



PLANNING COMMISSION AGENDA REPORT

III. 2.

MEETING DATE: SEPTEMBER 11, 2006

SUBJECT: NORTH COSTA MESA HIGH-RISE RESIDENTIAL PROJECTS:
FINAL PROGRAM EIR NO. 1052 (SCH#2006011077), GENERAL PLAN AMENDMENT GP-06-02,
ZONING CODE AMENDMENT CO-06-05, NORTH COSTA MESA SPECIFIC PLAN AMENDMENT SP-
06-02, AND PRELIMINARY MASTER PLANS: PA-05-53 FOR SEGERSTROM TOWN CENTER, PA-05-
52 FOR ORANGE COUNTY MUSEUM OF ART, PA-05-47 FOR SYMPHONY TOWERS, AND PA-05-50
FOR PACIFIC ARTS PLAZA.

DATE: AUGUST 30, 2006

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DESCRIPTION

The North Costa Mesa High-Rise Residential Projects consists of five development sites located as follows:

- 3400/3420 Bristol Street (Site 1 – Segerstrom Town Center)
- 605 Town Center Drive (Site 2 – Orange County Museum of Art)
- 580 Anton Boulevard (Site 3 – The Californian at Town Center)
- 585 Anton Boulevard (Site 4 – Symphony Towers)
- 675 Anton Boulevard (Site 5 – Pacific Arts Plaza).

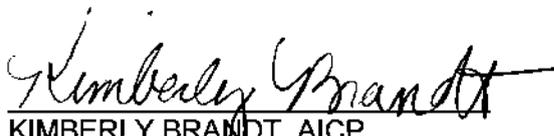
In brief, the proposed project generally involves demolition of existing structures, modification of unbuilt entitlements, and/or conversion of unbuilt entitlements for the construction of new high-rise residential condominium buildings collectively totaling 1,269 dwelling units, with ancillary commercial/retail uses. Amendments to the City's General Plan, Zoning Code, and North Costa Mesa Specific Plan are required. With the exception of proposed final master plan for Site 3--The Californian at Town Center, preliminary master plans are proposed. The final master plan and vesting tract map discussion for Site 3 is provided in a separate staff report.

RECOMMENDATION

Recommend that City Council take the following actions:

1. Certify Final Program EIR No. 1052 (SCH#2006011077).
2. Approve General Plan Amendment GP-06-02.
3. Approve North Costa Mesa Specific Plan Amendment SP-06-02.
4. Give first reading to Zoning Code Amendment CO-06-05.
5. Approve the following Preliminary Master Plans: PA-05-53 for Segerstrom Town Center, PA-05-52 for Orange County Museum of Art, PA-05-47 for Symphony Towers, and PA-05-50 for Pacific Arts Plaza.


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BACKGROUND

In December 2005, five developers in the South Coast Plaza Town Center and South Coast Metro area collectively submitted applications for high-rise residential projects. All of the five high-rise residential sites were initially prescreened by City Council and accepted for processing.

On August 7, 2006, the City conducted a community workshop open to the general public to disseminate information on the proposed projects and receive verbal and written comments on the Draft Program EIR in circulation at that time.

On August 14, 2006, the Planning Commission held its first public hearing to receive public comments on the Draft Program EIR. A "Responses to Comments" document was prepared and provided as Attachment 9.

ANALYSIS

Preliminary Master Plans

The proposals would create a unique housing type and will be the first of this kind of housing type in Costa Mesa. The new buildings will feature world-class architecture designed by renown architects, and the high-rises will complement the cultural and entertainment arts center uses at South Coast Plaza Town Center. The proposed project would meet the housing needs of the high-income segments of the community at a level no greater than which can be supported by planned infrastructure improvements.

The preliminary master plans are described in detail and attached as Exhibit "C" of the adopting resolution for each preliminary master plan (Attachments 6-8).

The five proposed projects are briefly described below, and

- Site 1 – Segerstrom Town Center by South Coast Plaza Partners: Preliminary Master Plan PA-05-53 for: (a) demolition of 84,025 sq.ft. office buildings and (b) conversion of a maximum of 103,355 sq.ft. of unbuilt office entitlement for the construction of a maximum of 225 residential high-rise units, resulting in 233,170 sq.ft. of office space at 3420 Bristol Street in a TC zone; (a) demolition of 31,500 sq.ft. of theaters and (b) construction of a maximum of 50 additional residential high-rise units atop an unbuilt 200-room hotel entitlement at 3400 Bristol Street in a TC zone.
- Site 2 – Orange County Museum of Art by the Orange County Performing Arts Center: Preliminary Master Plan PA-05-52 for construction of a maximum of 80 residential high-rise units atop an unbuilt 140,000 sq.ft. museum building entitlement at 605 Town Center Drive in a TC zone. The museum would occupy three to four floors, and include exhibit space, museum offices, a gift shop, restaurant uses, and cultural conference facilities. Underground parking is included as a component of the project to serve the museum and residential uses.
- Site 3 – The Californian at Town Center by Fifield Properties: Final Master Plan PA-05-48 for: (a) demolition of 21,349 sq.ft. of Lakes Pavilions Retail Center and (b) construction of a maximum of 250 residential high-rise units within two 25-story residential high-rises with additional 2,350 sq.ft. of ancillary retail at 580 Anton Boulevard in a PDR-MD zone. Approval of a Vesting Tentative Tract Map VT-17017 is also requested. **[Note: Because the proposal is for a final master plan, this project is discussed in a separate staff report.]**

- Site 4 – Symphony Towers by J.K. Sakioka Company/Stockbridge/South Coast/AMS Craig: Preliminary Master Plan PA-05-47 for: (a) demolition of 17,529 sq.ft. of existing restaurants, (b) conversion of an unbuilt 300-room hotel entitlement, (c) construction of a maximum of 484 residential high-rise units within two 24-story high rises and two 6-story midrises, with additional 6,000 sq.ft. of ancillary retail at 585 Anton Boulevard in a PDC zone. The preliminary master plan would include a total of 484 residential units, consisting of a wide range of bedroom mix and 6,000 square feet of ground level retail uses. Units will generally be organized in two “pods.” Each pod will include a residential tower, a five-story parking garage, and a six-story building with parking, flats, and townhouses. A rooftop amenity deck will be located on top of the five-story parking garage at each pod. Two parking structures (one 4-story and one 3-story) will be provided south and southeast, respectively, of the residential towers to provide replacement parking for the stalls in the existing surface lots, which provide parking for the on-site office uses, to be displaced as a result of project implementation.
- Site 5 – Pacific Arts Plaza by Maguire Properties: Preliminary Master Plan PA-05-50 for: (a) demolition of a 67,450 sq.ft. office building and (b) construction of a maximum 180 residential high-rise units at 675 Anton Boulevard in a TC zone. This development would require the demolition of the existing 5-story bank building. The proposed tower may include subterranean parking, as well as some at-grade parking and/or a parking structure. The project may include residential units ranging from studios to three bedrooms.

Table 1 summarizes the proposed development and includes the net change in vehicle trips compared to General Plan conditions, which includes previously unbuilt entitlements and proposed demolition.

Table 1 - Project Development Summary and Net Change in Trips Compared to General Plan Conditions

Existing Development Of Project Site ¹	Previously Unbuilt Entitlements	Proposed High-Rise Building	Slated for Demolition	Net Change in Trips (General Plan Conditions compared to Proposed Project) ⁵
Site 1 - Segerstrom Town Center – Sub-Area of South Coast Plaza Town Center at 3400 and 3420 Bristol Street				
31,500 sq. ft. theaters (2)	200-key hotel 220,000 sq.ft.	Max. 50 units in addition to unbuilt hotel entitlement	31,500 sq.ft. theaters (2)	-35 trips am peak hour 0 trips pm peak hour
84,025 sq.ft. office	336,525 sq.ft. office tower	Max. 103,355 sq.ft. conversion of unbuilt office entitlement to a maximum of 225 residential high-rise units resulting in 233,170 sq.ft. of office space	84,025 sq.ft. office	+525 trips ADT
Site 2 - Orange County Museum of Art – Sub-Area of South Coast Plaza Town Center at 605 Town Center				
Vacant	140,000 sq.ft. art museum/academy	Max. 80 units atop unbuilt 140,000-sq.ft. museum building	N/A	+37 trips am peak hour +45 trips pm peak hour +484 trips ADT
Site 3 – The Californian at Town Center – Sub-Area of The Lakes Pavilions at 580 Anton Boulevard				
21,349 sq.ft. retail	N/A	Max. 250 units within two 25-story residential high-rises and 2,350 sq.ft. of ancillary retail	21,349-sq.ft. Lakes Pavilion Retail Center	+98 trips am peak hour +17 trips pm peak hour + 45 trips ADT
Site 4 – Symphony Towers – Sub-Area of South Coast Metro Center at 585 Anton Boulevard				
17,529 sq.ft. of two restaurants	200,950 sq.ft. (300-key hotel)	Two 24-story high rises and two 6-story mid-rises: 484 dwelling units 6,000 sq.ft. ancillary retail	17,529 sq.ft. (2 existing restaurants)	+45 trips am peak hour -18 trips pm peak hour -869 trips ADT
Site 5 - Pacific Arts Plaza – Sub-Area of South Coast Plaza Town Center at 675 Anton Boulevard				
67,450 sq.ft. of office	N/A	180-unit residential high-rise tower	67,450 sq.ft. of office	-22 trips am peak hour 0 trips pm peak hour +346 trips ADT
TOTAL NET CHANGE IN TRIPS			+123 trips am peak hour +44 trips pm peak hour +531 trips ADT	
TOTAL NET CHANGE IN COMMERCIAL/OFFICE SQ. FOOTAGE			-213,503 square feet	
TOTAL NET CHANGE IN RESIDENTIAL			+1,269 units	
NOTES:				
1. <i>Overall Acreage of Specific Plan Area</i> – Refers to the total acreage of the development area identified in the NCMSF. Exception: the acreage for the South Coast Plaza Town Center (Area 4 of Specific Plan) has been identified by sub-area.				
2. <i>Net Site Specific Acreage</i> – Refers to a smaller site area within the overall Specific Plan area where the development project is proposed.				
3. <i>Existing Development of Project Site</i> – Refers to existing development in the proposed development site area and not the entire Specific Plan area.				
4. Floor Area Ratio does not include square footage of parking areas, parking structures, elevator shafts, stairwells, and mechanical equipment rooms.				
5. A comparison of the existing General Plan conditions (including unbuilt planned entitlements and proposed demolition of structures) and the proposed project results in the "net change in trips."				

Maximum Building Height

The City has historically been a consistent agency with the Airport Environs Land Use Plan (AELUP). The City has never approved a development plan or building height above 315' above ground level (AGL), and has never overruled any action by the Airport Land Use Commission (ALUC) in the City's history. The ALUC consistency determination is tentatively scheduled to be considered at a public hearing on September 21, 2006.

The ALUC has previously made consistency determinations for buildings at a maximum height of 315' above ground level for the South Coast Plaza Town Center area and a maximum height of 180' AGL for the South Coast Metro area. The City's request to the ALUC involves applying this maximum building height limit to an expanded area east of South Coast Plaza Town Center.

After the ALUC makes its consistency determination for all structures at a maximum of 315' AGL for this area, the City's will continue to prohibit construction above this maximum limit and to require each property owner to grant an avigation easement in favor of John Wayne Airport above 315' AGL, in conjunction with new high-rise entitlements above 173' AGL in the project area.

Table 2 – Proposed Building Height Limits

Project Site	Specific Plan Height Limits*	Proposed Height*
Site 1 – Segerstrom Town Center	315'	315'
Site 2 – Orange County Museum of Art	315'	315'
Site 3 – The Californian at Town Center	90' for residential 110' for commercial	280'
Site 4 – Symphony Towers	180'	315'
Site 5 – Pacific Arts Plaza	315'	315'

*All building heights are stated as measured Above Ground Level (AGL)

The City's policy is to prohibit construction of buildings which would present a hazard to air navigation as determined by the Federal Aviation Administration (FAA), or independent studies by qualified private consultants that have been certified by the FAA as true and correct. The No Hazard Determination must be obtained prior to approving the final master plan. Conditions of approval related to this issue and to the requirement of a buyer's notice and avigation easement are included as part of the Mitigation Monitoring Program in the preliminary master plan resolutions.

Other Discretionary Actions

General Plan Amendment

The Land Use Element and the Noise Element of the General Plan need to be amended to allow for development of high-rise residential uses proposed at the five project sites analyzed in this Program EIR (Attachment 2, Amended Pages of General Plan). A brief summary table is provided below.

Table 3 – General Plan Amendments

Site	General Plan Land Use Designation	General Plan Amendment
Site 1 – Segerstrom Town Center Site 2 – Orange County Museum of Art Site 5 – Pacific Arts Plaza	Cultural Arts Center	Land Use Element Amendment to the Cultural Arts Center land use designation to allow for high-rise residential development option. A total of 535 dwelling units would be permitted throughout the 54-acre Cultural Arts Center Designation with a corresponding decrease in the FAR from 1.70 to 1.77 Trip Budget <ul style="list-style-type: none"> - Increase the 54-acre Cultural Arts Center land use designation maximum AM Peak Hour Trip Budget from 5,143 to 5,180 for residential option - Increase the 54-acre Cultural Arts Center land use designation maximum PM Peak Hour Trip Budget from 6,587 to 6,632 for residential option
Site 3 – The Californian at Town Center	High Density Residential	Land Use Element Density Increase from 20 dwelling units per acre to 125 dwelling units per acre for the 2-acre site Trip Budget <ul style="list-style-type: none"> - None required.
Site 4 – Symphony Towers	Urban Center Commercial	Land Use Element Add site-specific dwelling units density of 100 dwelling units per acre with a corresponding decrease in the FAR from 0.79 to 0.69 as a high-rise residential development option. Trip Budget <ul style="list-style-type: none"> - Increase AM Peak trip budget from 1,886 to 1,931 and decrease in PM Peak trip budget from 1,994 to 1,976 for residential option
Site 1-5	All	Noise Element Application of exterior noise standards to common outdoor recreational amenity areas located on the ground level and exclusion of 65 dB exterior noise standard to upper floors. the noise standard for the exterior areas shall only be applied to common outdoor recreational amenity areas located on the ground level. Recreational amenity areas located above the ground level and private balconies/patios shall be exempt from the exterior standard.

Noise Element

An amendment to the General Plan Noise Element is also required to exempt high-rise residential projects from the City's existing noise ordinance requirement that noise is attenuated to 65 dB for exterior areas. The 65 dB limit is currently exceeded at the sites due to noise generated from traffic on surrounding streets and the I-405 Freeway. Due to the unique urban environment in which these sites are located, an exemption to the 65 dB standard is appropriate. However, common recreational areas located on the ground floor, such as common outdoor amenity decks, will be required to meet the 65 dB noise standard. The General Plan Amendment is inclusive of all other related technical changes to the General Plan required to permit high-rise residential development in North Costa Mesa as described above.

North Costa Mesa Specific Plan (NCMSP) Amendment

An amendment to the NCMSP will be required for the proposed project (Attachment 4, Amended Pages of NCMSP). The Specific Plan implements the policies of the General Plan and provides development standards related to zoning designations, height, floor area ratio, trip budgets, and building heights, among others. The proposed amendment would maintain conformity with General Plan policies and allow for high-rise residential development uses which would increase density and intensity beyond the already existing allowances.

Table 4 is a brief summary of the NCMSP amendments.

Table 4 – Summary of NCMSP Amendments

Table 4

Site	NCMSP Area	Maximum Non-Residential Floor Area Ratio (FAR) ²		Maximum Allowable Dwelling Units		Maximum Trip Budget				Maximum Building Height	
		Existing	Proposed	Existing	Proposed	Existing		Proposed		Existing	Proposed
						AM Peak	PM Peak	AM Peak	PM Peak		
Site 1 – Segerstrom Town Center	Area 4, Sub-Area 3, South Coast Plaza Town Center	1.98	1.88	0	275	2,764	3,453	2,729 ⁴	3,453	315' AGL	315' AGL
Site 2 – Orange County Museum of Art	Area 4, Sub-Area 2, South Coast Plaza Town Center	1.67	1.67	0	80	246	984	283	1,029	315' AGL	315' AGL
Site 3 – The Californian at Town Center	Area 5, The Lakes	N/A	N/A	40 (20 du/ acre)	250 (125 du/ acre)	N/A	N/A	N/A	N/A	90' AGL ¹	280' AGL
Site 4 – Symphony Towers	Area 6, Sub-Area 1, South Coast Metro Center	N/A ²	0.03 ²	0	484	N/A ²	N/A ²	227 ²	290 ²	180' AGL	306' AGL
Site 5 – Pacific Arts Plaza	Area 4, Sub-Area 1, South Coast Plaza Town Center	1.55	1.46	0	180	2,133	2,150	2,111 ⁴	2,150	315' AGL	315' AGL

Notes:

1. For residential uses, 110 feet AGL for commercial uses.
2. The NCMSP Amendment will define sub-areas for South Coast Metro based on different ownership and management. Since the existing NCMSP examines the overall South Coast Metro area and does not identify a specific trip budgeter FAR for these newly-defined sub-areas, the NCMSP Amendment will establish these specifications. This table provides information on maximum FARs and trip budgets for the Symphony Towers Sub-Area 1 of South Coast Metro.
3. The lower proposed non-residential FAR is associated with the residential option and the construction of the maximum allowable number of residential units; the non-residential FAR can be increased to the maximum existing FAR shown in direct relation to the decrease in the maximum allowable dwelling units.
4. The lower trip budget is associated with the residential option with the construction of the maximum allowable number of residential units; the trip budget can be increased to the maximum existing trip budget in direct relation to the decrease in the maximum allowable dwelling units.

Zoning Code Amendment

There are no proposed changes to the Zoning map. Textual changes to the zoning districts, as shown in the table below, to account for the proposed high-rise residential development are required (Attachment 3, Ordinance).

Table 3 – Zoning Code Amendment

Site	Zoning District	Amended to Allow
1 – Segerstrom Town Center	Town Center (TC)	Residential Use
2 – Orange County Museum of Art	Town Center (TC)	Residential Use
3 – The Californian at Town Center	Planned Development Residential (PDR-HD)	Higher Residential Densities as set forth in the NCMSP
4 – Symphony Towers	Planned Development Commercial (PDC)	Higher Residential Densities as set forth in the NCMSP
5 – Pacific Arts Plaza	Town Center (TC)	Residential Use

Additionally, the Noise Ordinance, as amended, includes exceptions for high-rise residential developments in the NCMSP area. For this type of development, the noise standard for the exterior areas shall only be applied to common outdoor recreational amenity areas located on the ground level. Recreational amenity areas located above the ground level and private balconies/patios shall be exempt from the exterior standard.

Other issues

Inclusionary Affordable Housing Requirements

Concerns have been raised by affordable housing advocates that the proposed high-rise residential projects do not make any provisions for inclusionary affordable housing.

It is important to note that the proposed project would not result in any significant adverse impacts related to the CEQA thresholds established in the Program EIR for Housing/Population/Employment or Land Use Planning, and that the proposed high-rise residential projects would be consistent with the 2000 General Plan, should City Council wish to approve the proposed General Plan amendment. Therefore, no impacts related to housing were identified in the Program EIR, and, as such, no mitigation measures are required.

As the Planning Commission knows, the City currently does not mandate the inclusion of affordable housing in conjunction with new housing development, nor does the City require the payment of an in-lieu fee for the provision of affordable housing. Therefore, staff cannot place such a requirement on the proposed high-rise residential projects. If Commission desires that a mandatory inclusionary affordable program be developed for the City as part of the next Housing Element update (occurring 2007/2008), Commission can direct that recommendation to Council along with its recommendations on the proposed project.

Furthermore, the Draft Program EIR was circulated to the State Housing and Community Development Department, and the State had no comments or concerns to date on the proposed project. Please refer to the Responses to Comments document for more information on this issue.

John Wayne Airport

Staff has reviewed the sample buyer's notice and avigation easement included as Appendix J of the AELUP. John Wayne Airport will be imposing a condition requiring that these two documents be prepared and approved by John Wayne Airport prior to issuance of any building permit for a high-rise residential structure. The City will require that the No Hazard determination be provided prior to approval of a final master plan and limit building height to a maximum 315' AGL.

ENVIRONMENTAL DETERMINATION

The California Environmental Quality Act (CEQA) requires a Program EIR be prepared for the proposed project. Final Program EIR No. 1052 was prepared in accordance with the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and the City of Costa Mesa Environmental Guidelines. Due to the geographic proximity of these projects, the City elected to prepare a Program EIR for all five sites to ensure comprehensive consideration of the cumulative impacts of the project, rather than a project-specific EIR for each individual project. It should be noted that the Program EIR contains project-specific environmental analysis for Site 3, The Californian at Town Center.

Other than air quality impacts and cumulative impacts to library services, all other environmental impacts (i.e. traffic, noise, land use, housing/population, public services) are mitigated to below a level of significance. A Statement of Facts and Findings and Statement of Overriding Considerations (Attachment 2, General Plan Resolution) provide justification for approval of the proposed project despite unmitigable, significant impacts to air quality and library services. The Mitigation Monitoring Program is provided as an attachment to the Preliminary Master Plan resolutions.

Table 4 – Summary of Significant Environmental Impacts

Environmental Topic Requiring Mitigation	Level of Significance after Mitigation
Transportation and Circulation	Less than Significant
<i>Air Quality*</i>	<i>Significant</i>
Noise	Less than Significant
Geology and Soils	Less than Significant
Hydrology and Water Quality	Less than Significant
Hazards & Hazardous Materials	Less than Significant
<i>Public Services – Library Services*</i>	<i>Cumulatively Significant Impact</i>
Utilities and Service Systems	Less than Significant

**Impacts remain significant after mitigation measures are implemented.*

Draft Program EIR No. 1052 (SCH#2006011077) was available for public review and comment from July 19, 2006 to September 1, 2006. No significant new information has been added to the Program EIR and no changes to the proposed project have occurred which would require recirculation under CEQA Guidelines §15088.5.

The Responses to Comments document includes responses by the City of Costa Mesa as lead agency to significant environmental comments raised during the public review period of the Draft Program EIR. [Note: This document will be transmitted to the Planning Commission on September 7, 2006.] The Draft Program EIR, along with the Responses to Comments document and redlined/strikeout (errata pages), constitute the Final Program EIR.

The Final Program EIR and technical appendices may also be downloaded from the City's website at: www.ci.costa-mesa.ca.us. Electronic compact discs of the document are also available from the Planning Division at (714) 754-5245 upon request without charge.

ALTERNATIVES

The Planning Commission may make the following recommendations to City Council:

1. *Certify Final Program EIR No. 1052 and Approve General Plan Amendment GP-06-02, NCMSP Amendment SP-06-02, and Zoning Code Amendment CO-06-05, and Preliminary Master Plans, with any textual modifications to policy and regulatory documents, as recommended by staff.* This action will allow the applicants to proceed with final master plans and/or development of high-rise residential in the project area as an option to the existing General Plan built and unbuilt entitlements.
2. *Certify Final Program EIR No. 1052 and deny all other discretionary approvals.* This action will prohibit high-rise residential development in the North Costa Mesa Specific Plan area. The applicants would be precluded from implementing the proposed high-rise structures, and the existing General Plan unbuilt entitlements will not include high-rise residential development.

CONCLUSION

When Council accepted the General Plan screening requests for the five high-rise residential projects for processing, they stressed the importance of the proposals to be within the development capacity of the General Plan, to feature ownership units, and to exhibit architectural design excellence showcasing the City's cultural arts center. The proposed projects comply with these objectives. A Statement of Overriding Considerations provides justifications for the approval of the proposed project in view of significant impacts identified for air quality and library services.

The proposals would create a unique housing type and will be the first of this kind of housing type in Costa Mesa. The new buildings will complement the cultural and entertainment arts center uses at South Coast Plaza Town Center. The proposed project would meet the housing needs of the high-income segments of the community at a level no greater than which can be supported by planned infrastructure improvements.

- Attachments:
1. Final Program EIR No. 1052 (SCH#2006011077) Resolution
 2. General Plan Amendment GP-06-02 Resolution
 3. North Costa Mesa Specific Plan Amendment SP-06-02 Resolution
 4. Ordinance for Zoning Code Amendment CO-06-05
 5. PA-05-53 for Segerstrom Town Center Preliminary Master Plan Resolution
Note: Exhibit "B" contains the same Mitigation Monitoring Program that will also be attached to all Master Plan resolutions.
 6. PA-05-52 for OCMA Preliminary Master Plan Resolution
 7. PA-05-47 for Symphony Towers Preliminary Master Plan Resolution
 8. PA-05-50 for Pacific Arts Plaza Preliminary Master Plan Resolution
 9. Responses to Comments and Errata Pages of Program EIR provided under separate cover
Note: This document will be transmitted to the Planning Commission on September 7, 2006.
 10. Draft Program EIR No. 1052 previously provided under separate cover

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