627
1677 SUPERIOR AVENUE COSTA MESA, CA 92627
- ASSESSOR PARCEL: 424-301-01 424-301-08
424-301-04
 - SITE AREA:
NET: 2.5 AC
GROSS: 3.1 AC (TO CL. OF ADJACENT STREETS)
 - EXISTING ZONING: GENERAL INDUSTRIAL
 - PROPOSED ZONING: MIXED-USE DEVELOPMENT PER 19 WEST URBAN PLAN
 - EXISTING LANDUSE: GENERAL INDUSTRIAL
 - PROPOSED LANDUSE: MIXED-USE LIVE/WORK PER 19 WEST URBAN PLAN
 - FLOOD ZONE: NO SPECIAL FLOOD HAZARDS
 - TOTAL NUMBER OF LOTS: 2
 - TOTAL NUMBER OF UNITS: 49
 - PROPOSED DEVELOPMENT:
3 STORY LIVE/WORK CONDOS
147 TOTAL PARKING SPACES INCL. GARAGE SPACES
 - THE UTILITIES SHOWN ON THIS MAP ARE BASED UPON THE BEST AVAILABLE PUBLIC INFORMATION
 - ALL EXISTING STRUCTURES ON SITE SHALL BE REMOVED.

UTILITY COMPANIES/CONTACTS

TELEPHONE	PACIFIC BELL	(800) 310-2155
ELECTRIC	SOUTHERN CALIFORNIA EDISON CO	(800) 684-8123
GAS	SOUTHERN CALIFORNIA GAS CO	(800) 427-2100
CABLE T.V.	TIME WARNER CABLE	(866) 744-1678
SEWER AND TRASH	COSTA MESA SANITARY DISTRICT	(949) 645-8400
WATER	MESA CONSOLIDATED WATER	(949) 831-1200

LEGEND

---	BOUNDARY
---	EXISTING PROPERTY LINE
---	EASEMENT LINE
---	CENTERLINE
---	EXISTING SEWER
---	PHASE 1 SEWER
---	PROPOSED SEWER
---	EXISTING WATER
---	PHASE 1 WATER
---	PROPOSED WATER
---	EXISTING STORM DRAIN
---	PHASE 1 STORM DRAIN
---	PROPOSED STORM DRAIN
---	PROPOSED FIRE HYDRANT

BASIS OF BEARING

COORDINATES SHOWN HEREON ARE BASED ON THE BEARING BETWEEN O.C.S. HORIZONTAL CONTROL STATION GPS NO. 8255 AND STATION GPS NO. 8283 BEING NORTH 47°46'24" EAST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

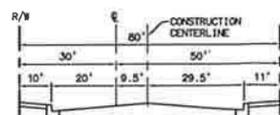
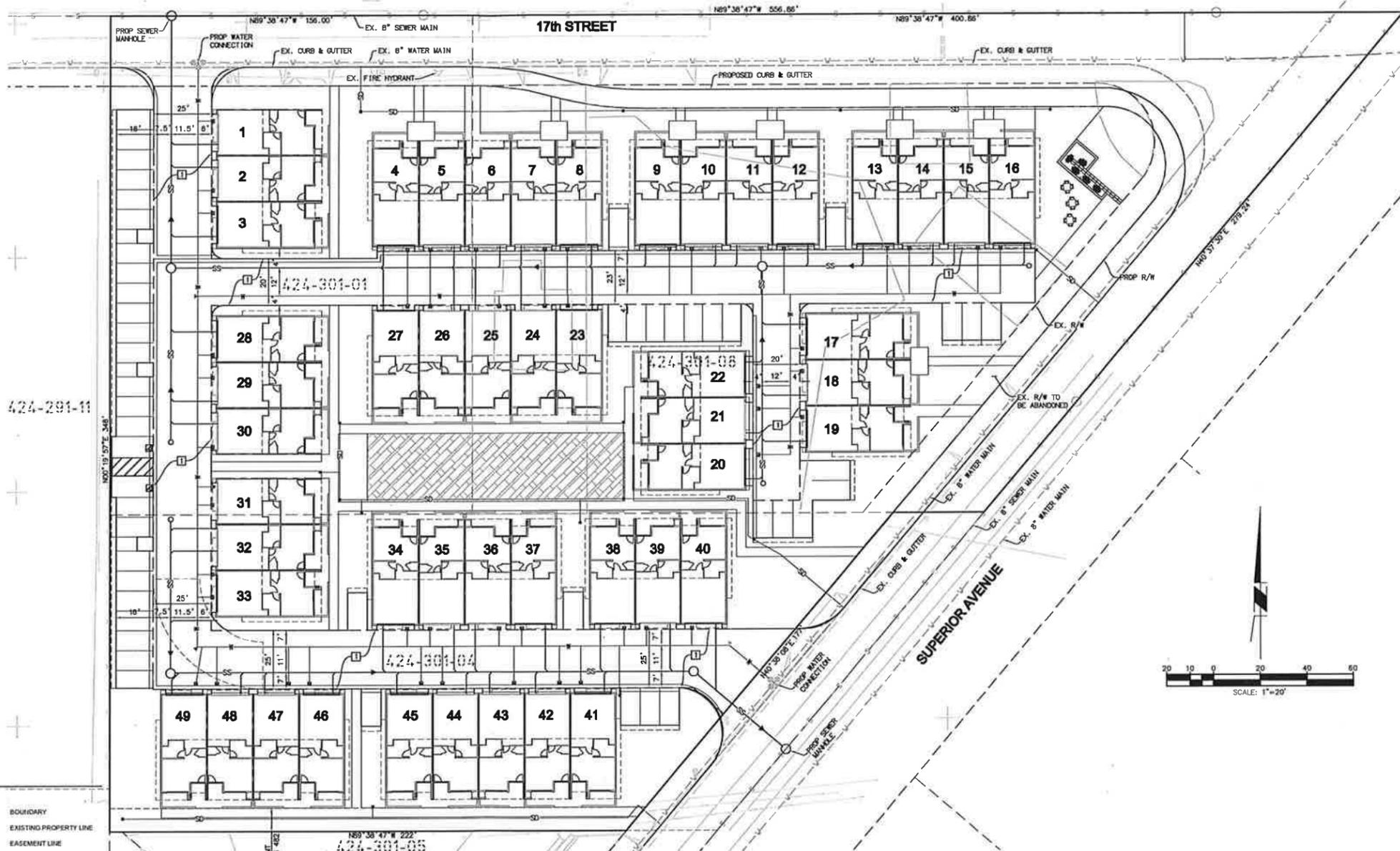
DATUM STATEMENT

COORDINATES SHOWN ARE BASED UPON THE CALIFORNIA STATE COORDINATE SYSTEM, ZONE V1, MAD OF 1983 (1991.35 EPOCH). ALL DISTANCES SHOWN ARE GROUND, UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCE MULTIPLY GROUND DISTANCES BY 0.99999843

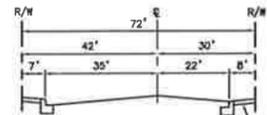
PROPOSED EASEMENTS

EASEMENT FOR THE PURPOSES OF PUBLIC UTILITIES, VEHICLE INGRESS & EGRESS

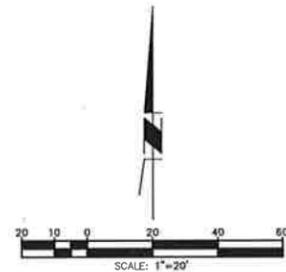
REVISION



SUPERIOR AVENUE
TYPICAL SECTION
N.T.S.



17th STREET
TYPICAL SECTION
N.T.S.



SCALE: 1"=20'

ENGINEER
RBF CONSULTING
14725 ALTON PKWY
IRVINE, CA. 92618
PHONE: (949) 472-3505

DEVELOPER
INTRACORP COMPANIES
4041 MACARTHUR BLVD., SUITE 250
NEWPORT BEACH, CA. 92680
PHONE: (949) 855-2370

PROJECT ADDRESS
643-651 17th STREET & 1677 SUPERIOR AVENUE
COSTA MESA, CA 92627

MASTER PLAN
FOR
TTM 17639

CITY OF COSTA MESA CASE NO. X

SHEET
1
OF
1



14725 ALTON PARKWAY
IRVINE, CALIFORNIA 92618-2027
949.472.3505 • FAX 949.472.8373 • www.RBF.com

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643-651 W. 17th STREET & 1677 SUPERIOR AVENUE

VESTING TENTATIVE TRACT NO. 17639

FOR CONDOMINIUM PURPOSES

CITY COSTA MESA, STATE OF CALIFORNIA



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION

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1677 SUPERIOR AVENUE COSTA MESA, CA 92627
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424-301-04
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GROSS: 3.1 AC (TO CL OF ADJACENT STREETS)
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 - TOTAL NUMBER OF UNITS: 49
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UTILITY COMPANIES/CONTACTS

TELEPHONE	PACIFIC BELL	(800) 310-2155
ELECTRIC	SOUTHERN CALIFORNIA EDISON CO	(800)884-8123
GAS	SOUTHERN CALIFORNIA GAS CO	(800)427-2100
CABLE T.V.	TIME WARNER CABLE	(866)744-1676
SEWER AND TRASH	COSTA MESA SANITARY DISTRICT	(949)845-8400
WATER	MESA CONSOLIDATED WATER	(949) 831-1200

BASIS OF BEARING

COORDINATES SHOWN HEREON ARE BASED ON THE BEARING BETWEEN O.C.S. HORIZONTAL CONTROL STATION GPS NO. 6255 AND STATION GPS NO. 6263 BEING NORTH 47°46'24" EAST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

DATUM STATEMENT

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GPS POINT LOCATIONS

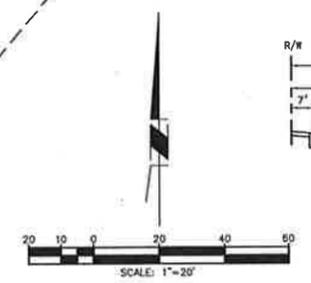
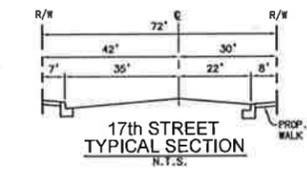
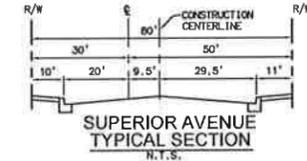
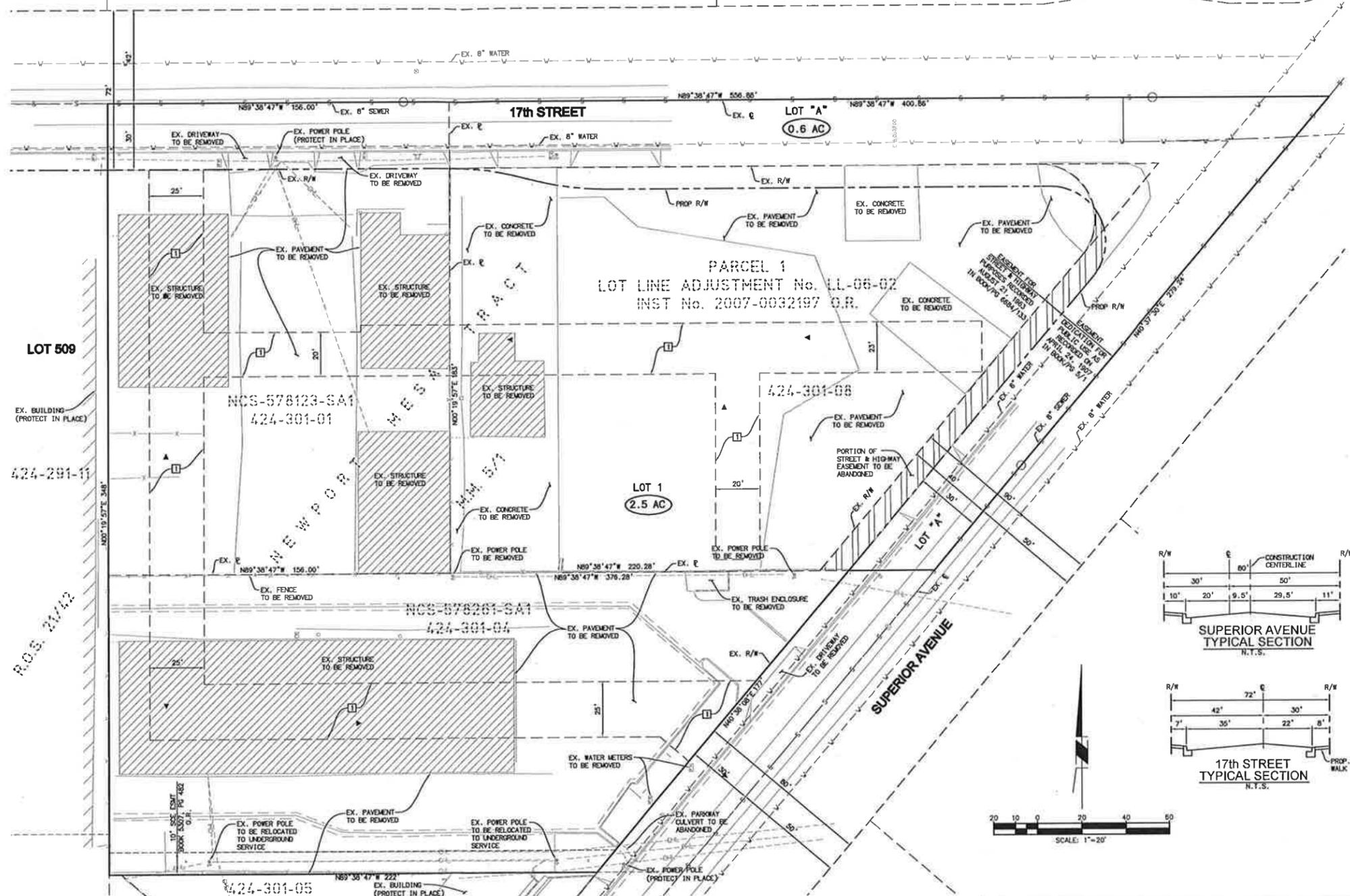
GPS # 6255 FOUND PUNCHED ROUND HEAD SPIKE WITH WASHER STAMPED "RCE 22388" FLUSH. STATION IS LOCATED AT THE APPARENT INTERSECTION OF 17TH STREET AND SANTA ANA AVENUE PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.
GPS #6263 FOUND GEAR SPIKE AND WASHER STAMPED "LS 4743" FLUSH. STATION IS LOCATED AT THE CENTERLINE INTERSECTION OF CATALINA DRIVE AND 15TH STREET PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

PROPOSED EASEMENTS

EASEMENT FOR THE PURPOSES OF PUBLIC UTILITIES, VEHICLE INGRESS & EGRESS

AREA SUMMARY

LOT 1 2.5 AC GROSS
LOT "A" 0.6 AC GROSS (R/W DEDICATION)
TOTAL 3.1 AC GROSS



REVISION



14725 ALTON PARKWAY
IRVINE, CALIFORNIA 92618-2027
949.472.3505 • FAX 949.472.8373 • www.RBF.com

VESTING TENTATIVE TRACT MAP 17639

CITY OF COSTA MESA CASE NO. X

SHEET
1
OF
1

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643-651 W. 17th STREET & 1677 SUPERIOR AVENUE

PRELIMINARY GRADING PLAN

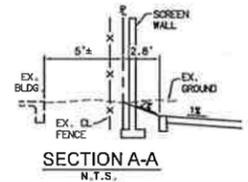
VESTING TENTATIVE TRACT NO. 17639

FOR CONDOMINIUM PURPOSES

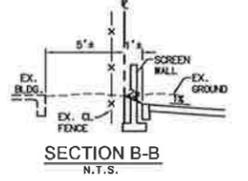
CITY COSTA MESA, STATE OF CALIFORNIA



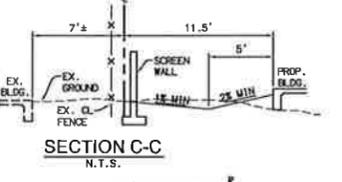
VICINITY MAP
NOT TO SCALE



SECTION A-A
N.T.S.



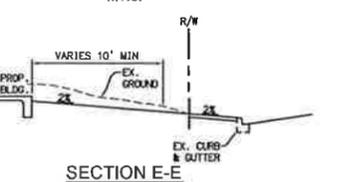
SECTION B-B
N.T.S.



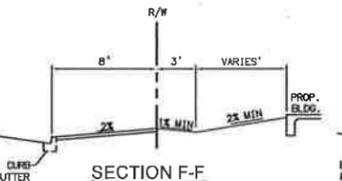
SECTION C-C
N.T.S.



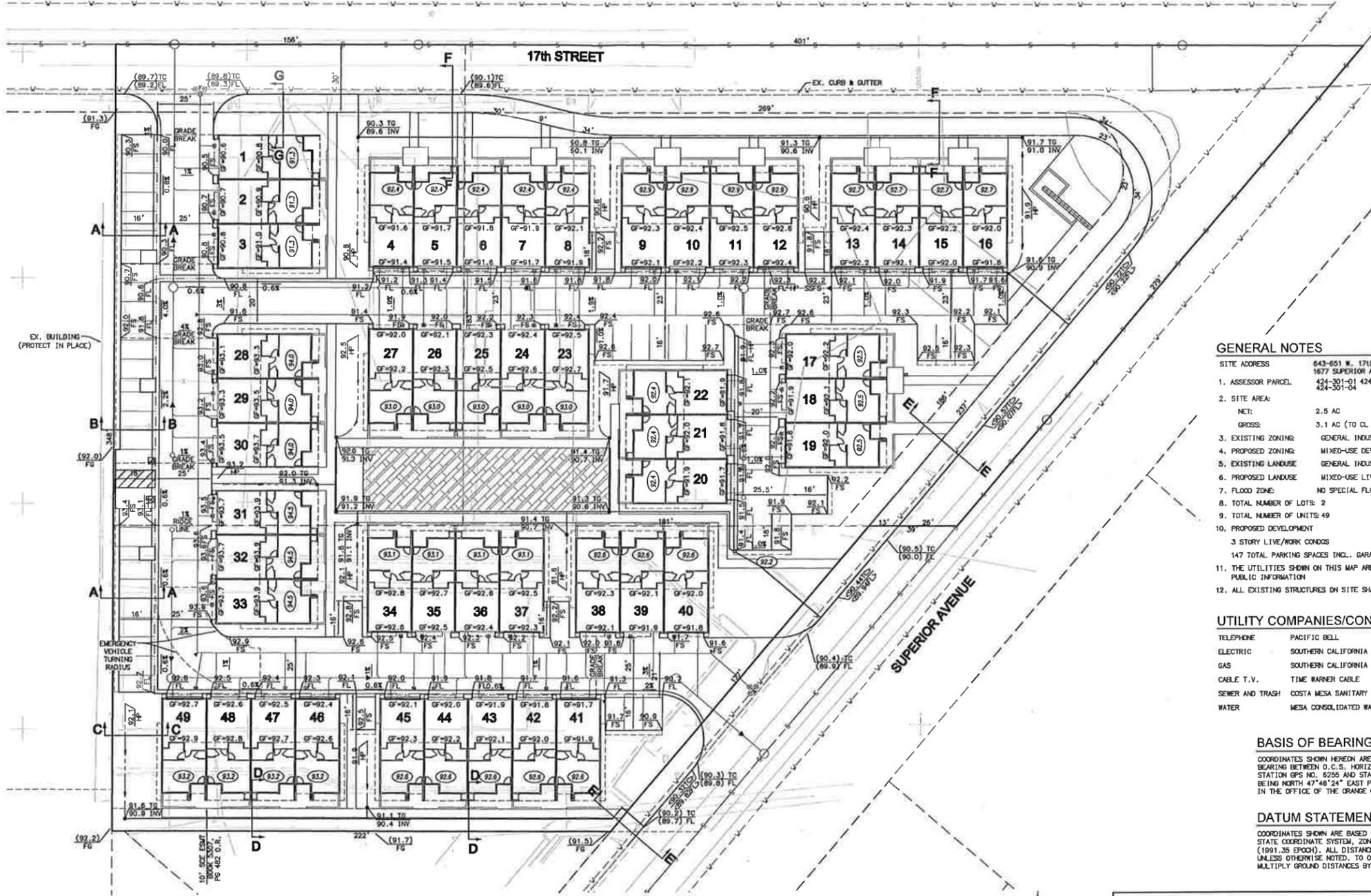
SECTION D-D
N.T.S.



SECTION E-E
N.T.S.



SECTION F-F
N.T.S.



GENERAL NOTES

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- 1677 SUPERIOR AVENUE COSTA MESA, CA 92627
- 124-301-011 424-301-08
- 424-301-04
- 2. SITE AREA:
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GROSS: 3.1 AC (TO CL. OF ADJACENT STREETS)
- 3. EXISTING ZONING: GENERAL INDUSTRIAL
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- 7. FLOOD ZONE: NO SPECIAL FLOOD HAZARDS
- 8. TOTAL NUMBER OF LOTS: 2
- 9. TOTAL NUMBER OF UNITS: 49
- 10. PROPOSED DEVELOPMENT:
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147 TOTAL PARKING SPACES INCL. GARAGE SPACES
- 11. THE UTILITIES SHOWN ON THIS MAP ARE BASED UPON THE BEST AVAILABLE PUBLIC INFORMATION
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GAS	SOUTHERN CALIFORNIA GAS CO	(800)427-2100
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SEWER AND TRASH	COSTA MESA SANITARY DISTRICT	(949)645-8400
WATER	MESA CONSOLIDATED WATER	(949) 631-1200

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ENGINEER

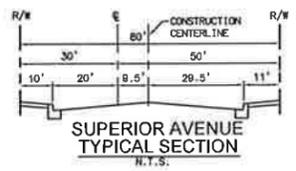
RBF CONSULTING
14725 ALTON PKWY
IRVINE, CA. 92618
PHONE: (949) 472-3505

DEVELOPER

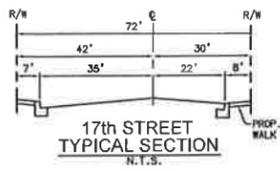
INTRACORP COMPANIES
4041 MACARTHUR BLVD., SUITE 250
NEWPORT BEACH, CA. 92660
PHONE: (949) 955-2370

PROJECT ADDRESS

643-651 17th STREET & 1677 SUPERIOR AVENUE
COSTA MESA, CA 92627



SUPERIOR AVENUE TYPICAL SECTION
N.T.S.

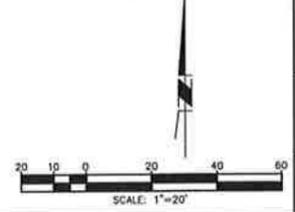


17th STREET TYPICAL SECTION
N.T.S.

REVISION



14725 ALTON PARKWAY
IRVINE, CALIFORNIA 92618-2027
949.472.3505 • FAX 949.472.8973 • WWW.RBF.COM



PRELIMINARY GRADING
FOR
TTM 17639
CITY OF COSTA MESA CASE NO. X

SHEET
1
OF
1

H:\P04\TA\134700\CADD\LAND\DLV\GRADING\PRELIMINARY\134700-GR-10LDWG.TBMENG 8/2/13 1:12 PM

643-651 W. 17th STREET & 1677 SUPERIOR AVENUE MASTER PLAN

VESTING TENTATIVE TRACT NO. 17639 FOR CONDOMINIUM PURPOSES CITY COSTA MESA, STATE OF CALIFORNIA



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION

APN 424-301-01
THIS LEGAL DESCRIPTION IS FROM COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY UNDER ORDER NO. NCS-578281-SA1 DATED JANUARY 10, 2013, AND AMENDED MAY 7, 2013. NO RESPONSIBILITY IS ASSUMED AS TO THE ACCURACY AND COMPLETENESS OF SAID REPORT.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
THE WEST 156 FEET OF THE FOLLOWING DESCRIBED LAND:

THAT PORTION OF LOT 409 OF "NEWPORT MESA TRACT", AS SHOWN ON A MAP RECORDED IN BOOK 5, PAGE 1, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT, BEING THE INTERSECTION OF THE CENTER LINES OF SEVENTEENTH STREET AND NEWPORT ROAD AS SHOWN ON SAID MAP, AND RUNNING THENCE WEST ALONG THE NORTH LINE OF SAID LOT (SAID NORTH LINE BEING THE CENTER LINE OF A 60.00 FOOT STREET KNOWN AS SEVENTEENTH STREET) 599.10 FEET TO THE NORTHWEST CORNER OF SAID LOT; THENCE SOUTH ALONG THE WEST LINE OF SAID LOT, 213.06 FEET; THENCE EAST PARALLEL WITH THE NORTH LINE OF SAID LOT 378.59 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF SAID LOT (SAID SOUTHEASTERLY LINE BEING THE CENTER LINE OF A 60.00 FOOT STREET KNOWN AS NEWPORT ROAD) 279.25 FEET SOUTHWESTERLY FROM THE POINT OF BEGINNING; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY LINE OF SAID LOT 279.25 FEET TO THE POINT OF BEGINNING.

SAID LAND IS SHOWN ON A LICENSED SURVEY FILED IN BOOK 7, PAGE 16 OF RECORDS OF SURVEYS OF SAID ORANGE COUNTY.

TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN: NANCY LEE ANDERSSON, AN UNDIVIDED 1/6TH INTEREST, ROBERT W. CLARK, AN UNDIVIDED 1/6TH INTEREST AND CHRISTINE ELIZABETH MEANS AND EDWARD GLEN MEANS III, TRUSTEES OF THE MEANS FAMILY TRUST ESTABLISHED SEPTEMBER 28, 2004, AN UNDIVIDED 1/6TH INTEREST, SCOTT C. OWEN AS TO AN UNDIVIDED 1/8 INTEREST, SUSAN M. WELLS AS TO AN UNDIVIDED 1/8 INTEREST AND KATHLEEN M. OWEN, AS TO AN UNDIVIDED 1/4 INTEREST.

APN 424-301-04
THIS LEGAL DESCRIPTION IS FROM COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY UNDER ORDER NO. NCS-578281-SA1 DATED JANUARY 10, 2013. NO RESPONSIBILITY IS ASSUMED AS TO THE ACCURACY AND COMPLETENESS OF SAID REPORT.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

A PORTION OF LOT 409, NEWPORT MESA TRACT AS PER MAP RECORDED IN BOOK 5, PAGE 1 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY, CALIFORNIA, DESCRIBED AS: BEGINNING AT A POINT IN THE WESTERLY LINE OF SAID LAND AT A POINT 183.08 FEET SOUTHWESTERLY OF THE NORTHWEST CORNER THEREOF AND RUNNING THENCE SOUTH ALONG SAID WESTERLY LINE 135.25 FEET TO A POINT; THENCE EAST PARALLEL WITH THE NORTHERLY LINE OF SAID LAND 285.38 FEET MORE OR LESS TO A POINT IN THE CENTER LINE OF NEWPORT AVENUE; THENCE NORTHEASTERLY ALONG THE CENTER LINE OF NEWPORT AVENUE, 176.56 FEET MORE OR LESS TO THE EASTERLY EXTENSION OF THE SOUTHERLY LINE OF A PARCEL OF LAND CONVEYED TO OLIVE M. KINLEY BY DEED DATED 3/9/23 RECORDED IN BOOK 464-132 OF DEEDS OF ORANGE COUNTY; THENCE WEST ALONG SAID SOUTHERLY LINE OF SAID PARCEL AND THE EXTENSION THEREOF 378.85 FEET MORE OR LESS TO THE POINT OF BEGINNING.
EXCEPTING THEREFROM THAT PORTION INCLUDED WITHIN NEWPORT AVENUE.

GENERAL NOTES

- SITE ADDRESS: 643-651 W. 17th STREET COSTA MESA, CA 92627
1677 SUPERIOR AVENUE COSTA MESA, CA 92627
- ASSESSOR PARCEL: 424-301-01 424-301-08
424-301-04
 - SITE AREA:
NET: 2.5 AC
GROSS: 3.1 AC (TO CL OF ADJACENT STREETS)
 - EXISTING ZONING: GENERAL INDUSTRIAL
 - PROPOSED ZONING: MIXED-USE DEVELOPMENT PER 19 WEST URBAN PLAN
 - EXISTING LANDUSE: GENERAL INDUSTRIAL
 - PROPOSED LANDUSE: MIXED-USE LIVE/WORK PER 19 WEST URBAN PLAN
 - FLOOD ZONE: NO SPECIAL FLOOD HAZARDS
 - TOTAL NUMBER OF LOTS: 2
 - TOTAL NUMBER OF UNITS: 49
 - PROPOSED DEVELOPMENT:
3 STORY LIVE/WORK CONDOS
147 TOTAL PARKING SPACES INCL. GARAGE SPACES
 - THE UTILITIES SHOWN ON THIS MAP ARE BASED UPON THE BEST AVAILABLE PUBLIC INFORMATION
 - ALL EXISTING STRUCTURES ON SITE SHALL BE REMOVED.

UTILITY COMPANIES/CONTACTS

TELEPHONE	PACIFIC BELL	(800) 310-2155
ELECTRIC	SOUTHERN CALIFORNIA EDISON CO	(800) 684-8123
GAS	SOUTHERN CALIFORNIA GAS CO	(800) 427-2100
CABLE T.V.	TIME WARNER CABLE	(866) 744-1678
SEWER AND TRASH	COSTA MESA SANITARY DISTRICT	(949) 645-8400
WATER	MESA CONSOLIDATED WATER	(949) 631-1200

LEGEND

- BOUNDARY
- - - EXISTING PROPERTY LINE
- - - EASEMENT LINE
- - - CENTERLINE
- - - EXISTING SEWER
- - - PHASE 1 SEWER
- - - PROPOSED SEWER
- - - EXISTING WATER
- - - PHASE 1 WATER
- - - PROPOSED WATER
- - - EXISTING STORM DRAIN
- - - PHASE 1 STORM DRAIN
- - - PROPOSED STORM DRAIN
- PROPOSED FIRE HYDRANT

BASIS OF BEARING

COORDINATES SHOWN HEREON ARE BASED ON THE BEARING BETWEEN D.C.S. HORIZONTAL CONTROL STATION GPS NO. 8255 AND STATION GPS NO. 8283 BEING NORTH 47° 46' 24" EAST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

DATUM STATEMENT

COORDINATES SHOWN ARE BASED UPON THE CALIFORNIA STATE COORDINATE SYSTEM, ZONE VI, NAD OF 1983 (1991.35 EPOCH). ALL DISTANCES SHOWN ARE GROUND, UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCE MULTIPLY GROUND DISTANCES BY 0.99996843

PROPOSED EASEMENTS

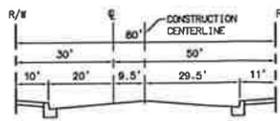
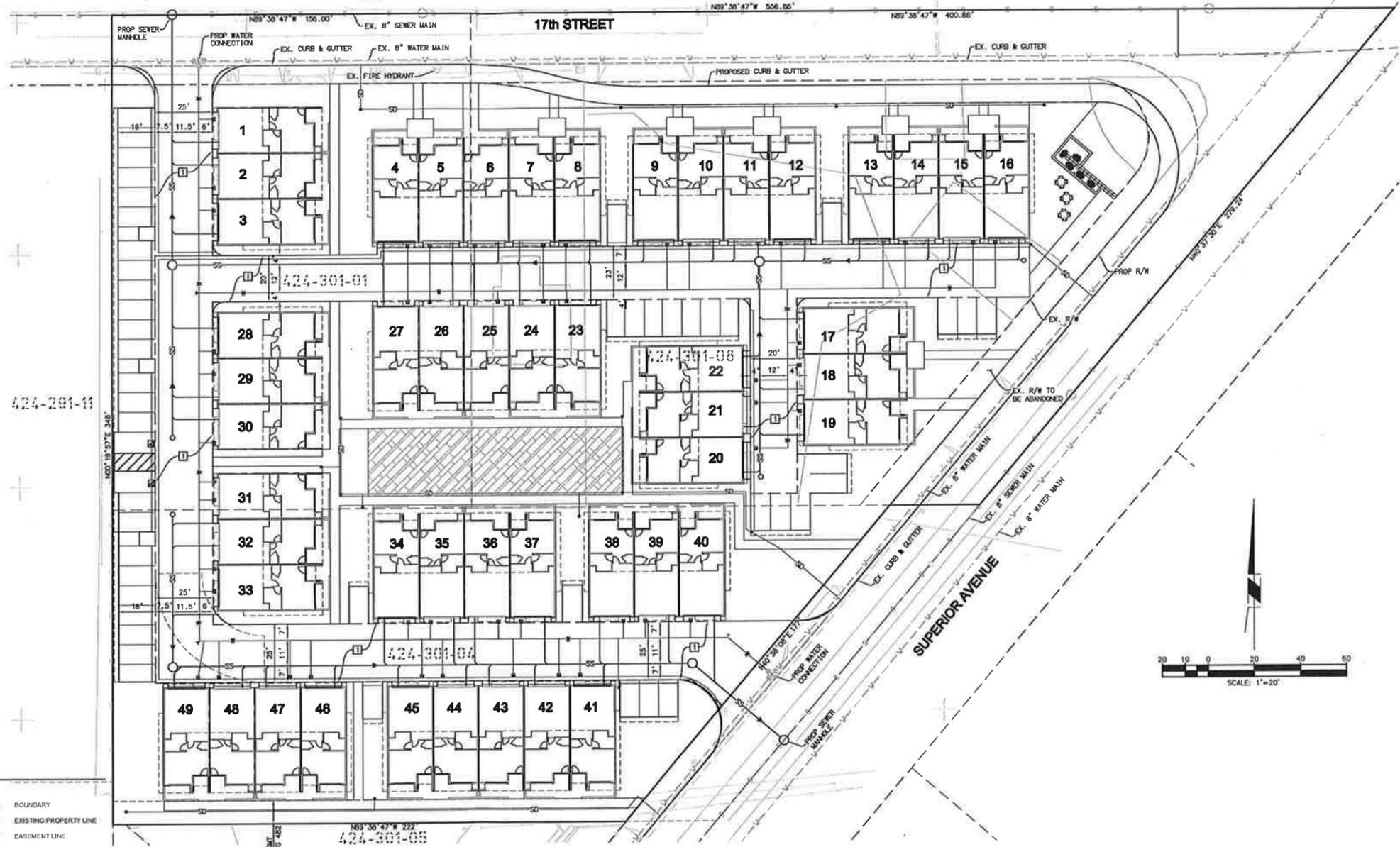
☐ EASEMENT FOR THE PURPOSES OF PUBLIC UTILITIES, VEHICLE INGRESS & EGRESS

REVISION

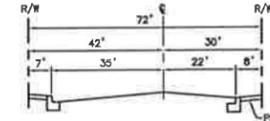
NO.	DATE	DESCRIPTION



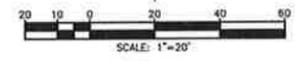
14725 ALTON PARKWAY
IRVINE, CALIFORNIA 92618-2027
949.472.3505 • FAX 949.472.8373 • www.RBF.com



SUPERIOR AVENUE
TYPICAL SECTION
N.T.S.



17th STREET
TYPICAL SECTION
N.T.S.



ENGINEER

RBF CONSULTING
14725 ALTON PARKWAY
IRVINE, CA, 92618
PHONE: (949) 472-3505

DEVELOPER

INTRACORP COMPANIES
4041 MACARTHUR BLVD., SUITE 250
NEWPORT BEACH, CA, 92660
PHONE: (949) 655-2370

PROJECT ADDRESS

643-651 17th STREET & 1677 SUPERIOR AVENUE
COSTA MESA, CA 92627

MASTER PLAN FOR TTM 17639

CITY OF COSTA MESA CASE NO. 2

SHEET
1
OF
1

643-651 W. 17th STREET & 1677 SUPERIOR AVENUE

VESTING TENTATIVE TRACT NO. 17639

FOR CONDOMINIUM PURPOSES

CITY COSTA MESA, STATE OF CALIFORNIA



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION

APN 424-301-01
THIS LEGAL DESCRIPTION IS FROM COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY UNDER ORDER NO. NCS-578123-SA1 DATED JANUARY 10, 2013, AND AMENDED MAY 7, 2013. NO RESPONSIBILITY IS ASSUMED AS TO THE ACCURACY AND COMPLETENESS OF SAID REPORT.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THE WEST 156 FEET OF THE FOLLOWING DESCRIBED LAND:
THAT PORTION OF LOT 409 OF "NEWPORT MESA TRACT", AS SHOWN ON A MAP RECORDED IN BOOK 5, PAGE 1, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT, BEING THE INTERSECTION OF THE CENTER LINES OF SEVENTEENTH STREET AND NEWPORT ROAD AS SHOWN ON SAID MAP, AND RUNNING THENCE WEST ALONG THE NORTH LINE OF SAID LOT (SAID NORTH LINE BEING THE CENTER LINE OF A 60.00 FOOT STREET KNOWN AS SEVENTEENTH STREET) 559.10 FEET TO THE NORTHWEST CORNER OF SAID LOT; THENCE SOUTH ALONG THE WEST LINE OF SAID LOT, 213.06 FEET; THENCE EAST PARALLEL WITH THE NORTH LINE OF SAID LOT 378.58 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF SAID LOT (SAID SOUTHEASTERLY LINE BEING THE CENTER LINE OF A 60.00 FOOT STREET KNOWN AS NEWPORT ROAD) 279.25 FEET SOUTHWESTERLY FROM THE POINT OF BEGINNING; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY LINE OF SAID LOT 279.25 FEET TO THE POINT OF BEGINNING.

SAID LAND IS SHOWN ON A LICENSED SURVEY FILED IN BOOK 7, PAGE 16 OF RECORDS OF SURVEYS OF SAID ORANGE COUNTY.

TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN: NANCY LEE ANDERSSON, AN UNDIVIDED 1/8TH INTEREST, ROBERT W. CLARK, AN UNDIVIDED 1/8TH INTEREST AND CHRISTINE ELIZABETH MEANS AND EDWARD GLENN MEANS 1/11, TRUSTEES OF THE MEANS FAMILY TRUST ESTABLISHED SEPTEMBER 28, 2004, AN UNDIVIDED 1/8TH INTEREST, SCOTT C. OWEN AS TO AN UNDIVIDED 1/8 INTEREST, SUSAN M. MULLEN AS TO AN UNDIVIDED 1/8 INTEREST AND KATHLEEN M. OWEN, AS TO AN UNDIVIDED 1/4 INTEREST.

APN 424-301-04
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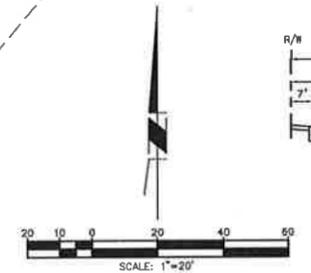
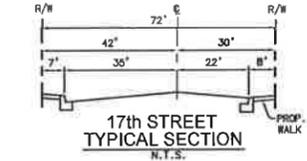
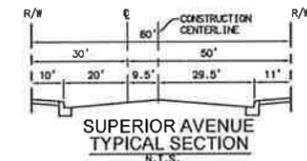
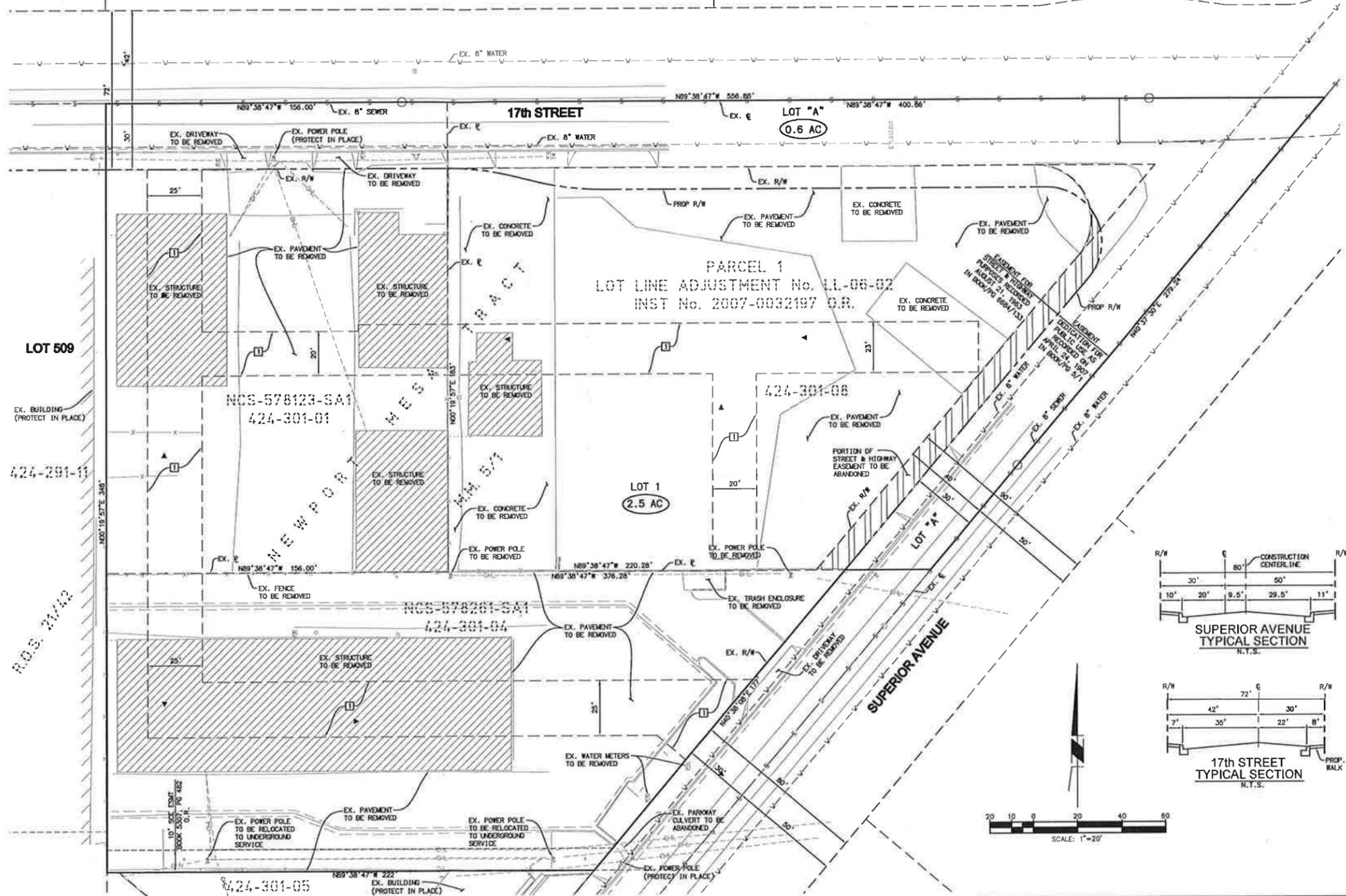
A PORTION OF LOT 409, NEWPORT MESA TRACT AS PER MAP RECORDED IN BOOK 5, PAGE 1, OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY, CALIFORNIA, DESCRIBED AS: BEGINNING AT A POINT IN THE WESTERLY LINE OF SAID LAND AT A POINT 183.08 FEET SOUTHERLY OF THE NORTHWEST CORNER THEREOF AND RUNNING THENCE SOUTH ALONG SAID WESTERLY LINE 135.25 FEET TO A POINT; THENCE EAST PARALLEL WITH THE NORTHERLY LINE OF SAID LAND 285.38 FEET MORE OR LESS TO A POINT IN THE CENTER LINE OF NEWPORT AVENUE; THENCE NORTHEASTERLY ALONG THE CENTER LINE OF NEWPORT AVENUE, 176.56 FEET MORE OR LESS TO THE EASTERLY EXTENSION OF THE SOUTHERLY LINE OF A PARCEL OF LAND CONVEYED TO OLIVE M. KINLEY BY DEED DATED 3/9/23 RECORDED IN BOOK 464-132 OF DEEDS OF ORANGE COUNTY; THENCE WEST ALONG SAID SOUTHERLY LINE OF SAID PARCEL AND THE EXTENSION THEREOF 378.85 FEET MORE OR LESS TO THE POINT OF BEGINNING EXCEPTING THEREFROM THAT PORTION INCLUDED WITHIN NEWPORT AVENUE.

GENERAL NOTES

- SITE ADDRESS: 643-651 W. 17th STREET COSTA MESA, CA 92627
1677 SUPERIOR AVENUE COSTA MESA, CA 92627
- ASSESSOR PARCEL: 424-301-01 424-301-08
424-301-04
 - SITE AREA:
NET: 2.5 AC
GROSS: 3.1 AC (TO CL OF ADJACENT STREETS)
 - EXISTING ZONING: GENERAL INDUSTRIAL
 - PROPOSED ZONING: MIXED-USE DEVELOPMENT PER 19 WEST URBAN PLAN
 - EXISTING LANDUSE: GENERAL INDUSTRIAL
 - PROPOSED LANDUSE: MIXED-USE LIVE/WORK PER 19 WEST URBAN PLAN
 - FLOOD ZONE: NO SPECIAL FLOOD HAZARDS
 - TOTAL NUMBER OF LOTS: 2
 - TOTAL NUMBER OF UNITS: 49
 - PROPOSED DEVELOPMENT:
3 STORY LIVE/WORK CONDOS
147 TOTAL PARKING SPACES INCL. GARAGE SPACES
 - THE UTILITIES SHOWN ON THIS MAP ARE BASED UPON THE BEST AVAILABLE PUBLIC INFORMATION
 - ALL EXISTING STRUCTURES ON SITE SHALL BE REMOVED.

UTILITY COMPANIES/CONTACTS

TELEPHONE	PACIFIC BELL	(800) 310-2155
ELECTRIC	SOUTHERN CALIFORNIA EDISON CO	(800)884-8123
GAS	SOUTHERN CALIFORNIA GAS CO	(800)427-2100
CABLE T.V.	TIME WARNER CABLE	(866)744-1678
SEWER AND TRASH	COSTA MESA SANITARY DISTRICT	(949)845-8400
WATER	MESA CONSOLIDATED WATER	(949) 831-1200



BASIS OF BEARING

COORDINATES SHOWN HEREON ARE BASED ON THE SCARING BETWEEN O.C.S. HORIZONTAL CONTROL STATION GPS NO. 6255 AND STATION GPS NO. 6263 BEING NORTH 47°46'24" EAST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

GPS POINT LOCATIONS

GPS # 6255 FOUND PUNCHED ROUND HEAD SPIKE WITH WASHER STAMPED "ICE 22368" FLUSH. STATION IS LOCATED AT THE APPARENT INTERSECTION OF 17TH STREET AND SANTA ANA AVENUE PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.
GPS #6263 FOUND GEAR SPIKE AND WASHER STAMPED "LS 4743" FLUSH. STATION IS LOCATED AT THE CENTERLINE INTERSECTION OF CATALINA DRIVE AND 15TH STREET PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

AREA SUMMARY

LOT 1 2.5 AC GROSS
LOT "A" 0.6 AC GROSS (R/W DEDICATION)
TOTAL 3.1 AC GROSS

PROPOSED EASEMENTS

□ EASEMENT FOR THE PURPOSES OF PUBLIC UTILITIES, VEHICLE INGRESS & EGRESS

REVISION



RBF CONSULTING
A 3100 Company
14725 ALTON PARROWAY
IRVINE, CALIFORNIA 92618-2027
949.472.3505 • FAX 949.472.8373 • www.RBF.com

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14725 ALTON PARROWAY
IRVINE, CA, 92618
PHONE: (949) 472-3505

DEVELOPER
INTRACORP COMPANIES
4041 MACARTHUR BLVD., SUITE 250
NEWPORT BEACH, CA, 92660
PHONE: (949) 955-2370

PROJECT ADDRESS
643-651 17th STREET & 1677 SUPERIOR AVENUE
COSTA MESA, CA 92627

VESTING TENTATIVE TRACT MAP 17639

CITY OF COSTA MESA CASE NO. X

SHEET
1
OF
1

643-651 W. 17th STREET & 1677 SUPERIOR AVENUE

PRELIMINARY GRADING PLAN

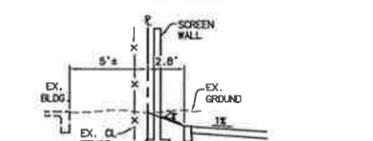
VESTING TENTATIVE TRACT NO. 17639

FOR CONDOMINIUM PURPOSES

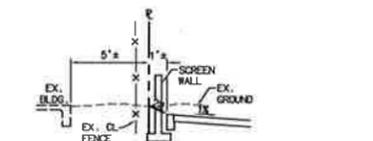
CITY COSTA MESA, STATE OF CALIFORNIA



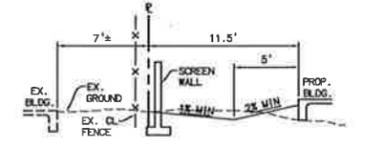
VICINITY MAP
NOT TO SCALE



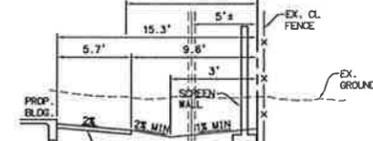
SECTION A-A
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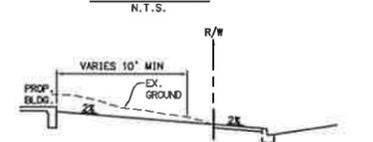
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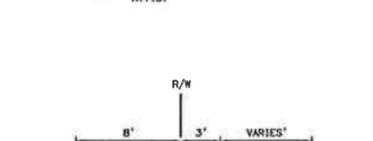
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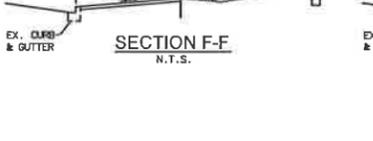
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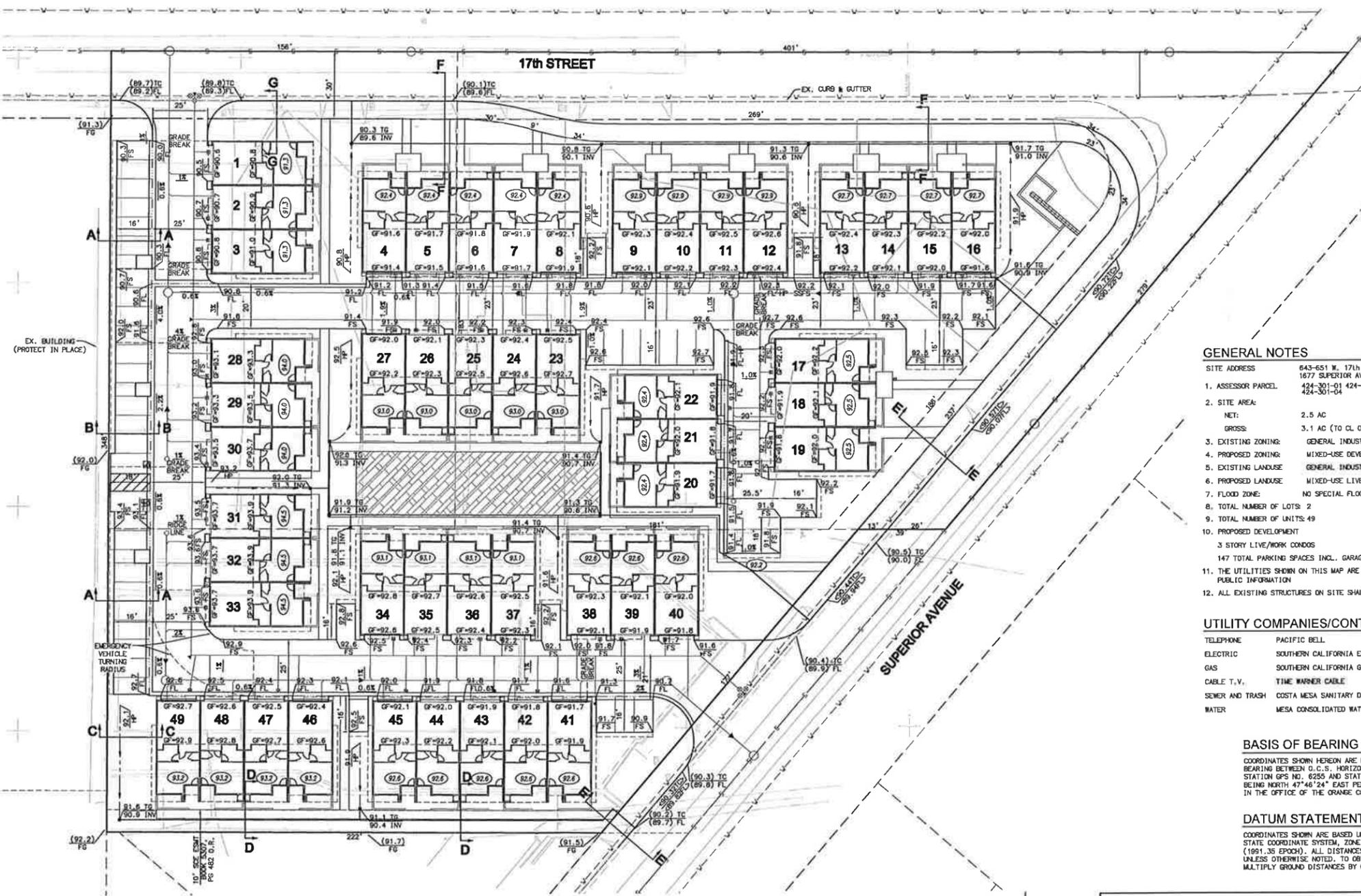
SECTION E-E
N.T.S.



SECTION F-F
N.T.S.



SECTION G-G
N.T.S.



- GENERAL NOTES**
- SITE ADDRESS: 643-651 W. 17th STREET COSTA MESA, CA 92627
 - ASSESSOR PARCEL: 1677 SUPERIOR AVENUE COSTA MESA, CA 92627
 - SITE AREA: 2.5 AC NET, 3.1 AC GROSS (TO CL OF ADJACENT STREETS)
 - EXISTING ZONING: GENERAL INDUSTRIAL
 - PROPOSED ZONING: MIXED-USE DEVELOPMENT PER 19 WEST URBAN PLAN
 - EXISTING LANDUSE: GENERAL INDUSTRIAL
 - PROPOSED LANDUSE: MIXED-USE LIVE/WORK PER 19 WEST URBAN PLAN
 - FLOOD ZONE: NO SPECIAL FLOOD HAZARDS
 - TOTAL NUMBER OF LOTS: 2
 - TOTAL NUMBER OF UNITS: 49
 - PROPOSED DEVELOPMENT: 3 STORY LIVE/WORK CONDOS, 147 TOTAL PARKING SPACES INCL. GARAGE SPACES
 - UTILITIES SHOWN ON THIS MAP ARE BASED UPON THE BEST AVAILABLE PUBLIC INFORMATION
 - ALL EXISTING STRUCTURES ON SITE SHALL BE REMOVED.
- UTILITY COMPANIES/CONTACTS**
- | | | |
|-----------------|-------------------------------|----------------|
| TELEPHONE | PACIFIC BELL | (800) 310-2155 |
| ELECTRIC | SOUTHERN CALIFORNIA EDISON CO | (800)884-8123 |
| GAS | SOUTHERN CALIFORNIA GAS CO | (800)427-2100 |
| CABLE T.V. | TIME WARNER CABLE | (866)744-1678 |
| SEWER AND TRASH | COSTA MESA SANITARY DISTRICT | (949)845-8400 |
| WATER | MESA CONSOLIDATED WATER | (949) 631-1200 |

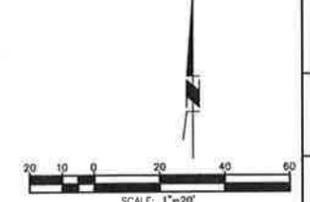
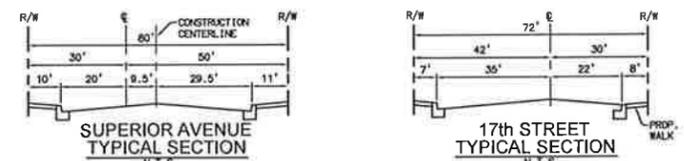
BASIS OF BEARING
COORDINATES SHOWN HEREON ARE BASED ON THE BEARING BETWEEN D.C.S. HORIZONTAL CONTROL STATION GPS NO. 6255 AND STATION GPS NO. 6253 BEING NORTH 47°46'24" EAST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

DATUM STATEMENT
COORDINATES SHOWN ARE BASED UPON THE CALIFORNIA STATE COORDINATE SYSTEM, ZONE VI, NAD OF 1983 (1991.35 EPOCH). ALL DISTANCES SHOWN ARE GROUND, UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCE MULTIPLY GROUND DISTANCES BY 0.9999843

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RBF CONSULTING
14725 ALTON FERRY
IRVINE, CA. 92618
PHONE: (949) 472-3505

DEVELOPER
INTRACORP COMPANIES
4041 MACARTHUR BLVD., SUITE 250
NEWPORT BEACH, CA. 92660
PHONE: (949) 955-2370

PROJECT ADDRESS
643-651 17th STREET & 1677 SUPERIOR AVENUE
COSTA MESA, CA 92627



REVISION

RBF CONSULTING
14725 ALTON FERRY
IRVINE, CALIFORNIA 92618-2027
949.472.3505 • FAX 949.472.8373 • www.RBF.com

PRELIMINARY GRADING FOR TTM 17639
CITY OF COSTA MESA CASE NO. X

SHEET 1 OF 1

H:\PDATA\134700\CA00\LAND\DLV\GRADING\PRELIMINARY\134700-GR-TOL.DWG TTMENG 8/2/13 1:12 PM



CONCEPTUAL PERSPECTIVE -

SHEET INDEX

- SD00 PROJECT SUMMARY + VICINITY MAP
- L1 PRELIMINARY LANDSCAPE PLAN
- SD01 CONCEPTUAL PERSPECTIVE
- SD02 CONCEPTUAL PERSPECTIVE
- SD03 SITEPLAN
- SD04 BUILDING ELEVATIONS - 3 PLEX
- SD05 BUILDING ELEVATIONS - 3 PLEX
- SD06 BUILDING ELEVATIONS - 4 PLEX
- SD07 BUILDING ELEVATIONS - 5 PLEX
- SD08 UNIT PLAN A
- SD09 UNIT PLAN B

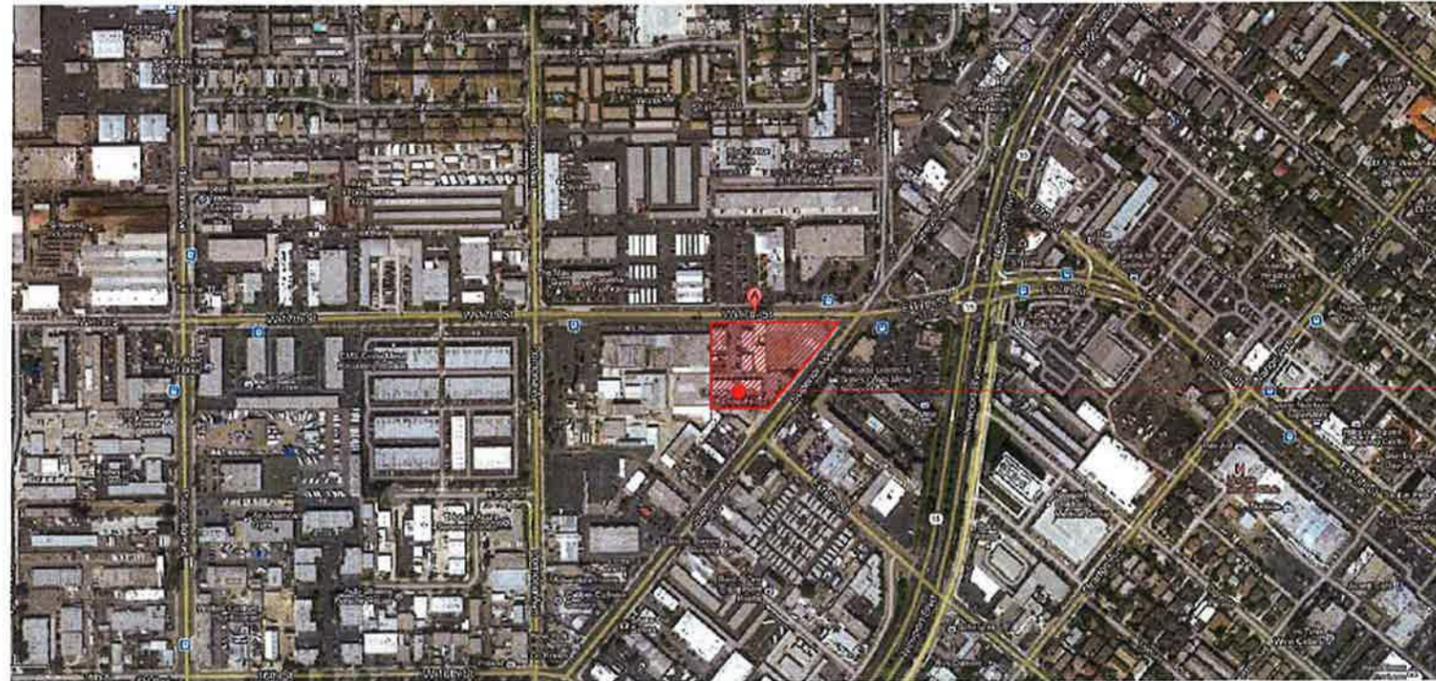
SITE SUMMARY

PROJECT ADDRESS	1677 Superior Avenue Costa Mesa, CA 92627		
LOT AREA (revised street deceleration lane to 17th street)	2.55 acres	111,000 sf	
TOTAL RESIDENTIAL UNITS	49		
TOTAL UNIT WORK SPACE GROSS SQUARE FOOTAGE	12,628 sf		
DENSITY	19.23 Du/acre		
FAR ALLOWABLE	1.00		
FAR PROVIDED	0.87		
LANDSCAPE AREA / OPEN SPACE	33,349 sf	30% of total lot area	
BUILDING COVERAGE	48,440 sf	42% of total lot area	
DRIVEWAYS / OPEN PARKING	31,211 sf	28% of total lot area	

PROGRAM SUMMARY

PLAN	DESCRIPTION	QNTY	UNIT RESIDENTIAL AREA	UNIT WORK AREA	UNIT TOTAL AREA	AREA SUBTOTAL	PARKING RATIO	REQUIRED PARKING
A	2 BR / 3.5 BA LIVE / WORK UNIT SIDE BY SIDE GARAGE	26 (53%)	1,680 sf	261 sf	1,941 sf	50,406 sf	2.00	52 spaces
B	2 BR / 3.5 BA / DEN LIVE / WORK UNIT SIDE BY SIDE GARAGE GUEST PARKING	23 (47%)	1,745 sf	254 sf	1,999 sf	45,077 sf	2.00	46 spaces
							1.0 per unit	49 spaces
SUBTOTAL UNITS:		49 residential units				95,483 sf		147 spaces required

147 spaces provided
(4 compact spaces)
8% of guest spaces



VICINITY MAP - NTS.

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA
JULY 31, 2013

PROJECT SUMMARY + VICINITY MAP
17th ST. + SUPERIOR LIVE / WORK

INTRACORP COMPANIES
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JOB NO. B5015.200
PREPARED July 31, 2013





CONCEPTUAL PERSPECTIVE - VIEW ALONG SUPERIOR AVENUE FROM CORNER

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA

JULY 31, 2013

CONCEPTUAL PERSPECTIVE
17th ST. + SUPERIOR LIVE / WORK

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JOB NO. B3015 200
PHS. JTC; JJA; 31 2013





CONCEPTUAL PERSPECTIVE - VIEW FROM TRADER JOES AT 17TH STREET

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA

JULY 31, 2013

CONCEPTUAL PERSPECTIVE
17th ST. + SUPERIOR LIVE / WORK

INTRACORP COMPANIES

4941 MacArthur Blvd, Suite 250

Newport Beach, CA 92660

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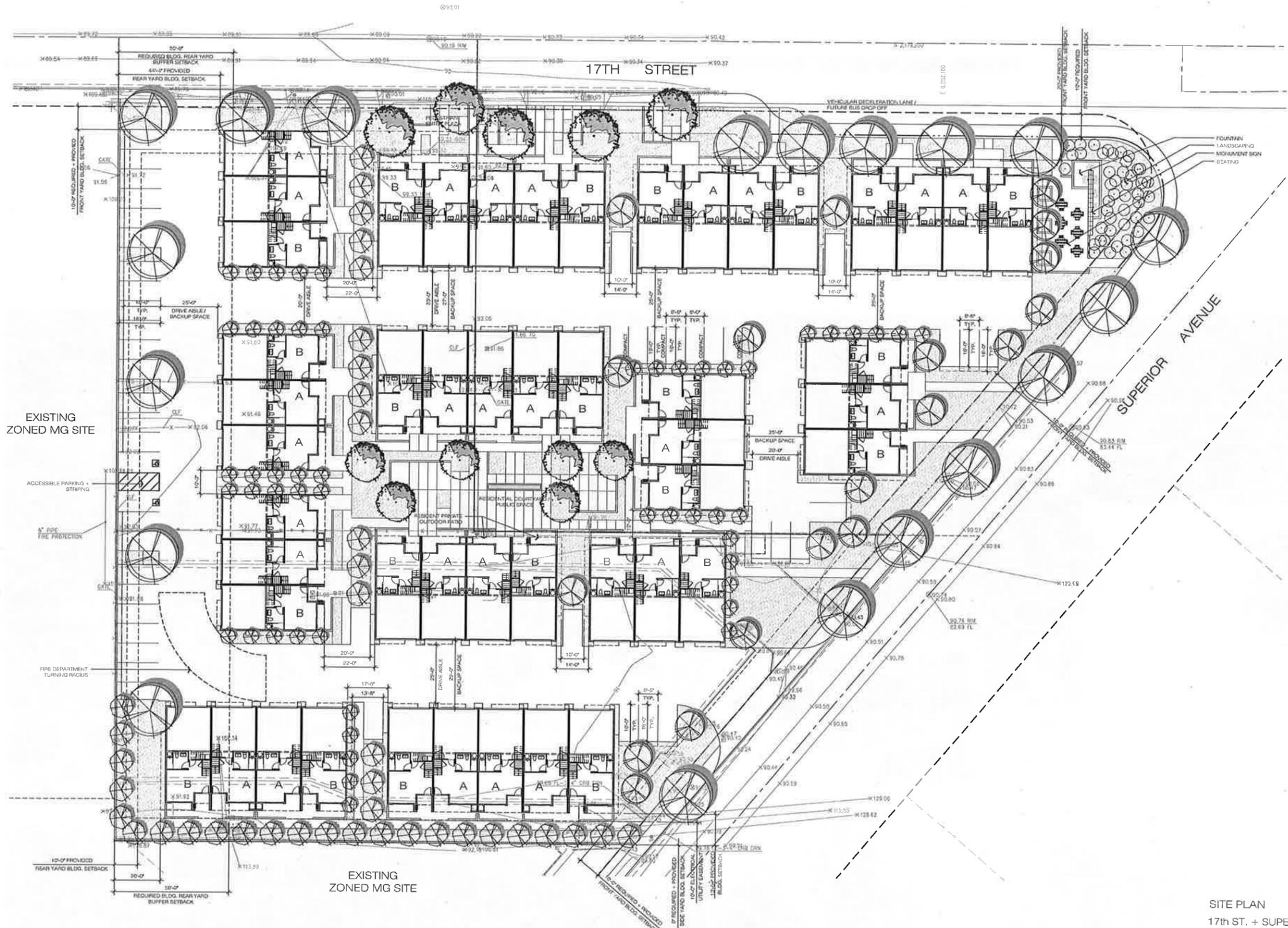
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JOB NO. B3015.200

PREPARED JULY 31, 2013





17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA

JULY 31, 2013

SITE PLAN
17th ST. + SUPERIOR LIVE / WORK

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1-310-517-8899
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JOB NO. 53015.200
DATE: JULY 31, 2013

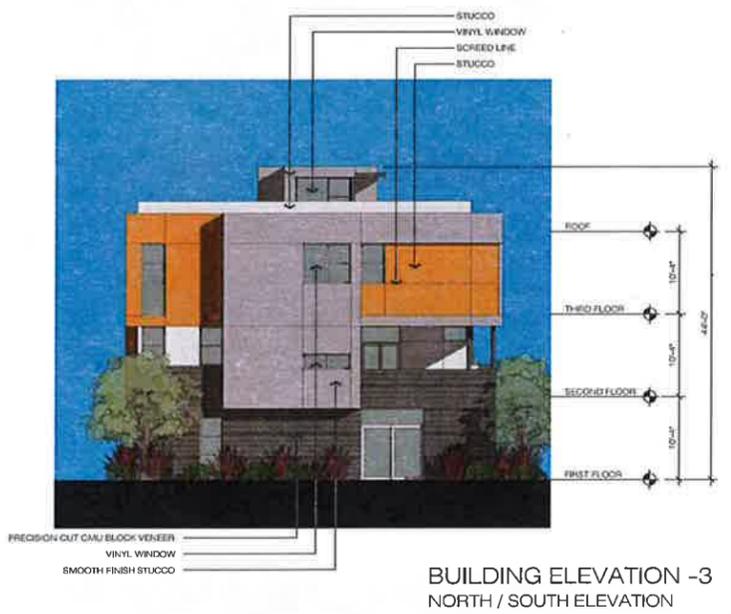




BUILDING ELEVATION -4
NORTH / SOUTH ELEVATION



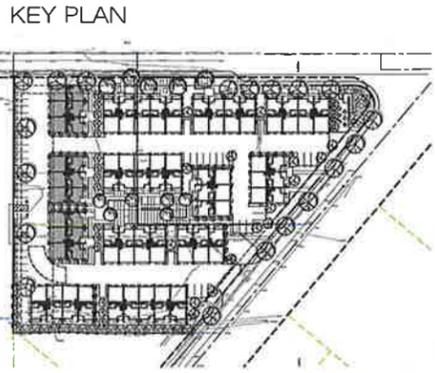
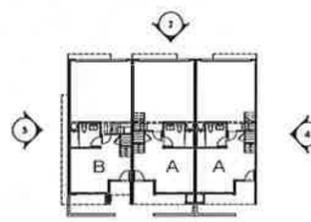
BUILDING ELEVATION -2
WEST ELEVATION



BUILDING ELEVATION -3
NORTH / SOUTH ELEVATION



BUILDING ELEVATION -1
EAST ELEVATION



BUILDING ELEVATIONS
3-PLEX_1 (A & B UNITS)

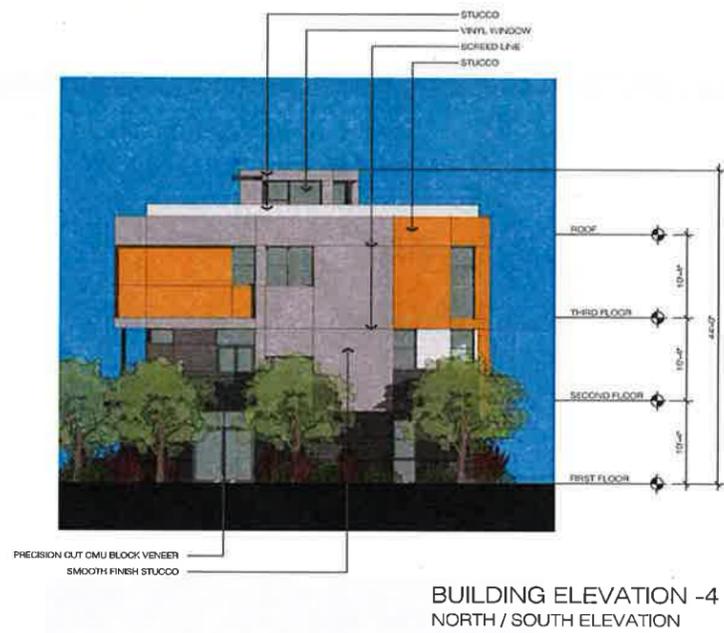
17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA
JULY 31, 2013



17th ST. + SUPERIOR LIVE / WORK
INTRACORP COMPANIES
4041 Riva Archway Blvd. Suite 250
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F&E, T&E: July 31 2013





BUILDING ELEVATION -4
NORTH / SOUTH ELEVATION



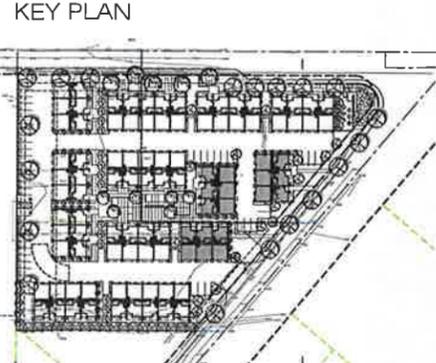
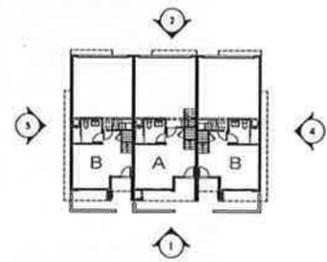
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EAST / WEST ELEVATION



BUILDING ELEVATION -3
NORTH / SOUTH ELEVATION



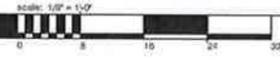
BUILDING ELEVATION -1
EAST / WEST ELEVATION



KEY PLAN

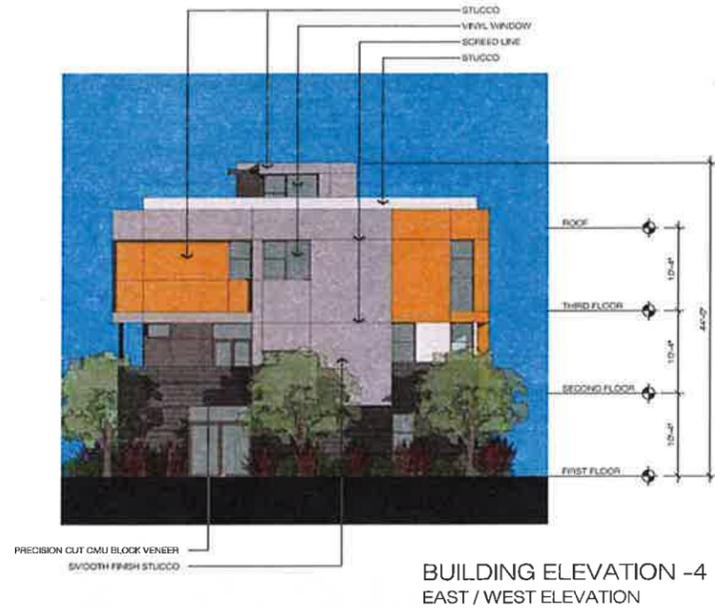
BUILDING ELEVATIONS
3-PLEX_2 (A & B UNITS)

17th STREET + SUPERIOR LIVE / WORK
COSTA MESA, CALIFORNIA
JULY 31, 2013



17th ST. + SUPERIOR LIVE / WORK
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JOB NO. 03015.200
REV. 001 JULY 21, 2013





BUILDING ELEVATION -4
EAST / WEST ELEVATION



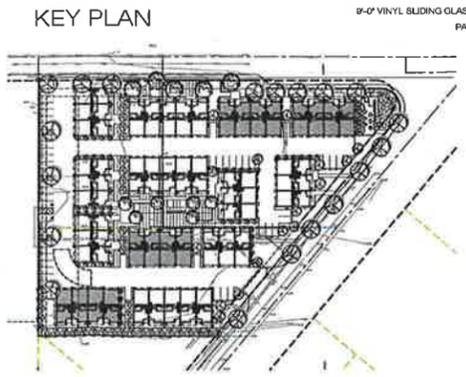
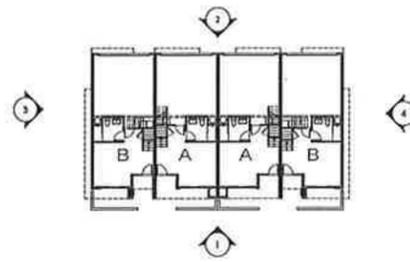
BUILDING ELEVATION -2
NORTH / SOUTH ELEVATION



BUILDING ELEVATION -3
EAST / WEST ELEVATION



BUILDING ELEVATION -1
NORTH / SOUTH ELEVATION



17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA
JULY 31, 2013



BUILDING ELEVATIONS
4-PLEX (A & B UNITS)

17th ST. + SUPERIOR LIVE / WORK

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www.withee.com
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PPL/TECH JUL 31 2013





BUILDING ELEVATION -4
EAST / WEST ELEVATION



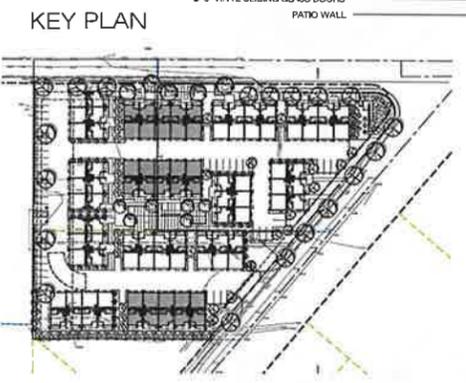
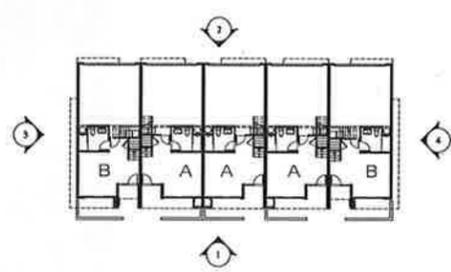
BUILDING ELEVATION -2
NORTH / SOUTH ELEVATION



BUILDING ELEVATION -3
EAST / WEST ELEVATION



BUILDING ELEVATION -1
NORTH / SOUTH ELEVATION



BUILDING ELEVATIONS
5-PLEX (A & B UNITS)

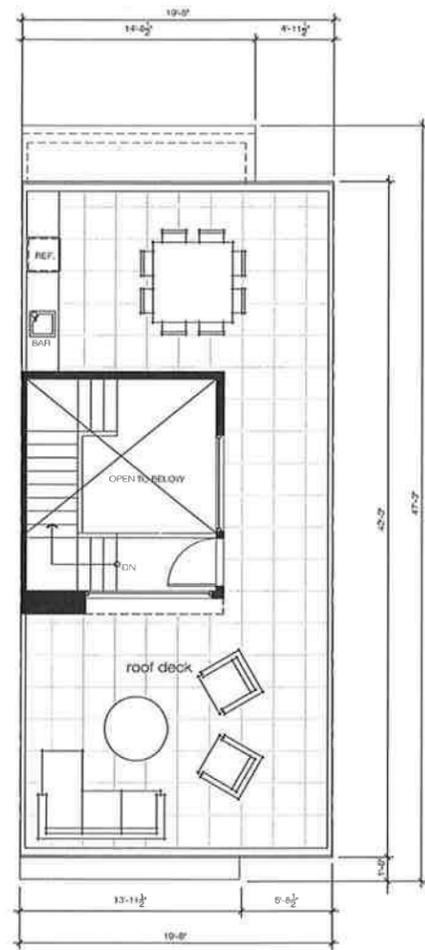
17th STREET + SUPERIOR LIVE / WORK
COSTA MESA, CALIFORNIA

JULY 31, 2013

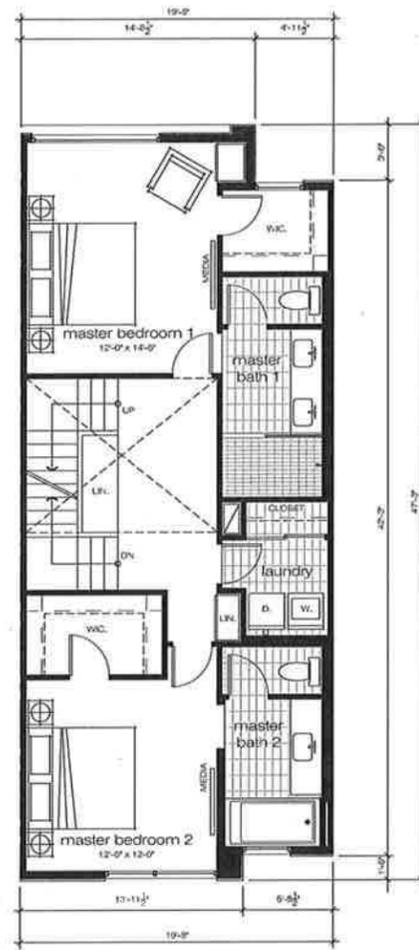


17th ST. + SUPERIOR LIVE / WORK
INTRACORP COMPANIES
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2251 West 190th Street Torrance, CA 90504
t. 310. 217. 8888
www.witthemalcolm.com
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PRINTED July 31, 2013

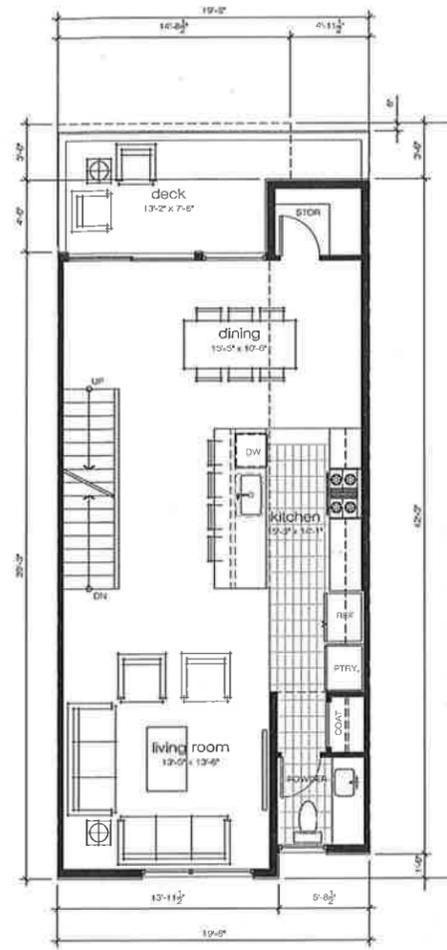




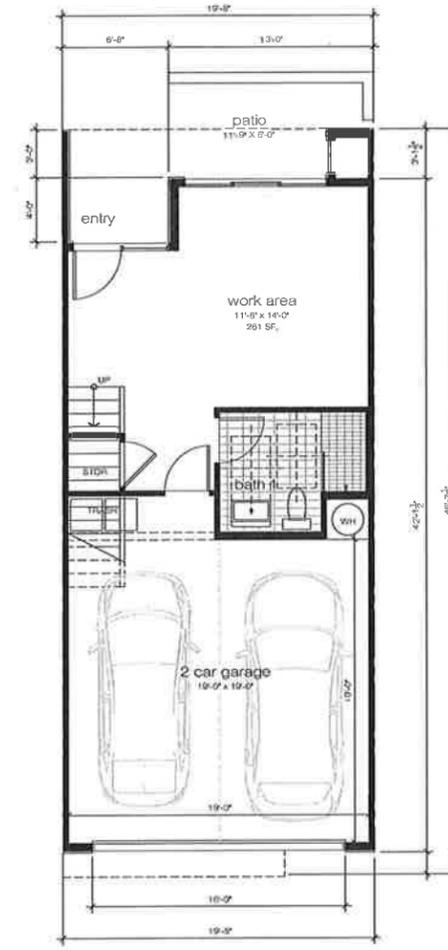
UNIT A -roof plan
 AREA: 26 sf
 ROOF DECK: 625 sf



UNIT A -third floor plan
 AREA: 620 sf



UNIT A -second floor plan
 AREA: 739 sf
 DECK: 100 sf



UNIT A -first floor plan
 AREA: 356 sf
 DECK: 70 sf

UNIT A
 TOTAL AREA: 1,941 sf
 TOTAL PATIO / DECK: 170 sf
 TOTAL ROOF DECK: 625 sf

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA

JULY 31, 2013



UNIT PLANS UNIT A

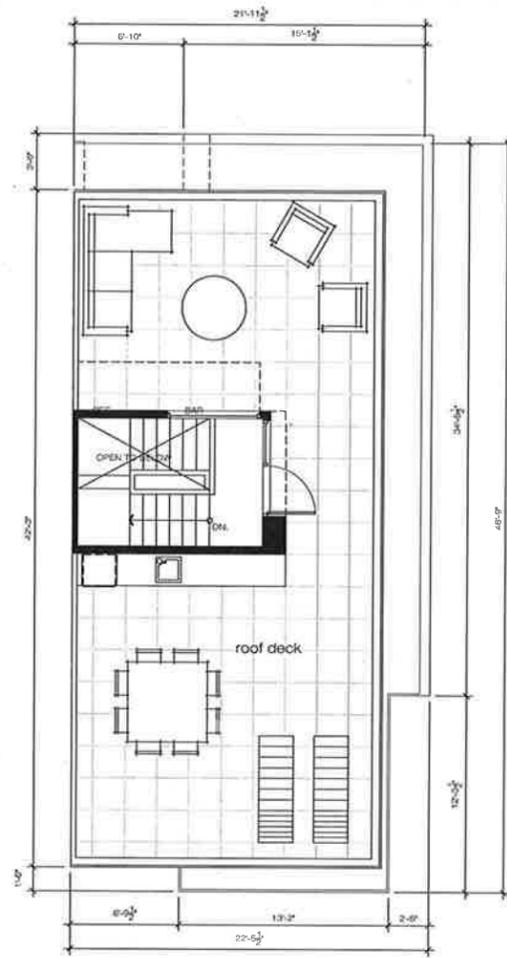
17th ST. + SUPERIOR LIVE / WORK

INTRACORP COMPANIES
 4041 Main Avenue Blvd. Suite 250
 Newport Beach, CA 92660

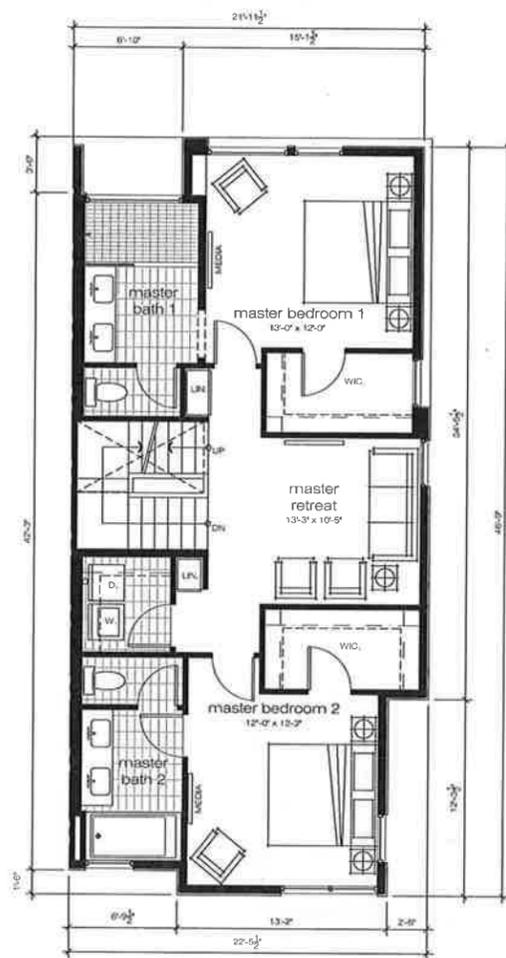
WITHEE MALCOLM ARCHITECTS, LLP

2251 West 100th Street Torrance, CA 90504
 T. 310.217.8855
 www.withee.com
 JOB NO. B3015.200
 REV. 01 - JULY 31, 2013

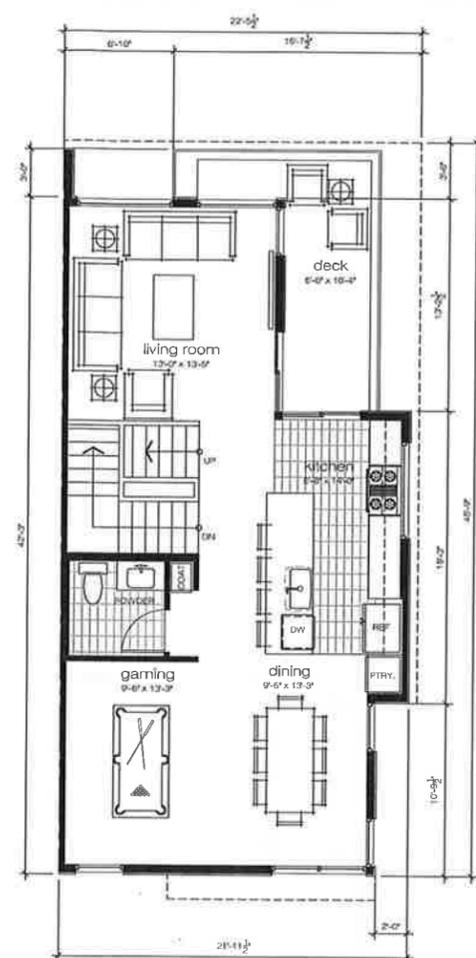




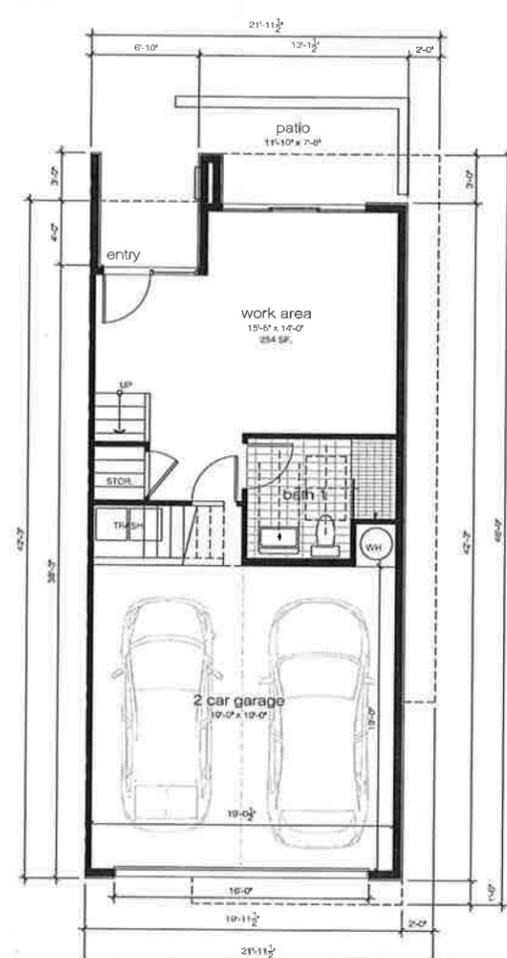
UNIT B - roof plan
 AREA: 33 sf
 ROOF DECK: 720 sf



UNIT B - third floor plan
 AREA: 896 sf



UNIT B - second floor plan
 AREA: 716 sf
 DECK: 98 sf



UNIT B - first floor plan
 AREA: 352 sf
 DECK: 66 sf

UNIT B - ALTERNATE
 TOTAL AREA: 1,999 sf
 TOTAL PATIO / DECK: 164 sf
 TOTAL ROOF DECK: 720 sf

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA

JULY 31, 2013



UNIT PLANS
 UNIT B
 17th ST. + SUPERIOR LIVE / WORK

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JOB NO. D3015.200
 REV. DATE: JULY 21, 2013





HARDSCAPE LEGEND

1. Entry Monument Wall with Water Feature
2. Shaded Social Seating Area
3. Seat Wall
4. Low Wall with Horizontal Wood Fencing
5. Central Water Wall
6. Patio Wall with Sliding Gate
7. Social Space Under Overhead Structure
8. Turf Area
9. Enhanced Pedestrian Paving
10. Permeable Pavers (50% Max of Drivable Area)
11. Curb Adjacent Sidewalk
12. Outdoor Furniture
13. Planting Pockets
14. Asphalt

PLANTING LEGEND

Symbol	Botanical Name (Common Name)	Size
TREES		
	<i>Agonis flexuosa</i> (Peppermint Willow)	36" box
	<i>Platanus racemosa</i> (California Sycamore)	36" box
	<i>Jacaranda mimosaefolia</i> (Jacaranda)	36" box
	<i>Phoenix dactylifera</i> (Date Palm)	20" bth
	<i>Lagerstroemia indica</i> (Crape Myrtle)	24" box
	<i>Metrosideros excelsa</i> (Pōhutukawa)	24" box
	<i>Prunus cerasifera</i> (Purple Leaf Plum)	24" box
	<i>Cassia leptophylla</i> (Golden Medallion Tree)	24" box
	<i>Platanus racemosa</i> (California Sycamore)	24" box
	<i>Prunus cerasifera</i> (Purple Leaf Plum)	24" box
	<i>Bambusa sp.</i> (Bamboo)	15 gal.
	<i>Ginkgo biloba</i> (Maldenhair Tree)	15 gal.
	<i>Prunus caroliniana</i> (Carolina Cherry Laurel)	15 gal.
	<i>Tristania conferta</i> (Brisbane Box)	15 gal.
	<i>Pittosporum tenuifolium</i> (Kohuhu)	15 gal.
	<i>Cupressus sempervirens</i> (Italian Cypress)	24" box
	<i>Podocarpus macrophyllus</i> (Yew Podocarpus)	15 gal.



Plan View



17th St. + Superior Live/Work

Preliminary Landscape Plan

Job no: INT-02
July 15, 2013

Prepared for:
INTRACORP COMPANIES
4041 MacArthur Blvd. Suite 250 Newport Beach, CA 92660

C2 COLLABORATIVE
LANDSCAPE ARCHITECTURE
100 Avenida Miramar
San Clemente, California 92672
T. 949 366 6624 F. 949 366 6626





CONCEPTUAL PERSPECTIVE -

SHEET INDEX

SD00	PROJECT SUMMARY + VICINITY MAP
L1	PRELIMINARY LANDSCAPE PLAN
SD01	CONCEPTUAL PERSPECTIVE
SD02	CONCEPTUAL PERSPECTIVE
SD03	SITE PLAN
SD04	BUILDING ELEVATIONS - 3 PLEX
SD05	BUILDING ELEVATIONS - 3 PLEX
SD06	BUILDING ELEVATIONS - 4 PLEX
SD07	BUILDING ELEVATIONS - 5 PLEX
SD08	UNIT PLAN A
SD09	UNIT PLAN B

SITE SUMMARY

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							1.0 per unit	49 spaces
SUBTOTAL UNITS:		49 residential units				96,443 sf		147 spaces required 147 spaces provided (4 compact spaces) 6% of guest spaces



PROJECT SITE



VICINITY MAP - NTS.

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA
JULY 31, 2013

PROJECT SUMMARY + VICINITY MAP
17th ST. + SUPERIOR LIVE / WORK

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JOB NO. B3015.200
PRINTED: July 31, 2013





CONCEPTUAL PERSPECTIVE - VIEW ALONG SUPERIOR AVENUE FROM CORNER

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA

JULY 31, 2013

CONCEPTUAL PERSPECTIVE
17th ST. + SUPERIOR LIVE / WORK

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JOB NO. 03015.200
PUBLISHED JULY 29, 2013





CONCEPTUAL PERSPECTIVE - VIEW FROM TRADER JOES AT 17TH STREET

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA

JULY 31, 2013

CONCEPTUAL PERSPECTIVE
17th ST. + SUPERIOR LIVE / WORK

INTRACORP COMPANIES

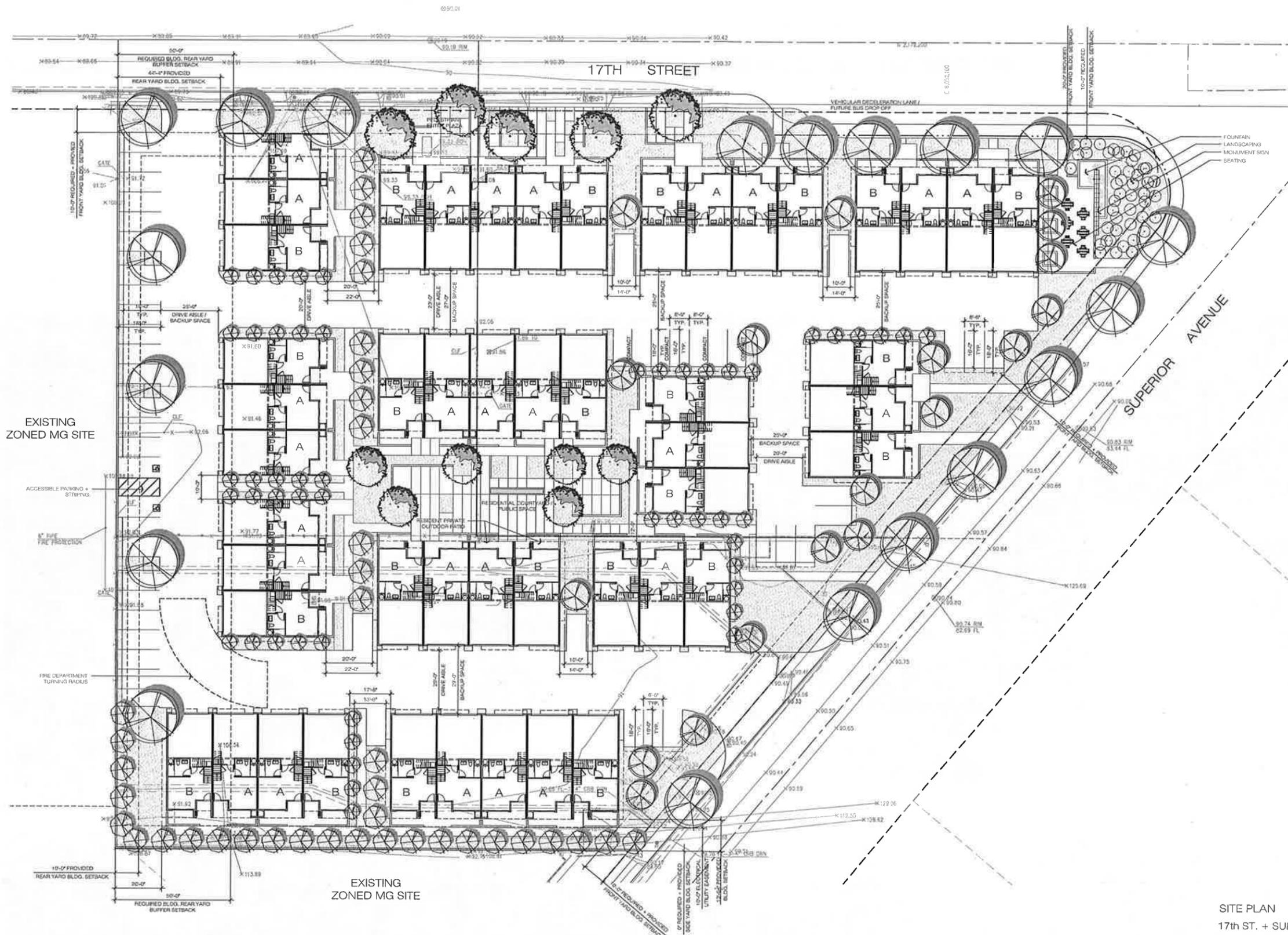
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PUBLISHED: JUN 21, 2013





17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA

JULY 31, 2013



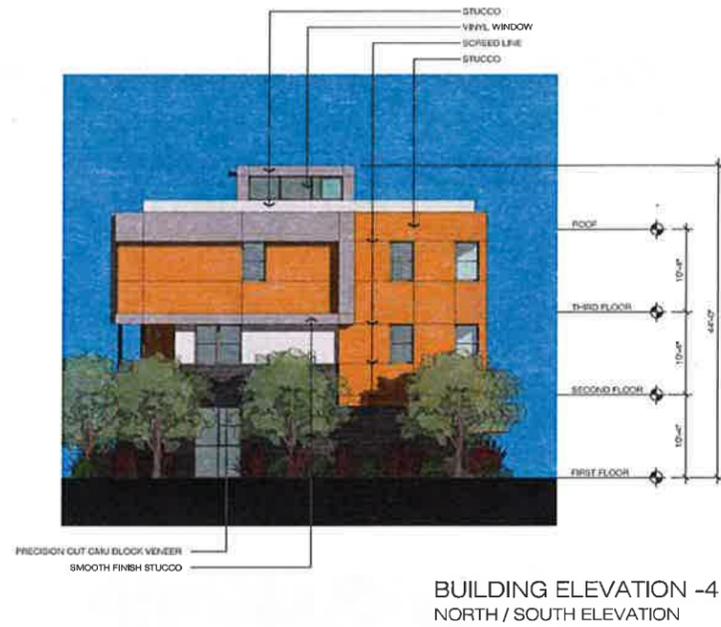
SITE PLAN
17th ST. + SUPERIOR LIVE / WORK

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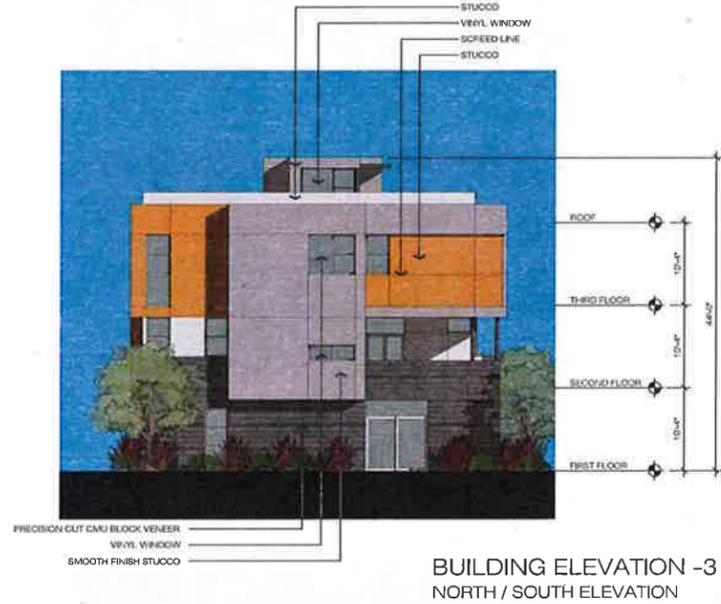




BUILDING ELEVATION -4
NORTH / SOUTH ELEVATION



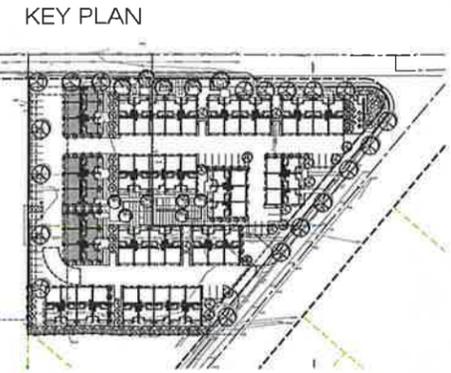
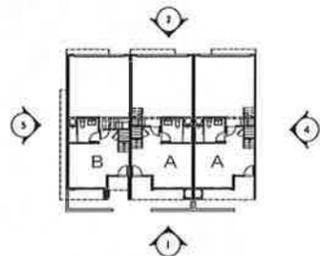
BUILDING ELEVATION -2
WEST ELEVATION



BUILDING ELEVATION -3
NORTH / SOUTH ELEVATION



BUILDING ELEVATION -1
EAST ELEVATION



KEY PLAN

BUILDING ELEVATIONS
3-PLEX_1 (A & B UNITS)

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA
JULY 31, 2013



17th ST. + SUPERIOR LIVE / WORK
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JOB NO. B3015.200
PPL: MEX, JAB, ST, 2/13





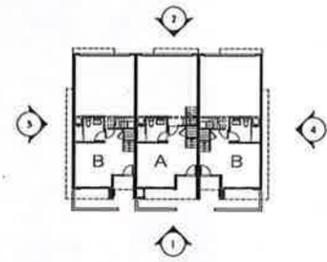
PRECISION CUT CMU BLOCK VENEER
SMOOTH FINISH STUCCO

BUILDING ELEVATION -4
NORTH / SOUTH ELEVATION

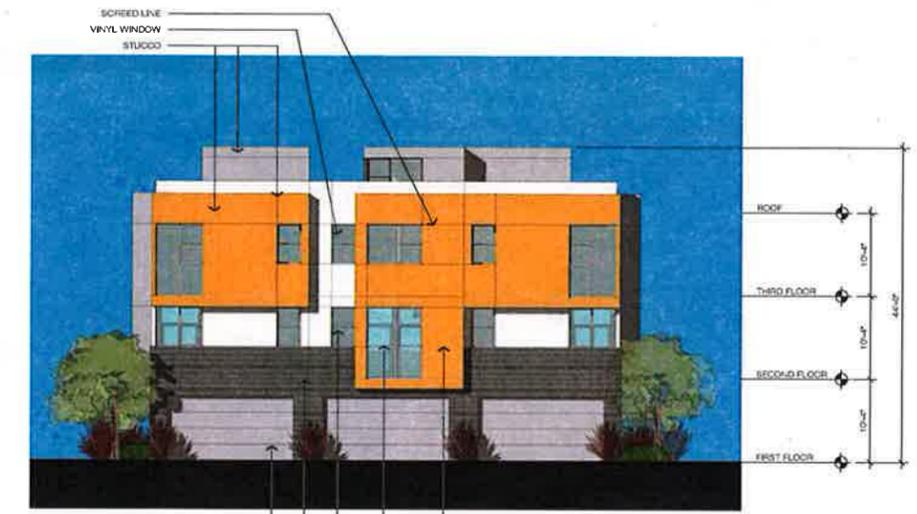
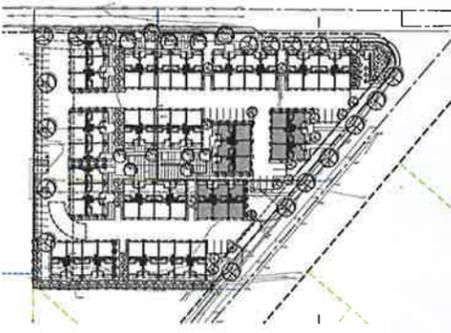


PRECISION CUT CMU BLOCK VENEER
VINYL WINDOW
SMOOTH FINISH STUCCO

BUILDING ELEVATION -3
NORTH / SOUTH ELEVATION



KEY PLAN



METAL ROLL UP GARAGE DOOR
PRECISION CUT CMU BLOCK VENEER
VINYL WINDOW
STUCCO

BUILDING ELEVATION -2
EAST / WEST ELEVATION



PRECISION CUT CMU BLOCK VENEER
9'-0" VINYL SLIDING GLASS DOORS

BUILDING ELEVATION -1
EAST / WEST ELEVATION

BUILDING ELEVATIONS
3-PLEX_2 (A & B UNITS)

17th STREET + SUPERIOR LIVE / WORK
COSTA MESA, CALIFORNIA

JULY 31, 2013



17th ST. + SUPERIOR LIVE / WORK

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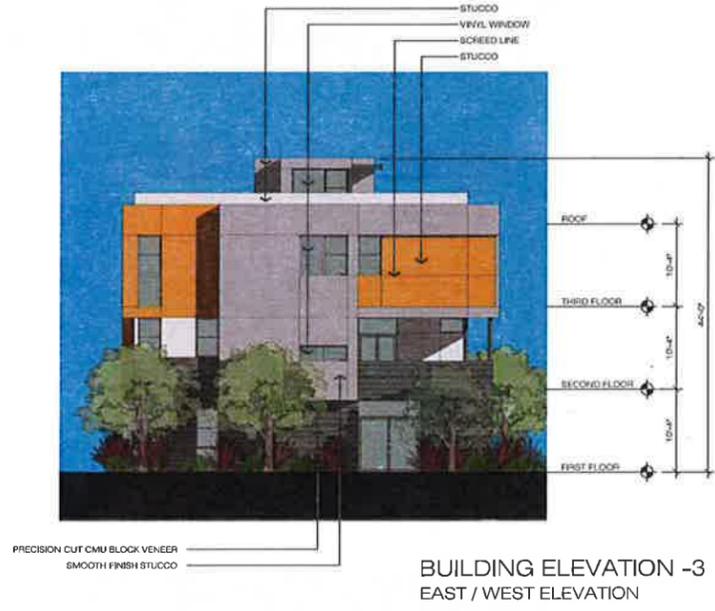




BUILDING ELEVATION -4
EAST / WEST ELEVATION



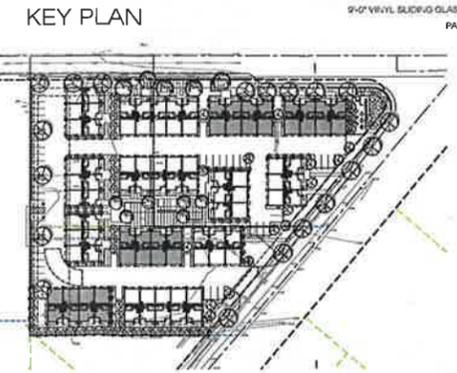
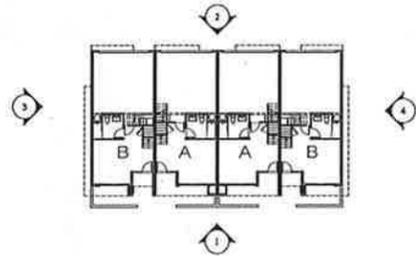
BUILDING ELEVATION -2
NORTH / SOUTH ELEVATION



BUILDING ELEVATION -3
EAST / WEST ELEVATION



BUILDING ELEVATION -1
NORTH / SOUTH ELEVATION



BUILDING ELEVATIONS
4-PLEX (A & B UNITS)

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA
JULY 31, 2013



17th ST. + SUPERIOR LIVE / WORK
INTRACORP COMPANIES
4041 MacArthur Blvd. Suite 250
Newport Beach, CA 92660
WITHEE MALCOLM ARCHITECTS, LLP
2251 West 190th Street Torrance, CA 90504
L 310.217.8885
www.withee-malcolm.com
JOB NO. 03015-200
PRJ. 17th July 31 2013





PRECISION CUT CMU BLOCK VENEER
SMOOTH FINISH STUCCO

BUILDING ELEVATION -4
EAST / WEST ELEVATION



SCREED LINE
VINYL WINDOW
STUCCO

METAL ROLL UP GARAGE DOOR
PRECISION CUT CMU BLOCK VENEER
VINYL WINDOW

BUILDING ELEVATION -2
NORTH / SOUTH ELEVATION



PRECISION CUT CMU BLOCK VENEER
SMOOTH FINISH STUCCO

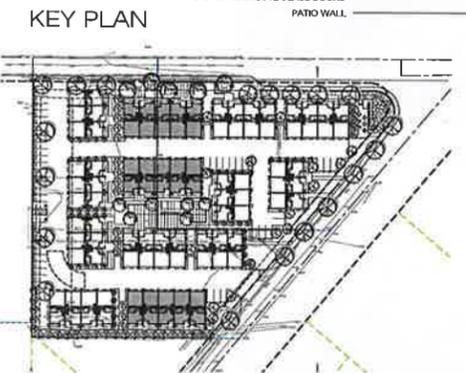
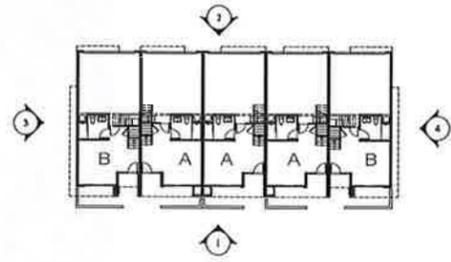
BUILDING ELEVATION -3
EAST / WEST ELEVATION



SMOOTH FINISH STUCCO
SCREED LINE
VINYL WINDOW
STUCCO

METAL AWNING
PRECISION CUT CMU BLOCK VENEER
SCREED LINE
9'-0" VINYL SLIDING GLASS DOORS
PATIO WALL

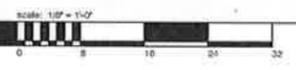
BUILDING ELEVATION -1
NORTH / SOUTH ELEVATION



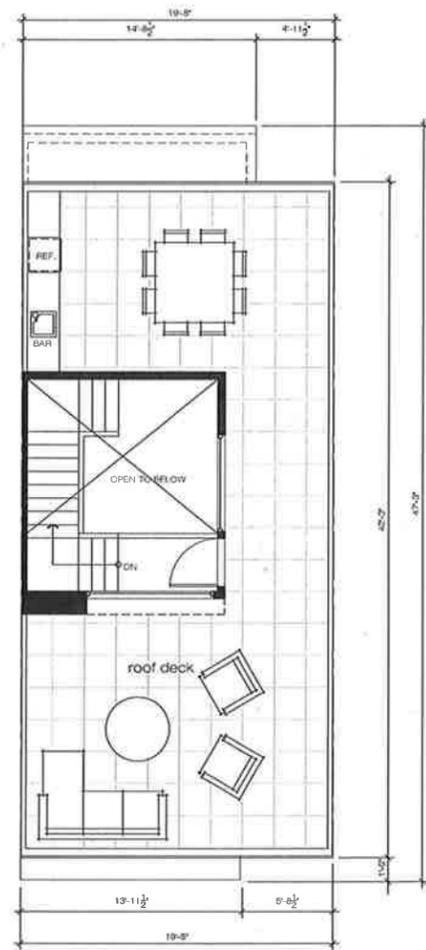
BUILDING ELEVATIONS
5-PLEX (A & B UNITS)

17th STREET + SUPERIOR LIVE / WORK
COSTA MESA, CALIFORNIA

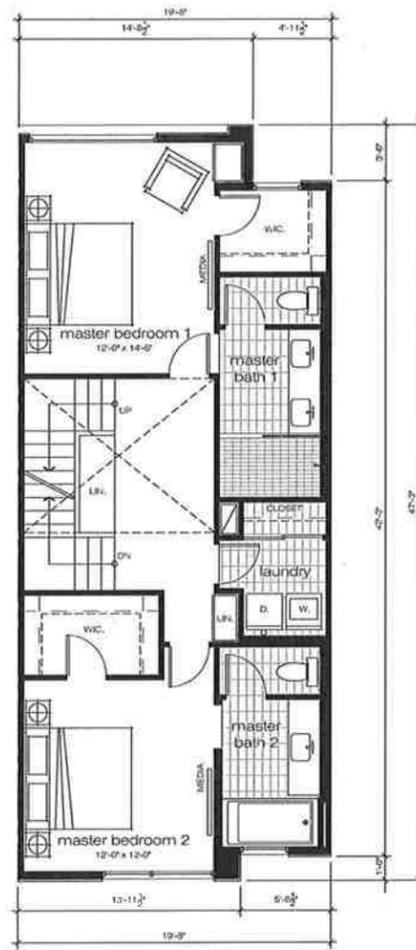
JULY 31, 2013



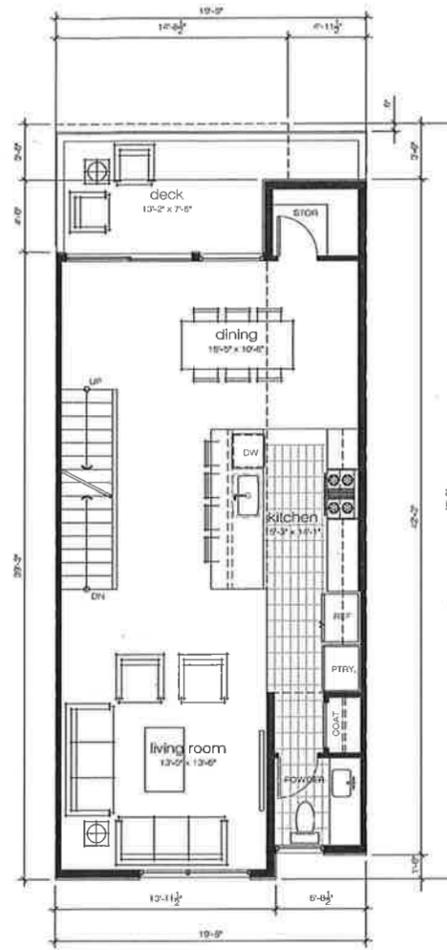
17th ST. + SUPERIOR LIVE / WORK
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4011 MacArthur Blvd. Suite 250
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WITHEE MALCOLM ARCHITECTS, LLP
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JOB NO. 12015-200
PREPARED: 04-24-2013



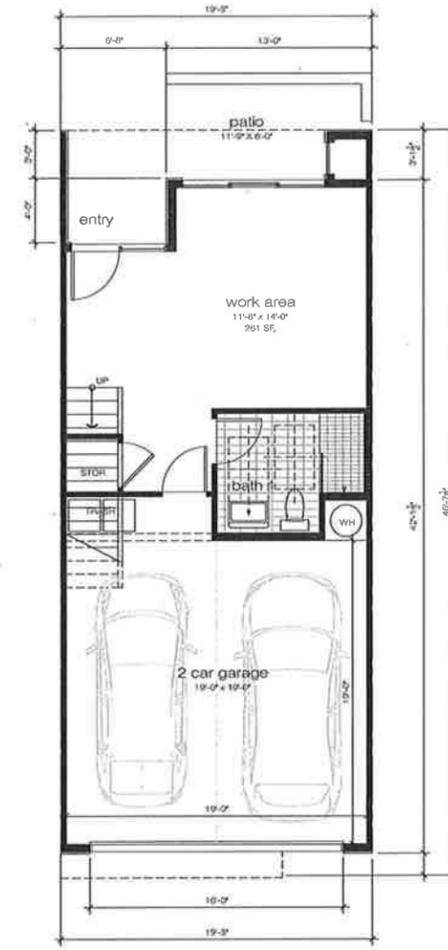
UNIT A - roof plan
 AREA: 26 sf
 ROOF DECK: 625 sf



UNIT A - third floor plan
 AREA: 820 sf



UNIT A - second floor plan
 AREA: 739 sf
 DECK: 100 sf



UNIT A - first floor plan
 AREA: 356 sf
 DECK: 70 sf

UNIT A
 TOTAL AREA: 1,941 sf
 TOTAL PATIO / DECK: 170 sf
 TOTAL ROOF DECK: 625 sf

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA
 JULY 31, 2013



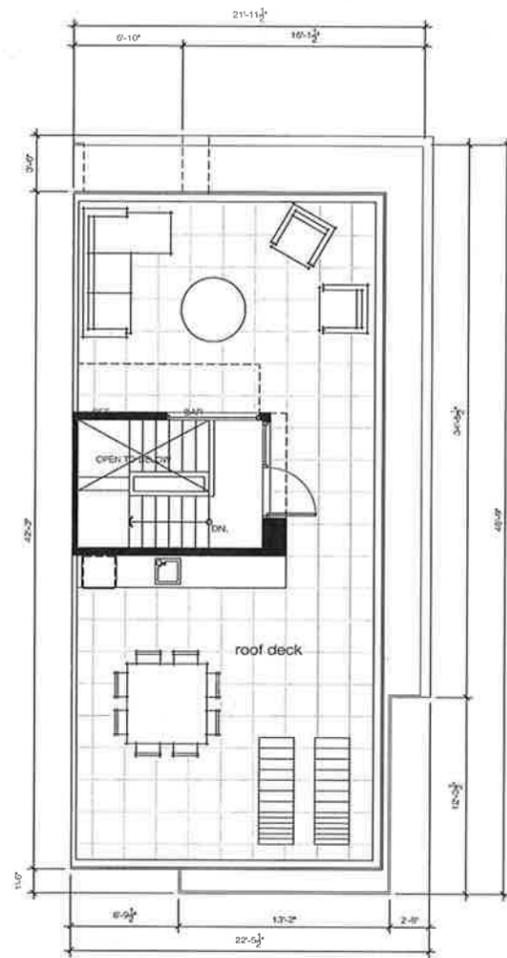
UNIT PLANS
 UNIT A
 17th ST. + SUPERIOR LIVE / WORK

INTRACORP COMPANIES
 4041 MacArthur Blvd. Suite 250
 Newport Beach, CA 92660

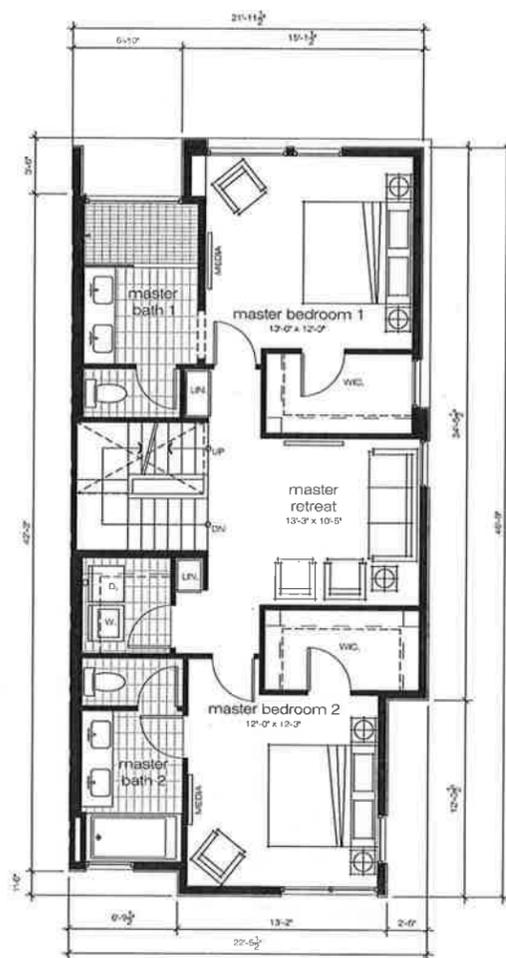
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 FILED: 10/01/13

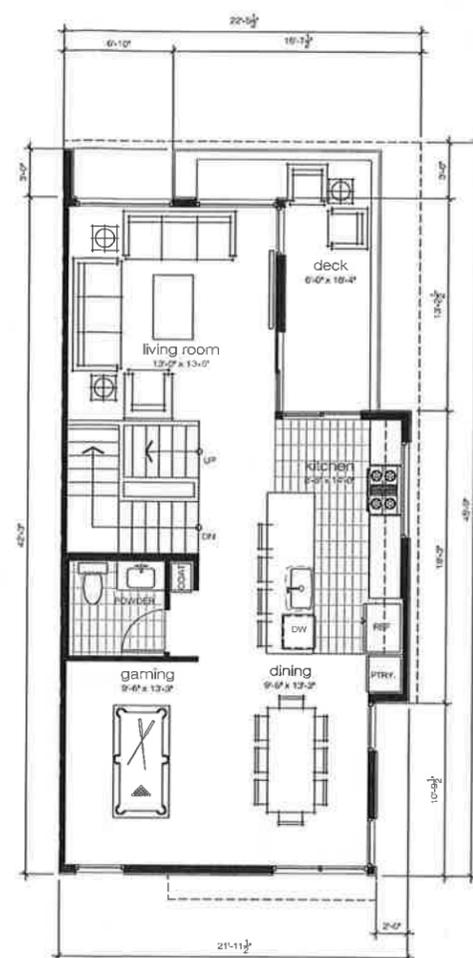




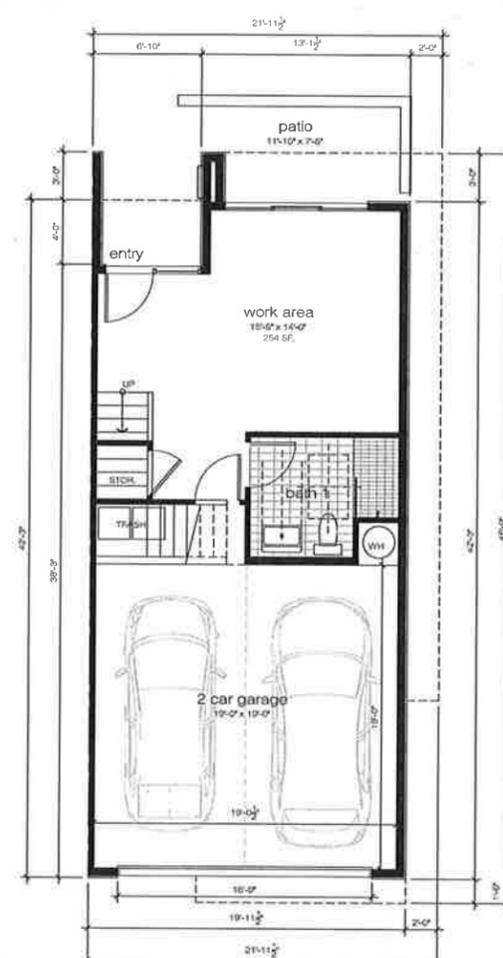
UNIT B - roof plan
 AREA: 33 sf
 ROOF DECK: 720 sf



UNIT B - third floor plan
 AREA: 896 sf



UNIT B - second floor plan
 AREA: 718 sf
 DECK: 98 sf



UNIT B - first floor plan
 AREA: 352 sf
 DECK: 66 sf

UNIT B - ALTERNATE
 TOTAL AREA: 1,999 sf
 TOTAL PATIO / DECK: 164 sf
 TOTAL ROOF DECK: 720 sf

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA

JULY 31, 2013



UNIT PLANS
 UNIT B
 17th ST. + SUPERIOR LIVE / WORK

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 REV. 10/11 3/16/13 10/13





HARDSCAPE LEGEND

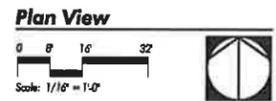
1. Entry Monument Wall with Water Feature
2. Shaded Social Seating Area
3. Seat Wall
4. Low Wall with Horizontal Wood Fencing
5. Central Water Wall
6. Patio Wall with Sliding Gate
7. Social Space Under Overhead Structure
8. Turf Area
9. Enhanced Pedestrian Paving
10. Permeable Pavers (50% Max of Drivable Area)
11. Curb Adjacent Sidewalk
12. Outdoor Furniture
13. Planting Pockets
14. Asphalt

PLANTING LEGEND

Symbol	Botanical Name (Common Name)	Size
TREES		
	<i>Agonis flexuosa</i> (Peppermint Willow)	36" box
	<i>Platanus racemosa</i> (California Sycamore)	36" box
	<i>Jacaranda mimosifolia</i> (Jacaranda)	36" box
	<i>Phoenix dactylifera</i> (Date Palm)	20' bfh
	<i>Lagerstroemia Indica</i> (Crape Myrtle)	24" box
	<i>Melastideros excelsa</i> (Pōhutukawa)	24" box
	<i>Prunus cerasifera</i> (Purple Leaf Plum)	24" box
	<i>Cassia leptophylla</i> (Golden Medallion Tree)	24" box
	<i>Platanus racemosa</i> (California Sycamore)	24" box
	<i>Prunus cerasifera</i> (Purple Leaf Plum)	24" box
	<i>Bambusa sp.</i> (Bamboo)	15 gal.
	<i>Ginkgo biloba</i> (Maidenhair Tree)	15 gal.
	<i>Prunus caroliniana</i> (Carolina Cherry Laurel)	15 gal.
	<i>Tristania conferta</i> (Brisbane Box)	15 gal.
	<i>Pittosporum tenuifolium</i> (Kohuhu)	15 gal.
	<i>Cupressus sempervirens</i> (Italian Cypress)	24" box
	<i>Podocarpus macrophyllus</i> (Yew Podocarpus)	15 gal.



Vicinity Map
Not to Scale



17th St. + Superior Live/Work

Preliminary Landscape Plan

Job no: INT-02
July 15, 2013

Prepared for:
INTRACORP COMPANIES
4041 MacArthur Blvd. Suite 250 Newport Beach, CA 92660

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TWO