

**ATTACHMENT 5  
SEPTEMBER 8, 2014 PLANNING  
COMMISSION STAFF REPORT AND  
RELATED ATTACHMENTS**



# **PLANNING COMMISSION**

## **AGENDA REPORT**

MEETING DATE: SEPTEMBER 8, 2014

ITEM NUMBER: PH-3

**SUBJECT:** PLANNING APPLICATION PA-88-134 A2: SECOND AMENDMENT FOR THE ORANGE COAST BUICK/GMC/CADILLAC DEALERSHIP LOCATED AT 2600 HARBOR BOULEVARD

**DATE:** AUGUST 28, 2014

**FROM:** PLANNING DEPARTMENT/DEVELOPMENT SERVICES DIVISION

**PRESENTATION BY:** MEL LEE, SENIOR PLANNER

**FOR FURTHER INFORMATION CONTACT:** MEL LEE, AICP (714) 754-5611  
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### **DESCRIPTION**

1. Second amendment to Planning Application PA-88-134 for the Orange Coast Buick/GMC/Cadillac dealership to construct a 34,000 square foot second floor parking deck over a portion of the previously permitted 52,779 square foot automotive dealership building, as well as a portion of the proposed parking lot, for storage of vehicle inventory.
2. Administrative adjustment to deviate from rear yard setback requirements for the proposed second floor parking deck (50-foot rear yard setback required; 32-foot setback proposed). A previous variance for a 0 foot rear setback was approved under PA-88-134. A 32-foot rear yard setback for the dealership building was approved under PA-88-134 A1.
3. Consideration of a Planned Sign Program for the following signage: Remove the existing 40-foot high freestanding sign and replace with two new freestanding signs, one 36 feet in height and the other 23 feet in height. The two proposed freestanding signs are separated by approximately 190 feet. The overall square footage of the proposed freestanding and wall signs complies with the Costa Mesa Municipal Code (CCMC). The overall square footage of freestanding and wall signs is 442 sq. ft.

This project was continued from the July 14, 2014 Planning Commission agenda to allow time for community outreach and revisions to the project.

**APPLICANT**

Dennis J. Flynn Architects, Inc. is the authorized agent for the property owner.

**RECOMMENDATION**

Staff recommends the following to the Planning Commission:

1. Find that the project is exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15332 (In-Fill Development).
2. Approve the proposed revisions, with conditions, by adoption of the attached Planning Commission resolution.

**PLANNING APPLICATION SUMMARY**

Location: 2600 Harbor Blvd. Application: PA-88-134 A2

Request: Second amendment to a Conditional Use Permit for a new automotive dealership to accommodate a 34,000 SF second level parking deck for GMC/Buick/Cadillac and a Planned Sign Program for new signage.

**SUBJECT PROPERTY:**

**SURROUNDING PROPERTY:**

Zone: C1 North: (Acr. Merrimac Wy.) R2-MD, car dealership  
 General Plan: General Commercial South: (Acr. Princeton Dr.) R1, single family homes  
 Lot Dimensions: 352 FT X 443 FT East: R3, apartment project  
 Lot Area: 178,603 SF (4.1 AC) West: (Acr. Harbor Blvd.) PDR-HD, apartment project  
 Existing Development: 52,779 SF Car Dealership (Under Construction)

**DEVELOPMENT STANDARD COMPARISON**

<u>Development Standard</u>	<u>Required/Allowed</u>	<u>Proposed/Provided</u>
<b>Lot Size:</b>		
Lot Width	120 FT	352 FT
Lot Area	12,000 SF	178,603 SF (4.1 AC)
<b>Floor Area Ratio:</b>		
Moderate Traffic FAR	.30 (53,581 SF)	.29 (52,779 SF) (1)
<b>Building Height:</b>		
	2 Stories/30 FT	2 Stories/25 FT
Interior landscaping	5,275 SF	5,625 SF
<b>Setbacks (Buildings):</b>		
Front (Harbor Blvd.)	20 FT	97 FT
Side (left/right)	15 FT/50 FT	54 FT/52 FT
Rear	50 FT	32 FT (2)
<b>Setbacks (Landscaping):</b>		
Front (Harbor Blvd.)	20 FT	5.5 FT (2)
Side (left – Merrimac Wy.)	15 FT	3 FT to 5 FT (2)
Rear	NA	NA
<b>Parking</b>		
TOTAL	211 Spaces	359 Spaces (211 Vehicle Display, Customer and Employee Parking Spaces Plus 148 Spaces on the Second Floor Parking Deck)

(1) The proposed parking deck is not included in FAR calculation because it is not enclosed.

(2) Previous deviations approved under PA-88-134 and PA-88-134 A1.

CEQA Status Exempt, Class 32 (In-Fill Development)  
 Final Action Planning Commission

## **BACKGROUND**

### ***Project Site/Environs***

The property is located on the southeast corner of Harbor Boulevard and Merrimac Way and is approximately 4.1 acres in size. The property is zoned C1 (Local Business District) and has a General Plan Designation of General Commercial. The site previously contained an approximately 52,000 square foot automotive dealership (Orange Coast Buick/GMC/Cadillac) consisting of vehicle sales and service, as well as outdoor vehicle display and storage. These improvements were demolished to make way for a new 52,779 square foot automotive dealership for Orange Coast Buick/GMC/Cadillac, which is currently under construction. The site abuts single-family residential (R1) zoned properties to the south (along Princeton Drive) and a multiple-family residential (R3) zoned property to the east (along Merrimac Way).

### ***Prior Land Use Approvals PA-88-134 and PA-88-134 A1***

#### ***Planning Application PA-88-134***

Conditional Use Permit to construct an additional 4,700 square feet to the existing 47,300 square foot auto dealership building (approximately 52,000 square feet total) with variances from fence height and front, rear, and side setbacks on the property, as well as a lot line adjustment for the property, was approved by the Planning Commission on September 12, 1988. This planning application reflects the development on the property until the demolition of the old dealership.

#### ***Planning Application PA-88-134 A1***

Amendment to Planning Application PA-88-134 for the existing Orange Coast Buick/GMC/Cadillac dealership in conjunction with the demolition of the former automotive dealership buildings and the construction of a new 52,779 square foot automotive dealership with vehicle sales and service, which was approved by the Zoning Administrator on October 10, 2013, and is currently under construction.

### ***Second Amendment to Planning Application PA-88-134(A2)***

The current request is a second amendment to Planning Application PA-88-134 for the Orange Coast Buick/GMC/Cadillac dealership to construct a 34,000 square foot second floor parking deck over a portion of the previously permitted 52,779 square foot automotive dealership building, as well as a portion of the proposed parking lot, for storage of vehicle inventory.

Normally, requests to modify a planning application, in this case, the 1988 conditional use permit for the auto dealership, may be approved by the Zoning Administrator, which was the case for the first amendment (PA-88-134 A1); however, because the proposed second-story parking deck has the potential to affect the abutting residential properties,

the request was brought forward to the July 14, 2014 Planning Commission meeting for consideration as a public hearing item.

### ***July 14, 2014 Planning Commission Meeting***

The July 14, 2014 staff report prepared by staff recommended approval of the revised project based on the following:

- The current operating conditions of approval and/or mitigation measures approved for PA-88-134 and PA-88-134 A1 will continue to be complied with.
- The proposed development is consistent with the uses allowed in the C1 zone and is within the permitted floor area ratio (FAR) for the site.
- The project replaces an outdated auto dealership with a modern facility per General Motors current image standards for their product brands. Perimeter fencing adjacent to residential properties will be required to be a block wall at a minimum of 8 feet in height.
- The project will comply with CCMC-required parking. CCMC requires a total of 211 parking spaces for this development; the submitted plans indicate 359 parking spaces, including the proposed deck.
- The applicant will provide, at their expense, two entry signs, identifying the "College Park" residential neighborhood, at the corner of Harbor Boulevard and Princeton Drive.

A more detailed discussion of the above is contained in the July 14, 2014 Planning Commission staff report attached to this report (Attachment No. 7).

At the July 14, 2014 Planning Commission meeting, 14 persons spoke in opposition to the project. A summary of the concerns raised by the persons who spoke included the following:

- The proposed parking deck would have a negative effect on the adjacent residential properties due to additional light and glare, as well as adverse noise and privacy impacts.
- The ongoing construction has resulted in property damage to the residential properties abutting the project site, as well as the loss of life of a family pet due to an unsecured construction fence.
- Accurate renderings showing the view of the project from the nearby residences were requested.
- Concerns about cut-through traffic in residential neighborhoods and test driving of vehicles on adjacent residential streets were raised.

The above issues are only a summary of the issues raised by the neighbors. A more detailed discussion of the issues can be found in the meeting minutes on the City's website at [www.costamesaca.gov](http://www.costamesaca.gov).

## **FOLLOW UP TO ISSUES RAISED DURING THE JULY 14, 2014 PLANNING COMMISSION MEETING**

On Friday, August 22, 2014 the applicant's representative met with 15 residents in the area and presented the following solutions to the issues raised above.

- Construct a 27-foot high wall with living plant material to screen the parking deck elevation facing abutting single-family residential properties.
- Plant *Tristania Conferta* ("Brisbane Box") evergreen trees 10 feet on center within the landscape buffer proposed adjacent to the residences that will grow to a height of 25 feet within 10 years.
- Setback the light fixtures on the parking deck 52 feet from the edge of the deck (106 feet total from the adjacent single-family residential property line) and lower the proposed light fixture height from 15 feet to 12 feet in height.
- Provided more accurate "before and after" renderings of the proposed project from various angles of the adjacent residential properties.
- Prohibit employees and customers from smoking or loitering in the southerly portion of the property (nearest to single-family residential).
- Provide a traffic plan to Planning staff identifying where employees will and will not be allowed to drive test vehicles from the dealership.

The revised exhibits showing the above mentioned changes, with the exception of the traffic plan, are reflected in Attachment No. 4.

Per the request of the Planning Commission, the past Code Enforcement Cases from July 2008 to March 2014 and calls for police service from July 2012 to July 2014 are attached to this report for reference (Attachment No. 6). In six years there have been 5 code enforcement cases, all were resolved successfully and closed. The vast majority of the police calls for service since 2012 have been for parking violations and medical aid along with a variety of other causes.

### **PROPOSED PLANNED SIGN PROGRAM**

As noted earlier, the applicant is proposing a Planned Sign Program for the project. The purpose of this program is to allow for approval of a comprehensive sign plan that is not subject to the typical code requirements. The proposed plan includes: the removal of an existing 40-foot high freestanding sign currently located midblock of the property along the Harbor Boulevard frontage and replacing it with two new freestanding signs. The first one is proposed to be 36 feet in height, to be located at the corner of Harbor Boulevard and Merrimac Way; and the other proposed to be 23 feet in height, in approximately the current location of the existing 40 foot high freestanding sign. Both signs are located within 200 feet of residentially-zoned properties across Harbor Boulevard and Merrimac Way<sup>1</sup>. The two proposed freestanding signs are separated by

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<sup>1</sup> The property across Harbor Bl. is zoned PDR-HD and contains an apartment complex (Harbor Village Apartments); the property across Merrimac Way, which contains the interim GMC/Cadillac Dealership, was rezoned to R2-MD in 2011 as part of a proposed 33-unit detached residential development.

approximately 190 feet. The overall square footage of freestanding and wall signs complies with code (442 sq. ft. proposed). The design of the signage is consistent with General Motors current image standards for their product brands

The criteria for approval of a Planned Sign Program include the following:

- The proposed signing is consistent with the intent of Chapter VIII (Sign Code) and the General Plan.
- The proposed signs are consistent with each other in design and construction - taking into account sign style and shape, materials, letter style, colors, and illumination.
- The proposed signs are compatible with the buildings and developments they identify - taking into account materials, colors, and design motif.
- Approval does not constitute a grant of special privilege or allow substantially greater visibility than what the standard sign provisions would allow.

Staff is in support of the proposed signage with the recommendation that the proposed 36-foot high freestanding sign also be 23 feet in height similar to the proposed mid-block sign. With the proposed changes the signage will comply with the intent of the CCMC with regard to signs based on the following:

1. On the City's Master Plan of Highways, Harbor Boulevard is designated as a Major Street ( $\pm 104$  feet in width) and the proposed signage provides adequate visibility for two-way traffic on Harbor Boulevard for the dealership.
2. Freestanding sign(s) higher than 23 feet would not improve the visibility of the site for vehicles coming to or leaving from the site.
3. Because the freestanding signs will be illuminated, a sign taller than 23 feet would create additional light and glare impacts on surrounding properties.
4. The freestanding signs will be consistent in color, height, and appearance. The signage is consistent with General Motors current image standards for their product brands as well as with the intent of the CCMC.
5. Auto dealerships, by their nature, involve large and specific purchases of products with a customer base spread over a large geographical area. As a result, the signage will not constitute a grant of special privilege since it is consistent with the signage for similar auto dealerships along Harbor Boulevard. Additionally, it will not allow substantially greater visibility than what the standard sign provisions would allow for auto dealerships since the overall signage is less than the maximum allowed under CCMC.

It should also be noted that the existing 40-foot high sign is legal nonconforming and is permitted to remain as long it is not removed or substantially altered.

## **ENVIRONMENTAL DETERMINATION**

The project is exempt from the provisions of the California Environmental Quality Act under Section 15332 for In-Fill Development. This project site is less than five acres (4.1 acres total) and the development is in compliance with the City's General Plan and zoning designation. The project also complies with the requirements for inclusion under this exemption because:

- The project is consistent with the applicable General Plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- The proposed development occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses.
- The project site has no value as a habitat for endangered, rare, or threatened species.
- Approval of the project would not result in any significant effects related to traffic, noise, air quality, or water quality.
- The site can be adequately served by all required utilities and public services.

## **GENERAL PLAN CONFORMITY**

The project, as conditioned, conforms to the City's General Plan. The project complies with General Plan Land Use Objective LU-1F.5: to provide opportunities for the development of well-planned and designed projects which, through vertical or horizontal integration, provide for the development of compatible commercial uses within a single project or neighborhood. The project also complies with the uses and development as allowed per the General Commercial designation of the property and the maximum allowable Floor Area Ratio (FAR).

## **LEGAL REVIEW**

The City Attorney has reviewed the proposed resolution and it has been approved as to the form by the City Attorney's Office.

## **ALTERNATIVES**

The Planning Commission has the following alternative:

1. Deny the project as revised. If the project were denied, the applicant could not submit substantially the same type of application for six months. The applicant can continue with the construction of the new dealership building, without the deck, as approved under PA-88-134 A1.



MEL LEE, AICP  
Senior Planner



JERRY GUARRACINO, AICP  
Interim Assistant Director of  
Development Services

Distribution: Director of Economic & Development/Deputy CEO  
Assistant Development Services Director  
Interim Assistant Development Services Director  
Senior Deputy City Attorney  
Public Services Director  
City Engineer  
Transportation Services Manager  
Fire Protection Analyst  
Staff (6)  
File (2)

Distribution list including persons who spoke at the July 14, 2014 Planning Commission meeting

- Attachments:
1. Draft Approval Resolution
  2. Public Correspondence From the July 14, 2014 PC Meeting
  3. Location Maps
  4. Applicant's Revised Project Description and Exhibits (Parking Deck)
  5. Applicant's Project Description and Exhibits (Proposed Signs)
  6. Summary of Code Enforcement Cases and Calls for Police Service for 2600 Harbor Boulevard
  7. Staff Report, Plans and Exhibits From the July 14, 2014 PC Meeting

**ATTACHMENT 1  
DRAFT RESOLUTION**

**RESOLUTION NO. PC-14-**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING PLANNING APPLICATION PA-88-134 A2, SECOND AMENDMENT OF THE CONDITIONAL USE PERMIT AND PLANNED SIGN PROGRAM FOR THE ORANGE COAST BUICK/GMC/CADILLAC DEALERSHIP LOCATED AT 2600 HARBOR BOULEVARD**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Dennis J. Flynn Architects, Inc, authorized agent for the owner of real property located at 2600 Harbor Boulevard, for the following:

- a) Second amendment to Planning Application PA-88-134 for the Orange Coast Buick/GMC/Cadillac dealership to construct a 34,000 square foot second floor parking deck over a portion of the previously permitted 52,779 square foot automotive dealership building, as well as a portion of the proposed parking lot, for storage of vehicle inventory.
- b) Administrative adjustment to deviate from rear yard setback requirements for the proposed second floor parking deck (50-foot rear yard setback required; 32-foot setback proposed). A previous variance for a zero-foot rear setback was approved under PA-88-134. A 32-foot rear yard setback for the dealership building was approved under PA-88-134 A1.
- c) Consideration of a Planned Sign Program for the following signage: Remove the existing 40-foot high freestanding sign and replace with two new freestanding signs. The two proposed freestanding signs are separated by approximately 190 feet. The overall square footage of the proposed freestanding and wall signs complies with code. The overall square footage of freestanding and wall signs is 442 sq. ft.

WHEREAS, duly noticed public hearings were held by the Planning Commission on July 14, 2014, and September 8, 2014 with all persons having the opportunity to speak and be heard for and against the proposal.

WHEREAS, the project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines; and the City environmental procedures, and has been found to be exempt from CEQA under Section 15332 for New Construction.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A and subject to the conditions of approval contained within Exhibit B, the Planning Commission hereby **APPROVES** Planning Application PA-88-134 A2.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-88-134 A2 and upon applicant's compliance with each and all of the conditions in Exhibit B, and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the project, or if the applicant fails to comply with any of the conditions of approval.

BE IT FURTHER RESOLVED that if any section, division, sentence, clause, phrase or portion of this resolution, or the documents in the record in support of this resolution, are for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

**PASSED AND ADOPTED this 8th day of September, 2014.**

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Jim Fitzpatrick Chair,  
Costa Mesa Planning Commission



## EXHIBIT A

### FINDINGS

- A. The proposed project complies with Costa Mesa Municipal Code Section 13-29(e) because:

**Required Finding:** A compatible and harmonious relationship exists between the proposed use and existing buildings, site development, and uses that exist or have been approved for the general neighborhoods.

**Response:** With the implementation of the recommended conditions of approval, the proposed project will be compatible and harmonious with uses that exist within the general neighborhood. The project features quality construction and materials. The proposed site improvements and upgrades will improve and enhance the appearance of the property from Harbor Boulevard. Interface of the project with abutting residential uses per the conditions of approval for PA-88-134 A1 require permanent masonry walls a minimum height of 8 feet height as well as a landscape buffer for all of the abutting homes south of the property line.

**Required Finding:** Safety and compatibility of the design of the parking areas, landscaping, luminaries, and other site features including functional aspects of the site development such as automobile and pedestrian circulation have been considered.

**Response:** The on-site parking for the project exceeds the amount required by code, which requires a total of 211 parking spaces for this development; the submitted plans indicate 359 parking spaces, including the proposed deck. New light standards near residential properties will be required to be located and oriented in such a way as to minimize light spillage onto surrounding properties. This includes the light standards proposed for the parking deck.

**Required Finding:** The use complies with performance standards as prescribed elsewhere in the Zoning Code.

**Response:** The project complies with the intent of the City's Zoning Code as it pertains to building height, setbacks, and on-site landscaping, and complies with the intent of the Zoning Code as it pertains to on-site parking spaces and overall project Floor Area Ratio (FAR).

**Required Finding:** The use is consistent with the General Plan.

**Response:** Because the project is required to be operated in compliance with the recommended conditions of approval, the project would conform to the City's General Plan. The specific General Plan objective with which the proposed project compiles are the following:

- Land Use Objective LU-1F.5: Provide opportunities for the development of well-planned and designed projects which, through vertical or horizontal integration, provide for the development of compatible commercial uses

within a single project or neighborhood. Specifically, the proposed development is consistent with the uses allowed in the C1 zone and is within the permitted floor area ratio (FAR) for the site. The project replaces an outdated auto dealership with a modern facility per General Motors current image standards for their product brands. Perimeter fencing adjacent to residential properties will be required to be a block wall at a minimum of 8 feet in height. The project will comply with Code-required parking. Code requires a total of 211 parking spaces for this development; the submitted plans indicate 359 parking spaces, including the proposed deck.

**Required Finding:** The cumulative effect of all the planning applications have been considered.

**Response:** The cumulative effects of the previous conditional use permits for this site (PA-88-134 and PA-88-134 A1) have all been considered for this project and incorporated as conditions of approval for PA-88-134 A2 where appropriate.

- B. The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(2) because:

**Required Finding:** The proposed development or use is substantially compatible with developments in the same general area and would not be materially detrimental to other properties within the area.

**Response:** The current proposal involves the construction of a new second-story vehicle parking deck; however, unlike the deck that was demolished, which was on the property line, the proposed structure will be set back 52 feet from the property line with the single-family residences to the south, and exceeds the 50-foot setback required by Code (two times the height of the structure, which is 25 feet, 4 inches in height). Per the conditions of approval for PA-88-134 A1, permanent masonry walls a minimum height of 8 feet are required along the perimeter interior side and rear property lines. Additionally, the landscape planter along the side (south) property line, adjacent to the single family residences along Princeton Drive, will be extended the full length of the side property line to provide a landscape buffer for all of the abutting homes south of the property line. The landscape buffer will also be required to be densely planted with trees placed 10-feet on center. Additionally, a green wall will be constructed to screen the parking deck from the residential uses on Princeton Drive, and the setback of the light fixtures on the parking deck will be 52 feet from the edge of the deck (106 feet total from the adjacent single-family residential property line) and lowered from 15 feet to 12 feet in height. The proposed development, with the recommended conditions of approval, will be compatible with the other uses in the immediate vicinity. Compliance with the conditions of approval will allow this use to operate with minimal impact on surrounding properties and uses.

**Required Finding:** Granting the conditional use permit will not be materially

detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood.

**Response:** The development will be required to comply with all applicable California Building and Fire Code requirements to ensure the development is not materially detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood

**Required Finding:** Granting the conditional use permit or minor conditional use permit will not allow a use, density or intensity which is not in accordance with the general plan designation and any applicable specific plan for the property.

**Response:** The project site is zoned C1 (Local Business District) and has a General Plan Designation of General Commercial. The project complies with the intent of the City's Zoning Code as it pertains to building height, setbacks, and on-site landscaping and parking, and complies with the intent of the Zoning Code as it pertains to on-site parking spaces and the General Plan as it pertains to overall project Floor Area Ratio (FAR).

- C. The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(8) because:

**Required Finding:** The proposed signing is consistent with the intent of Chapter VIII (Sign Code) and the General Plan.

**Response:** The purpose of this program is to allow for approval of a comprehensive sign plan that is not subject to the typical code requirements. The proposed plan includes: the removal of an existing 40-foot high freestanding sign currently located midblock of the property along the Harbor Boulevard frontage and replacing it with two new freestanding signs 23 feet in height. The square footage of the total site signage will not exceed the maximum allowed under the CCMC. On the City's Master Plan of Highways, Harbor Boulevard is designated as a Major Street ( $\pm 104$  feet in width) and the proposed signage provides adequate visibility for two-way traffic on Harbor Boulevard for the dealership. Freestanding sign(s) higher than 23 feet would not improve the visibility of the site for vehicles coming to or leaving from the site. Because the freestanding signs will be illuminated, a sign taller than 23 feet would create additional light and glare impacts on surrounding properties.

**Required Finding:** The proposed signs are consistent with each other in design and construction - taking into account sign style and shape, materials, letter style, colors, and illumination.

**Response:** The freestanding signs, as conditioned, will be consistent in color, height, and appearance. The remaining signage is consistent with General Motors current image standards for their product brands as well as the CCMC.

**Required Finding:** The proposed signs are compatible with the buildings and developments they identify - taking into account materials, colors, and design motif.

**Response:** As noted earlier, the remaining signage is consistent with General Motors current image standards for their product brands as well as the CCMC.

**Required Finding:** Approval does not constitute a grant of special privilege or allow substantially greater visibility than what the standard sign provisions would allow.

**Response:** Auto dealerships, by their nature, involve large and specific purchases of products with a customer base spread over a large geographical area. As a result, the signage will not constitute a grant of special privilege since it is consistent with the signage for similar auto dealerships along Harbor Boulevard. Additionally, it will not allow substantially greater visibility than what the standard sign provisions would allow for auto dealerships since the overall signage is less than the maximum allowed under CCMC.

- D. The project, as conditioned, is consistent with Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code in that the development project's traffic impacts will be mitigated by the payment of traffic impact fees.
- E. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines and the City's environmental procedures, and has been found to be exempt from CEQA under Section 15332 for In-Fill Development. This project site is less than five acres (4.1 acres total) and the development is in compliance with the City's General Plan and zoning designation. The project also complies with the requirements for inclusion under this exemption because the project is consistent with the applicable General Plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. Further, the proposed development occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses. The project site has no value as a habitat for endangered, rare, or threatened species. Approval of the project would not result in any significant effects related to traffic, noise, air quality, or water quality and the site can be adequately served by all required utilities and public services
- F. Portions of the proposed building are an excessive distance from the street necessitating fire apparatus access and provisions for on-site fire hydrants.

## EXHIBIT B

### CONDITIONS OF APPROVAL

- Plng.
1. The conditions of approval, code requirements, and special district requirements of PA-88-134 A2 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
  2. These conditions shall supersede the conditions for PA-88-134 A1.
  3. The use shall be limited to the type of operation as described herein. Any change in the operational characteristics shall require review by the Planning Division and may require an amendment to the conditional use permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change. The applicant is reminded that Code allows the Planning Commission to modify or revoke any planning application based on findings related to public nuisance and/or noncompliance with conditions of approval [Title 13, Section 13-29(o)].
  4. The following operating conditions of approval and/or mitigation measures for PA-88-134 shall continue to be complied with:
    - a. Employees shall be instructed to park on-site and not on adjacent residential streets. Additionally, it shall be ensured that adequate customer parking exists on-site.
    - b. The landscape area within the 45-foot setback adjacent to Princeton Drive (including the four existing trees) shall continue to be maintained. The Development Services Director may approve modifications to this area to accommodate the proposed College Park Entry signage.
    - c. Trees and shrubs of a sufficient height, texture, and shape shall be installed and maintained in order to obscure the dealership from residences to the east and south.
    - d. Public address system with outdoor speakers shall be prohibited.
  5. Customer and employee parking areas shall be clearly delineated on the site plan and at the project site. If parking problems arise, the operator shall institute whatever operational measures are necessary to minimize or eliminate the problem including, but not limited to, reducing the number of vehicles displayed outdoors.
  6. Test driving of vehicles shall not occur on adjacent residential streets or within residential neighborhoods. The applicant shall provide an exhibit showing the test driving routes for approval by the Planning Division.
  7. The vehicle display area at the corner of Harbor Boulevard and Merrimac Way shall not encroach into the landscape setback area.
  8. The use shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood, including, but not limited to, excessive use of car alarms, employee honking horns, and the use of air compressors outside of buildings. The applicant and/or operator shall institute whatever security and operational measures are necessary to comply with this requirement.
  9. A copy of the conditions of approval for the conditional use permit must be kept on premises and presented to any authorized City official upon request. New business/property owners shall be notified of conditions of approval upon transfer

- of business or ownership of land.
10. The developer shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy. This inspection is to confirm that the Planning Division conditions of approval and code requirements have been satisfied.
  11. It is recommended that the project incorporate green building design and construction techniques where feasible. The applicant may contact the Building Safety Division at (714) 754-5273 for additional information.
  12. Demolition permits for existing structures shall be obtained and all work and inspections completed prior to final building inspections. Applicant is notified that written notice to the Air Quality Management District may be required ten (10) days prior to demolition.
  13. The subject property's ultimate finished grade level may not be filled/raised unless necessary to provide proper drainage, and in no case shall it be raised in excess of 30 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site stormwater flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties.
  14. Permanent masonry wall(s) shall be maintained or constructed along the perimeter interior side and rear property lines of the development lot at a minimum height of eight feet as measured from the highest adjacent grade. The perimeter walls shall have a finished quality on both sides. Where walls on adjacent properties already exist, the applicant shall work with the adjacent property owner(s) to prevent side-by-side walls with gaps in between them. The Development Services Director may approve other alternative design and opaque materials for the perimeter walls.
  15. The landscape setback areas along the street frontages shall be landscaped with trees and vegetation. The landscape plan shall be approved prior to issuance of building permits and shall contain 24-inch box trees to the satisfaction of the Development Services Director.
  16. The landscape planter along the side (south) property line, adjacent to the single family residences, shall be extended the full length of the property line to provide a landscape buffer for all of the abutting homes on this property line, and shall be a minimum of 5 feet in depth clear of the bumper overhang of parked vehicles. The landscape buffer shall also be densely landscaped, subject to the approval by the Development Services Director or designee.
  17. Permits shall be obtained for all signs according to the provisions of the Costa Mesa Sign Ordinance. Freestanding signs shall not exceed two (2) and shall not exceed 23 feet in height. Signs shall also be subject to review and approval by the Planning Division/Development Services Director to ensure compatibility in terms of size, height, and location with the proposed/existing development, and existing freestanding signs in the vicinity.

18. The lighting plan shall demonstrate compliance with the following:
  - a. Setback the light fixtures on the parking deck 52 feet from the edge of the deck (106 feet total from the adjacent single-family residential property line) and lower the proposed light fixture height from 15 feet to 12 feet in height.
  - b. The intensity and location of lights on buildings shall be limited to minimize nighttime light and glare to residents and shall be subject to the Development Services Director's approval.
  - c. All site lighting fixtures shall be provided with a flat glass lens. Photometric calculations shall indicate the effect of the flat glass lens fixture efficiency.
  - d. Lighting design and layout shall limit light spillage to no more than 0.5 foot-candles at the property line of the surrounding properties, consistent with the level of lighting that is determined necessary for safety and security purposes on site. Light standards near residential properties shall be located and oriented in such a way as to minimize light spillage onto surrounding properties.
  - e. The intensity of the parking deck lighting shall be reduced from 9:00 pm until dawn each day to minimize lighting impacts to surrounding properties.
19. No exterior roof access ladders, roof drain scuppers, or roof drain downspouts are permitted. This condition relates to visually prominent features of scuppers or downspouts that not only detract from the architecture but may be spilling water from overhead without an integrated gutter system which would typically channel the rainwater from the scupper/downspout to the ground. An integrated downspout/gutter system which is painted to match the building would comply with the condition. This condition shall be completed under the direction of the Planning Division.
20. Developer shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.
21. The developer shall provide, at their expense, two entry signs stating "College Park" at the corner of Harbor Boulevard and Princeton Drive to identify the College Park residential neighborhood. The final design and placement shall be subject to the approval of the Public Services and Transportation Services Divisions. The applicant shall continue to work with staff on finalizing the

signage, which will also require the approval of the owner of the 463 Princeton Drive property. If the owner of the property at 463 Princeton Drive does not approve installation of the sign on their property only the sign on the northeast corner will be required.

22. The applicant shall comply with the following additional conditions of approval as described in the staff report Dated September 8, 2014 and shown on the submitted exhibits:
  - a. Construct a 27-foot high wall with living plant material to screen the parking deck elevation facing abutting residential properties.
  - b. Plant *Tristania Conferta* ("Brisbane Box") evergreen trees 10 feet on center within the landscape buffer proposed adjacent to the residences that will grow to a height of 25 feet within 10 years.
  - c. Setback the light fixtures on the parking deck 52 feet from the edge of the deck (106 feet total from the residential property line) and lower the proposed light fixture height from 15 feet to 12 feet in height.
  - d. Prohibit employees and customers from smoking or loitering in the southerly portion of the property (nearest to residential).
  - e. Provide a traffic plan for approval by the Development Services and Public Services Directors that identifies where employees will and will not be allowed to drive test vehicles from the dealership.
- Eng. 23. Maintain the public right-of-way in a "wet-down" condition to prevent excessive dust and promptly remove any spillage from the public right-of-way by sweeping or sprinkling.
- Trans. 24. Remove existing street parking bays along the Harbor Boulevard frontage, construct new full height curb and gutter, and install new parkway landscaping under the direction of the Public Services Division/City Engineer.
25. Loading and unloading of vehicles delivered to the dealership shall be done on-site. Overlay turning templates and path of travel for trucks delivering vehicles on the site plan.
26. Loading and unloading of vehicles delivered to the dealership shall not occur adjacent to residential properties.

## **CODE REQUIREMENTS**

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- PIng. 1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
2. Approval of the zoning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) obtains demo permit(s), grading permit(s), or building permit(s) for the

- authorized construction and initiates construction; and/or 2) obtains a business license and/or legally establishes the business. If the applicant is unable to establish the use/obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the zoning application.
3. Street address shall be visible from the fascia adjacent to the main entrance or on another prominent location. Numerals shall be a minimum twelve (12) inches in height with not less than three-fourth-inch stroke and shall contrast sharply with the background. Identification of individual units shall be provided adjacent to the unit entrances. Letters or numerals shall be four (4) inches in height with not less than one-fourth-inch stroke and shall contrast sharply with the background.
  4. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Years Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
  5. Development shall comply with all requirements of Articles 3 and 9, Chapter V, Title 13 of the Costa Mesa Municipal Code relating to commercial development standards.
  6. All new on-site utility services shall be installed underground.
  7. Parking stalls shall be double-striped in accordance with City standards.
  8. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
  9. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
  10. Two (2) sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
  11. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
  12. Two (2) sets of landscape and irrigation plans, approved by the Planning Division, shall be attached to two of the final building plan sets.
  13. Existing mature trees shall be retained wherever possible. Should it be necessary to remove existing trees, the applicant shall submit a written request and justification to the Planning Division. A report from a California licensed arborist may be required as part of the justification. Replacement trees shall be of a size consistent with trees to be removed and may be required on a 1:1 basis. This requirement shall be completed

under the direction of the Planning Division.

14. Trash enclosure(s) or other acceptable means of trash disposal shall be provided. Design of trash enclosure(s) shall conform with City standards. Standard drawings are available from the Planning Division.
- Bldg. 15. Comply with the requirements of the 2013 California Building Code, 2013 California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
16. Submit grading plans, an erosion control plan, and a hydrology study for this project.
17. The applicant shall submit a soils report for this project. Soils report recommendation shall be blueprinted on both the architectural and grading plans.
18. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus 2 percent. 2010 California Building Code CBC 1808.7.4
19. The ground immediately adjacent to the foundation shall be sloped away from the building at a slope of not less than 5% for a minimum of 10 feet measured perpendicular to the face of the wall. CBC 1803.3.
20. Prior to or concurrent with the submittal of plans for plan check, the applicant shall prepare and submit documentation for compliance with the State Water Resources Control Board (SWRCB) Water Quality Order 99-08-DWQ; National Pollutant Discharge Elimination System (NPDES) Permit No. CAS000002 for Storm Water Discharges Associated with Construction Activity (General Permit); the California Regional Water Quality Control Board (RWQCB) Santa Ana Region Order No. R8-2002-0010 and NPDES Permit No. CAS618030; and, the City of Costa Mesa Ordinance No. 97-20 for compliance with NPDES Permit for the City of Costa Mesa. Such documentation shall include a Water Quality Management Plan (WQMP) identifying and detailing the implementation of the applicable Best Management Practices (BMPs).
- Eng. 21. For demolition, grading, or building permits involving projects with a valuation of \$10,000 or more, the contractor shall use a City-permitted hauler(s) to haul any debris or solid waste from the job site (refer to Section 8-83(h), Regulations, of Title 8 of the Costa Mesa Municipal Code). Use of a City-permitted hauler for such projects is the responsibility of the designated contractor. Non-compliance is subject to an administrative penalty as follows: \$1,000 or 3% of the total project

- value, whichever is greater.
22. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Cross lot drainage shall not occur. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
  23. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb and sidewalk.
  24. Fulfill City of Costa Mesa Drainage Ordinance No. 06-19 requirements prior to approval of Plans.
  25. The storm runoff study shall show existing and proposed facilities and the method of draining this area and tributary areas without exceeding the capacity of any street or drainage facility on-site or off-site.
  - Trans. 26. Fulfill mitigation of off-site traffic impacts at the time of issuance of occupancy by submitting to the Planning Division the required traffic impact fee pursuant to the prevailing schedule of charges adopted by the City Council. The traffic impact fee is calculated including credits for all existing uses. NOTE: The Traffic Impact Fee will be recalculated at the time of issuance of building permit/certificate of occupancy based upon any changes in the prevailing schedule of charges adopted by the City Council and in effect at that time.
  27. Close unused drive approaches with full height curb and gutter per City Standards.
  28. Parking spaces shall comply with City Standards.
  - Fire 29. Provide four Class A fire hydrants to be located per the direction of the Costa Mesa Fire Department. See Fire Prevention.
  30. Provide Fire Sprinkler System per the California Fire Code.
  31. Provide 12-inch addresses per Costa Mesa Fire Department standard.
  - Parks/  
Pkwys 32. Plant 24-inch box Pyrus calleryana "Aristocrat" in parkway landscape areas along the Merrimac Way frontage of the project site. The street side parking along Merrimac Way will remain. Where existing driveways are closed along Merrimac Way it will be replaced with parking and, where necessary, parkway.

### **SPECIAL DISTRICT REQUIREMENTS**

The requirements of the following special districts are hereby forwarded to the applicant:

- Sani 1. It is recommended that the developer contact the Costa Mesa Sanitary

- District at (949) 645-8400 to obtain Sanitary District requirements.
- AQMD 2. Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by the district.
- School 3. Pay applicable Newport Mesa Unified School District fees to the Building Division prior is issuance of building permits.
- State 4. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation.
- Water 5. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District.

**ATTACHMENT 2  
RELATED CORRESPONDENCE**

ATTN: Costa Mesa Planning Commission  
77 Fair Drive, Costa Mesa, CA 92626  
Chair: Jim Fitzpatrick  
Vice Chair: Robert Dickson  
Commissioners: Colin McCarthy, Jeff Mathews, and Tim Sesler

RE: PA-88-134 A2

September 6, 2014

Dear Costa Mesa Planning Commission,

This letter is to inform you of the following:

As per your carried motion in the Costa Mesa Planning Commission meeting on July 14, 2014 in regards to PA-88-134 A2, the community met with a paid representative of the applicant on August 22<sup>nd</sup> at 6:30 pm at the home of Peggy Engard at 448 Princeton Drive. In attendance were 14+ homeowners, a legal representative for the homeowners, and Mr. Peter Naghavi (applicant's representative). The meeting was also audibly recorded with the verbal consent of all present.

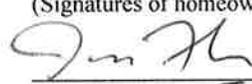
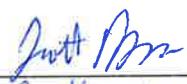
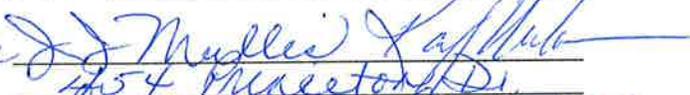
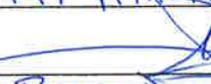
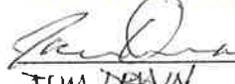
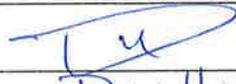
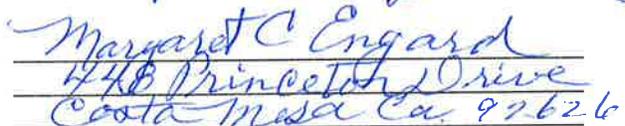
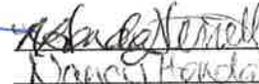
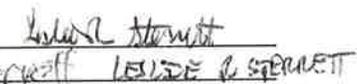
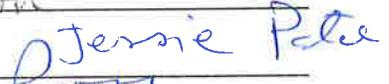
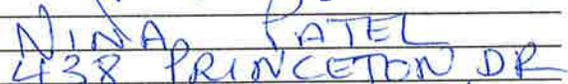
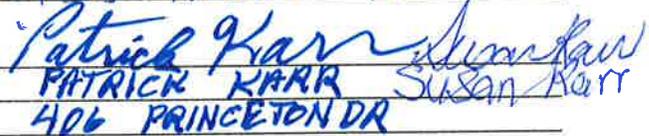
Mr. Naghavi presented the applicant's revisions to the plans for PA-88-134 A2 including drawings and renderings. The homeowners asked questions and Mr. Naghavi answered them to the best of his knowledge. At the conclusion of the meeting and with everyone still present, there were two votes taken amongst the homeowners:

1. Is anyone in favor of any entry monument wall(s) at the west end of Princeton Drive?  
**Vote results: Unanimous vote of NO**
2. Is anyone in favor of the revisions to PA-88-134 A2 that have been presented today or in favor of the original plans for PA-88-134 A2? **Vote results: Unanimous vote of NO**

Witnessed by:   
Christi McGowan  
Bienert, Miller, & Katzman PLC

Digitally signed by Christi McGowan  
DN: cn=Christi McGowan, o=ML  
e=christi.mcgowan@bienertmiller.com, c=US  
Date: 2014.09.07 15:46:44 -0700

Sincerely,  
(Signatures of homeowners)

 James Fowler 463 Princeton, Costa Mesa, 92626	 Scott Nguyen 458 Princeton Dr. Costa Mesa CA 92626
 Norman E. Rutledge 453 Princeton St Costa Mesa CA 92626	 J.J. Muller 454 Princeton Dr Costa Mesa, CA 92626
 Jeff Shearer 447 Princeton Dr.	 Bridgette Katerigan 447 Princeton Dr.
 Brad Dorr 437 Princeton Dr.	 Jennifer Dorr 437 Princeton Dr.
 Jim Drain 427 Princeton Dr.	 Teresa Drain 427 Princeton Dr.
 Dan Hoter 2585 Green Bluff Ct 92626	 Margaret C Engard 448 Princeton Drive Costa Mesa Ca 92626
	 Nancy Handa 444 Princeton
	 Leslie & Stenett 444 Princeton
	 Jessie Peter
	 Nina Patel 438 Princeton Dr
	 Patrick Karr 406 Princeton Dr











To: Costa Mesa Planning Commission  
77 Fair Drive, Costa Mesa, CA 92626  
Planning Division (714) 754-5245, Fax (714) 754-4856  
PlanningCommission@costamesaca.gov

Attn: Chair: Jim Fitzpatrick  
Vice Chair: Robert Dickson  
Commissioners: Colin McCarthy, Jeff Mathews, and Tim Sesler

Re: Second Amendment to Planning Application No.: PA-88-134 A2  
Applicant: Dennis Flynn Architects  
Site Address: 2600 Harbor Boulevard  
Zone: C1

Project: Orange Coast Buick/GMC/Cadillac:

Hearing Date: Monday, September 8, 2014, Meeting begins at 6:00 p.m. in the Council Chambers

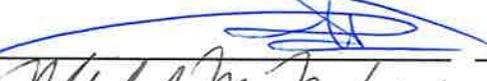
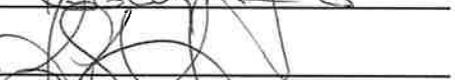
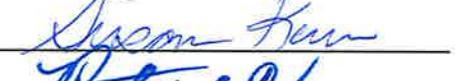
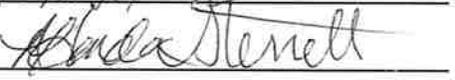
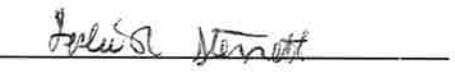
I am a resident of College Park and do not support the expansion plans for the Orange Coast Buick GMC Cadillac:

1. To construct a 34,000 square foot second floor parking deck over the previously permitted 52,779 square foot automotive dealership building, as well as a portion of the proposed parking lot.
2. Administrative adjustment to deviate from rear yard setback requirements for the second floor parking deck (50-foot rear yard setback; 32-foot setback proposed).

Signature:

date:

address:

	9/7/14	427 Princeton Dr.
	9/7/14	427 PRINCETON DR
	9/7/14	437 PRINCETON DR
	9/7/14	2579 Oxford Lane
	9/7/14	2579 Oxford Lane
	9/7/14	375 Princeton Dr.
	9/7/14	384 PRINCETON DR.
	9/7/14	388 Princeton Dr.
	9/7/14	388 PRINCETON DR
	9/7/14	406 Princeton
	9/7/14	406 PRINCETON
	9-7-14	2585 CRENSHAW LN
	9-7-14	437 Princeton Dr
	9-7-14	437 Princeton DR
	9-7-14	442 Princeton Dr
	9-7-14	442 PRINCETON DR

To: Costa Mesa Planning Commission  
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Planning Division (714) 754-5245, Fax (714) 754-4856  
PlanningCommission@costamesaca.gov

Attn: Chair: Jim Fitzpatrick  
Vice Chair: Robert Dickson  
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Applicant: Dennis Flynn Architects  
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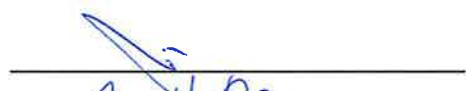
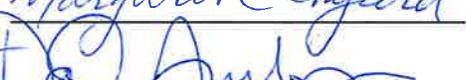
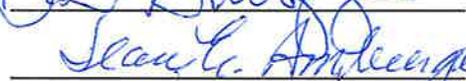
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2. Administrative adjustment to deviate from rear yard setback requirements for the second floor parking deck (50-foot rear yard setback; 32-foot setback proposed).

Signature: date: address:

	9-7-14	438 PRINCETON DR
	9-8-14	458 Princeton Dr. COSTA MESA, CA 92626
	9-8-14	451 Princeton Dr. Costa Mesa
Margaret C Engard	9-8-14	448 Princeton Dr. 92626
	9-8-14	2574 CARNEGIE
Sean L. Andriengoy	9/8/14	2574 Carnegie Ave O.M.
	9/8/14	2568 Carnegie Ave.
Carole W. Call	9/8/14	2568 Carnegie Ave
Charlie Peters	9/8/14	426 Bucknell Rd. 92626
Arnell Hce	9/8/14	426 Princeton Dr.
Sean J. [unclear]	9/8/14	422 Princeton Dr. 92626
	9/8/14	422 Princeton Dr. 92626
Conn [unclear]	9/8/14	416 Princeton Drive
Michael A. [unclear]	9/8/14	441 Princeton Dr.
Stacy [unclear]	9/8/14	441 Princeton Dr. 92626
	9/8/14	441 Princeton Dr. 92626

To: Costa Mesa Planning Commission  
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Signature:	date:	address:
<i>Ronald Chamberlain</i>	9-8-14	412 PRINCETON DR. C.M.
<i>John Chamberlain</i>	9-8-14	412 Princeton Dr. C.M.

PH 2

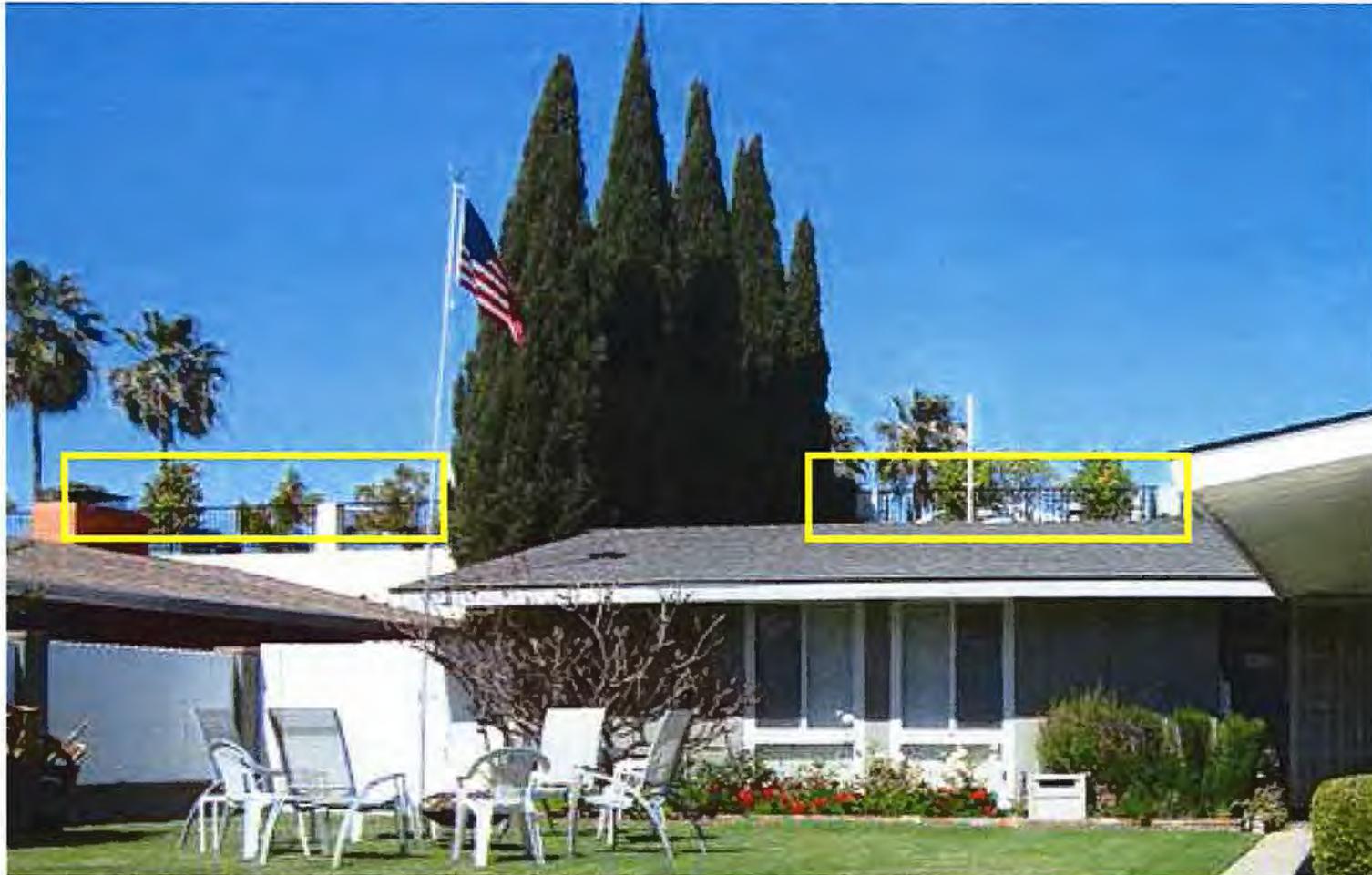
# Planning Commission September 8, 2014

JJ & Karl Mullis  
454 Princeton Drive

# Previous



# Previous dealership idea of lush landscape after 20 years



# 454 Princeton - Existing



Existing - from  
behind house



Existing - mound  
of dirt behind  
fence on Harbor



Existing from  
living room



Existing from  
bedroom



COLGAN, JULIE

---

**From:** Nina Patel <goshiva@pacbell.net>  
**Sent:** Thursday, July 10, 2014 3:14 PM  
**To:** LEE, MEL  
**Cc:** PLANNING COMMISSION  
**Subject:** Orange Coast Dealership Renovation

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Mel,

I have lived at 438 Princeton Dr for over 15 years. I love my home, neighborhood and city. However, I am highly concerned and unhappy about the potential development of the Orange Coast dealership on Harbor Blvd. My home shares a wall with the dealership. Over the years, Ive dealt with the previous dealerships speaker system, bodyshop and service station noise and debris but I've been okay with it.

I recently was informed by my neighbor that the remodel includes a two story building across the entire property. This I am not okay with. I find this to be threatening to my privacy and takes away from our beautiful residential neighborhood. I do not feel comfortable knowing that a local business can potential look into my property, and I'm not comfortable with the hazardous material that will be used to construct the building which will ultimately reach my property. Lastly, having a big commercial building behind our neighborhood hinders the value, beauty and charm of our neighborhood.

The purpose of this message is to express my wishes to petition against the city permitting this development and asking the city authority to hear the voice of the residents. Please let me know how I can help prevent the development of this building and how I can help my neighbors. Furthermore, please let me know how I can obtain information regarding the development of the dealership.

Respectfully,  
Nina Patel

Jim Fitzpatrick  
Chair, Planning Commission  
Planning Division  
77 Fair Drive  
Costa Mesa, CA 92626

July 14, 2014

PH-2

Application: PA-88-134 A2

Chairman Fitzpatrick and commissioners;

I urge you to **deny** application PA-88-134 A2. I have lived at 448 Princeton Drive since College Park was built: 1956. As an original owner with pride in my home and Costa Mesa, I supported the redevelopment of the Orange Coast Buick/GMC/Cadillac dealership. But the trust I placed in this project proceeding responsibly has evaporated – and this second amendment to the project adds insult to injury.

This amendment allows rooftop parking on structures that are closer to residences than the required 50 foot setback. I strongly oppose this amendment for the following reasons:

1. Loss of faith in project proceeding as promised.
  - a. Destruction of property. Already this project has not lived up to promises. Some of my personal property was damaged during the demolition phase. While some was replaced, some was not – even after repeated calls, and a letter. How can I trust this project will proceed responsibly and in good faith?
  - b. Major change in scope & impact. I applaud the Planning Commission for bringing this to a public hearing. But this is such a major change in scope and impact on residents, it is wrong to have this as a little-discussed amendment rather than being included in the original plan and discussed as part of a larger audience.
2. Rooftop parking. I can attest having rooftop parking nearby is a huge negative impact on quality of life.
  - a. Noise/Horns – Sound carries from above. Horn honking is common at dealerships (I know better than most). Having the honking come from above is bad for neighbors.
  - b. Lights – Parking lot lights are a nuisance and an eyesore. While modern lighting technology is a huge improvement over older lights, it's still a problem. These are 15' tall light standards on top of a 25' building. There are 5 light standards with 4 lights each which line the South side of the building next to Princeton. Bad for neighbors.
  - c. Loss of privacy – I've had trash thrown down into my yard from an elevated parking structure. Water sprayed on me while in my back yard. Strangers calling out to me. This is disturbing, disrespectful and needless. Bad for neighbors.

What value does this amendment bring to Costa Mesa? None. It was not important enough to include in the original design – so its value to the dealership must be minimal as well.

The negatives outweigh the positives. **Please join me in opposing this amendment** – and keep Costa Mesa a wonderful place to live and raise a family.

Respectfully,

*Margaret C. Engard*  
"Peggy"

Margaret C. Engard  
448 Princeton Drive  
Costa Mesa, CA 92626

**Received**  
City of Costa Mesa  
Development Services Department

JUL 14 2014

July 14, 2014

To Whom It May Concern:

My name is Janice Mullis and my family has lived at on Princeton Drive over 35 years. Our three children were born here, attended schools here, we all live and play here...we are Costa Mesa.

We have had a long history with the dealership and the local government. We have seen what power, money and deception can do to pit neighbor against neighbor. Life for a resident on this end of Princeton Drive has been tumultuous in the back and in the front. The front yard where people drive fast and furiously, where people pull over or park for all sorts of reasons (i.e., dealership employee parking, student & apartment parking, cars broken down, domestic disputes, vagrancy and traffic violations). But we are not here to discuss the front yard but the deceptions currently taking place in the back yard. It is my humble opinion, that this evening is part of a cursory process, in which the parties involved were hoping during the OC Fair & summer time, few if any folks would show up in opposition. I resent that I have to be here tonight. I resent the outright deception by the parties involved. This has all the earmarks of a political bait & switch.

When we saw the first draft of the plans for the new dealership in October 2013, we were actually happy to see that there was a possibility there could at last be an improvement in the quality of life for my family that we had not seen in many years. No complaints from me, it looked like an improvement. Actually few objected to it. No one expects the dealership to go away, but we actually thought the new owners might be a good neighbor as well. No longer would the sorry excuse for privacy landscaping provide a haven for workers where they would gather to smoke and leer at the young women in my family while they sunbathed in the supposed privacy of our backyard. These same people also were fond of teasing our pets into a frenzy as well as throwing items into our backyard.

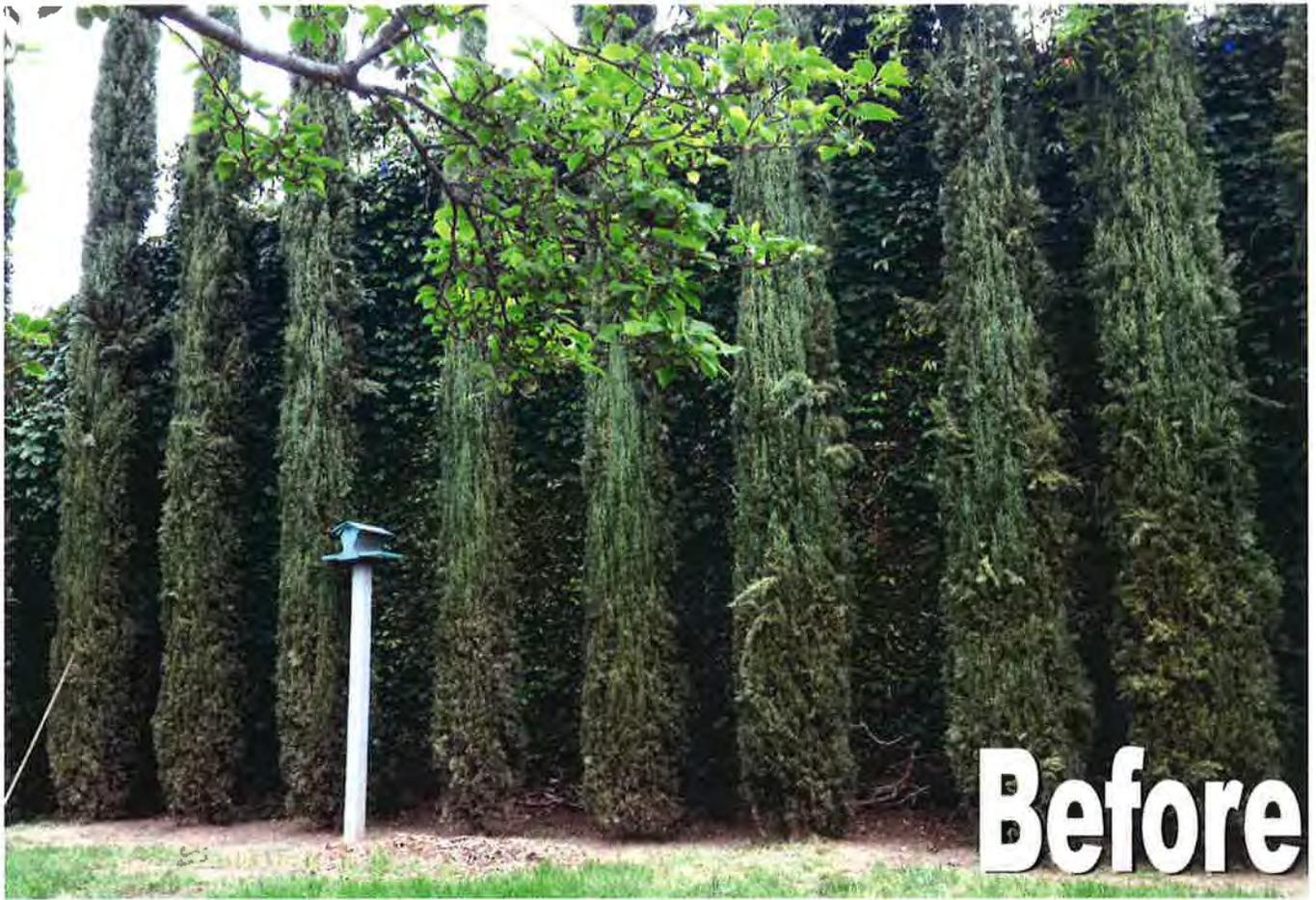
And then July 1 rolls around and the truth comes out. But only to those few who found a reason to be dissatisfied initially. Those affected like myself who did not complain, and were reasonably satisfied yet highly impacted were strategically left out of the communications which can only be construed as a plan all along to lull the neighbors into a false sense of security and then blind side them with what they had really planned all along. We were all just pawns in their game.

We have suffered in silence up to this point because we know at the end of the day, most don't care about the homeowners quality of life, or the inconveniences endured. The current construction has provided a constant barrage of dust, dirt and noise, early morning workers and heavy equipment every week day. My dogs have to be watched constantly so as not to escape through the fence. We are at the mercy of a timeline which we have had no say in, in which we have no benefit in, and which will continue to hurt our property values.

In closing, I want you to know, that I have loved raising my family here, there are many things to love about this city, the lack of transparency just isn't one of them. I would hope that you would **reconsider this current amendment** and keep your word to the citizens of this city to be "California's most transparent city." Also from your website, the preamble to the Brown Act: "The people, in delegating authority, do not give their public servants the right to decide what **IS** good for the people to know and what is **NOT** good for them to know."

Janice & Karl Mullis  
454 Princeton Drive

Attached: Before and after pictures of wall/fence; videos of removing wall and landscaping.



**ROSALES, MARTHA**

---

**From:** Chau Vuong <cbtvuong@gmail.com>  
**Sent:** Monday, July 14, 2014 4:20 PM  
**To:** PLANNING COMMISSION  
**Subject:** Comments to Application No. PA-88-134 A2

I am a resident at 458 Princeton Drive, Costa Mesa.

On March 21, the car dealership behind our house, without notice or warning, tore down our surrounding shared walls to do construction. While I was at work that day, I received a call from our neighbor telling me that he had found my dog wandering precariously around the debris of the construction site. He had to take my dog into his own home so that she would not be harmed by the active bulldozers and the rubble. The dealership had taken no measures to inform us of when and how they were beginning the construction, and put my dog in danger as they blithely demolished part of our home. The dealership eventually erected a poorly constructed fence that left many gaps and holes.

During the next couple of months, I had to find many alternatives to keep my dog barricaded and safe in the backyard while I was at work. We blocked her off into a small section of the backyard, had to construct a metal pen for her, but these were not the ideal options as they didn't provide her any comfortable shade, grass or space during the hours while I was at work. I did the best I could to block off any openings, but the dealership would periodically move the fence (again, without notice) and expose more gaps for my dog to escape through. On the night of May 10 while I was out, I received a call from Costa Mesa Animal Services. My dog had escaped through an unseen gap and was been hit by a car off Merrimac and Harbor. I was devastated. The dealership's negligence caused the death of one of my best friends. No amount of money or consolation will ever bring her back to us.

--  
**Chau Vuong**  
[cbtvuong@gmail.com](mailto:cbtvuong@gmail.com)  
562/253/6220  
<http://www.linkedin.com/in/chauvuong>

**BEFORE**



**Received**  
City of Costa Mesa  
Development Services Department

JUL 14 2014 - 8:15 pm -  
gc

**AFTER**



# DAMAGES



City of Costa Mesa Planning Commission  
Meeting Date: July 14, 2014  
Item # PH-2

**Received**  
City of Costa Mesa  
Development Services Department

Dear Planning Commission,

JUL 14 2014 at 8:45pm - JC

We are Brad and Jennifer Doane and we live at 437 Princeton Drive with our 4-yr old son, Logan. We are asking that the Planning Commission not approve the second amendment to Planning Application PA-88-134. The proposed addition of a second floor parking deck over the previously permitted dealership building and parking lot will negatively affect our quality of life and our property value.

The lighting for the second floor parking lot will be towering almost 40 feet in the air and in direct line-of-sight into our home. More disturbingly, it will pour into our young son's bedroom window all night long, making it difficult for him to get a much-needed night of sleep. This direct line-of-sight into our home will also allow anyone with access to that lot to be able to look down into our son's bedroom at any time.

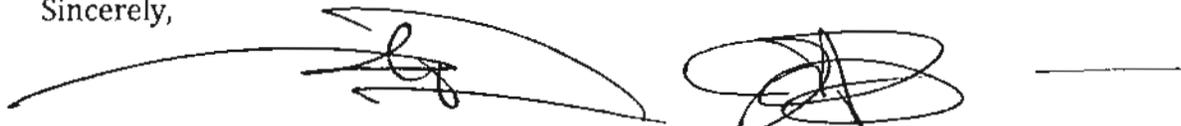
After speaking with several local real estate agents, there was unanimous consensus that the sight of the parking structure and the light pollution it will create, will most definitely have a negative impact on our property's re-sale value. Some estimates put it over -\$60,000.

Additionally, the drawing provided to give us perspective and scale of the project from the street level (see Exhibits) was grossly inaccurate in its scale and completely left out the perspective from those of us living on the south side of Princeton Drive. Re-scaling and the addition of our houses on the drawing (see Exhibits) clearly show the inadequate buffer between the proposed second floor parking lot and our neighborhood.

What was also not provided or mentioned, and we are therefore not aware was ever performed, is a photometric study of the effects of the lighting pollution from this second floor parking lot now that the fixtures would no longer be at ground level, but instead over 25 feet higher and already way above the houses of our neighbors across the street. There is also the question as to whether this amendment falls under the new Title 24 requirements. If so, those lights will be LEDs and will be considerably brighter than standard florescent fixtures. And again, has a photometric study of the effects of these brighter fixtures been performed and if so, what were the results?

We hope that you will understand the very real negative impact that this "last-second change" will have on our and our neighbor's lives. And we hope that you will see that the only positive (dealership saves a little money on inventory storage) is not worth the hurt it will put on the families on our little street, and the animosity it will create between the City of Costa Mesa, its citizens, and their business neighbors.

Sincerely,



Brad and Jennifer Doane

July 14, 2014

Leslie R. Sterrett  
Nancy Honda-Sterrett  
442 Princeton Dr.  
Costa Mesa, CA 92626

Mr. Chairman / Commissioners  
Planning Department / Development Services Division  
Costa Mesa, CA

Planning Meeting  
Planning Application PA-88-134 A2:  
Second Amendment for the Orange Coast Buick/GMC/Cadillac Dealership

Dear Sirs:

It has come to our attention that an amendment to Planning Application PA-88-134 for the Orange Coast Buick/GMC/Cadillac dealership has been submitted to construct a 34,000 square foot second floor parking deck over the dealership building, as well as over most of the proposed parking lot. This second level deck is intended for vehicle inventory storage.

I have been a resident of Costa Mesa since 1961 and at this address since 1964. My wife has resided in Costa Mesa since 1983 with a business here since 2008.

Let the record state that Nancy and I are opposed to the addition of the second floor parking deck.

According to the blueprints provided by the planning office, this new structure for the second story parking deck will be 25'4" tall and set back 52'3" from the 8' block wall behind our property. The additional 17 vertical feet will be an eyesore for many homeowners in the immediate area of Princeton Dr. Additionally the 15' light stanchions on the deck of the structure will bathe our property and that of my neighbors in bright light all through the night. This will negatively impact our quality of life in the evening and sleep at night.

In addition this parking structure will impact our privacy by providing a 22' high platform for people at the dealership to look down into our kitchen, living room and outdoor living area. Noise and noxious fumes from cars will also waft down from the deck into our living spaces. In the past we have seen people at the dealership on the parking structure, heard them making unacceptable comments to the homeowners below and smelled their cigarette smoke. We are afraid these actions will continue on the new deck. Any semblance of privacy in the aforementioned backyard zone will be forsaken. Our quality of life will be substantially downgraded.

Our pet's privacy and health are of primary concern to us as well. Noises emanating from the structure or any visual sightings of people will trigger our dogs' natural protective instincts, i.e. Barking. Excessive barking is stressful on pets as well as neighbors. Our pets are all rescue animals having been saved from stressful situations. It is important to their health that any additional stressors be mitigated.

We are also concerned of a possibility of theft as people on the dealership deck will see into our home and backyard and target our property.

Lastly our property values will surely be degraded and a potential buyer would be less likely to purchase the property with the view of the parking structure. This is a definite and unacceptable.

In summary we have various rights including the right to privacy, the right to own property for our benefit, right to good health and the right to good will. Citing the aforementioned concerns we are in opposition to this plan to add a second floor parking deck to Orange Coast Buick/ GMC/Cadillac.

Sincerely,

Leslie R. Sterrett  
Nancy Honda-Sterrett

Exhibit A:

Dashed line approximates height of canopy addition with setback at 50' as seen from back yard at 442 Princeton. Block wall height is 8'. Light stanchions will be an additional 15' above the dashed line.



Scott Nguyen  
 458 Princeton Dr  
 Costa Mesa, CA 92626

To Costa Mesa City Planning Committee,

As a resident of College park and living only a few feet away from the car dealership, I urge the planning committee to allow residents more time to review the plans in detail and be part of the discussion with the owners of the dealership.

We are not against remodeling the dealership to make our city better. However, there are several issues and concerns that the public do not know about. I and the rest of my household are concerned about the following several issues which we still need more clarification on.

For example, this is a drastic change to the original plan.

- Why the increased building size now?
  - The added height close 8' from our property increases the amount of lighting visible will still expose many neighbors to the light from the dealership
- This height will also increase the effects of noise and lighting from the dealership since the new wall will only be 8' tall.

Being an outdoorsman, I'm afraid of the effects of the increase building size affecting the wildlife in around the area.

Another big concern for me is that the taller building may be seen from the neighborhood and will devalue the houses in the area. Residents so not know what the building will look like so as there are no renderings from the College Park side.

In addition, there has been a serious lack of community inclusion in the stages planning of the development. This lack of community communications has increased the impact on our quality of life. - Privacy and enjoyment is gone. Because of this lack of communication on the scheduling, I was not able to secure my dog when the fence came down. Unfortunately with the commotion and unsecured temporary fencing, she ran out. We were able to retrieve her. However, when it happened again, she was hit by a car and died.

Since the start of construction we have had

- Trespassing by construction crew and equipment
- Destruction and vandalism of personal property / landscaping / lighting / sporting equipment
- Structural damage to dwelling and other structures
- Littering and increase trash from dealership activities

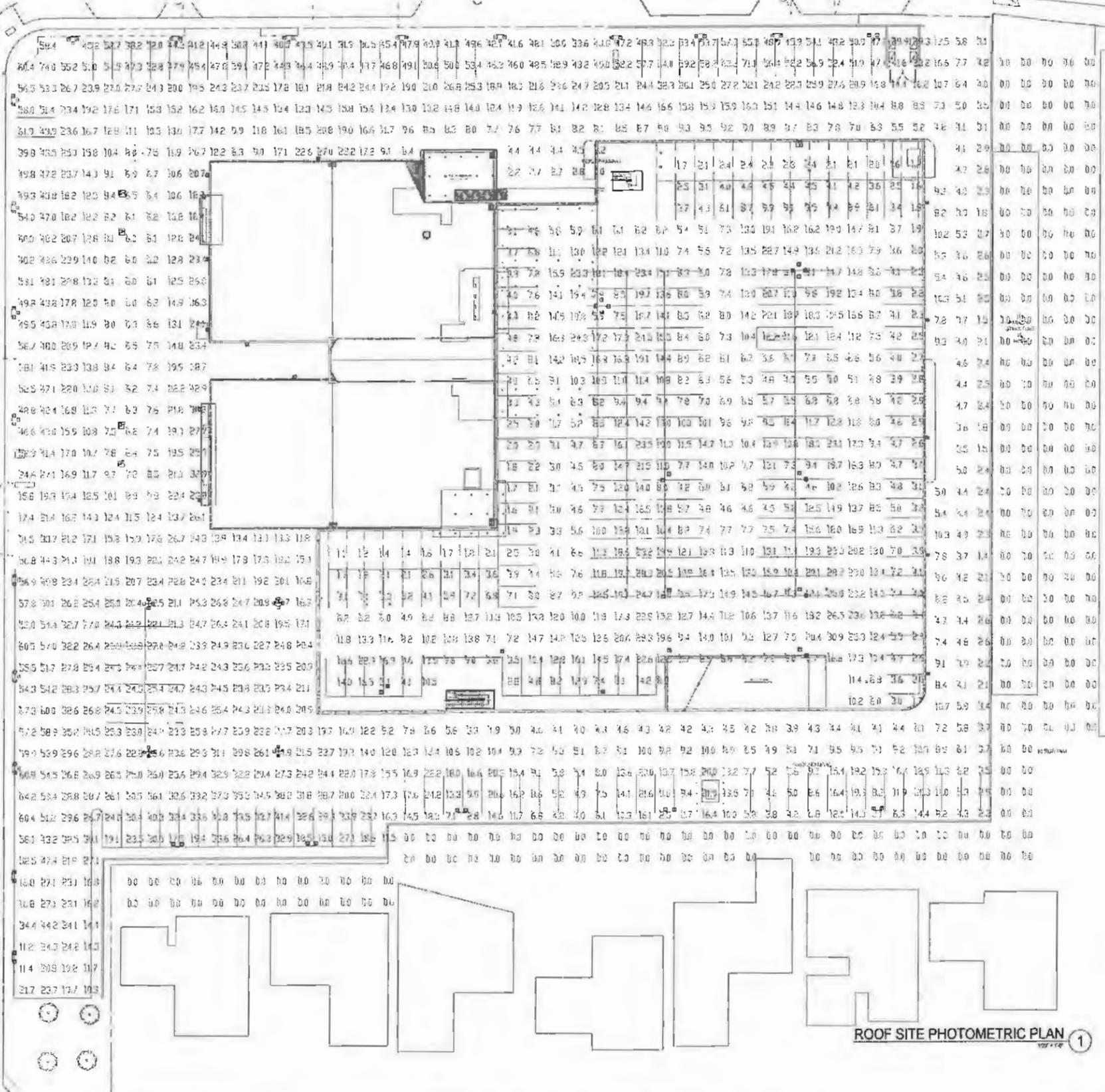
And I am now getting threats of Retaliation for sending communicating to owner(s) of dealership

The biggest concern for me is that the dealership has mentioned they "potentially" will be building a wall that is 3' closer to my home closer. I was notified of that only a few days ago by that this may be happening because of the cease and desist letter I sent to the dealership.

PH-2

Luminaire Schedule [LED] 20140703					
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF
○	36	G-CADILLAC	SINGLE	7588	0.750
⊕	4	XSB-5X-qua	4 @ 90 DEGREES	31023	0.900
□	8	XSB-FTAX-W	SINGLE	29014	0.900
□	18	XSB-FTX-ca	SINGLE	29185	0.900
□	5	XAWM3-2-WA	SINGLE	11960	0.900
○	26	I-CADILLAC	SINGLE	2378	0.750
○	15	H-CADILLAC	SINGLE	5242	0.750
○	13	H-BUICK_1	SINGLE	5242	0.750
□	18	XSB-FTAX-T	TWIN	29014	0.900
□	23	A2	SINGLE	28558	0.900
□	5	A2-Twin	TWIN	28558	0.900

Luminaire Sct ORANGE COAST CADILLAC - ROOF PARKING - rev7 - MG.AGI	
Symbol	Description
○	AMERLUX LIGHTING: RD6-100-T6-E-FL (RD6 series 6 incg ROUND METAL HALIDE DOWNLIGHT)
⊕	LSI INDUSTRIES: XSB-5X-LED-HO-CW-UE
□	LSI INDUSTRIES: XSB-FTAX-LED-HO-CW-UE
□	LSI INDUSTRIES: XSB-FTX-LED-HO-CW-UE
□	LSI INDUSTRIES: XAWM3-2-LED-119-450-CW-UE
○	AMERLUX LIGHTING: RD6-39-T6-E (RD6 series 6 incg ROUND METAL HALIDE DOWNLIGHT)
○	AMERLUX LIGHTING: RD6-70-T6-E-FL (RD6 series 6 incg ROUND METAL HALIDE DOWNLIGHT)
○	AMERLUX LIGHTING: RD6-70-T6-E-FL (RD6 series 6 incg ROUND METAL HALIDE DOWNLIGHT)
□	LSI INDUSTRIES: XSB-FTAX-LED-HO-CW-UE
□	LSI INDUSTRIES XSB-FTX-LED-HO-CW-UE-HSS
□	LSI INDUSTRIES XSB-FTX-LED-HO-CW-UE-HSS



ROOF SITE PHOTOMETRIC PLAN ①

Received  
City of Costa Mesa  
Development Services Department

JUL 14 2014 at 8:15 pm JC

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Level Parking	illuminance	Fc	21.66	74.0	0.0	N.A.	N.A.
Residential - Ground Level	illuminance	Fc	0.08	0.9	0.0	N.A.	N.A.
Roof Parking	illuminance	Fc	9.58	30.9	1.1	8.71	28.09

**DFA**

**DENNIS J. FLYNN ARCHITECTS, INC.**

191 S. GILBELL STREET, SUITE 100  
ORANGE, CALIFORNIA 92668  
(714) 688-3300 FAX (714) 688-0500

**ORANGE COAST BUICK GMC CADILLAC**

380 HARBOR BOUL AVENUE  
COSTA MESA, CALIFORNIA

**THE SUBURBAN COLLECTION**

1735 MARLEEVAN  
TROY, MICHIGAN

**TRPM**

Engineers, Inc.  
200 DISCOVERY  
IRVINE, CA 92618  
Tel: 949-450-2000  
Fax: 949-450-1604  
Contact: Frank Sheng  
e-mail: frank@trpm.com

**PROFESSIONAL ELECTRICAL ENGINEER**

FRANK SHENG  
No. 015586  
Exp. 12-31-2015  
ELECTRICAL ENGINEER  
STATE OF CALIFORNIA

PC# BC13-00777

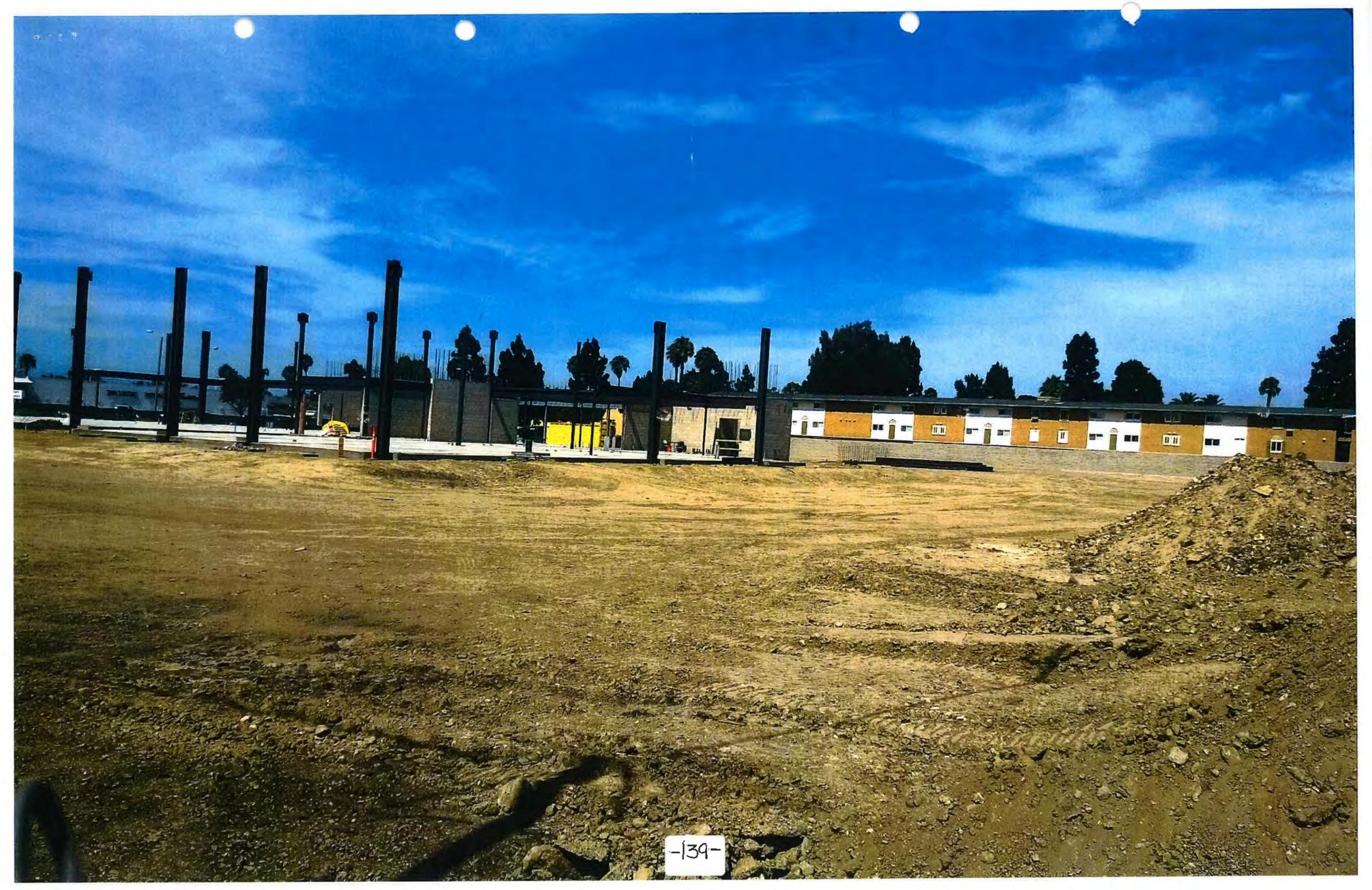
**E2.3**





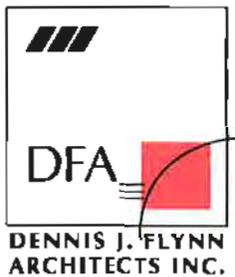


-138-



-139-

**ATTACHMENT 4  
APPLICANT'S REVISED PROJECT  
DESCRIPTION AND EXHIBITS  
(PARKING DECK)**



August 18, 2014

Planning Commission  
City of Costa Mesa  
77 Fair Drive, CA 92626

RE: Orange Coast Buick/GMC/Cadillac  
Planning Commission July 14, 2014 – initial presentation  
Request for reconsideration at September 8, 2014

Honorable Chairman, Mr. Jim Fitzpatrick, members of the Planning Commission,  
Director of Economic & Development Services/Deputy CEO, Gary Armstrong

On behalf of the Buick, GMC, Cadillac Dealership at 2600 Harbor Blvd. Costa Mesa, I would like to take this opportunity to thank you and members of the community for valuable insight and discussions relative to our proposed project at your meeting of July 14, 2014. It was obvious that to be a good neighbor and a part of this community, we needed to further refine our approach, and make necessary revisions to our plans.

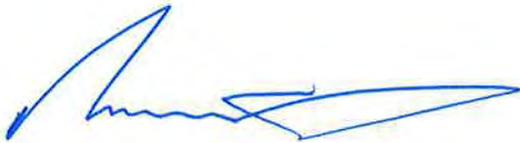
Our outreach and communication consultant has since carefully reviewed the process, established direct contact with individual and interested residents. He has worked with us to provide the necessary changes so that we can re-present a project while functional and operationally effective, is also sensitive and more responsive to community concerns.

The revisions to improve the plans include: relocation of the lights on the roof away from the residences, selection of a light fixtures with directional control to prevent light spillage off the property, development of a large landscape buffer with trees on south side adjacent to the residential dwellings, a large full scale “green living” wall on the south face of the building to screen the roof parking structure, security gates to control access, potential relocation of the large Harbor Blvd. pole sign to a point closer to Merrimac. Ave, as well as alternatives to provide “College Park” neighborhood identity monument entry structures and enhanced landscaping at both corners or if desired at the intersection of Princeton and Harbor. The revisions will also include other conductive and behavioral changes to assure that the safety and privacy of the neighborhood remains of utmost importance.

The attached materials and renderings provide further details of the original dealership before demolition, the proposed project, as well as “before and after” views from some of the backyards that include the proposed project enhancements.

We respectfully request your reconsideration of our improved and more community oriented project at your meeting of Sept. 8, 2014, at which time more details on all aspects of the project will be presented.

Again thank you for your input, and we will continue to strive to remain a good neighbor to Princeton Dr. residents as well as a viable business and an effective tax generator to the City of Costa Mesa.

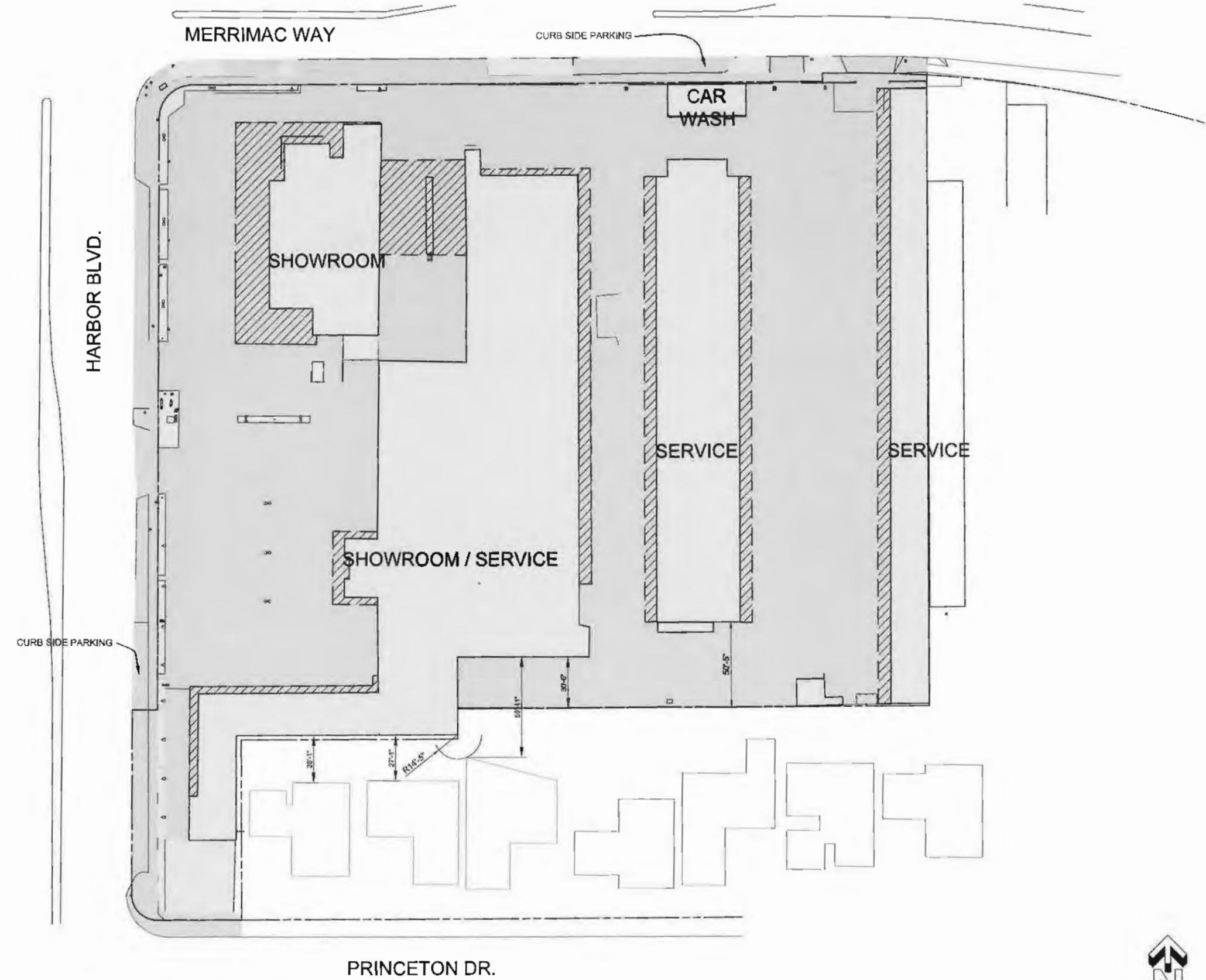


Dennis Flynn, Architect  
President, Dennis J. Flynn Architects, Inc.

Cc:  
Ron Maceachern, The Suburban Collection  
Tim Leroy, The Suburban Collection  
Peter Naghavi, In-Focus Consultants

Orange Coast Cadillac  
City of Costa Mesa  
Planning Commission Meeting  
July 14, 2014

Video Time Stamp	Name		Address	Concerns Count	Lighting	Privacy	Noise	Security	Look of Bldg	Property Value	Quality of Life	Destruction of Property	Historic references	Initially supportive	Smoking	Pet(s)	Good faith	Traffic	Site parking	Negligence	No notification	Trespassing	Increase communication with community	Monument sign	Dealership Signage	Air quality	
	First	Last																									
1 01: 25: 25	Dennis	Flynn																									Opening statement
5 01: 38: 30	Leslie	Sterrett	442 Princeton Dr.	10	X	X	X	X	X	X	X			X	X	X											Rescue animals
12 01: 58: 25	Beth	Refakes	Unknown	8	X		X			X	X					X	X						X	X			Does not live in area; comments; quality of monument sign sketches;
9 01: 50: 05	Scott	Nguyen	458 Princeton Dr.	6							X	X					X	X				X			X	Footings into property; CEQA; fence on his property; taking away 3 feet of his land; retaliation; Commissioner Dickson asked for clarification; someone from GC stated that they will move the fence 3 feet closer to his house	
15 02: 12: 47	JJ (Janice)	Mullis	454 Princeton Dr.	6				X			X	X	X		X		X	X									Statement covered by letter.
6 01: 41: 08	Jay	Humphrey	Unknown	5		X					X	X	X	X		X											Lives in Mesa Verde area; Dust issue
4 01: 36: 54	Alan	Engard	931 Presidio	5	X	X			X			X	X														
2 01: 32: 14	Margaret	Engard	448 Princeton Dr.	5	X	X	X				X													X			
13 02: 01: 39	Brad & Jennifer	Doane	437 Princeton Dr.	5	X	X			X	X	X																4 y.o. son; increase footprint by over 75%; 25' higher and 100' closer; erected steel columns
11 01: 56: 41	Diane	Liang	Unknown	4				X	X		X	X															Submitted pictures; killed koi; dog death
7 01: 44: 13	Barbara	Rattigan	447 Princeton Dr.	4	X		X								X		X										General traffic count up; Dealer test drives; Unclear of setbacks/heights; deck use?; dog death
14 02: 09: 16	Theresa	Drain	427 Princeton Dr.	4													X	X	X					X			College Park owner 1998; zero lot lines; PA-88-134; street closed; underhanded tactics: buy residential lot to park cars; deception, veiled threats; meetings with police and transportation about traffic;
10 01: 54: 06	Cindy	Brenneman	Unknown	3					X							X	X										Property owner not resident; enforcing road test route?; how are conditions enforced?
16 02: 14: 10	Elizabeth	Rutledge	453 Princeton Dr.	3	X							X													X		
3 01: 34: 42	Dan	Huber	Unknown	2	X							X															42' super structure;
8 01: 47: 55	Chau	Vuong	458 Princeton Dr.	2																	X	X					3/21 fence torn down with out notice; dog wandering construction site; 5/10 dog killed;
	Nina	Patel	438 Princeton Dr.																								Did not speak
02: 16: 53	Alan	Croal																									4/23 Cease & Desist letter received; Devon Lucas, Esq.; 5/7 last contact with attorney;
02: 21: 58	Dennis	Flynn																									
02: 29: 08	Jeff	Matthews																									
02: 35: 55	Colin	McCarthy																									
02: 39: 15	Robert	Dickson																									
02: 42: 53	Colin	McCarthy																									



# OLD SITE PLAN

**DFA**

**DENNIS J. FLYNN ARCHITECTS, INC.**

130 S. HANSELL STREET SUITE 210  
ORANGE, CALIFORNIA 92668  
(714) 961-4300 FAX (714) 962-3109

ORANGE COAST  
BUICK GMC CADILLAC  
2005 HARBOR BOULEVARD  
COSTA MESA, CALIFORNIA

**THE SUBURBAN COLLECTION**  
1795 MAPLE LAWN  
TROY, MICHIGAN

PROJECT 2108

PRELIMINARY AND PLANS  
THESE DOCUMENTS HAVE NOT  
BEEN COMPLETELY REVIEWED BY  
THE OWNER, PROJECT TEAM OR  
THE BUILDING DEPARTMENT.  
THESE DOCUMENTS ARE SUBJECT  
TO REVISION, FUTURE PLAN  
REVISIONS MAY NOT BE CLEARLY  
INDICATED AS SUCH AND ARE  
MADE ON CONSTRUCTION  
PERFORMED SAFELY ON THESE  
DOCUMENTS AT THE RISK OF  
THOSE HAVING THE BID OR  
PERFORMING THE WORK.





MERRIMAC WAY

NEW LANDSCAPE PARKWAY

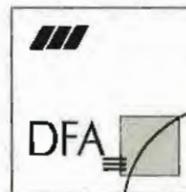
HARBOR BLVD.

NEW LANDSCAPE PARKWAY

PRINCETON DR.

SITE SECTION

# PROPOSED SITE PLAN



**DENNIS J. FLYNN ARCHITECTS, INC.**

100 S. GRASSLE STREET, SUITE 300  
 DOWNEY, CALIFORNIA 90240  
 (714) 602-8300 FAX (714) 602-8309

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**ORANGE COAST  
 BUICK GMC CADILLAC**  
 2500 HARBOR BOULEVARD  
 COSTA MESA, CALIFORNIA

**THE SUBURBAN  
 COLLECTION**  
 1750 MARSH LANE  
 TROY, MICHIGAN

**ORANGE COAST BUICK GMC CADILLAC  
 PROPOSED SITE PLAN**



PRELIMINARY NO PLANS  
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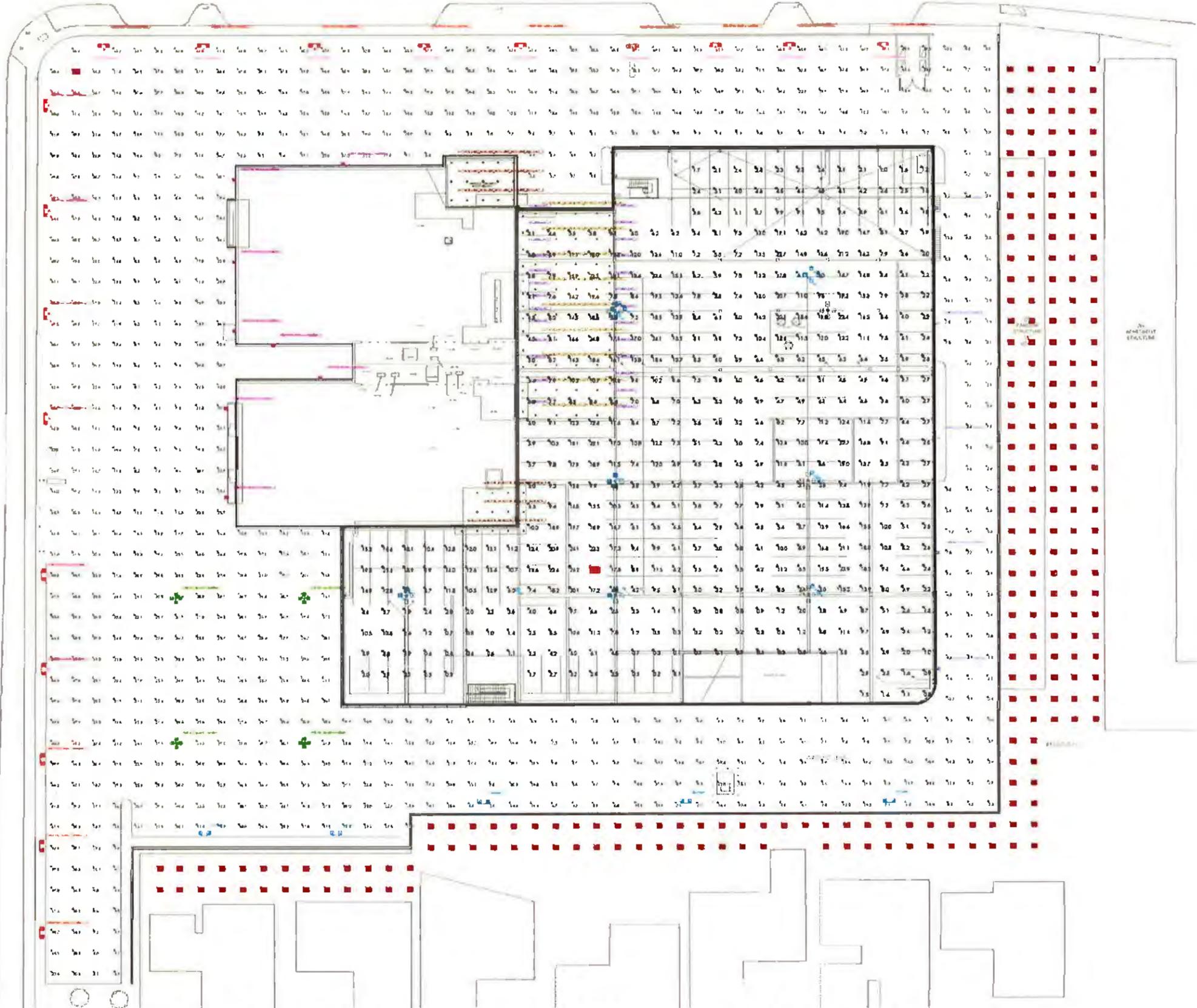


PC# BC13-00777

**A1.03**

-146-





**DENNIS J. FLYNN  
ARCHITECTS, INC.**

116 S. GRASSIEL STREET, SUITE 200  
ORANGE, CALIFORNIA 92668  
(714) 962-4300 FAX (714) 962-0300

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**ORANGE COAST  
BUICK GMC CADILLAC**  
2008 HARBOR BOULEVARD  
COSTA MESA, CALIFORNIA

**ORANGE COAST BUICK GMC CADILLAC  
PROPOSED SITE PLAN**

**THE SUBURBAN  
COLLECTION**  
1705 MAPLE LANE  
TROY, MICHIGAN

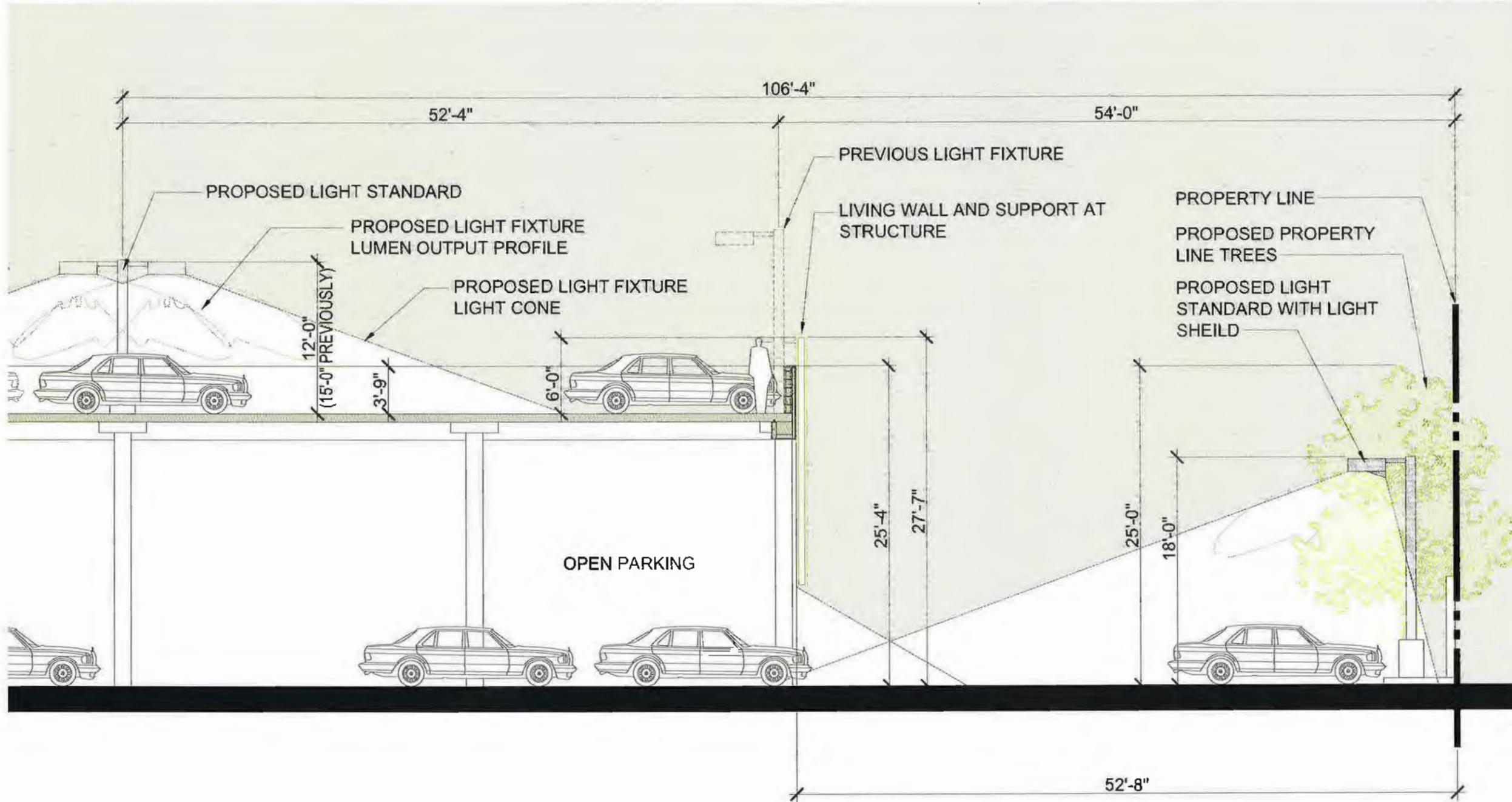


PROJECT 3103

PRIMARY BID PLANS  
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PERFORMING THE WORK.



# PROPOSED SITE PLAN - PHOTOMETRIC



**DFA**  
 DENNIS J. FLYNN ARCHITECTS, INC.  
 115 S. CLAREMONT STREET, SUITE 200  
 ORANGE, CALIFORNIA 92668  
 (714) 924-9100 FAX (714) 924-9201

ORANGE COAST BUICK GMC CADILLAC  
 2605 HARBOUR BOULEVARD  
 COSTA MESA, CALIFORNIA

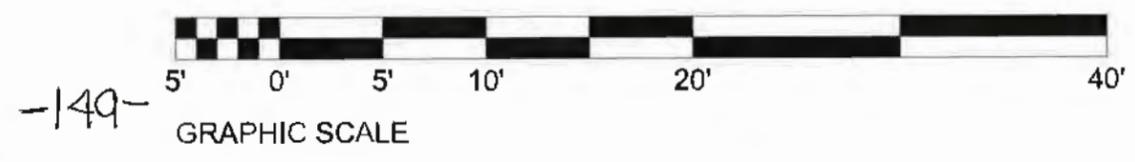
THE SUBURBAN COLLECTION  
 1795 MARLE LANE  
 TROY, MICHIGAN

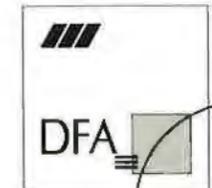
PROJECT 2108  
 PRELIMINARY BID PLANS  
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 PERFORMING THE WORK.

PC# BC13-00777

**A1.06**

**PROPOSED SITE SECTION**





DENNIS J. FLYNN  
ARCHITECTS, INC.

108 S. GLASSILL STREET, SUITE 200  
ORANGE, CALIFORNIA 92665  
(714) 962-9700 FAX (714) 962-9499

STATE OF CALIFORNIA ARCHITECTS BOARD REG. NO. 12512  
Dennis J. Flynn, Architect  
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ORANGE COAST  
BUICK GMC CADILLAC  
2000 HARBOR BOULEVARD  
COSTA MESA, CALIFORNIA

ORANGE COAST BUICK GMC CADILLAC  
PROPOSED SITE PLAN

THE SUBURBAN  
COLLECTION  
1785 MAPLELEAVY  
TROY, MICHIGAN

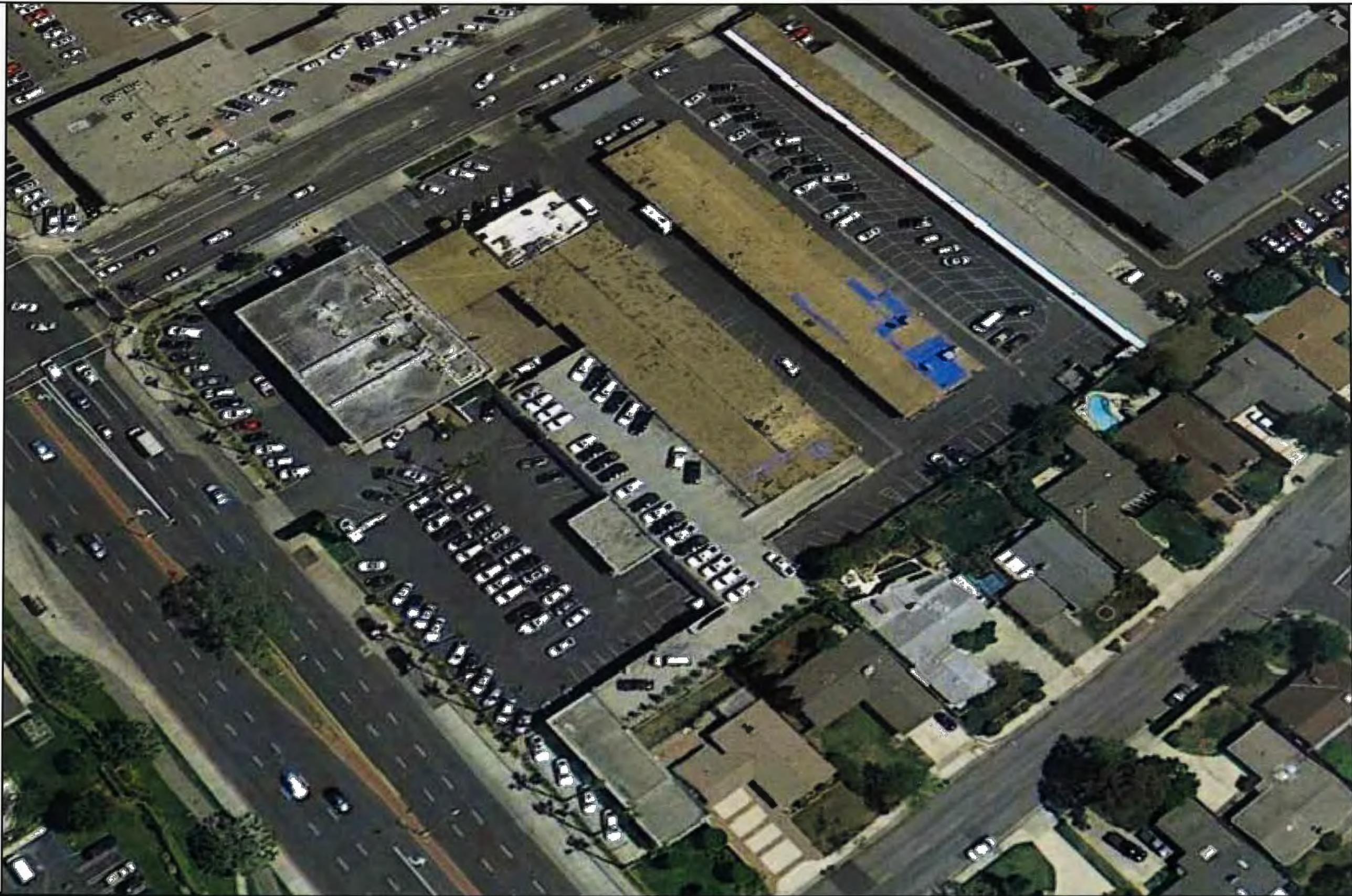


PROJECT 2508  
PRELIMINARY BID PLANS:  
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A1.07

# RENDERINGS - POINT OF VIEW LOCATIONS



**1 Aerial - existing**

-151-

**DENNIS J. FLYNN ARCHITECTS, INC.**  
100 S. GLASSSELL, SUITE B  
ORANGE, CALIFORNIA, 92666  
(714) 602-4300 - dennisf@dfarch.net





- curbside parking removed from Harbor
- new living wall on south face of building
- light poles lowered from 15' on roof top to 12'
- new trees along entire property line adjacent to residences
- new entry monument for College Park

# 1a Aerial -proposed looking east

- 152 -

DENNIS J. FLYNN  
ARCHITECTS, INC.  
190 S. GLASSELL, SUITE B  
ORANGE, CALIFORNIA, 92666  
(714) 682-9390 - dennisf@dfaarch.net



- new trees at 10' on center
- new landscape buffer - no landscape prior



## 2 Looking south from dealership

-153-

DENNIS J. FLYNN  
ARCHITECTS, INC.  
190 S. GLASSELL, SUITE B  
ORANGE, CALIFORNIA, 92660  
(714) 602-9300 • dennisf@dfarch.net



- building on the property line
- 26' to top of pilasters

stucco wall



**3** 458 Princeton - existing

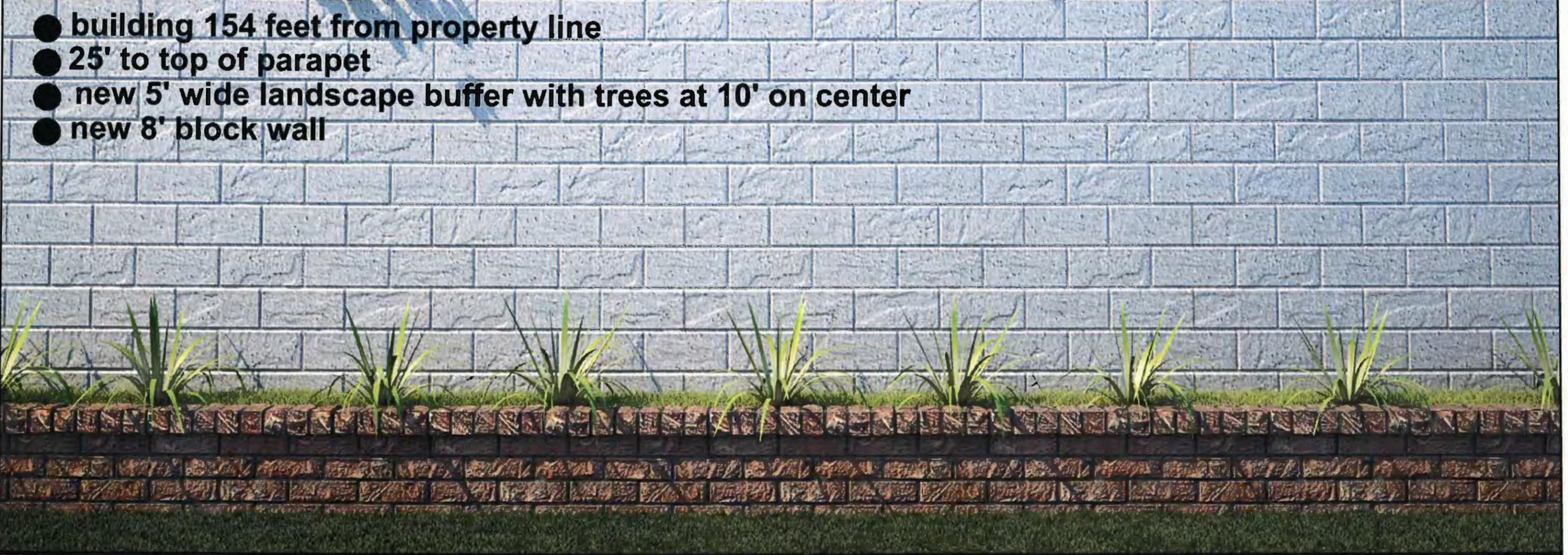
-154-

DENNIS J. FLYNN  
ARCHITECTS, INC.  
180 S. GLASSSELL, SUITE B  
ORANGE, CALIFORNIA, 92666  
(714) 602-9300 • dennis@dfarch.net





- building 154 feet from property line
- 25' to top of parapet
- new 5' wide landscape buffer with trees at 10' on center
- new 8' block wall



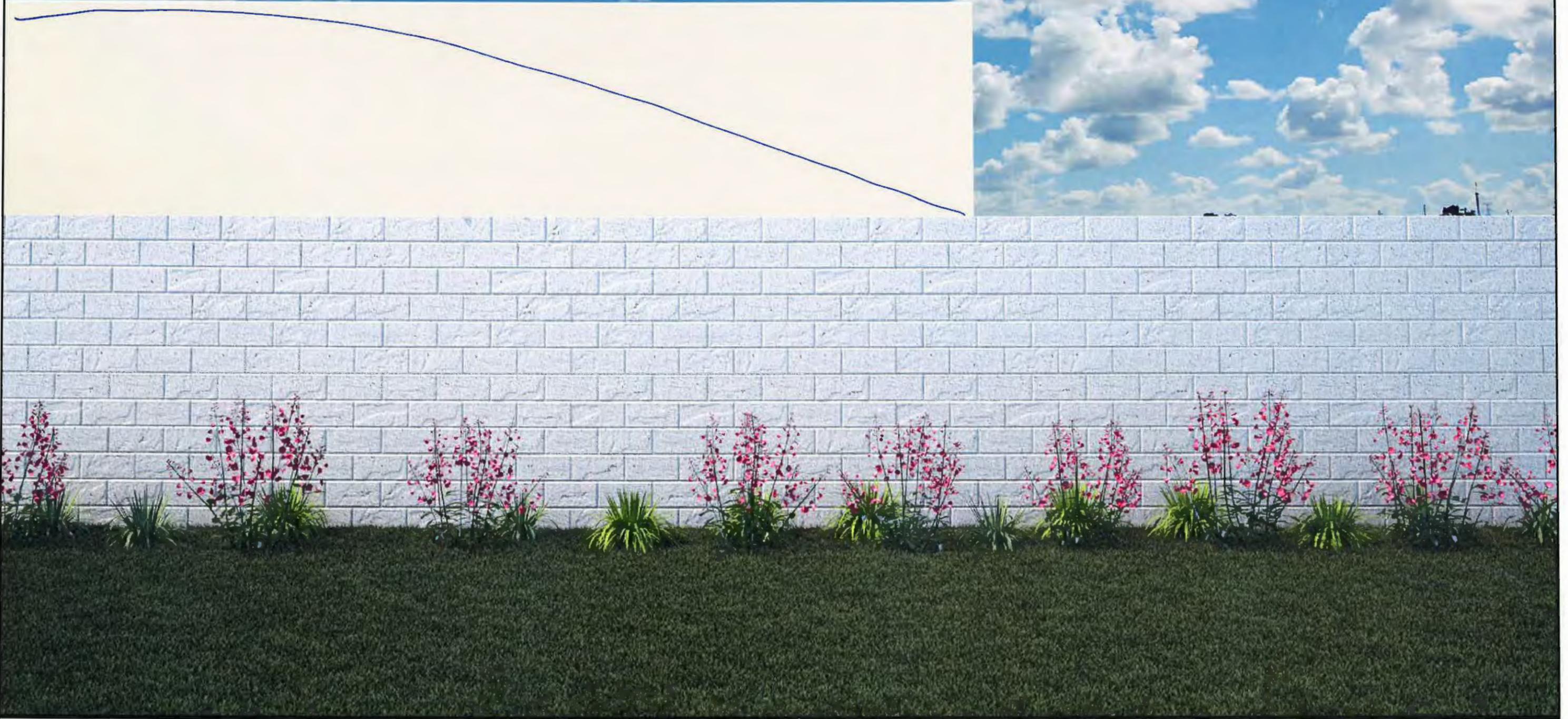
# 4 458 Princeton - proposed

-155-

DENNIS J. FLYNN  
ARCHITECTS, INC.  
190 S. GLASSSELL, SUITE B  
ORANGE, CALIFORNIA, 92666  
(714) 602-9300 • dennisj@dfarch.com



- building 30' from property line
- 26' to top of parapet



**5** 448 Princeton - existing -156-

DENNIS J. FLYNN  
ARCHITECTS, INC.  
199 S. GLASSELL, SUITE B  
ORANGE, CALIFORNIA, 92666  
(714) 802-9300 - dennisf@djflynn.com





- building 53' from property line
- 25' to top of parapet
- new 5' wide landscape buffer with trees at 10' on center
- new 8' block wall



# 6 448 Princeton - proposed -157-

DENNIS J. FLYNN  
ARCHITECTS, INC.  
190 S. GLASSELL, SUITE B  
ORANGE, CALIFORNIA, 92666  
(714) 602-9300 • dennisj@dfarch.net





**7** 437 Princeton - existing -158-

DENNIS J. FLYNN  
ARCHITECTS, INC.  
190 S. GLASSELL, SUITE B  
ORANGE, CALIFORNIA, 92666  
(714) 602-9300 - dennisf@dfarch.net



- property line trees at 10' on center
- trees 25' tall after 5 years - estimate
- previously 18' on center

# 8 437 Princeton - proposed landscape

-159-

DENNIS J. FLYNN  
ARCHITECTS, INC.  
100 S. GLASSELL, SUITE B  
ORANGE, CALIFORNIA, 92665  
(714) 602-3300 - dennisjflynn@dfarch.net



- new living wall on south face of building
- property line trees at 10' on center
- trees 25' tall after 5 years - estimate
- previously 18' on center



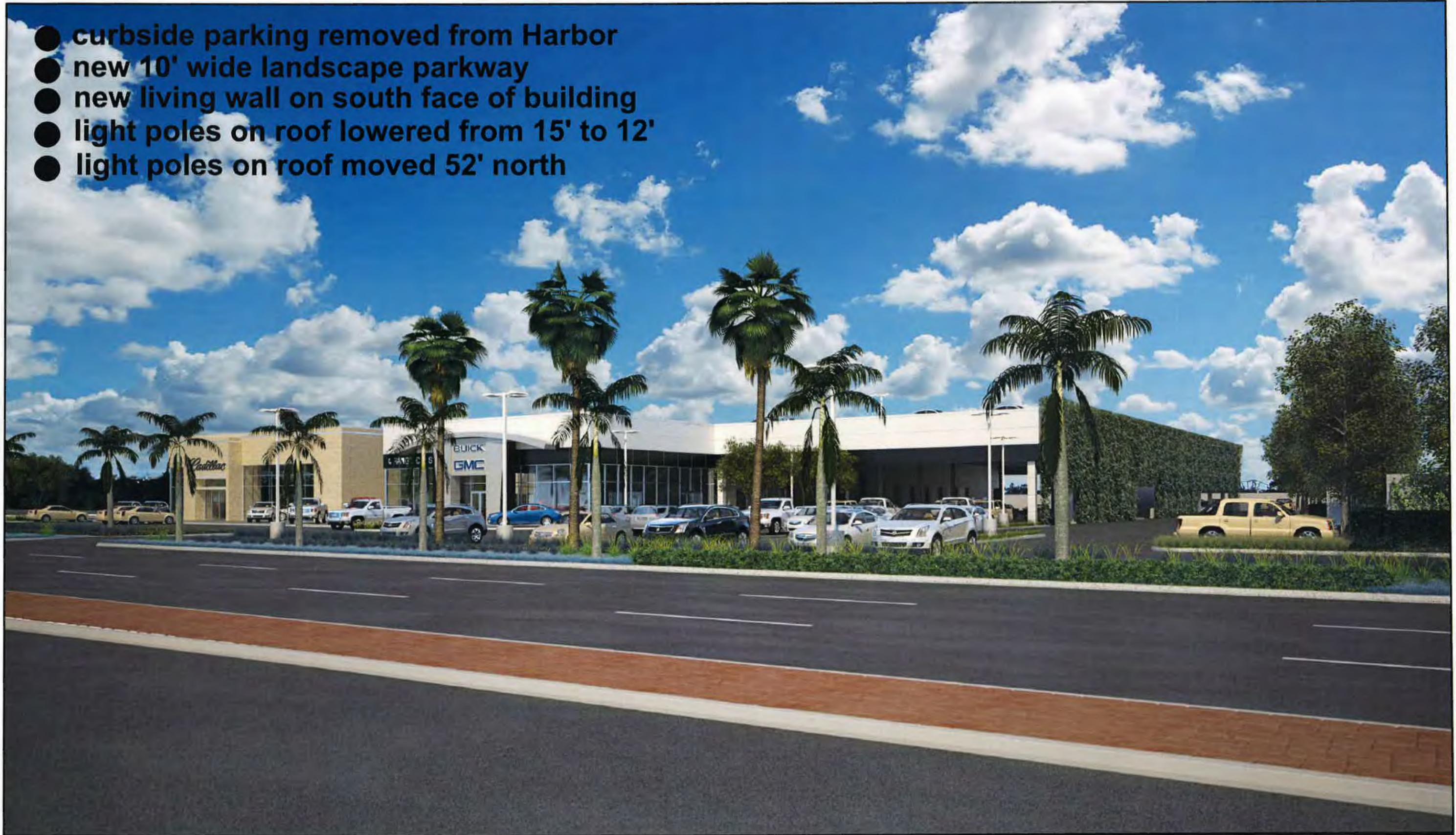
# 9 437 Princeton - proposed living wall

-160-

DENNIS J. FLYNN  
ARCHITECTS, INC.  
190 S. GLASSELL, SUITE B  
ORANGE, CALIFORNIA, 92666  
(714) 602-9300 - dennis@dfarch.net



- curbside parking removed from Harbor
- new 10' wide landscape parkway
- new living wall on south face of building
- light poles on roof lowered from 15' to 12'
- light poles on roof moved 52' north



# 10 Harbor looking at living wall

-1601-

DENNIS J. FLYNN  
ARCHITECTS, INC.  
190 S. GLASSSELL, SUITE B  
ORANGE, CALIFORNIA, 92668  
(714) 682-9300 • dennisf@dfarch.net



- curbside parking removed from Harbor
- new 10' wide landscape parkway
- new entry monuments at Princeton intersection
- new living wall on south face of building
- light poles on roof lowered from 15' to 12'
- light poles on roof moved 52' north



# 11 Harbor street scape

-162-

DENNIS J. FLYNN  
ARCHITECTS, INC.  
190 S. GLASSELL, SUITE B  
ORANGE, CALIFORNIA, 92666  
(714) 602-9300 • dennisf@djfaarch.net



- new entry monument wall for College Park Community
- new enhanced landscape corner



# 12 Entry monument at Princeton

-163-

DENNIS J. FLYNN  
ARCHITECTS, INC.  
190 S. GLASSELL, SUITE B  
ORANGE, CALIFORNIA, 92666  
(714) 602-9300 - [dennief@dfarch.net](mailto:dennief@dfarch.net)





● new entry monument wall for College Park Community

# 13 Entry monument at Princeton - 2

-164-

DENNIS J. FLYNN  
ARCHITECTS, INC.  
190 S. GLASSELL, SUITE B  
ORANGE, CALIFORNIA, 92666  
(714) 602-9300 • dennisj@dfarch.net



**ATTACHMENT 5  
APPLICANT'S PROJECT DESCRIPTION  
AND EXHIBITS  
(PROPOSED SIGNS)**



August 20, 2014

Mr. Gary Armstrong  
Economic and Dev. Services Director/Deputy CEO  
City of Costa Mesa  
77 Fair Drive, CA 92628

RE: Orange Coast Buick/GMC/Cadillac, Existing pole sign

Dear Mr. Armstrong;

Thank you for the opportunity to meet with you and Jerry on Monday to discuss details of our proposed project revisions.

As you know, we will be sharing the subject revisions with the interested residents of Princeton Dr. this Friday in hopes of creating a more positive and reasonable approach towards potential solutions for their concerns.

One of the issues raised by some residents as well as city staff, is the "unsightliness" of the existing "grand fathered in" business pole sign on Harbor Blvd. While the dealership prefers to keep this sign as is, in the spirit of working with the residents and the city, the owners are willing to consider potential re-configuration as well as relocation of the subject sign to a more suitable spot away from Princeton Dr.

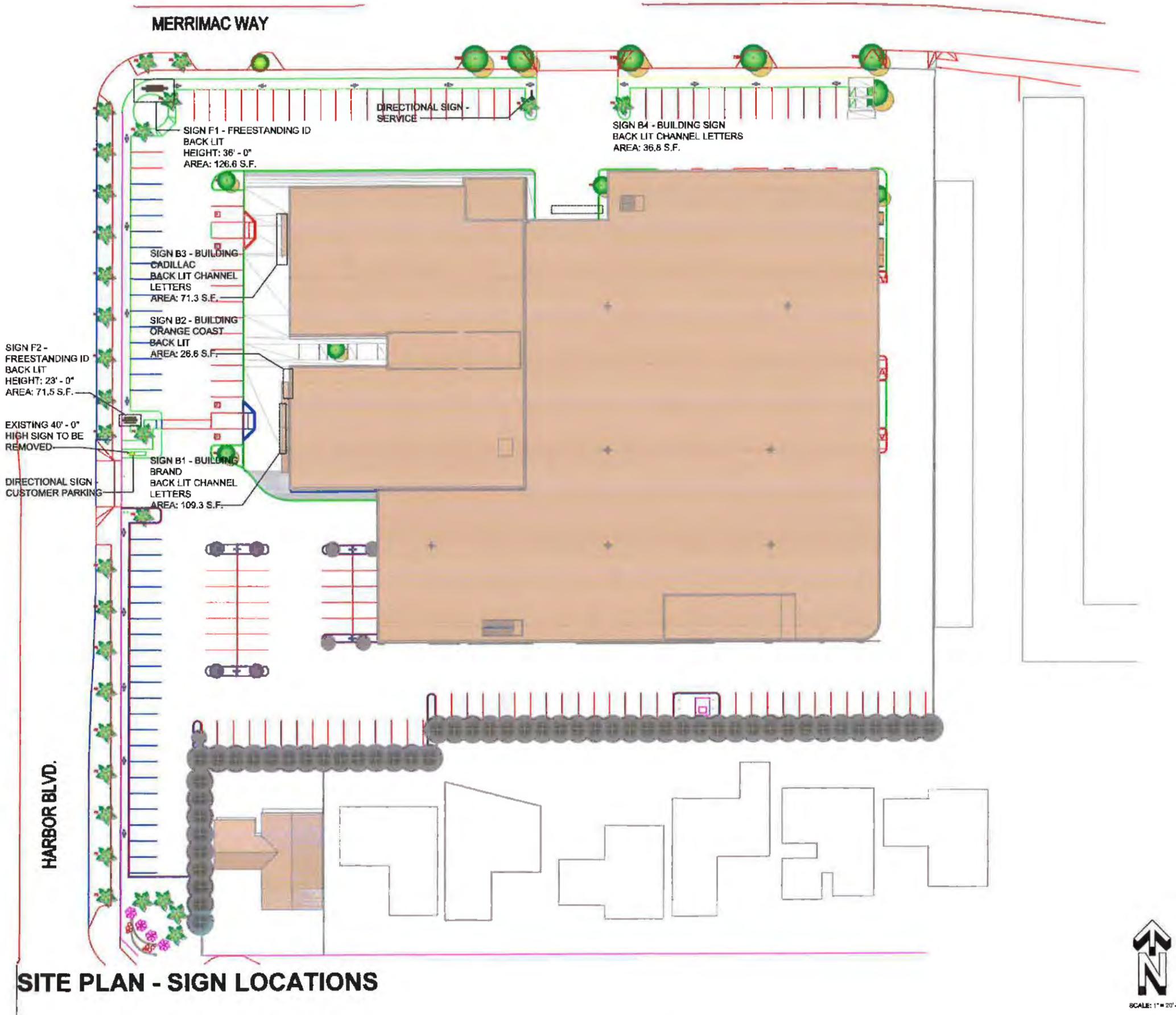
Per our conversation of Monday, please find attached a copy of a site "signage plan" and square footage calculations for the number and location of signs as proposed. We know this plan may not meet City's current sign ordinance requirements, but it reflect a fair and reasonable compromise for changes needed to remove the existing large pole sign. Please call me if I can assist in answering any questions.

Sincerely,

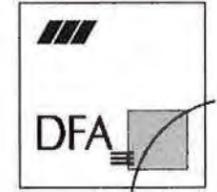
Dennis Flynn, Architect  
President, Dennis J. Flynn Architects, Inc.

Cc: Jerry Guarracino, Mel Lee  
Ron MacEachern, The Suburban Collection  
Tim Leroy, The Suburban Collection  
Peter Naghavi, In-Focus Consultants

7666-



**SITE PLAN - SIGN LOCATIONS**

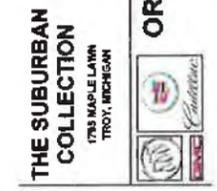


**DENNIS J. FLYNN ARCHITECTS, INC.**  
 191 S. GRABELL STREET, SUITE 200  
 ORANGE, CALIFORNIA 92668  
 (714) 802-6200 FAX (714) 802-9300

THE SUBURBAN COLLECTION  
 1783 MAPLE LAWN  
 TROY, MICHIGAN

ORANGE COAST  
 BUICK GMC CADILLAC  
 2803 HARBOR BOULEVARD  
 COSTA MESA, CALIFORNIA

ORANGE COAST BUICK GMC CADILLAC  
 SIGN PROGRAM



PROJECT 71025  
 PRELIMINARY SIGN PLAN:  
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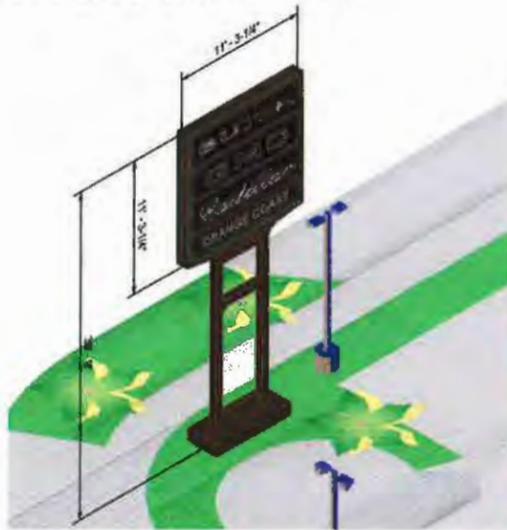


PC# BC13-00777  
 SIGN 01

SCALE: 1" = 20' - 0"



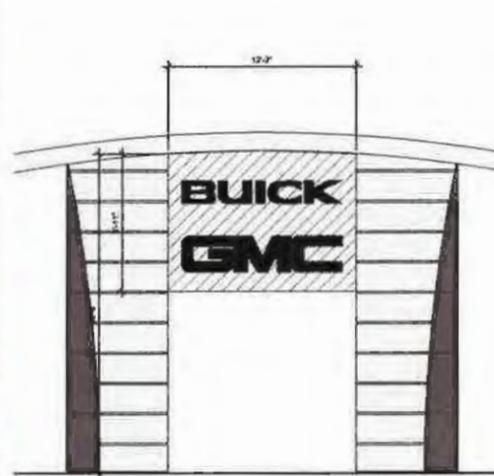
SITE ISOMETRIC



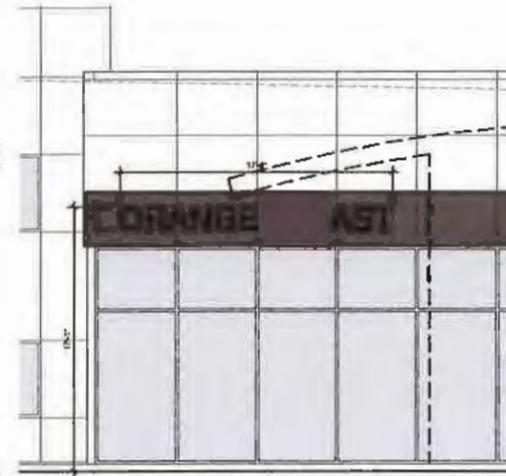
SIGN F1 - 126.6 S.F.



SIGN F2 - 71.5 S.F.



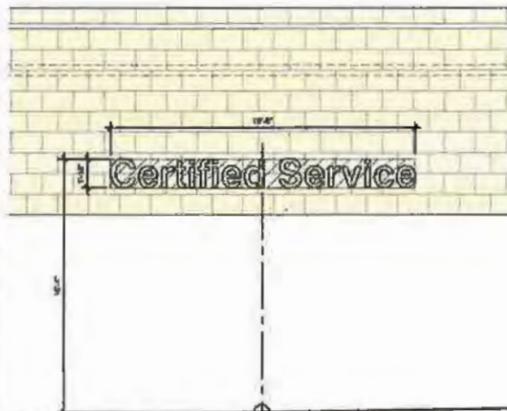
SIGN B1 - 109.3 S.F.



SIGN B2 - 26.6 S.F.



SIGN B3 - 71.3 S.F.



SIGN B4 - 36.8 S.F.

Sign Area Calculations

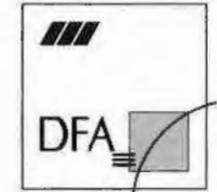
Allowable

	352.08'		
Frontage	109.94'	1.0 sq. ft. per lineal foot of lot width =	462.02'
Depth	400.00'	0.5 sq. ft. per lineal foot of lot depth =	200.00'
			662.02'
		Maximum Available signage area:	662 s.f.
			50%
		Maximum Available area for freestanding signage:	331 s.f.

Proposed

	ID	HGT	AREA	AVAILABLE
F1	HARBORMERRIMAC	P137	126.6 s.f.	
F2	HARBOR	P92	71.5 s.f.	
B1	BUICK GMC		109.3 s.f.	
B2	ORANGE COAST		26.6 s.f.	
B3	CADILLAC		71.3 s.f.	
B4	CERTIFIED SERVICE		36.8 s.f.	

PROPOSED TOTAL: 486.0 s.f. 186.0 s.f.



**DENNIS J. FLYNN ARCHITECTS, INC.**  
 130 S. ORANSEL STREET, SUITE 208  
 ORANGE, CALIFORNIA 92668  
 (714) 922-0303 FAX (714) 837-9338

**ORANGE COAST BUICK GMC CADILLAC**  
 2485 HARBOR BOULEVARD  
 COSTA MESA, CALIFORNIA

**ORANGE COAST BUICK GMC CADILLAC**  
 SIGN PROGRAM

**THE SUBURBAN COLLECTION**  
 1795 MAPLE LAWN  
 THOFT, MICHIGAN

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**SIGN 02**

**ATTACHMENT 6  
SUMMARY OF CODE ENFORCEMENT  
CASES AND CALLS FOR POLICE  
SERVICE FOR 2600 HARBOR  
BOULEVARD**

SUMMARY OF CODE ENFORCEMENT CASES FOR 2600 HARBOR BOULEVARD FROM JULY 2008 TO  
PRESENT

<b>Case #</b>	<b>Date</b>	<b>Complaint</b>	<b>Status</b>
C08-1689	7/24/08	Power washing cars at 7:00 am	No citation issued - case closed
C08-0988	4/30/08	Landscaping on second story parking deck (adjacent to residential properties) dead/ not maintained	Citations issued - voided when landscaping replaced- case closed
C09-1911	8/15/09	Banner sign between poles	Banner removed- case closed
C09-2514	10/24/09	Banner sign between trees	Banner removed- case closed
C14-0187	3/10/14	Graffiti on construction fence screen	Graffiti painted over-case closed



**Costa Mesa Police Department**  
**Calls For Service to 2600 Harbor Blvd. Car Dealership**  
**July 24, 2012 through "go live" April 8, 2014**

**Call for Service with report taken:**

CAD Call#	DR#	Date reported	Location	Code	Code Description
121015076158	12-012400	10/15/12 8:44 AM	ORANGE COAST CADILLAC	T487	GRAND THEFT - PHONE
121106083010	12-013400	11/6/12 3:11 PM	CADILLAC - NABERS	R487	GRAND THEFT REPORT
131009076740	13-011453	10/9/13 3:16 PM	OC BUICK GMC CADILLAC	RFRA	FRAUD REPORT
131127089437	13-013324	11/27/13 10:25 AM	OC BUICK GMC CADILLAC	RFRA	FRAUD REPORT
140120004609	14-000649	1/20/14 1:34 PM	OC BUICK GMC CADILLAC	R59C	COMMERCIAL BURGLARY
140223013327	14-001902	2/23/14 4:20 AM	OC BUICK GMC CADILLAC	459	BURGLARY
140301014849	14-002143	3/1/14 9:54 AM	OC BUICK GMC CADILLAC	902T	TRAFFIC ACCIDENT NON
140314018118	14-002654	3/14/14 5:53 PM	OC BUICK GMC CADILLAC	M901	TRAFFIC ACCIDENT MIN

**Call for Service with NO report taken:**

CAD Call#	DR#	Date reported	Location	Code	Code Description
120728054219		7/28/12 12:57 PM	NABERS CADI & OLDS	586	PARKING VIOLATION
120731054931		7/31/12 7:37 AM		586	PARKING VIOLATION
120731054960		7/31/12 9:32 AM		586	PARKING VIOLATION
120801055195		8/1/12 4:45 AM	GMC BUICK DEALERSHIP	TRSI	TRANSIENT
120824061434		8/24/12 3:16 PM	CADILLAC DEALERSHIP	HAZA	HAZARDOUS CONDITION
120909065805		9/9/12 9:49 PM	CADILLAC - NABERS	925C	SUSPICIOUS PERSON IN
120913066794		9/13/12 2:31 PM		586	PARKING VIOLATION
120918068207		9/18/12 9:23 AM		586	PARKING VIOLATION
120920068887		9/20/12 2:56 PM		586	PARKING VIOLATION
121002072334		10/2/12 9:08 AM		586	PARKING VIOLATION
121005073278		10/5/12 1:41 AM	CADILLAC - NABERS	TSTO	TRAFFIC STOP
121009074456		10/9/12 9:28 AM		586	PARKING VIOLATION
121023078682		10/23/12 9:20 AM		586	PARKING VIOLATION
121030080710		10/30/12 9:19 AM		586	PARKING VIOLATION
121104082296		11/4/12 1:39 AM	CADILLAC - NABERS	2315	DRIVING UNDER THE IN
121115085471		11/15/12 1:56 PM		586	PARKING VIOLATION

1  
171

-172-

CAD Call#	DR#	Date reported	Location	Code	Code Description
121120086721		11/20/12 7:42 AM		586	PARKING VIOLATION
121201089547		12/1/12 4:44 PM		TSTO	TRAFFIC STOP
121206090803		12/6/12 2:42 PM		586	PARKING VIOLATION
121211091951		12/11/12 9:11 AM		586	PARKING VIOLATION
130108001709		1/8/13 9:39 AM	CADILLAC - NABERS	586	PARKING VIOLATION
130115003366		1/15/13 9:13 AM		586	PARKING VIOLATION
130205008579		2/5/13 9:18 AM	CADILLAC - NABERS	586	PARKING VIOLATION
130212010113		2/12/13 9:31 AM		586	PARKING VIOLATION
130302014727		3/2/13 12:15 AM	CADILLAC - NABERS	DIZZ	PERSON DIZZY
130315018071		3/15/13 7:40 PM	CADILLAC - NABERS	902M	MEDICAL AID
130402022935		4/2/13 11:47 PM	CADILLAC - NABERS	PC	PATROL CHECK
130509033077		5/9/13 6:05 PM		TSTO	TRAFFIC STOP
130524037673		5/24/13 5:38 PM	OLDS - NABERS	TSTO	TRAFFIC STOP
130529039045		5/29/13 2:16 PM	NABERS CADI & OLDS	DIAB	DIABETIC PROBLEM
130614043562		6/14/13 1:26 AM	CADILLAC - NABERS	TSTO	TRAFFIC STOP
130621045852		6/21/13 1:46 PM	ORG COAST CADILLAC	ACI	INJURED ANIMAL
130723055658		7/23/13 9:20 AM		586	PARKING VIOLATION
130725056298		7/25/13 1:59 PM		586	PARKING VIOLATION
130725056318		7/25/13 3:01 PM	ORANGE COAST CADILLAC	R901	INJURY TRAFFIC ACCID
130807059808		8/7/13 8:05 AM	CADILLAC - NABERS	SLEE	SLEEPER IN VEHICLE
130808060161		8/8/13 2:02 PM		586	PARKING VIOLATION
130810060666		8/10/13 3:48 AM	CADILLAC - NABERS	925M	SUSPICIOUS MALE
130914069961		9/14/13 6:41 PM	OC BUICK GMC CADILLAC	R503	VEHICLE THEFT REPORT
130926073200		9/26/13 2:17 PM		586	PARKING VIOLATION
131027081369		10/27/13 11:19 AM	OC BUICK GMC CADILLAC	RTHR	THREAT REPORT
131107084307		11/7/13 2:33 PM		586	PARKING VIOLATION
131116086503		11/16/13 5:31 AM	OC BUICK GMC CADILLAC	902M	MEDICAL AID
131120087580		11/20/13 8:33 AM	OC BUICK GMC CADILLAC	RFRA	FRAUD REPORT
131121087903		11/21/13 11:41 AM	OC BUICK GMC CADILLAC	RFRA	FRAUD REPORT
131121087945		11/21/13 2:30 PM		586	PARKING VIOLATION
131127089482		11/27/13 1:26 PM	CADI DEALERSHIP	415M	DISTURBANCE MALE
140102000262		1/2/14 2:20 AM	OC BUICK GMC CADILLAC	PC	PATROL CHECK
140114003167		1/14/14 2:35 PM	OC BUICK GMC CADILLAC	PC	PATROL CHECK
140114003181		1/14/14 3:41 PM	OC BUICK GMC CADILLAC	ACD	DEAD ANIMAL

CAD Call#	DR#	Date reported	Location	Code	Code Description
140126006257		1/26/14 6:10 PM	OC BUICK GMC CADILLAC	925M	SUSPICIOUS MALE
140302015127		3/2/14 1:07 PM	OC BUICK GMC CADILLAC	9999	*NATURE WAS INVALID
140317018923		3/17/14 10:54 PM	OC BUICK GMC CADILLAC	9999	*NATURE WAS INVALID

\*data code did not convert

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**Costa Mesa Police Department**  
Calls For Service to 2600 Harbor Blvd. Car Dealership  
April 9, 2014 through July 23, 2014

**Call for Service with report taken:**

CAD Call#	DR#	Date reported	Location	Code	Code Description
2014013996	14-005013	5/20/14 7:37 PM	ORANGE COAST BUICK	NEGLECT	CHILD NEGLECT

**Call for Service with NO report taken:**

CAD Call#	DR#	Date reported	Location	Code	Code Description
2014003485		4/18/14 4:30 PM	ORANGE COAST BUICK	925V	SUSPICIOUS VEHICLE

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**ATTACHMENT 7  
STAFF REPORT, PLANS AND EXHIBITS  
FROM THE JULY 14, 2014 PC MEETING**



# **PLANNING COMMISSION**

## **AGENDA REPORT**

MEETING DATE: JULY 14, 2014

ITEM NUMBER: PH-2

**SUBJECT: PLANNING APPLICATION PA-88-134 A2: SECOND AMENDMENT FOR THE ORANGE COAST BUICK/GMC/CADILLAC DEALERSHIP LOCATED AT 2600 HARBOR BOULEVARD**

**DATE: JULY 3, 2014**

**FROM: PLANNING DEPARTMENT/DEVELOPMENT SERVICES DIVISION**

**PRESENTATION BY: MEL LEE, SENIOR PLANNER**

**FOR FURTHER INFORMATION CONTACT: MEL LEE, AICP (714) 754-5611  
mel.lee@costamesaca.gov**

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### **DESCRIPTION**

The project is a second amendment to Planning Application PA-88-134 for the Orange Coast Buick/GMC/Cadillac dealership to construct a 34,000 square foot second floor parking deck over a portion of the previously permitted 52,779 square foot automotive dealership building, as well as a portion of the proposed parking lot, for storage of vehicle inventory. An Administrative Adjustment to deviate from the rear yard setback requirements for the proposed second floor parking deck (50-foot rear yard setback required; 32-foot setback proposed) was superseded by a previous variance for a 0 foot rear setback approved under PA-88-134. A 32-foot rear yard setback for the dealership building was approved under PA-88-134 A1.

### **APPLICANT**

Dennis J. Flynn Architects, Inc. is the authorized agent for the property owner.

### **RECOMMENDATION**

Staff recommends that the Planning Commission:

1. Determine that the project is exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15332 (In-Fill Development).
2. Approve by adoption of Planning Commission resolution, subject to conditions of approval.

## PLANNING APPLICATION SUMMARY

Location: 2600 Harbor Blvd. Application: PA-88-134 A2

Request: Second amendment to a Conditional Use Permit for a new automotive dealership to accommodate a 34,000 SF second level parking deck for GMC/Buick/Cadillac.

### SUBJECT PROPERTY:

Zone: C1  
 General Plan: General Commercial  
 Lot Dimensions: 352 FT X 443 FT  
 Lot Area: 178,603 SF (4.1 AC)  
 Existing Development: 52,779 SF Car Dealership (Under Construction)

### SURROUNDING PROPERTY:

North: (Acr. Merrimac Wy.) R2-MD, car dealership  
 South: (Acr. Princeton Dr.) R1, single family homes  
 East: R3, apartment project  
 West: (Acr. Harbor Blvd.) PDR-HD, apartment project

### DEVELOPMENT STANDARD COMPARISON

Development Standard                      Required/Allowed                      Proposed/Provided

<b>Lot Size:</b>		
Lot Width	120 FT	352 FT
Lot Area	12,000 SF	178,603 SF (4.1 AC)
<b>Floor Area Ratio:</b>		
Moderate Traffic FAR	.30 (53,581 SF)	.29 (52,779 SF) (1)
<b>Building Height:</b>		
	2 Stories/30 FT	2 Stories/25 FT
Interior landscaping	5,275 SF	5,625 SF
<b>Setbacks (Buildings):</b>		
Front (Harbor Blvd.)	20 FT	97 FT
Side (left/right)	15 FT/50 FT	54 FT/52 FT
Rear	50 FT	32 FT (2)
<b>Setbacks (Landscaping):</b>		
Front (Harbor Blvd.)	20 FT	5.5 FT (2)
Side (left – Merrimac Wy.)	15 FT	3 FT to 5 FT (2)
Rear	NA	NA
<b>Parking</b>		
TOTAL	211 Spaces	359 Spaces (211 Vehicle Display, Customer and Employee Parking Spaces Plus 148 Spaces on the Second Floor Parking Deck)

(1) The proposed parking deck is not included in FAR calculation because it is not enclosed.

(2) Previous deviations approved under PA-88-134 and PA-88-134 A1.

CEQA Status Exempt, Class 32 (In-Fill Development)

Final Action Planning Commission

## **BACKGROUND**

### ***Project Site/Environs***

The property is located on the southeast corner of Harbor Boulevard and Merrimac Way and is approximately 4.1 acres in size. The property is zoned C1 (Local Business District) and has a General Plan Designation of General Commercial. The site previously contained an approximately 52,000 square foot automotive dealership (Orange Coast Buick/GMC/Cadillac) consisting of vehicle sales and service, as well as outdoor vehicle display and storage. These improvements were recently demolished to make way for construction of a new 52,779 square foot automotive dealership for Orange Coast Buick/GMC/Cadillac. The site abuts single-family residential (R1) zoned properties to the south (along Princeton Drive) and a multiple-family residential (R3) zoned property to the east (along Merrimac Way).

### ***Prior Land Use Approvals***

A summary of the previous entitlements granted for the property is described below:

#### **Conditional Use Permit C-32-67**

The original conditional use permit (CUP) approved for the car dealership on the property, approved by the Planning Commission on May 22, 1967.

#### **Zone Exception Permit ZE-137-70**

A proposal to construct a 7,900 square foot garage structure on the property, approved by the Planning Commission on December 28, 1970.

#### **Planning Application PA-87-78 (Expired)**

Conditional use permit to construct an addition to the existing 47,300 square foot dealership building (Buick) with variances from fence height, and front, rear, and side setbacks, as well as a lot line adjustment for the property was approved by the Planning Commission on April 27, 1987. However, because building permits were never obtained for the project, this approval expired.

#### **Planning Application PA-88-134**

Conditional Use Permit to construct an additional 4,700 square feet, for a Buick franchise, to the existing 47,300 square foot auto dealership building (approximately 52,000 square feet total) with variances from fence height, and front, rear, and side setbacks on the property, as well as a lot line adjustment for the property was approved by the Planning Commission on September 12, 1988. This planning application reflects the development on the property up until the recent demolition which took place within the past few months.

Planning Application PA-90-09

Planned signing program consisting of building and freestanding signs for the auto dealership, approved by the Planning Commission on January 8, 1990.

Planning Application PA-88-134 A1

Amendment to Planning Application PA-88-134 for the existing Orange Coast Buick/GMC/Cadillac dealership in conjunction with the demolition of the former automotive dealership buildings and the construction of a new 52,779 square foot automotive dealership for Orange Coast Buick/GMC/Cadillac with vehicle sales and service, which was approved by the Zoning Administrator on October 10, 2013, and is currently under construction.

**PROJECT DESCRIPTION**

The applicant is requesting a second amendment to Planning Application PA-88-134 for the Orange Coast Buick/GMC/Cadillac dealership to construct a 34,000 square foot second floor parking deck over a portion of the previously permitted 52,779 square foot automotive dealership building, as well as a portion of the proposed parking lot, for storage of vehicle inventory.

Normally, requests to modify a planning application, in this case, the 1988 conditional use permit for the auto dealership, may be approved by the Zoning Administrator, which was the case for the first amendment (PA-88-134 A1); however, because the proposed second-story parking deck has the potential to affect the abutting residential properties, the request is being brought forward to the Planning Commission for consideration as a public hearing item.

**ANALYSIS**

***Second Amendment to Planning Application PA-88-134***

As noted earlier, the existing buildings on the site were demolished to accommodate the new dealership facility, which is under construction. This included the original two-story vehicle parking deck that abutted the single-family residences south of the site along Princeton Drive, which was approved with a variance for the zero side yard setback under PA-88-134. In place of the parking structure, a ground-level parking/vehicle storage area was proposed and approved as part of PA-88-134 A1.

The current proposal involves the construction of a new second-story vehicle parking deck; however, unlike the deck that was demolished, the proposed structure will be set back 52 feet from the property line with the single-family residences to the south, and exceeds the 50-foot setback required by Code (two times the height of the structure, which is 25 feet, 4 inches in height). Per the conditions of approval for PA-88-134 A1, permanent masonry walls a minimum height of 8 feet are required along the perimeter

interior side and rear property lines. Additionally, the landscape planter adjacent to the single family residences along Princeton Drive, will be extended the full length of the side property line to provide a landscape buffer for all of the abutting homes south of the property line. The landscape buffer is conditioned to be densely landscaped.

The current operating conditions of approval and/or mitigation measures approved for PA-88-134 and PA-88-134 A1 will continue to be complied with:

- Employees shall be instructed to park on-site and not on adjacent residential streets. Additionally, it shall be ensured that adequate customer parking exists on-site.
- The landscape area within the 45-foot setback adjacent to Princeton Drive (including the four existing trees) shall continue to be maintained.
- Trees and shrubs of a sufficient height, texture, and shape shall be installed and maintained in order to obscure the dealership from residences to the east and south.
- Public address system with outdoor speakers shall be prohibited.
- Loading and unloading of vehicles delivered to the dealership will be required to be done on-site. Additionally, loading and unloading of vehicles delivered to the dealership will not be allowed to occur adjacent to residential properties.
- New light standards near residential properties will be required to be located and oriented in such a way as to minimize light spillage onto surrounding properties. This includes the light standards proposed for the new parking deck.
- Test driving of vehicles will not be permitted on adjacent residential streets or within residential neighborhoods.

Additionally, staff notes the following:

- The proposed project is consistent with the General Plan/Zoning Code with regard to use and intensity. The proposed development is consistent with the uses allowed in the C1 zone and is within the permitted floor area ratio (FAR) for the site. The intent of the Code related to scale and character of the development with adjacent residential uses will be met with the proposed development and the recommended conditions of approval. The project meets and/or exceeds current Zoning Code development standards and the past variances approved for the property.
- The project features quality construction and materials. As noted earlier, the project replaces an outdated auto dealership with a modern facility per General Motors current image standards for their product brands. Perimeter fencing adjacent to

residential properties will be required to be a block wall at a minimum of 8 feet in height.

- Project will comply with Code-required parking. Code requires a total of 211 parking spaces for this development; the submitted plans indicate 359 parking spaces, including the proposed deck.

#### ***Administrative adjustment for rear yard setback***

An administrative adjustment to deviate from rear yard setback requirements for the proposed second story deck (50-foot rear yard setback required; 32-foot setback proposed) was included with the public notices; however, it should be pointed out that because of the prior variance approval of 0 feet for the rear yard setback was originally approved under PA-88-134, as well as the approved 32 foot rear building setback for PA-88-134 A1, approval of a new deviation is not necessary and no additional findings are required.

#### ***College Park Entry Signage Proposal***

As part of the approval for PA-88-134 A1, the applicant was required to remove the existing parking bays within the public-right-of-way along the Harbor Boulevard frontage and replace them with landscaping to enhance the appearance of Harbor Boulevard. In a further effort to enhance the appearance of Harbor Boulevard, the Mayor Pro Tem directed staff to work with the applicant to provide, at their expense, two entry signs, identifying the "College Park" residential neighborhood, at the corner of Harbor Boulevard and Princeton Drive. A preliminary plan is attached to this report for reference.

One sign is proposed to be installed within the large landscape planter at the northeast corner that is part of the dealership property; the other is proposed directly across the street on a property containing a single-family residence (463 Princeton Drive). The final design and placement has not been finalized, pending approval by Public Services and Transportation Services; staff has incorporated, as a condition of approval, that the applicant continue to work with staff on finalizing the signage, which will also require the approval of the owner of the 463 Princeton Drive property.

#### **ENVIRONMENTAL DETERMINATION**

If the request is approved, it would be exempt from the provisions of the California Environmental Quality Act under Section 15332 for In-Fill Development. This project site is less than five acres (4.1 acres total) and the development is in compliance with the City's General Plan and zoning designation. The project also complies with the requirements for inclusion under this exemption as follows:

- The project is consistent with the applicable General Plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.

- The proposed development occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses.
- The project site has no value as a habitat for endangered, rare, or threatened species.
- Approval of the project would not result in any significant effects related to traffic, noise, air quality, or water quality.
- The site can be adequately served by all required utilities and public services.

**GENERAL PLAN CONFORMITY**

Because the project, if approved, is required to be operated in compliance with the recommended conditions of approval, the project would conform to the City's General Plan. The specific General Plan objective with which the proposed project complies with is the following:

- Land Use Objective LU-1F.5: Provide opportunities for the development of well-planned and designed projects which, through vertical or horizontal integration, provide for the development of compatible commercial within a single project or neighborhood. The project also complies with the uses and development as allowed per the General Commercial designation of the property and the maximum allowable Floor Area Ratio (FAR).

**LEGAL REVIEW**

The City Attorney has reviewed the resolution and it has been approved as to the form by the City Attorney's Office.

**ALTERNATIVES**

The Planning Commission has the following alternative:

1. Deny the project as revised. If the project were denied, the applicant could not submit substantially the same type of application for six months. The applicant can continue with the construction of the new dealership building, without the deck, as approved under PA-88-134 A1.

  
 \_\_\_\_\_  
 MEL LEE, AICP  
 Senior Planner

  
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 JERRY GUARRACINO, AICP  
 Interim Assistant Director of  
 Development Services

Distribution: Director of Economic & Development/Deputy CEO  
 Senior Deputy City Attorney  
 Public Services Director  
 City Engineer

Transportation Services Manager  
Fire Protection Analyst  
Director of Community Improvement Division  
Staff (4)  
File (2)

Dennis Flynn Architects, Inc.  
Attn: Linda Francis, Architect, LEED AP  
190 South Glassell Street, Suite 200  
Orange, CA 92866

Peggy Lee Nabers/White Hawk Partnership  
32355 Pauma Heights Road  
Pauma Valley, CA 92061

Margaret C. Engard  
448 Princeton Drive  
Costa Mesa, CA 92626

Teresa Drain  
427 Princeton Drive  
Costa Mesa, CA 92626

Scott Nguyen  
458 Princeton Drive  
Costa Mesa, CA 92626

James Fowler  
463 Princeton Drive  
Costa Mesa, CA 92626

- Attachments:
1. Draft Resolution
  2. Applicant's Description of the Use
  3. Concept College Park Entry Sign Plans
  4. Location Map, Site Photos, and Plans

## RESOLUTION NO. PC-14-

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING PLANNING APPLICATION PA-88-134 A2, SECOND AMENDMENT OF THE CONDITIONAL USE PERMIT FOR THE ORANGE COAST BUICK/GMC/CADILLAC DEALERSHIP LOCATED AT 2600 HARBOR BOULEVARD**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Dennis J. Flynn Architects, Inc, authorized agent for the owner of real property located at 2600 Harbor Boulevard, for the following:

- Second amendment to Planning Application PA-88-134 for the Orange Coast Buick/GMC/Cadillac dealership to construct a 34,000 square foot second floor parking deck over a portion of the previously permitted 52,779 square foot automotive dealership building, as well as a portion of the proposed parking lot, for storage of vehicle inventory.
- Administrative adjustment to deviate from rear yard setback requirements for the proposed second floor parking deck (50-foot rear yard setback required; 32-foot setback proposed). A previous variance for a zero-foot rear setback was approved under PA-88-134. A 32-foot rear yard setback for the dealership building was approved under PA-88-134 A1.

WHEREAS, a duly noticed public hearing held by the Planning Commission on July 14, 2014 with all persons having the opportunity to speak and be heard for and against the proposal.

WHEREAS, the project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines; and the City environmental procedures, and has been found to be exempt from CEQA under Section 15303 for New Construction.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A and subject to the conditions of approval contained within Exhibit B, the Planning Commission hereby **APPROVES** Planning Application PA-88-134 A2.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-88-134 A2 and upon applicant's compliance with each and all of the conditions in Exhibit B, and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the project, or if the applicant fails to comply with any of the conditions of approval.

**PASSED AND ADOPTED this 14th day of July, 2014.**

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Jim Fitzpatrick Chair,  
Costa Mesa Planning Commission



## EXHIBIT A

### FINDINGS

- A. The proposed project complies with Costa Mesa Municipal Code Section 13-29(e) because:

**Required Finding:** A compatible and harmonious relationship exists between the proposed use and existing buildings, site development, and uses that exist or have been approved for the general neighborhoods.

**Response:** With the implementation of the recommended conditions of approval, the proposed project will be compatible and harmonious with uses that exist within the general neighborhood. The project features quality construction and materials. The proposed site improvements and upgrades will improve and enhance the appearance of the property from Harbor Boulevard. Interface of the project with abutting residential uses per the conditions of approval for PA-88-134 A1 require permanent masonry walls a minimum height of 8 feet height as well as a landscape buffer for all of the abutting homes south of the property line.

**Required Finding:** Safety and compatibility of the design of the parking areas, landscaping, luminaries, and other site features including functional aspects of the site development such as automobile and pedestrian circulation have been considered.

**Response:** The on-site parking for the project exceeds the amount required by code, which requires a total of 211 parking spaces for this development; the submitted plans indicate 359 parking spaces, including the proposed deck. New light standards near residential properties will be required to be located and oriented in such a way as to minimize light spillage onto surrounding properties. This includes the light standards proposed for the parking deck.

**Required Finding:** The use complies with performance standards as prescribed elsewhere in the Zoning Code.

**Response:** The project complies with the intent of the City's Zoning Code as it pertains to building height, setbacks, and on-site landscaping, and complies with the intent of the Zoning Code as it pertains to on-site parking spaces and overall project Floor Area Ratio (FAR).

**Required Finding:** The use is consistent with the General Plan.

**Response:** Because the project, if approved, is required to be operated in compliance with the recommended conditions of approval, the project would conform to the City's General Plan. The specific General Plan objective with which the proposed project complies with is the following:

Land Use Objective LU-1F.5: Provide opportunities for the development of well-planned and designed projects which, through vertical or horizontal integration, provide for the development of compatible commercial within a single project or neighborhood. The project also complies with the uses and development as allowed per the General Commercial designation of the property and the maximum allowable Floor Area Ratio (FAR).

**Required Finding:** The cumulative effect of all the planning applications have been considered.

**Response:** The cumulative effects of the previous conditional use permits for this site (PA-88-134 and PA-88-134 A1) have all been considered for this project and incorporated as conditions of approval for PA-88-134 A2 where appropriate.

- B. The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(2) because:

**Required Finding:** The proposed development or use is substantially compatible with developments in the same general area and would not be materially detrimental to other properties within the area.

**Response:** The current proposal involves the construction of a new second-story vehicle parking deck; however, unlike the deck that was demolished, the proposed structure will be set back 52 feet from the property line with the single-family residences to the south, and exceeds the 50-foot setback required by Code (two times the height of the structure, which is 25 feet, 4 inches in height). Per the conditions of approval for PA-88-134 A1, permanent masonry walls a minimum height of 8 feet are required along the perimeter interior side and rear property lines. Additionally, the landscape planter along the side (south) property line, adjacent to the single family residences along Princeton Drive, will be extended the full length of the side property line to provide a landscape buffer for all of the abutting homes south of the property line. The landscape buffer will also be required to be densely landscaped. The proposed development, with the recommended conditions of approval, will be compatible with the other uses in the immediate vicinity. Compliance with the conditions of approval will allow this use to operate with minimal impact on surrounding properties and uses.

**Required Finding:** Granting the conditional use permit or minor conditional use permit will not be materially detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood.

**Response:** The development will be required to comply with all applicable California Building and Fire Code requirements to ensure the development is not materially detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood

**Required Finding:** Granting the conditional use permit or minor conditional use permit will not allow a use, density or intensity which is not in accordance with the general plan designation and any applicable specific plan for the property.

**Response:** The project site is zoned C1 (Local Business District) and has a General Plan Designation of General Commercial. The project complies with the intent of the City's Zoning Code as it pertains to building height, setbacks, and on-site landscaping, and complies with the intent of the Zoning Code as it pertains to on-site parking spaces and the General Plan as it pertains to overall project Floor Area Ratio (FAR).

- C. The project, as conditioned, is consistent with Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code in that the development project's traffic impacts will be mitigated by the payment of traffic impact fees.
- D. Portions of the proposed building are an excessive distance from the street necessitating fire apparatus access and provisions for on-site fire hydrants.

## EXHIBIT B

### CONDITIONS OF APPROVAL

- Plng.
1. The conditions of approval, code requirements, and special district requirements of PA-88-134 A2 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
  2. These conditions shall supersede the conditions for PA-88-134 A1.
  3. The use shall be limited to the type of operation as described herein. Any change in the operational characteristics shall require review by the Planning Division and may require an amendment to the conditional use permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change. The applicant is reminded that Code allows the Planning Commission to modify or revoke any planning application based on findings related to public nuisance and/or noncompliance with conditions of approval [Title 13, Section 13-29(o)].
  4. The following operating conditions of approval and/or mitigation measures for PA-88-134 shall continue to be complied with:
    - a. Employees shall be instructed to park on-site and not on adjacent residential streets. Additionally, it shall be ensured that adequate customer parking exists on-site.
    - b. The landscape area within the 45-foot setback adjacent to Princeton Drive (including the four existing trees) shall continue to be maintained. The Development Services Director may approve modifications to this area to accommodate the proposed College Park Entry signage.
    - c. Trees and shrubs of a sufficient height, texture, and shape shall be installed and maintained in order to obscure the dealership from residences to the east and south.
    - d. Public address system with outdoor speakers shall be prohibited.
  5. Customer and employee parking areas shall be clearly delineated on the site plan and at the project site. If parking problems arise, the operator shall institute whatever operational measures are necessary to minimize or eliminate the problem including, but not limited to, reducing the number of vehicles displayed outdoors.
  6. Test driving of vehicles shall not occur on adjacent residential streets or within residential neighborhoods. The applicant shall provide an exhibit showing the test driving routes for approval by the Planning Division.
  7. The vehicle display area at the corner of Harbor Boulevard and Merrimac Way shall not encroach into the landscape setback area.
  8. The use shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood, including, but not limited to, excessive use of car alarms, employee honking horns, and the use of air compressors outside of buildings. The applicant and/or operator shall institute whatever security and operational measures are necessary to comply with this requirement.
  9. A copy of the conditions of approval for the conditional use permit must be kept on premises and presented to any authorized City official upon request. New

business/property owners shall be notified of conditions of approval upon transfer of business or ownership of land.

10. The developer shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy. This inspection is to confirm that the Planning Division conditions of approval and code requirements have been satisfied.
11. It is recommended that the project incorporate green building design and construction techniques where feasible. The applicant may contact the Building Safety Division at (714) 754-5273 for additional information.
12. Demolition permits for existing structures shall be obtained and all work and inspections completed prior to final building inspections. Applicant is notified that written notice to the Air Quality Management District may be required ten (10) days prior to demolition.
13. The subject property's ultimate finished grade level may not be filled/raised unless necessary to provide proper drainage, and in no case shall it be raised in excess of 30 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site stormwater flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties.
14. Permanent masonry wall(s) shall be maintained or constructed along the perimeter interior side and rear property lines of the development lot at a minimum height of eight feet as measured from the highest adjacent grade. The perimeter walls shall have a finished quality on both sides. Where walls on adjacent properties already exist, the applicant shall work with the adjacent property owner(s) to prevent side-by-side walls with gaps in between them. The Development Services Director may approve other alternative design and opaque materials for the perimeter walls.
15. The landscape setback areas along the street frontages shall be landscaped with trees and vegetation. The landscape plan shall be approved prior to issuance of building permits and shall contain 24-inch box trees to the satisfaction of the Development Services Director.
16. The landscape planter along the side (south) property line, adjacent to the single family residences, shall be extended the full length of the property line to provide a landscape buffer for all of the abutting homes on this property line, and shall be a minimum of 5 feet in depth clear of the bumper overhang of parked vehicles. The landscape buffer shall also be densely landscaped, subject to the approval by the Development Services Director or designee.
17. Permits shall be obtained for all signs according to the provisions of the Costa Mesa Sign Ordinance. Freestanding signs shall be subject to review and approval by the Planning Division/Development Services Director to ensure compatibility in terms of size, height, and location with the proposed/existing development, and existing freestanding signs in the vicinity.

18. Prior to the issuance of building permits, the applicant shall submit a lighting plan and photometric study for the approval of the City's Development Services Department. The lighting plan shall demonstrate compliance with the following:
  - The mounting height of lights on light standards shall not exceed 18 feet in any location on the project site (including the parking deck) unless approved by the Development Services Director.
  - The intensity and location of lights on buildings shall be limited to minimize nighttime light and glare to residents and shall be subject to the Development Services Director's approval.
  - All site lighting fixtures shall be provided with a flat glass lens. Photometric calculations shall indicate the effect of the flat glass lens fixture efficiency.
  - Lighting design and layout shall limit light spillage to no more than 0.5 foot-candles at the property line of the surrounding properties, consistent with the level of lighting that is determined necessary for safety and security purposes on site. Light standards near residential properties shall be located and oriented in such a way as to minimize light spillage onto surrounding properties.
  - The intensity of the parking deck lighting shall be reduced from 9:00 pm until dawn each day to minimize lighting impacts to surrounding properties.
19. No exterior roof access ladders, roof drain scuppers, or roof drain downspouts are permitted. This condition relates to visually prominent features of scuppers or downspouts that not only detract from the architecture but may be spilling water from overhead without an integrated gutter system which would typically channel the rainwater from the scupper/downspout to the ground. An integrated downspout/gutter system which is painted to match the building would comply with the condition. This condition shall be completed under the direction of the Planning Division.
20. Developer shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.
21. The developer shall provide, at their expense, two entry signs stating "College Park" at the corner of Harbor Boulevard and Princeton Drive to identify the College Park residential neighborhood. The final design and placement shall be subject to the approval of the Public Services and Transportation Services

Divisions. The applicant shall continue to work with staff on finalizing the signage, which will also require the approval of the owner of the 463 Princeton Drive property.

- Eng. 22. Maintain the public right-of-way in a "wet-down" condition to prevent excessive dust and promptly remove any spillage from the public right-of-way by sweeping or sprinkling.
- Trans. 23. Remove existing street parking bays along the Harbor Boulevard frontage, construct new full height curb and gutter, and install new parkway landscaping under the direction of the Public Services Division/City Engineer.
24. Loading and unloading of vehicles delivered to the dealership shall be done on-site. Overlay turning templates and path of travel for trucks delivering vehicles on the site plan.
25. Loading and unloading of vehicles delivered to the dealership shall not occur adjacent to residential properties.

### **CODE REQUIREMENTS**

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng. 1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
2. Approval of the zoning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) obtains demo permit(s), grading permit(s), or building permit(s) for the authorized construction and initiates construction; and/or 2) obtains a business license and/or legally establishes the business. If the applicant is unable to establish the use/obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the zoning application.
3. Street address shall be visible from the fascia adjacent to the main entrance or on another prominent location. Numerals shall be a minimum twelve (12) inches in height with not less than three-fourth-inch stroke and shall contrast sharply with the background. Identification of individual units shall be provided adjacent to the unit entrances. Letters or numerals shall be four (4) inches in height with not less than one-fourth-inch stroke and shall contrast sharply with the background.
4. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Years Day, Memorial Day, Independence

Day, Labor Day, Thanksgiving Day and Christmas Day.

5. Development shall comply with all requirements of Articles 3 and 9, Chapter V, Title 13 of the Costa Mesa Municipal Code relating to commercial development standards.
6. All new on-site utility services shall be installed underground.
7. Parking stalls shall be double-striped in accordance with City standards.
8. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
9. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
10. Two (2) sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
11. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
12. Two (2) sets of landscape and irrigation plans, approved by the Planning Division, shall be attached to two of the final building plan sets.
13. Existing mature trees shall be retained wherever possible. Should it be necessary to remove existing trees, the applicant shall submit a written request and justification to the Planning Division. A report from a California licensed arborist may be required as part of the justification. Replacement trees shall be of a size consistent with trees to be removed and may be required on a 1:1 basis. This requirement shall be completed under the direction of the Planning Division.
14. Trash enclosure(s) or other acceptable means of trash disposal shall be provided. Design of trash enclosure(s) shall conform with City standards. Standard drawings are available from the Planning Division.
- Bldg. 15. Comply with the requirements of the 2013 California Building Code, 2013 California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
16. Submit grading plans, an erosion control plan, and a hydrology study for this project.
17. The applicant shall submit a soils report for this project. Soils report

recommendation shall be blueprinted on both the architectural and grading plans.

18. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus 2 percent. 2010 California Building Code CBC 1808.7.4
19. The ground immediately adjacent to the foundation shall be sloped away from the building at a slope of not less than 5% for a minimum of 10 feet measured perpendicular to the face of the wall. CBC 1803.3.
20. Prior to or concurrent with the submittal of plans for plan check, the applicant shall prepare and submit documentation for compliance with the State Water Resources Control Board (SWRCB) Water Quality Order 99-08-DWQ; National Pollutant Discharge Elimination System (NPDES) Permit No. CAS000002 for Storm Water Discharges Associated with Construction Activity (General Permit); the California Regional Water Quality Control Board (RWQCB) Santa Ana Region Order No. R8-2002-0010 and NPDES Permit No. CAS618030; and, the City of Costa Mesa Ordinance No. 97-20 for compliance with NPDES Permit for the City of Costa Mesa. Such documentation shall include a Water Quality Management Plan (WQMP) identifying and detailing the implementation of the applicable Best Management Practices (BMPs).
- Eng. 21. For demolition, grading, or building permits involving projects with a valuation of \$10,000 or more, the contractor shall use a City-permitted hauler(s) to haul any debris or solid waste from the job site (refer to Section 8-83(h), Regulations, of Title 8 of the Costa Mesa Municipal Code). Use of a City-permitted hauler for such projects is the responsibility of the designated contractor. Non-compliance is subject to an administrative penalty as follows: \$1,000 or 3% of the total project value, whichever is greater.
22. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Cross lot drainage shall not occur. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
23. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb and sidewalk.
24. Fulfill City of Costa Mesa Drainage Ordinance No. 06-19 requirements prior to approval of Plans.
25. The storm runoff study shall show existing and proposed facilities and

the method of draining this area and tributary areas without exceeding the capacity of any street or drainage facility on-site or off-site.

- Trans. 26. Fulfill mitigation of off-site traffic impacts at the time of issuance of occupancy by submitting to the Planning Division the required traffic impact fee pursuant to the prevailing schedule of charges adopted by the City Council. The traffic impact fee is calculated including credits for all existing uses. NOTE: The Traffic Impact Fee will be recalculated at the time of issuance of building permit/certificate of occupancy based upon any changes in the prevailing schedule of charges adopted by the City Council and in effect at that time.
27. Close unused drive approaches with full height curb and gutter per City Standards.
28. Parking spaces shall comply with City Standards.
- Fire 29. Provide four Class A fire hydrants to be located per the direction of the Costa Mesa Fire Department. See Fire Prevention.
30. Provide Fire Sprinkler System per the California Fire Code.
31. Provide 12-inch addresses per Costa Mesa Fire Department standard.
- Parks/  
Pkwys 32. Plant 24-inch box Pyrus calleryana "Aristocrat" in parkway landscape areas along the Merrimac Way frontage of the project site. The street side parking along Merrimac Way will remain. Where existing driveways are closed along Merrimac Way it will be replaced with parking and, where necessary, parkway.

### **SPECIAL DISTRICT REQUIREMENTS**

The requirements of the following special districts are hereby forwarded to the applicant:

- Sani 1. It is recommended that the developer contact the Costa Mesa Sanitary District at (949) 645-8400 to obtain Sanitary District requirements.
- AQMD 2. Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by the district.
- School 3. Pay applicable Newport Mesa Unified School District fees to the Building Division prior to issuance of building permits.
- State 4. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation.
- Water 5. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District.



May 28, 2014

Orange Coast Buick/GMC/Cadillac  
DFA Job #21028  
Project description letter: canopy addition

Dennis Flynn Architects is proposing a 34,000 sq.ft. addition to the previously permitted 60,336 square feet, two story automotive dealership located at 2600 Harbor Boulevard. Orange Coast Cadillac would like to increase their parking capacity. This will be accomplished by increasing the size of the roof top and parking vehicles on the roof of a portion of the building. The use of the land is to remain automotive sales and service.

Linda Francis, Architect  
Dennis J. Flynn, Architects, Inc.

BEFORE DECK



-108-

# Orange Coast Buick-GMC-Cadillac Coming Soon

DENNIS J. FLYNN  
ARCHITECTS, INC.  
150 S. GLASSSELL, SUITE B  
ORANGE, CALIFORNIA, 92666  
(714) 802-9300 - dennis@dfarch.net



AFTER DECK



-bbbl-

# Orange Coast Buick-GMC-Cadillac Coming Soon

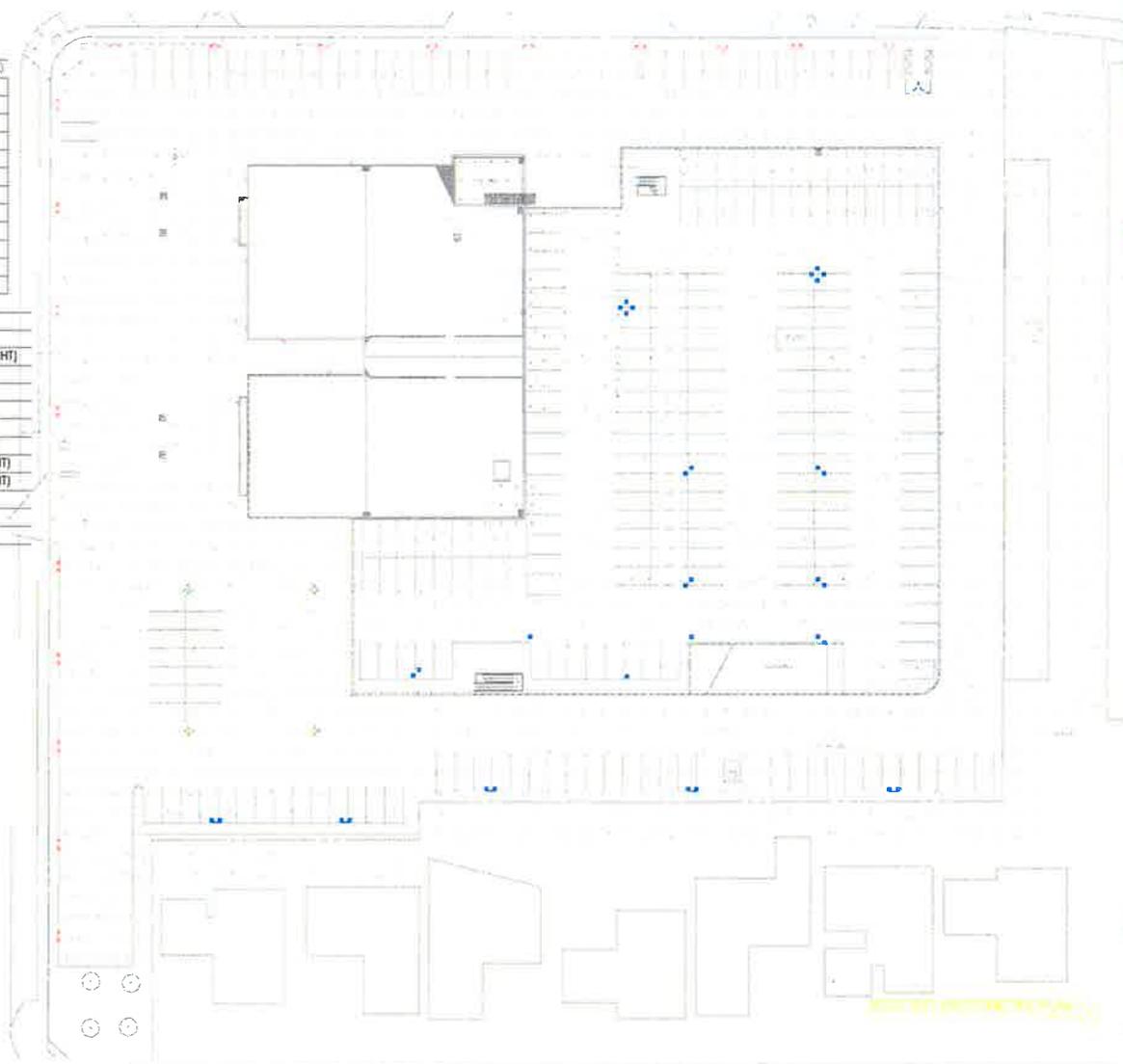
DENNIS J. FLYNN  
ARCHITECTS, INC.  
100 S. GLASSELL, SUITE B  
ORANGE, CALIFORNIA, 92666  
(714) 602-9300 - dennis@dfarch.net





Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF
	36	G-CADILLAC	SINGLE	7588	0.750
	4	XSB-5X-qua	4 @ 90 DEGREES	31023	0.900
	8	XSB-FTX-W	SINGLE	29014	0.900
	18	XSB-FTX-ca	SINGLE	29185	0.900
	5	XAWM3-2-WA	SINGLE	11960	0.900
	26	H-CADILLAC	SINGLE	2378	0.750
	15	H-CADILLAC	SINGLE	5242	0.750
	13	H-BUICK_I	SINGLE	5242	0.750
	18	XSB-FTX-I	TWIN	29014	0.900
	23	A2	SINGLE	28558	0.900
	5	A2-Twin	TWIN	28558	0.900

Symbol	Description
	AMERLUX LIGHTING: RD6-100-T6-E-FL (RD6 series 6 incg ROUND METAL HALIDE DOWNLIGHT)
	LSI INDUSTRIES: XSB-5X-LED-HO-CW-UE
	LSI INDUSTRIES: XSB-FTX-LED-HO-CW-UE
	LSI INDUSTRIES: XSB-FTX-LED-HO-CW-UE
	LSI INDUSTRIES: XAWM3-2-LED-119-450-CW-UE
	AMERLUX LIGHTING: RD6-39-T6-E (RD6 series 6 incg ROUND METAL HALIDE DOWNLIGHT)
	AMERLUX LIGHTING: RD6-70-T6-E-FL (RD6 series 6 incg ROUND METAL HALIDE DOWNLIGHT)
	AMERLUX LIGHTING: RD6-70-T6-E-FL (RD6 series 6 incg ROUND METAL HALIDE DOWNLIGHT)
	LSI INDUSTRIES: XSB-FTX-LED-HO-CW-UE
	LSI INDUSTRIES: XSB-FTX-LED-HO-CW-UE-HSS
	LSI INDUSTRIES: XSB-FTX-LED-HO-CW-UE-HSS



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Level Parking	Illuminance	Fc	21.66	74.0	0.0	N.A.	N.A.
Residential - Ground Level	Illuminance	Fc	0.08	0.9	0.0	N.A.	N.A.
Roof Parking	Illuminance	Fc	9.58	30.9	1.1	8.71	28.09

1-201-



ORANGE COAST  
BUICK GMC CADILLAC  
2000 AMERICAN BOULEVARD  
COSTA MESA, CA 92626

ORANGE COAST BUICK GMC CADILLAC  
ROOF-SITE PHOTOMETRIC PLAN



E2.3

-202-

5'-0"  
5'-0"

45'-0"

LANDSCAPE SETBACK

2' TO 3' BRICK SIGN WALL W/ PILASTERS & BOSTON IVY

GROUND COVERS

SMALL ACCENT PLANTS

TURF

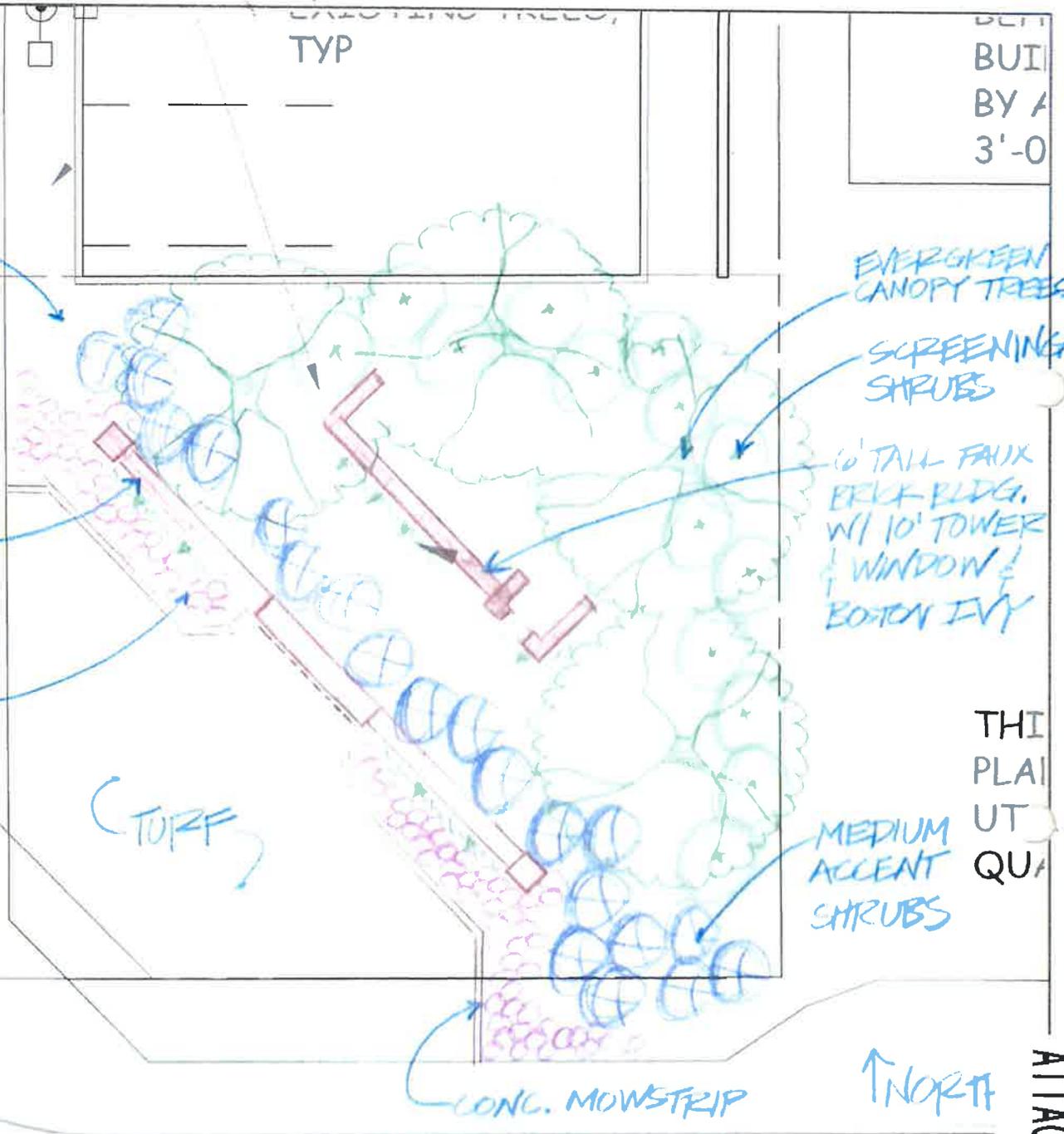
ALL EXIST. LANDSCAPE TO BE REMOVED

LONG. MOWSTRIP

↑ NORTH

1" = 10'

COLLEGE PARK ENTRY MONUMENT



EXISTING TREES, TYP

BUTT  
BUI  
BY 4  
3'-0"

EVERGREEN CANOPY TREES

SCREENING SHRUBS

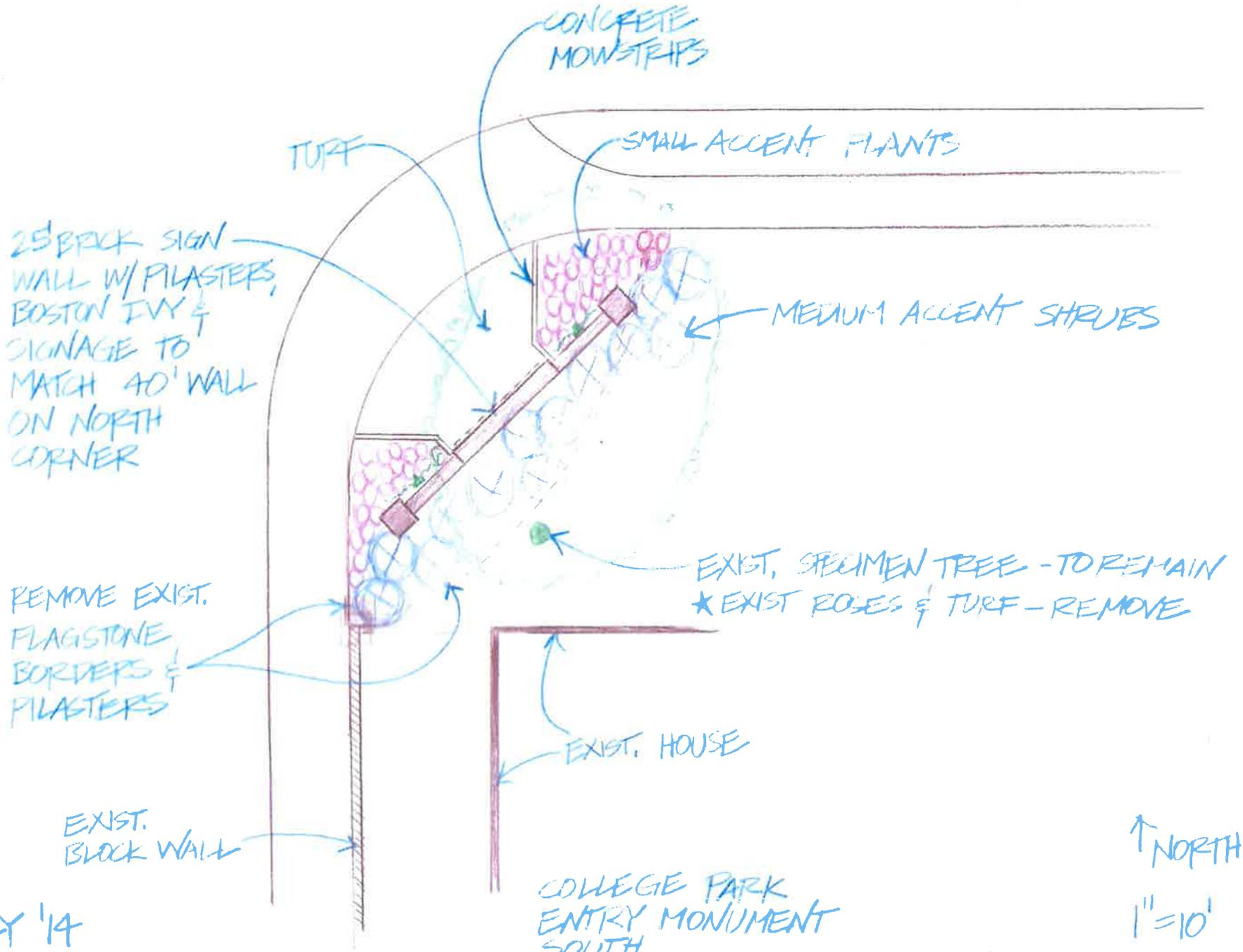
10' TALL FAUX BRICK BLDG. W/ 10' TOWER WINDOW & BOSTON IVY

THIS  
PLAN  
UT  
QUA

MEDIUM ACCENT SHRUBS

ATTACHMENT 3

-203-



25' BRICK SIGN WALL W/ PILASTERS, BOSTON IVY & SIGNAGE TO MATCH 40' WALL ON NORTH CORNER

CONCRETE MOWSTRIPS

TURF

SMALL ACCENT PLANTS

MEDIUM ACCENT SHRUBS

REMOVE EXIST. FLAGSTONE BORDERS & PILASTERS

EXIST. SPECIMEN TREE - TO REMAIN  
\* EXIST. ROSES & TURF - REMOVE

EXIST. HOUSE

EXIST. BLOCK WALL

COLLEGE PARK ENTRY MONUMENT SOUTH

↑ NORTH

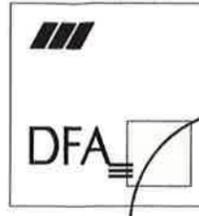
1" = 10'

2 JULY '14

COLLEGE PARK ENTRY MONUMENT  
HARBOR & PRINCETON  
21 JUNE '14

-204-





**DENNIS J. FLYNN ARCHITECTS, INC.**  
 190 S. GLASSELL ST., SUITE 200  
 ORANGE, CALIFORNIA 92866

# Orange Coast Cadillac Addition to permitted building

2600 Harbor Blvd,  
Costa Mesa, Ca

**The Suburban  
Collection**  
 1795 Maple Lawn  
 Troy, Michigan

## SHEET INDEX

ARCHITECTURAL	
T1	COVER SHEET
A1	PROPOSED SITE PLAN
A2	PROPOSED FIRST FLOOR PLAN
A3	PROPOSED SECOND FLOOR PLAN
A4	PROPOSED ROOF PLAN
A5	PROPOSED ELEVATIONS

## PROJECT INFORMATION

APN NUMBER: 141-732-07  
 PROJECT OWNER: THE SUBURBAN COLLECTION  
 PROJECT NAME: 1795 MAPLE LAWN, TROY, MI  
 PROJECT ADDRESS: ORANGE COAST CADILLAC  
 2600 HARBOR BLVD, COSTA MESA, CA  
 EXISTING LAND USE: AUTOMOTIVE SALES AND REPAIR  
 PROPOSED LAND USE: AUTOMOTIVE SALES AND REPAIR  
 TOTAL LAND AREA: 4.1 ACRES (176,803 SF)  
 TOTAL BUILDING FLOOR AREA: 94,338 SF  
 FLOOR AREA RATIO: (41,688 SF/176,803 SF) = 0.23  
 LOT COVERAGES:  
 BUILDING FOOTPRINT AREA: 41,688 SF/176,803 SF = 0.23  
 DRIVEWAY & PARKING AREA: 115,688 SF/176,803 SF = 0.65  
 OPEN SPACE AREA: 21,228 SF/176,803 SF = 0.12  
 PARKING: SEE PARKING TABULATION ON A-1  
 RATIO:  
 NO. OF STORIES: 2 STORY  
 MAXIMUM HEIGHT OF BUILDING: 30'-0"  
 OCCUPANCY: B, S1, S2  
 CONSTRUCTION TYPE: V-B  
 SPRINKLERED/ALARMED: YES

PROJECT DESCRIPTION:  
 34,000 SQUARE FOOT ADDITION TO  
 PERMITTED BUILDING

## CONSULTANT LIST

OWNER:  
 THE SUBURBAN COLLECTION  
 1795 MAPLE LAWN  
 TROY, MICHIGAN 48064  
 CONTACT: TIM LEROY PH 248-519-6888 FAX 248-505-2611

ARCHITECT:  
 DENNIS J. FLYNN ARCHITECTS INC.  
 300 NORTH EUGLIO STREET  
 FULLERTON, CA 92832  
 714-870-4480 CONTACT: LINDA FRANCIS  
 FAX: 714-870-4420

## VICINITY MAP



THE PROJECT SHALL COMPLY WITH:  
 2013 CALIFORNIA BUILDING CODE  
 2013 CALIFORNIA MECHANICAL CODE  
 2013 CALIFORNIA PLUMBING CODE  
 2013 CALIFORNIA ELECTRICAL CODE  
 2013 CALIFORNIA FIRE CODE  
 2013 CALGREEN CODE

\*I HAVE REVIEWED THE TITLE 24 ENERGY CONSERVATION STANDARDS FOR NON-RESIDENTIAL BUILDINGS AND THE DESIGN SUBMITTED CONFORMS SUBSTANTIALLY WITH THOSE REGULATIONS.

ARCHITECT \_\_\_\_\_ LICENSE NO. \_\_\_\_\_

**ORANGE COAST CADILLAC  
2600 HARBOR BLVD**

DATE: 05/21/14  
 DEVELOPMENT PLAN SUBMITTAL

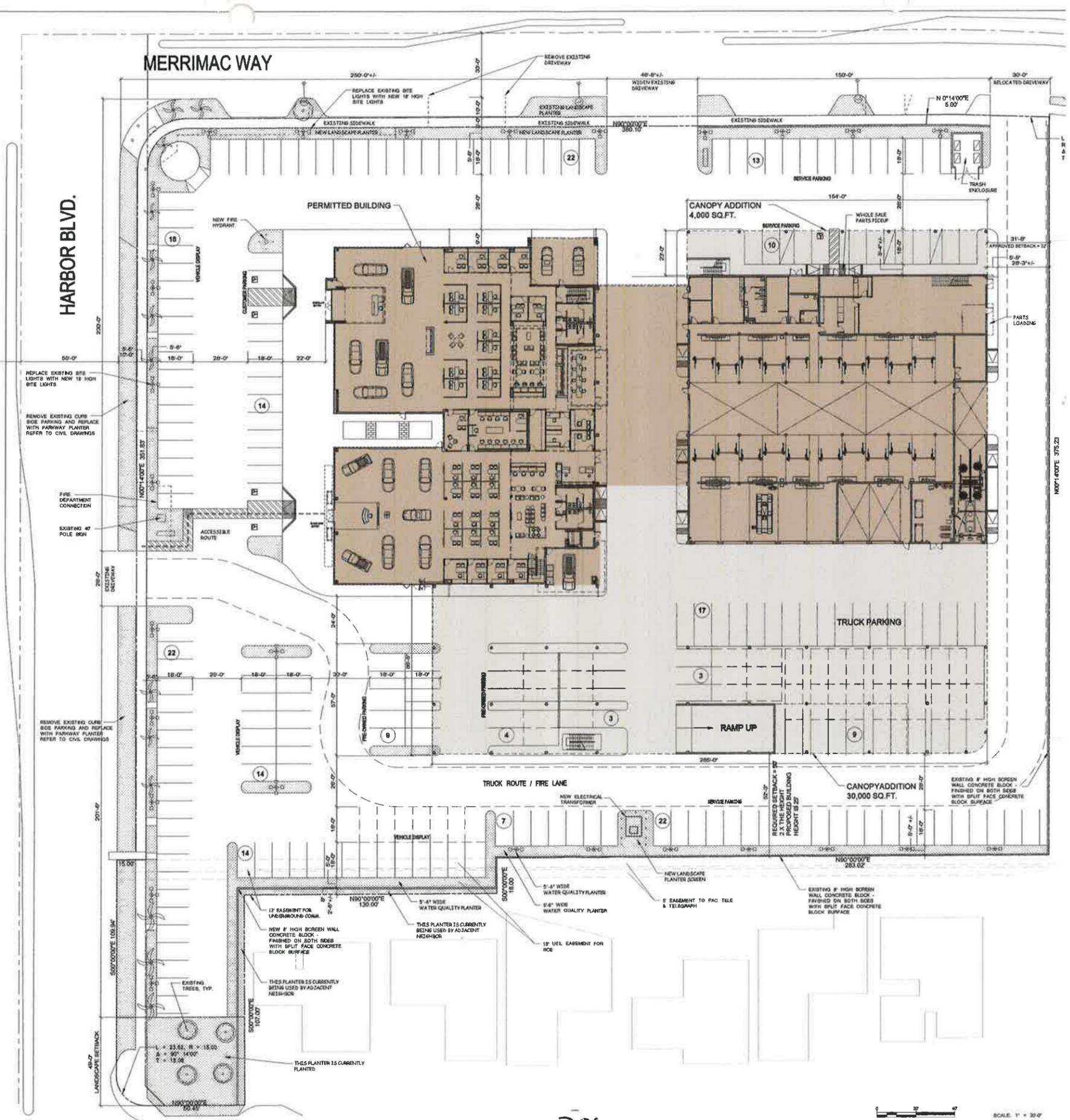
**21028**

**T-1**



**DENNIS J. FLYNN ARCHITECTS, INC.**

190 S. GLASSELL ST, SUITE 200, ORANGE, CALIFORNIA 92866 TEL: 714-602-9300 FAX: 714-602-9307



PROJECT TABULATIONS	
SITE ADDRESS: 2900 HARBOR BOULEVARD	
SITE AREA: 178,803 S.F. (4.1 ACRES)	
BUILDING AREA:	
FIRST FLOOR ENCLOSED BUILDING - PERMITTED	41,888 SF
FIRST FLOOR CANOPY - PERMITTED	1,307 SF
SECOND FLOOR - PERMITTED	1,888 SF
PROPOSED ADDITIONAL CANOPY	34,000 SF
TOTAL PROPOSED BUILDING AREA	83,083 SF
BUILDING RATIO (178,803 SF):	
PERMITTED BUILDING AREA	49 PERCENT
REQUIRED PARKING:	211 SPACES
PROVIDED PARKING (ORBS)	211 SPACES
DEVELOPER'S OPEN PARKING RATIO (178,803 SF):	68 PERCENT
REQUIRED LANDSCAPE AREA:	5,170 SF
PROVIDED LANDSCAPE AREA	13,300 SF
OPEN SPACE RATIO (178,803 SF):	12 PERCENT
CAR COUNT:	
CUSTOMER PARKING	14
SERVICE PARKING	21
DISPLAY PARKING - EMPLOYER	206
TOTAL	241
STREET SIDE CURB PARKING	8
SERVICE BAYS	25
WASH BAYS	1
CARWASH TUNNEL	1
REQUIRED ACCESSIBLE STALLS - 3 STALLS	
17 - OBSERVED PARKING STALLS IDENTIFIED AS LOW EMITTING FUEL EFFICIENT AND CARPOOL / VAN POOL - 8% OF 211	
8 - BICYCLE PARKING STALLS REQUIRED - 5% OF 88	

PLANNING DEPARTMENT NOTES:

12. THE LOT/TRACT FINISHED MAY NOT BE FILLED / RAISED UNLESS NECESSARY TO PROVIDE PROPER DRAINAGE, AND IN NO CASE SHALL IT BE RAISED BY MORE THAN 30 INCHES ABOVE THE FINISHED GRADE OF ANY ADJACENT PROPERTY.

13. PERMITS SHALL BE OBTAINED FOR ALL SIGNS ACCORDING TO THE PROVISIONS OF THE COSTA MESA ORDINANCE.

14. CONSTRUCTION RELATIONS OFFICER: RICHARD CARROLL WITH PACIFIC WEST BUILDERS, PHONE NUMBER IS (916) 290-0112, ADDRESS IS 2548 FIRST STREET, SUITE 107, SHER VALLEY, CA 95766



DENNIS J. FLYNN ARCHITECTS, INC.

100 S. GLASSBELL STREET, SUITE 200  
ORANGE, CALIFORNIA 92668  
(714) 802-8300 FAX (714) 802-8300

05/27/14 DEVELOPMENT PLAN SUBMITTAL

ORANGE COAST  
BUICK GMC CADILLAC  
2800 HARBOR BOULEVARD  
COSTA MESA, CALIFORNIA

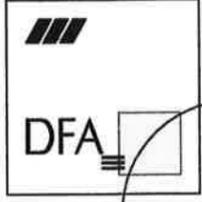
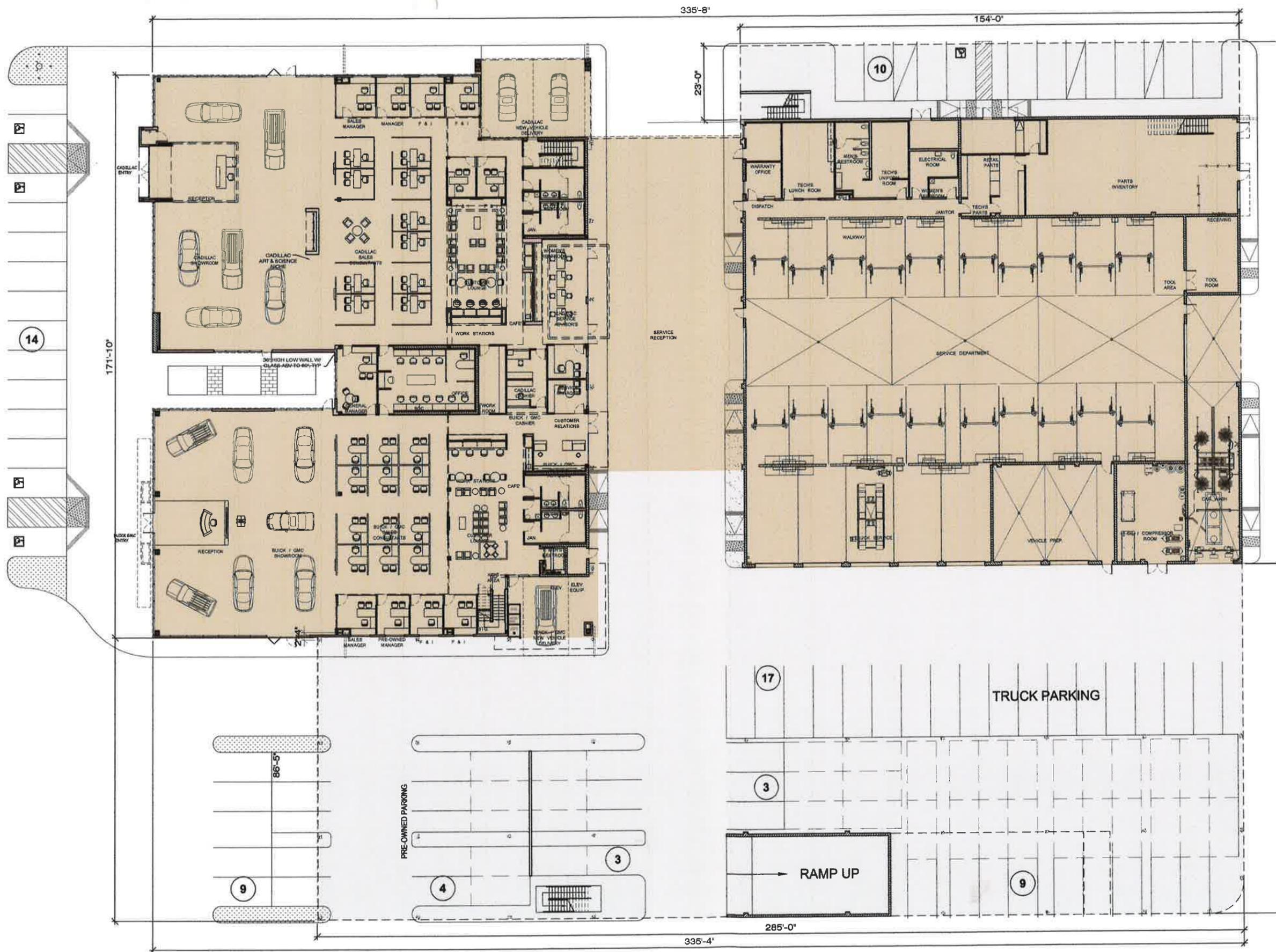
CANOPY ADDITION  
SITE PLAN - ADDITION

THE SUBURBAN  
COLLECTION  
1705 MAPLE LAWN  
TROY, MICHIGAN



PROJECT 21028

PRELIMINARY BID PLANS:  
THESE DOCUMENTS HAVE NOT BEEN COMPLETELY REVIEWED BY THE OWNER, PROJECT TEAM OR THE BUILDING DEPARTMENT. THESE DOCUMENTS ARE SUBJECT TO REVISION. FUTURE PLAN REVISIONS MAY NOT BE CLEARLY INDICATED AS SUCH. ANY BIDS MADE OR CONTRIBUTION PERFORMED BASED ON THESE DOCUMENTS IS AT THE RISK OF THOSE MAKING THE BID OR PERFORMING THE WORK.



**DENNIS J. FLYNN ARCHITECTS, INC.**

190 S. GLASSELL STREET, SUITE 200  
ORANGE, CALIFORNIA 92666  
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05/27/14 DEVELOPMENT PLAN SUBMITTAL

**ORANGE COAST  
BUICK GMC CADILLAC**  
2600 HARBOR BOULEVARD  
COSTA MESA, CALIFORNIA

**CANOPY ADDITION  
FIRST FLOOR PLAN**

**THE SUBURBAN  
COLLECTION**  
1795 MAPLE LAWN  
TROY, MICHIGAN

PROJECT 21028

PRELIMINARY BID PLANS. THESE DOCUMENTS HAVE NOT BEEN COMPLETELY REVIEWED BY THE OWNER, PROJECT TEAM OR THE BUILDING DEPARTMENT. THESE DOCUMENTS ARE SUBJECT TO REVISION. FUTURE PLAN REVISIONS MAY NOT BE CLEARLY INDICATED AS SUCH. ANY BID MADE OR CONSTRUCTION PERFORMED BASED ON THESE DOCUMENTS IS AT THE RISK OF THOSE MAKING THE BID OR PERFORMING THE WORK.



NORTH

**A-2**

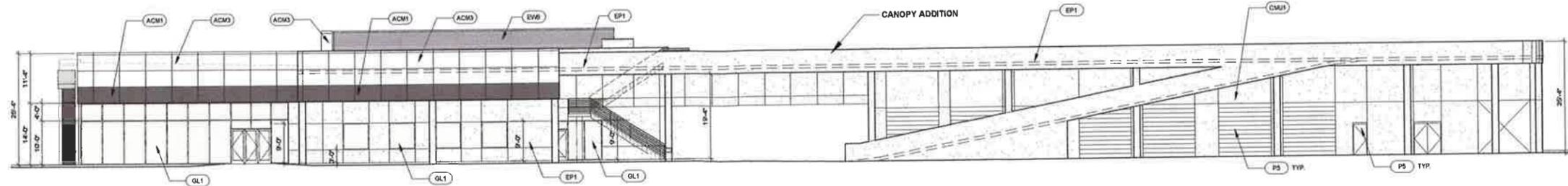
FIRST FLOOR PLAN

-207-

SCALE: 3/8" = 1'-0"

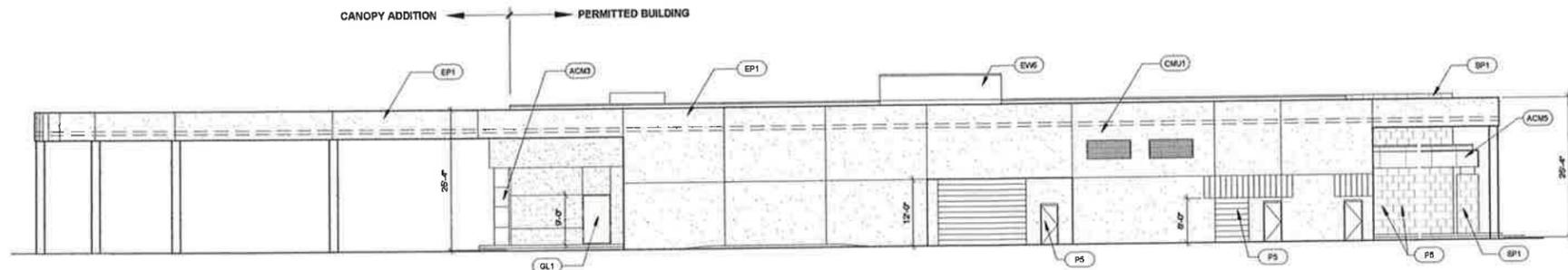






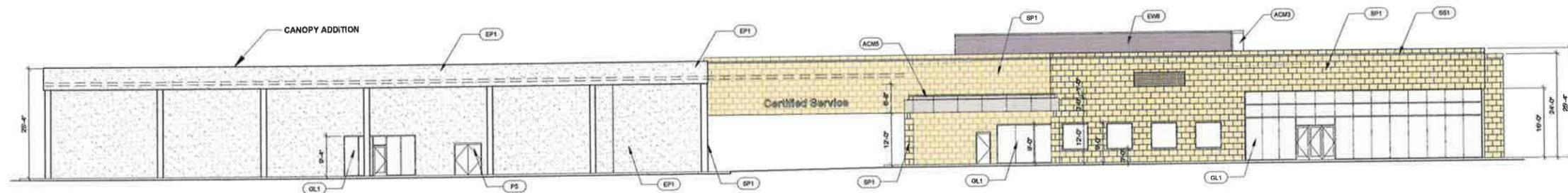
**SOUTH ELEVATION**

SCALE: 3/32" = 1'-0"



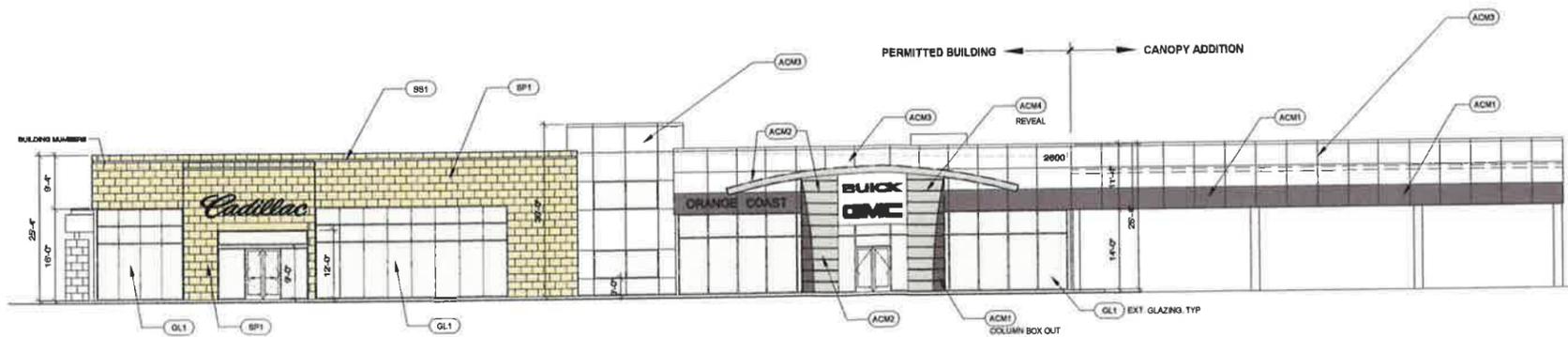
**EAST ELEVATION**

SCALE: 3/32" = 1'-0"



**NORTH ELEVATION**

SCALE: 3/32" = 1'-0"



**WEST ELEVATION**

SCALE: 3/32" = 1'-0"



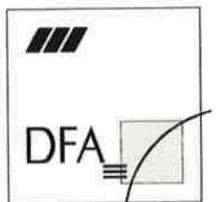
**BUICK GMC COLOR SCHEME**



**CADILLAC COLOR SCHEME**

**KEYNOTES - (ACM1)**

- SP1 - EXTERIOR LIMESTONE PANELS
- ACM1 - ALUM COMPOSITE METAL PANEL, BLACK
- ACM2 - ALUM COMPOSITE METAL PANEL, BRUSHED ALUMINUM
- ACM3 - ALUM COMPOSITE METAL PANEL, WHITE
- ACM4 - ALUM COMPOSITE METAL PANEL, HIGH POLISHED ALUM.
- ACM5 - ALUM COMPOSITE METAL PANEL, CHAMPAGNE METALLIC
- EP1 - EXTERIOR PAINT, SNOW WHITE
- EWB - CORRUGATED METAL EQUIPMENT SCREEN, COLOR TO MATCH ACM5
- PS - EXTERIOR PAINT, AGREEABLE GREY (METAL DOORS)
- GL1 - CLEAR BUTT JOINTED GLAZING, SOLARBAN 80
- CMU1 - SPLIT FACED UNIT, COLOR TO MATCH EP1
- CMU2 - PRECISION UNIT, COLOR TO MATCH EP1
- SS1 - 4" STAINLESS STEEL REVEAL



**DENNIS J. FLYNN ARCHITECTS, INC.**

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052714 DEVELOPMENT PLAN SUBMITTAL

**ORANGE COAST  
BUICK GMC CADILLAC**  
2800 HARBOR BOULEVARD  
COSTA MESA, CALIFORNIA

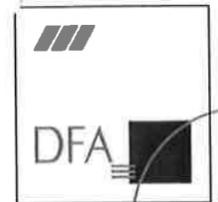
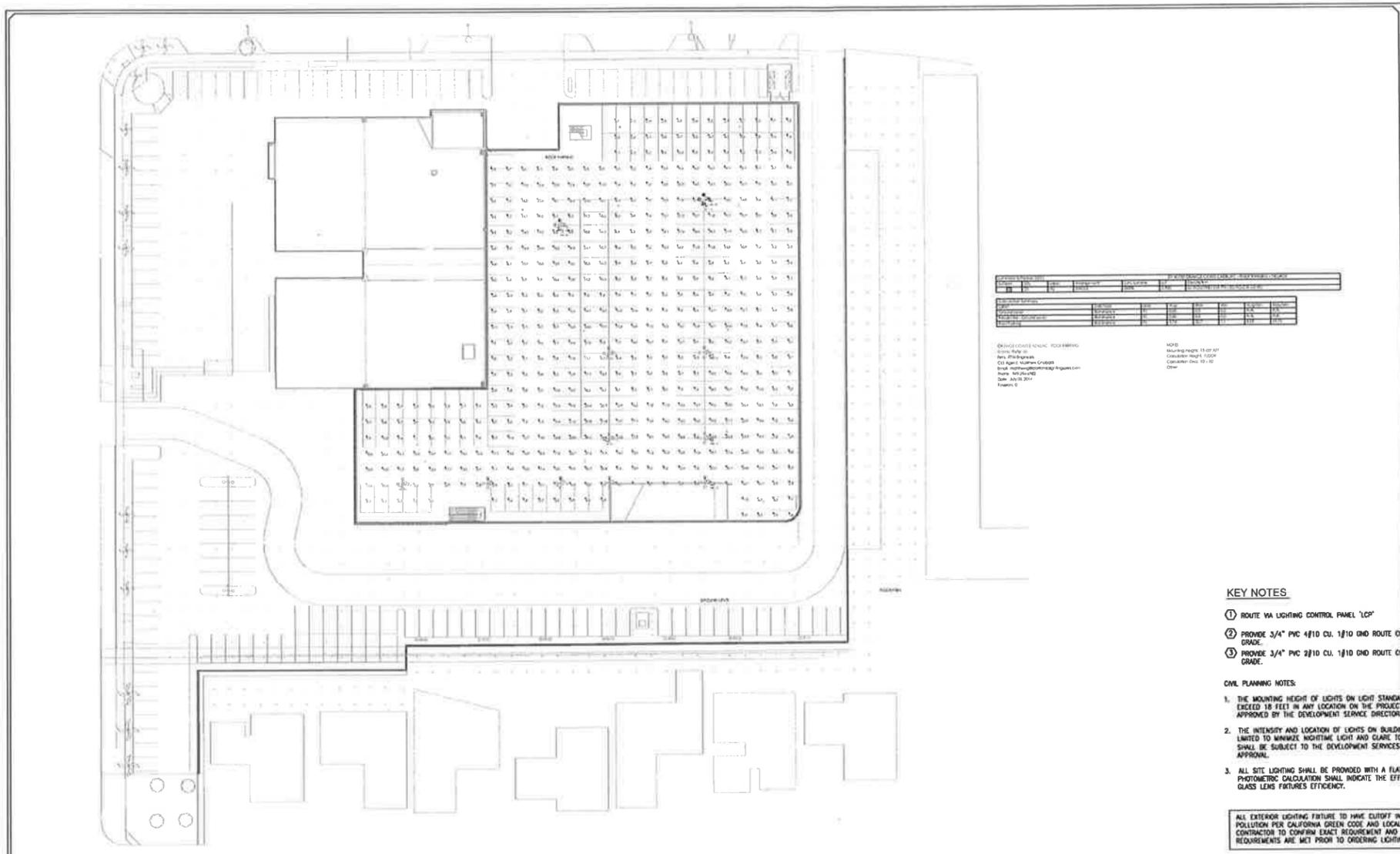
**CANOPY ADDITION  
PROPOSED EXT ELEVATIONS**

**THE SUBURBAN  
COLLECTION**  
1785 MAPLE LAWN  
TROY, MICHIGAN

PROJECT 21028

PRELIMINARY BID PLANS. THESE DOCUMENTS HAVE NOT BEEN COMPLETELY REVIEWED BY THE OWNER, PROJECT TEAM OR THE BUILDING DEPARTMENT. THESE DOCUMENTS ARE SUBJECT TO REVISION. FUTURE PLAN REVISIONS MAY NOT BE CLEARLY INDICATED AS SUCH. ANY BIDS MADE OR CONSTRUCTION PERFORMED BASED ON THESE DOCUMENTS IS AT THE RISK OF THOSE MAKING THE BID OR PERFORMING THE WORK.





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PROJECT: 212-2012-01-001  
DATE: 08/14/14

08/01/13 DEVELOPMENT PLAN SUBMITTAL

11/06/13 BUILDING DEPARTMENT SUBMITTAL

01/08/14 BUILDING DEPARTMENT RESUBMITTAL

02/20/14 BUILDING DEPARTMENT RESUBMITTAL

03/11/14 BUILDING DEPARTMENT RESUBMITTAL

03/31/14 CIVIL DEPARTMENT RESUBMITTAL

06/14/14 CLARIFICATION

**ORANGE COAST  
BUICK GMC CADILLAC**  
2600 HARBOR BOULEVARD  
COSTA MESA, CALIFORNIA

**ORANGE COAST BUICK GMC CADILLAC  
SITE ELECTRICAL PLAN**

**THE SUBURBAN  
COLLECTION**  
1795 MAPLE LAWN  
TROY, MICHIGAN



PROJECT 21028

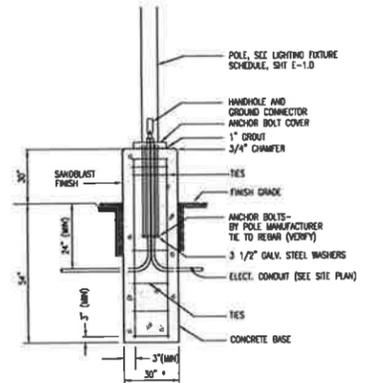
**KEY NOTES**

- ① ROUTE VIA LIGHTING CONTROL PANEL 'LCP'
- ② PROVIDE 3/4" PVC 4" ID CU 1/10 OHD ROUTE CONDUIT 24" BELOW GRADE.
- ③ PROVIDE 3/4" PVC 2" ID CU 1/10 OHD ROUTE CONDUIT 24" BELOW GRADE.

**CIVIL PLANNING NOTES**

- 1. THE MOUNTING HEIGHT OF LIGHTS ON LIGHT STANDARDS SHALL NOT EXCEED 18 FEET IN ANY LOCATION ON THE PROJECT SITE UNLESS APPROVED BY THE DEVELOPMENT SERVICE DIRECTOR.
- 2. THE INTENSITY AND LOCATION OF LIGHTS ON BUILDING SHALL BE LIMITED TO MINIMIZE NIGHTTIME LIGHT AND GLARE TO RESIDENT AND SHALL BE SUBJECT TO THE DEVELOPMENT SERVICES DIRECTOR'S APPROVAL.
- 3. ALL SITE LIGHTING SHALL BE PROVIDED WITH A FLAT GLASS LENS. PHOTOMETRIC CALCULATION SHALL INDICATE THE EFFECT OF THE FLAT GLASS LENS FEATURES EFFICIENCY.

ALL EXTERIOR LIGHTING FIXTURE TO HAVE CUTOFF IN LENS OF LIGHTING POLLUTION PER CALIFORNIA GREEN CODE AND LOCAL ORDINANCE. CONTRACTOR TO CONFIRM EXACT REQUIREMENT AND ENSURE REQUIREMENTS ARE MET PRIOR TO ORDERING LIGHTING FIXTURES.



\* ALL DIMENSIONS AND BASE SPECS SHALL BE SPECIFIED BY STRUCTURAL ENGINEER

ASSUME WINDLOAD 80 MPH SUSTAINED WIND (LOAD (VERIFY SPECIFIC AREA REQUIREMENT), AND 1.3 GUST FACTOR. PROVIDE POLE DATA WITH SUBMITTAL. SEE STRUCTURE PLAN FOR DESIGN CALCULATIONS

ANCHOR BOLT AND BASE PLATE SHALL BE BY POLE MANUF. COORDINATE ALL REQUIREMENTS WITH POLE MANUFACTURER.

**POLE BASE DETAIL**

SCALE: NONE (NOTE: POLE BASE DETAIL IS INTENDED FOR REFERENCE ONLY. SEE STRUCTURE DRAWINGS FOR APPROVED DETAIL.)

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**E2.1**