



# **PLANNING COMMISSION**

## **AGENDA REPORT**

VII. 4

MEETING DATE: APRIL 11, 2011

ITEM NUMBER:

**SUBJECT:** MASTER PLAN PA-10-26 FOR COMMERCIAL DEVELOPMENT AND TENTATIVE PARCEL MAP 2010-135 FOR SUBDIVISION AT 3135, 3141, 3151, 3161, 3181, AND 3195 HARBOR BLVD.

**DATE:** MARCH 28, 2011

**FOR FURTHER INFORMATION CONTACT:** MINOO ASHABI, AIA SENIOR PLANNER  
(714) 754-5610 ([mashabi@ci.costa-mesa.ca.us](mailto:mashabi@ci.costa-mesa.ca.us))

### **DESCRIPTION**

The applicant is requesting approval of the following for a development that affects five commercial parcels on Harbor Boulevard south of Gisler Avenue located at 3135, 3141, 3151, 3161, 3181, and 3195 Harbor Blvd.

- **Master Plan PA-10-26** for development of the following:
  - A new 7,500 square-foot retail building with three tenant spaces (retail, medical and food use).
  - A new 4,543 square-foot Chick-Fil-A fast food restaurant with drive-through service (for master plan purposes only). *The Minor Conditional Use Permit for this request is under a separate application (ZA-10-55).*
  - A new 13,969 square-foot Fresh and Easy market.
  - Reconfiguration of the site plan for the existing McDonalds restaurant adding an additional drive-through lane.
  - Exterior remodel of an existing 4,800 square-foot retail building containing a liquor store and laundry.
  - *Variance* to reduce the landscape setback along Cinnamon Avenue from 15 feet to five feet;
  - *Conditional use permit* to allow reciprocal parking, ingress & egress and to deviate from shared requirements (220 spaces required, 210 spaces proposed).
- **Tentative Parcel Map 2010-135** to consolidate four parcels (2.95-acres) into three parcels for the new development.
- **A Public Convenience or Necessity finding** due to undue concentration of off-sales licenses to allow sale of alcoholic beverages at the proposed Fresh and Easy market at 3151 Harbor Blvd.

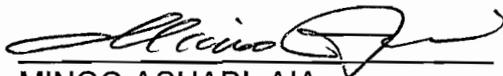
### **APPLICANT**

The applicant is William Lang of Commerce Realty on behalf of the owners of the property.

**RECOMMENDATIONS**

The following actions are recommended:

- Adopt resolution to approve Planning Application PA-10-26, and Tentative Parcel Map 2010-135, subject to conditions.
- Make a Public Convenience or Necessity Finding for the proposed Fresh & Easy Market at 3151 Harbor Blvd.



MINOO ASHABI, AIA  
Senior Planner



KHANH NGUYEN  
Asst. Development Services Director

## PLANNING APPLICATION SUMMARY

Location: 3135, 3141, 3151, 3161, 3181 and 3195 Harbor Blvd. and 1515 Gisler Ave. Application Number: PA-10-26, TPM-10-135

Request: Master plan for development of five commercial parcels with common access and shared parking and a subdivision map to create three new parcels for the new development lots.

### SUBJECT PROPERTY:

### SURROUNDING PROPERTY:

|   |   |
|---|---|
| Zone: <u>C1-S (shopping Center)</u>     | North: <u>C1 (Local Business)</u>                     |
| General Plan: <u>General Commercial</u> | South: <u>C1 (Local Business)</u>                     |
| Lot Dimensions: <u>Irregular Shape</u>  | East: <u>C1 (Local Business)</u>                      |
| Lot Area: <u>128,657 SF (2.95-acre)</u> | West: <u>I&amp;R (Institutional and Recreational)</u> |

Existing Development: Five parcels previously developed with commercial buildings and a motel (motel and one commercial building recently demolished)

### DEVELOPMENT STANDARD COMPARISON

| Development Standard  | Required/Allowed in C1 zone                       | Proposed/Provided   |
|---|---|---|
| Lot Area  | 12,000 SF   | 29,514 SF<br>42,616 SF<br>56,527 SF   |
| Maximum Site Coverage   | N/A   | N/A   |
| Perimeter Open Space  | 20 feet and 15 feet abutting public rights-of-way | 20 feet abutting Harbor Blvd. and Gisler Ave., 10 feet and 5 feet abutting Cinnamon Ave.* |
| Maximum Floor Area Ratio  | 0.30  | 0.25 (new retail)<br>0.10 (Chick-Fil-A)<br>0.24 (Fresh and Easy)                          |
| Building Height   | Two-stories / 30 feet                             | 30 feet   |
| <b>Building Setbacks:</b>   |   |   |
| Front (Harbor Blvd.)  | 20 ft.  | 20 feet   |
| Front (Gisler Ave.)   | 20 ft.  | 20 feet including walkway   |
| Cinnamon Ave. (rear)  | 15 ft.  | Varies from 5 to 10 feet*   |
| Side (left/right)   | N/A   | N/A   |
| <b>Parking:</b>   |   |   |
| Retail  | 23,861 SF @ 4/1000 = 96                           |   |
| Medical   | 2,408 SF @ 6/1000 = 15                            |   |
| Restaurant  | 8,443 SF @ 10/1000 = 109*                         |   |
| <b>Total</b>  | <b>220 stalls</b>                                 | <b>210 stalls**</b>   |
| Interior Landscaping (parking lot)  | 5,500 SF  | 7,624 SF  |
| *A variance is requested to deviate from street setback requirement along Cinnamon. |   |   |
| **A conditional use permit is requested for shared parking on adjoining properties. |   |   |
| Final Action  | Planning Commission                               |   |
| CEQA Review   | Categorical Exemption                             |   |

**PROJECT LOCATION:**

The 4.7-acre project site includes a master plan of five parcels on the west side of Harbor Boulevard between Gisler Avenue and Date Place. The site is zoned C-1 and located within the General Commercial General Plan Land Use Designation (Attachment 3). The existing and previous building and uses on the site are as follows:

3195 Harbor Blvd. – Service Station (vacant, proposed to be demolished)  
 1515 Gisler Avenue – 7-Eleven (vacant, proposed to be demolished)  
 3181 Harbor Blvd. – Big O Tires (demolished)  
 3161 Harbor Blvd. – Service uses (demolished)  
 3151 Harbor Blvd. – Inn at Costa Mesa (demolished)  
 3141 Harbor Blvd. – McDonalds (operating, no change proposed)  
 3135 Harbor Blvd. – Nady's Market and H & H Laundry (exterior renovations proposed)  
 3131 Harbor Blvd. – El Pollo Loco (operating, no change proposed).

**PROJECT DESCRIPTION:*****Master Plan – Planning Application PA-10-26***

The subject property is located on the west side of Harbor Boulevard between Gisler Avenue and Date Place. The master plan application includes new site layout, parcel configuration, and building and parking design related to five parcels. Three of the five parcels that contain 2.95-acres will be redeveloped with new construction and subdivided accordingly.

The master plan will allow development of the following:

- A new 7,500 square-foot retail building with three tenant spaces (retail, medical and food use).
- A new 4,543 square-foot Chick-Fil-A fast food restaurant with drive-through service (for master plan purposes only). *The Minor Conditional Use Permit for this request is under a separate application.*
- A new 13,969 square-foot Fresh and Easy market.
- Reconfiguration of the site plan for the existing McDonalds restaurant adding an additional drive-through lane.
- Exterior remodel of an existing 4,800 square-foot building containing a liquor store and laundry.

***Access and Parking***

The master plan site is currently served by eight driveway accessed from Harbor Boulevard. With reconfiguration of the parcels, these driveways will be reduced to four on Harbor Boulevard and three on Cinnamon Avenue. The new configuration will provide for improved on-site circulation and reduce traffic back up on Harbor Boulevard.

The required and provided parking for the buildings are as follows:

| Address           | Name               | Lot size                   | Building Size  | Required Parking | Provided   |
|-------------------|--------------------|----------------------------|--|------------------|------------|
| 3195 Harbor Blvd. | New Retail         | 29,514 SF<br>0.677- acres  | 7,500 SF<br>Retail – 3,888 SF<br>Food – 1,204 SF<br>Medical - 2,408 SF | 35               | 31         |
| 3181 Harbor Blvd. | Chick Fil-A        | 42,616 SF<br>0.978 - acres | 4,543 SF   | 61               | 58         |
| 3151 Harbor Blvd. | New Fresh and Easy | 56,527 SF<br>1.297 - acres | 13,969 SF  | 56               | 60         |
| 3141 Harbor Blvd. | McDonalds          | Existing                   | 3,900 SF   | 48               | 44         |
| 3135 Harbor Blvd. | Existing Retail    | Existing                   | 4,800 SF<br>Liquor Store –<br>3,000 SF<br>Retail – 1,800 SF            | 20               | 17         |
| <b>Total</b>      |                    |                            |  | <b>220</b>       | <b>210</b> |

All five parcels contain on-site parking; however, reciprocal parking and access is provided through the five parcels. Based on the City's parking ratio, a total of 220 parking spaces will be required for the master plan and 210 spaces are provided. The applicant has submitted a parking study that refers to a peak parking demand for 200 parking spaces on weekdays. In addition, with the shared parking formula typically used for multiple tenant centers, the peak parking demand is for 191 parking spaces. Given that there are two drive-through restaurants in the master plan that allow for additional vehicle stacking, and a very small reduction is requested from City standards, a parking shortage is not anticipated.

### ***Landscaping***

New landscaping is proposed along Harbor Boulevard, Cinnamon Ave. and Gisler Avenue as well as the parking lots for the new parcels and the existing two parcels. The master plan allows for a consistent palette on the Harbor Blvd. street view. The landscaping will consist of a variety of native and ornamental plants that meet the latest water efficiency requirements and a system of bioswales in the perimeter to minimize runoff and provide for on-site infiltration of surface water. A cluster of accent date palms are proposed at the driveways (Attachment 4).

### ***Noise Impacts - Fresh and Easy***

A noise impact analysis was submitted for noise generated by Fresh and Easy truck deliveries and the ground-mounted refrigeration/air conditioning unit at the northwest corner of the building (Attachment 7). The study measured the noise at an existing market and extrapolated the data to determine any noise impacts to the residential properties on Coriander Avenue, approximately 330 feet from the project site. The study determined that no mitigation is needed for the ground mounted equipment;

however the block wall on the south and west side of the lading dock needs to be raised to 15 feet 3 inches to mitigate the loading dock noise to meet requirements of the City's exterior noise standards as follows:

- 55 dB(A) 7:00 a.m. to 11:00 p.m.
- 50 dB(A) 11:00 p.m. to 7:00 a.m.

### ***Traffic Analysis***

A comprehensive traffic study (Attachment 6) was prepared to address redevelopment of the parcels between Gisler Avenue and Date Place (referred to as "northerly") and the development north of Nutmeg Place (referred to as "southerly").

The traffic impact analysis included five key intersections and nine project driveways and the queuing analysis for the proposed Chick-Fil-A restaurant.

The analysis concluded that with the proposed master plan, the northerly site will result in a decrease of 571 in the average daily trips and the southerly site will result in additional 1,067 average daily trips. The analysis also concluded that a traffic signal at Harbor Boulevard and Date Place is warranted since the current level of service of "E" at this intersection will be downgraded as a result of the development. It was noted by the City's Transportation Manager that the applicant be responsible for all cost related to the new signal installation at this intersection and the applicant has verbally agreed to this requirement.

In anticipation for potential widening of Gilser Avenue, a ten-foot reserved dedication was also required along that street frontage that if implemented, will reduce the landscape setback on that frontage to 10 feet and provide for an additional lane and access to the 405 freeway. This dedication has been depicted on the proposed site plan and included as condition of approval.

### ***Delivery Trucks***

Because of the shallow depth of the lot for the proposed Fresh and Easy market, the loading dock is designed to be accessed from Cinnamon Avenue with back up to the loading dock and exiting onto Harbor Boulevard. Fresh and Easy has indicated that the larger trucks (55 foot trucks) deliver twice a day, one at early morning and one late at night during the non-peak hours of traffic and store customers. Other deliveries are expected to be smaller trucks that will have easier on-site maneuvering and less impact to the entrance to McDonalds' site.

### ***Tentative Parcel Map PM-10-135***

The proposed subdivision map will reconfigure four parcels located at 3195, 3151, 3161 and Harbor Blvd. and 1515 Gisler Avenue into three parcels to accommodate the new retail building at the northerly corner, the new Chick-Fil-A restaurant and the new Fresh and Easy market. The existing parcels containing McDonalds and liquor store retail building will remain unchanged. The retail building at 3135 Harbor Blvd. will undergo exterior renovation without any change to the footprint of the building (Attachment 4).

**Parcel Summary:**

| Address           | Parcel No. | Lot Area                   | Development    | No. of parking |
|-------------------|------------|----------------------------|----------------|----------------|
| 3195 Harbor Blvd. | Parcel 1   | 29,514 SF<br>0.677- acres  | New Retail     | 31             |
| 3161 Harbor Blvd. | Parcel 2   | 42,616 SF<br>0.978 - acres | Chick-Fil-A    | 58             |
| 3151 Harbor Blvd. | Parcel 3   | 56,527 SF<br>1.297 - acres | Fresh and Easy | 60             |
| <b>Total</b>      |            | <b>2.95- acres</b>         |                | <b>159</b>     |

The three newly-created lots comply with Code requirements for minimum lot sizes and required street frontage. No variances are required for the proposed subdivision.

**Variance Request**

The proposed project includes a variance request to reduce the landscape setback along Cinnamon Avenue. A minimum 15 foot wide street setback is required along Cinnamon Avenue. The proposed master plan includes a minimum 10 feet of landscaping along the new retail building, Chick-Fil-A and the Fresh and Easy site, but this landscaping is reduced to 5 feet along the McDonalds site. The proposed two-lane drive-through lanes and the access driveway limits the depth of landscaping that can be provided on Cinnamon Avenue. Given that the property's landscape setback on Cinnamon Avenue is mostly opposite of the cemetery on the north and a significant number of trees are proposed along Cinnamon Avenue frontage, the visual impacts from this reduced setback do not appear to be critical.

**Monument Signs**

The Planning Commission expressed concern regarding the landscaping and signage for the Harbor Boulevard frontage. The applicant has submitted the master plan for landscaping and a sign plan with the size, design, and location of all monument signs along Harbor Boulevard (Attachment 5). The proposed sign plan includes four signs that are consistent in design and height for the retail building, Chick-Fil-A, Fresh and Easy and the existing laundry and liquor store building. The signs are 15 feet in height with an asymmetric base and a square shaped sign cabinet.

The minimum distance between the signs is 150 feet as required by the City's sign code. A standard condition will require that the location of all signs be verified prior to permit issuance to meet the required visibility triangle at the driveways. The existing McDonalds pole sign will remain with no change at this point. The applicant has indicated that the lease agreement with McDonalds is under separate terms and upgrading the building and the signage will be done separate from this application in the future.

**Public Convenience and Necessity Finding**

The Fresh and Easy market has requested for an off-sale Type 20 license from the Department of Alcoholic Beverage Control. There are 99 establishments in the City with

type 20 and 21 license types that offer alcoholic beverage sales for off-site consumption including 15 grocery stores and drug stores. The project site is located in a census tract with undue concentration of off-sale licenses because the ratio of the number of ABC licenses to population within the census tract exceeds the countywide ratio. Therefore, State law requires the City make a finding of public convenience or necessity before the State can issue an on sale license for the market. Given that most grocery stores offer alcoholic beverages for off-sale consumption, this finding has been included in a separate approval resolution.

### ***Staff Justifications for Approval***

Staff recommends approval of the requested entitlements for the following reasons:

- *The project provides a significant upgrade to the Harbor Boulevard frontage south of the 405 freeway which is a major gateway to the City.* The proposed upgrades to these properties have been anticipated for a long time. The applicant has been working on a master plan for desirable service and retail uses which has taken a few years to accomplish. The proposed mix of uses will provide for better shopping opportunities for the residents of Costa Mesa as well as significant improvement to the properties.

A **condition of approval** is included that would require that all signage and landscaping along Harbor Blvd. be consistent to create a master plan frontage on Harbor Blvd.

- *The project provides adequate on-site parking.* There are 210 parking spaces on-site with a small reduction from the required number of parking spaces per City code. However, given the common access and parking opportunities that the site design will provide, the reduction in parking is not anticipated to create a parking shortage and the provided spaces will be adequate for the proposed uses.

A **condition of approval** is included to require recordation of a land use restriction for shared access, parking, common area landscaping and drainage across all parcels.

- *The project building and landscape design is complementary to the Harbor Boulevard commercial corridor.* The proposed buildings and landscaping are consistent throughout the master plan from Gisler Avenue to Date Place with exception of the McDonalds and El Pollo Loco. The landscaping carries a consistent palette on Harbor Boulevard frontage with accent palm trees at the driveway entrances and the corner.
- *Staff supports the variance request due to unique size and location of the property.* The variance approval will allow reduced setback on Cinnamon Avenue that will not have a negative affect since the landscape frontage will be enhanced with additional trees and all the utility lines will be removed with the undergrounding of the electrical services.

These lots are unique in that they are limited in depth and they have frontage both on Harbor Blvd. and Cinnamon Avenue. In addition, the Cinnamon Avenue frontage is across from the cemetery. The setback is mostly 10 feet (with the exception of the McDonalds site) that is adequate for planting large trees. This reduced setback will not have a negative impact to residential properties in the neighborhood. The reduced setback is requested to provide for two drive-through lanes for the McDonalds site that will reduce the back up to Harbor Boulevard.

A **condition of approval** is included to require installation of ten 24-inch box trees in place of the 15-gallon trees proposed along Cinnamon Ave. frontage.

- The project master plan including traffic improvements will provide for better on-site circulation, improved vehicular access from Date Place and reduce back up onto Harbor Boulevard. The master plan reduces the number of vehicular access points from the properties on Harbor Boulevard and Cinnamon Avenue and also plans for traffic signal installation at Date Place and improved access from Harbor Boulevard.

A **condition of approval** requires that the applicant install the traffic signal on Date Place and associated signal modifications.

- With the raised block wall at the perimeter of the loading dock, the potential noise impacts by loading/unloading activities at Fresh and Easy market will not impact residential properties to the southwest of the site. Fresh and Easy market includes two large truck deliveries, one early morning and one at night; however, the 15-foot wall at the perimeter of the loading dock will reduce the noise level to be in compliance with the City's noise standards.

A **condition of approval** is included to ensure that the loading dock is enclosed on two sides with a 15-foot block wall enclosure.

### **GENERAL PLAN CONFORMITY**

In accordance with the General Commercial General Plan land use designation, the maximum potential development of a site is based on the trip budget or FAR for commercial development. The proposed development intensity is below the maximum 0.30 FAR for a moderate traffic generator.

### **ENVIRONMENTAL DETERMINATION**

If approved, the project would be exempt from the provisions of the California Environmental Quality Act under Section 15303 for New Construction.

**ALTERNATIVES**

The Planning Commission has the following alternatives:

1. Approve Planning Application PA-10-26, TPM 2010-135 and PC or N finding. This would allow the applicant to proceed with construction of the proposed retail and restaurant buildings.
2. Deny Planning Application PA-10-26, TPM 2010-135 and PC or N finding. If the application is denied by the Planning Commission, the applicant could not submit a similar application for six months.

**CONCLUSION**

The proposed master plan and subdivision will provide for upgrading of vacant and marginal commercial uses on Harbor Boulevard. Staff supports the project in that the proposed master plan, building and landscape design will significantly improve the Harbor Boulevard frontage and gateway to Costa Mesa from the 405-freeway. In addition, this development is consistent with development intensities of the commercial zoning.

Attachments:

1. Planning Commission Resolutions
2. Applicant's Request
3. Location Map
4. Submitted Plans
5. Submitted Sign Plans
6. Submitted Traffic Study (available upon request)
7. Submitted Noise Study (available upon request)

cc: Development Services Director  
 Deputy City Attorney  
 Assistant City Engineer  
 Transportation Svs. Manager  
 Fire Protection Analyst  
 Staff (4)  
 File (2)

|                               |              |                 |
|-------------------------------|--------------|-----------------|
| File: 041111PA1026/TPM2010135 | Date: 032911 | Time: 4:30 p.m. |
|-------------------------------|--------------|-----------------|

RESOLUTION NO. PC-11-

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING PLANNING APPLICATION PA-10-26, AND TENTATIVE PARCEL MAP 2010-135 FOR MASTER PLAN DEVELOPMENT AND SUBDIVISION OF THREE PARCELS LOCATED AT 3131, 3151, 3181, AND 3195 HARBOR BOULEVARD AND 1515 GISLER AVENUE**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by William Lang on behalf of, owner of real properties located at 3131, 3151, 3181, 3195 Harbor Boulevard and 1515 Gisler Avenue, requesting approval of the following:

- **Master Plan PA-10-26** for development of the following:
  - A new 7,500 square-foot retail building with three tenant spaces (retail, medical and food use).
  - A new 4,543 square-foot Chick-Fil-A fast food restaurant with drive-through service (for master plan purposes only). *The Minor Conditional Use Permit for this request is under a separate application (ZA-10-55).*
  - A new 13,969 square-foot Fresh and Easy market.
  - Reconfiguration of the site plan for the existing McDonalds restaurant adding an additional drive-through lane.
  - Exterior remodel of an existing 4,800 square-foot retail building containing a liquor store and laundry.
  - *Variance* to reduce the landscape setback along Cinnamon Avenue from 15 feet to five feet;
  - *Conditional use permit* to allow reciprocal parking, ingress, & egress and to deviate from shared requirements (220 spaces required, 210 spaces proposed).
- **Tentative Parcel Map 2010-135** to consolidate four parcels (2.95-acres) into three parcels for the new development.
- **A Public Convenience or Necessity finding** due to undue concentration of off-sales licenses to allow sale of alcoholic beverages at the proposed Fresh and Easy market at 3151 Harbor Blvd.

WHEREAS, a duly noticed public hearing was held by the Planning Commission on April 11, 2011;

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit "A", the Planning Commission hereby **APPROVES** PA-10-26 and TPM-2010-135 with respect to the property described above except the Public Convenience or Necessity finding, which is under a separate resolution.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-10-26 and TPM-2010-135 and upon applicant's compliance with each and all of the conditions contained in Exhibit "B" as well as with compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

**PASSED AND ADOPTED this 11<sup>th</sup> day of April 2011.**

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Collin McCarthy, Chair  
Costa Mesa Planning Commission



## EXHIBIT "A"

**FINDINGS – APPROVAL (PA-10-26)**

- A. The proposed project complies with Costa Mesa Municipal Code Section 13-29(e) because:
- The proposed use is compatible and harmonious with uses on surrounding properties.
  - Safety and compatibility of the design of the parking areas, landscaping, luminaries, and other site features including functional aspects of the site development such as automobile and pedestrian circulation have been considered.
  - The project, as conditioned, is consistent with the General Plan.
  - The planning application is for a project-specific case and does not establish a precedent for future development.
- B. The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(5) in that the proposed master plan and subdivision meets the broader goals of the General Plan, and the Zoning Code by exhibiting excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development. The project also meets the maximum Floor Area Ratios allowed pursuant to General Plan and provisions of the Zoning Code.
- This design review includes site planning, building design landscaping, appearance, mass and scale of structures, and any other applicable design features. The buildings are designed with a consistent design integrating contemporary architectural features on all four sides of the buildings especially facing Harbor Blvd. Cinnamon Avenue. The project provides substantial landscaping and accent trees to enhance landscaping along public rights-of-way.
- C. The proposed subdivision for development of the property will not unreasonably interfere with the free and complete exercise of the public entity and/or public utility rights- of-way and/or easements within the tract. The subdivision map application shall be processed and approved by the City prior to issuance of building permits to ensure compliance with the Subdivision Map Act requirements.
- D. Pursuant to Section 13-29(g)(13) of the Municipal Code, the subject property is physically suitable to accommodate Tentative Parcel Map 2010-135 in terms of type, design and intensity of development, and will not result in substantial environmental damage nor public health problems, based on compliance with the City's Zoning Code and General Plan. The applicant has requested deviations from development standards and conditions of approval have been applied to the project to compensate for specified deviations.
- E. The proposed variance to reduce the landscape setback along Cinnamon Avenue will not allow a use, density, or intensity which is not in accordance with the general plan designation and the zoning code. The requested deviation will be subject to such conditions to assure that the deviation authorized shall not constitute a grant of

special privileges inconsistent with the limitation upon other properties in the vicinity and zone in which the property is located. Specifically, the landscape setback is adequate to provide for additional trees including ten 24-inch box trees that will enhance the landscape setback along Cinnamon Avenue.

- F. The project is exempt from Chapter IX, Article 11, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

**EXHIBIT "B"****CONDITIONS OF APPROVAL (PA-10-26, TPM-10-135)**

- Plng.
1. The applicant shall install a total of ten 24-inch box trees (instead of 15-gallon) within the landscaped setback area along Cinnamon Avenue including six trees within the Chick-Fil-A site.
  2. All ground mounted signs and landscaping palette for the new development along Harbor Blvd. shall be consistent for a master plan street frontage on Harbor Blvd.
  3. The expiration of Master Plan PA-10-26 shall coincide with the expiration of the approval of the Tentative Parcel Map 2010-135 which is valid for two years. An extension request is needed to extend the expiration for each additional year after the initial 2-year period.
  4. The uses shall be limited to the type of operation described in the staff report, subject to conditions. Any change in the operational characteristics shall be subject to Planning Division review and may require an amendment to the approval, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change. The applicant is reminded that Code allows the Planning Commission to modify or revoke any planning application based on findings related to public nuisance and/or noncompliance with conditions of approval [Title 13, Section 13-29(o)].
  5. The conditions of approval for PA-10-26 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
  6. The subject property's ultimate finished grade level may not be filled/raised in excess of 30 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site storm water flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. Such alternatives may include subsurface tie-in to public storm water facilities, subsurface drainage collection systems and/or sumps with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties. Applicant is advised that recordation of a drainage easement across the private street may be required to fulfill this requirement.
  7. Prior to issuance of grading or building permits, the applicant shall obtain approval of a hydrology and drainage study showing the method of disposal of storm water.
  8. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
  9. No modification(s) of the approved building elevations including, but not limited to, changes that increase the building height, removal of building

articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process or a variance, or in the requirement to modify the construction to reflect the approved plans.

10. No exterior roof access ladders, roof drain scuppers, or roof drain downspouts are permitted.
11. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened upon view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
12. The applicant shall control litter originating from the site (i.e. paper/plastic goods, food items, drink containers, etc.) on a daily basis. On-site trash receptacles visible from the public right-of-way shall be emptied and litter be removed on a regular basis.
13. Once the uses are legally established, PA-10-26 herein approved shall be valid until revoked. The Development Services Director or his designee may refer the application to the Planning Commission for modification or revocation at any time if, in his opinion, any of the following circumstances exist: 1) the use is being operated in violation of the conditions of approval; 2) the use is being operated in violation of applicable laws or ordinances or 3) one or more of the findings upon which the approval was based are no longer applicable.
14. Demolition permits for existing structures shall be obtained and all work and inspections completed prior to final building inspections. Applicant is notified that written notice to the Air Quality Management District may be required ten (10) days prior to demolition.
15. The applicant shall incorporate a minimum of three bicycle racks adjacent to the new buildings within the center.
16. Provide proof of recordation of TPM-2010-135, which shall also include reciprocal easements for shared access, parking, common area landscaping and drainage across all parcels prior to issuance of building permits. The Development Services Director shall have the discretion to consider alternative timing arrangements for the reciprocal easements if necessary.
17. A Land Use Restriction (LUR), executed by and between the property owner and the City of Costa Mesa, shall be approved and recorded prior to building final. The Land Use Restriction shall contain and inform future property owner(s) of subject parcels of the following information:
  - (1) Highlight the reciprocal easements for shared access, parking, common area landscaping and drainage across all parcels;
  - (2) Applicant shall submit to the Planning Division a copy of the legal description of the property, and either a lot book report or current title report identifying the current legal property owner so that the document may be prepared.
18. Prior to the grand opening of the Fresh and Easy market, the applicant

shall submit an interim parking plan to the Planning Division for review and approval to ensure that adequate employee parking is available on-site or on at an authorized site through an agreement with an adjacent property owner. In addition, the plan shall indicate that employees shall be available to minimize any impacts to circulation on the adjacent streets and surrounding properties. This interim plan shall be in place for a minimum of 60 days during the "Grand Opening" and may be extended for an additional 30 days to meet customer demands as deemed appropriate by the Development Services Director. The interim plan shall be approved prior to issuance of certificate of occupancy.

19. The double drive-through lanes for the McDonalds shall be each 11 feet minimum in width.
20. The loading truck well for Fresh and Easy market shall be enclosed by a 15'-3" wall on the south and west side.
- Bldg. 21. Submit grading plans including a hydrology report and soils report.
22. Provide an erosion control plan.
- Eng. 23. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Cross lot drainage shall not occur. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-29(2)(b) of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
24. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the Cit of Costa Mesa.
25. The Subdivider's engineers shall furnish to the Engineering Division a storm runoff study showing existing and proposed facilities and the method of draining this area and tributary areas without exceeding the capacity of any street or drainage facility on-site or off-site to the satisfaction of the City Engineer. This study to be furnished with the first submittal of the Final Map. Cross lot drainage shall not occur. Ownership and maintenance of the private on-site drainage facilities and parkway culverts and other common areas shall be transferred by the owner to the Homeowner Association to be formed pursuant to C.C.M.M.C. Section 13-41 (e).
26. Construction Access Permit and deposit of \$2230 will be required by City of Costa Mesa, Engineering Division prior to start of any on-site work, necessary during construction for street sweeping and to guarantee replacement costs in case of damage to existing public improvements.
27. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
28. Haul routes must be approved by the City of Costa Mesa, Transportation & Engineering Division.
29. Submit required cash deposit or surety bond to guarantee construction of

off-site street improvements at time of permit per Section 15-32, C.C.M.M.C. and as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.

30. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. commercial sidewalk per City of Costa Mesa Standards as shown on the Offsite Plan, including four (4) feet clear around obstructions in the sidewalk.
31. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approach per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager. ADA compliance required for all new driveway approaches.
32. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb.
33. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then reconstruct wheelchair ramp on the corner of Gisler Avenue and Cinnamon Avenue to comply with ADA.
34. Dedicate a 3-foot public sidewalk easement behind existing right of way line on Cinnamon Avenue.
35. Per requirements of Real Property, City of Costa Mesa, Engineering Division, dedicate a diagonal corner cut-off at the corner of Gisler Avenue and Cinnamon Ave.
36. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then relocate any catch basins that would have a conflict with any future drive approaches. Submit a hydrology report to determine the size of the new catch basin.
37. Fulfill Drainage Ordinance Fee requirements prior to approval of Final Map.
38. Fulfill City of Costa Mesa Drainage Ordinance No. 06-19 requirements prior to Approval of Final Map.
39. Development shall comply with City of Costa Mesa Water Quality Ordinance No. 97-20.
40. Applicant/Developer is hereby advised that no removal of trees from the public right-of-way will be permitted without specific approval from the Parks and Recreation Commission and compliance with mitigation measures as determined by the Commission to relocate the trees and/or to compensate the City for the loss of trees from the public right-of-way. Conditions of the Commission must be incorporated onto the plans prior to plan approval. The approval process may take up to three months, therefore, the applicant/developer is advised to identify all tree affected by the proposed project and make timely application to the Parks and Recreation Commission to avoid possible delays.
41. Two copies of the Final Map and one copy of the Property Boundary closure calculations shall be submitted to the City of Costa Mesa Engineering Division for checking.
42. Submit updated Title Report of subject property.

43. The Parcel Map shall be developed in full compliance of CCMC Sec. 13-208 through 13-261 inclusive.
44. Release and relinquish all vehicular and pedestrian access rights to Harbor Boulevard and Cinnamon Drive to the City of Costa Mesa except at approved locations.
45. Dedicate ingress-egress easement for emergency and public security vehicle purposes.
46. Submit seven copies, one duplicate mylar and an electronic copy of recorded map to Engineering Division, City of Costa Mesa 90 days after recordation of the final map.
47. In accordance with C.C.M.M.C. Section 13-230, the Subdivider shall submit street improvement plans and/or off-site plans at the time of first submittal of the Final Tract Map. Plan check fee shall be paid per C.C.M.M.C. Section 13-231.
48. Prior to recordation of a final map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County
49. Survey Monuments shall be preserved and referenced or set pursuant to Section 8771 of the Professional Land Surveyors Act and Business and Professional code.
50. Submit cash deposit or surety bond to guarantee monumentation prior to approval of the map. Amount to be determined by City Engineer.
51. Comply with code requirements for PA-10-26
- Fire 52. The final Master Plan for development in the project area shall provide sufficient capacity for fire flows required by the City of Costa Mesa Fire Department.
53. Vehicular access must be provided and maintained serviceably throughout construction to all required fire hydrants.
54. Prior to issuance of building permits, the applicant shall submit project designs and specifications for review and approval by the Fire Department with respect to compliance with all standard conditions for building design regarding public safety, including but not limited to, fire flow capacity, fire hydrant location, vehicular access, and sprinkler systems. The City of Costa Mesa Fire Department shall review and approve the developer's project design features to assess compliance with the California Building Code and California Fire Code. Emergency vehicle parking areas shall be designated within proximity to buildings to the satisfaction of the Fire Marshal.
- Trans. 55. Submit reciprocal ingress and egress easement for adjacent properties for shared parking access and traffic circulation.
56. The applicant shall install traffic signal and associated modification and pavement legends for Harbor Blvd. and Date Place intersection. The design shall be submitted to City's Transportation Services Division for review prior to construction.
57. The applicant shall construct commercial driveway approaches at locations specified on the submitted site plan.
58. The applicant shall close any unused driveway approaches with full height curb and gutter per City standards.

59. For relocating the existing traffic pull box with the proposed driveway approach, the applicant is responsible for the following:
- Provide new #5 fiberlite pullbox, conduit and sweeps outside the driveway approach area.
  - Remove existing signal interconnect and fiber optic cable from controller cabinet at Gisler Ave.
  - Blow and clean existing conduit run and re-pull existing signal interconnect and fiber optic cable to cabinet at Gisler Ave.
  - Re-terminate both signal interconnect and fiber optic cable at Gisler Ave.
  - Signal interconnect and fiber optic cable shall be down for no longer than 24 hours.
60. The applicant shall reserve 10 feet of frontage along Gisler Ave. from Cinnamon Ave. to Harbor Blvd. for future dedication.
- Utilities 61. Prior to the issuance of a connection permit, the applicant shall pay the applicable water connection fees.

**RESOLUTION NO. PC-11-**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA ADOPTING A PUBLIC CONVENIENCE AND NECESSITY FINDING FOR THE FRESH AND EASY MARKET OFF SALE LICENSE**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by William Lang on behalf of, owner of real properties located at 3151 Harbor Boulevard, requesting a Public Convenience or Necessity finding due to undue concentration of off-sales licenses to allow sale of alcoholic beverages at the proposed Fresh and Easy market.

WHEREAS, a duly noticed public hearing was held by the Planning Commission on April 11, 2011;

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit "A", the Planning Commission hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-10-26 and TPM-2010-135 as well as with compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

**PASSED AND ADOPTED this 11<sup>th</sup> day of April 2011.**

---

Collin McCarthy, Chair  
Costa Mesa Planning Commission



**EXHIBIT "A"**

**FINDINGS**

- A finding of public convenience or necessity can be made for the Fresh and Easy market because the proposed primary use is a supermarket; the off-sale of alcoholic beverages is an ancillary use to the market and provided for convenient shopping of the market patrons.



# COMMERCE REALTY

DRE CA# 0159327

September 16, 2010

Ms. Mino Ashabi, AIA  
Planning Department  
City of Costa Mesa  
77 Fair Drive  
Costa Mesa, CA 92628

RE: HARBOR MESA PROJECT, 3135 HARBOR BLVD.; MODIFICATION AND VARIANCE REQUESTS AND JUSTIFICATIONS

Dear Mino,

We are very excited about getting started on the development of the Harbor Mesa Project. The project is basically a long and narrow island bordered on all four sides by city streets. Across the street from the entire rear of the project is a cemetery. These conditions, and the others mentioned below, Present both challenges and opportunities. Because of the unique size, shape and location of the proposed project the following are the modifications and variance that we are requesting:

Modification #1 – 16' proposed landscape setback off Harbor Blvd. to the north and south of the existing McDonald's in lieu of the required 20' landscape setback.

Justifications:

- A. The existing landscape setback to the north and south of the existing McDonald's off Harbor Blvd. is 10'. We are adding 6' to that existing landscape setback.
- B. With the proposed 16' landscape setback we are deviating from the required 20' setback by 25%-15% less than the maximum 40% allowed for modification consideration.
- C. The 16' proposed landscape setback allows for greater length of the drive through lane at McDonald's. This should help alleviate the present problem of cars back stacking onto Harbor Blvd. at peak drive through demand times.

Modification #2 – 10' proposed landscape setback at the majority of the site frontage off Cinnamon Ave. in lieu of the 15' required landscape setback.

Justifications:

- A. The depth of the site from Harbor Blvd. to Cinnamon Ave. is very shallow for typical retail development. The "useable site depth" is made smaller yet by the required 20' landscape setback off Harbor Blvd. and the required 15' landscape setback off Cinnamon Ave. The proposed 10' landscape setback off Cinnamon Ave. gives the project more "useable site depth" and allows the Fresh and Easy Market to fit on the site facing Harbor Blvd. with adequate parking in front of the store. The proposed 10' landscape setback off Cinnamon Ave. also allows Chick-Fil-A and its drive through lane to be sited as depicted on the site plan.

25

- B. The existing landscape setbacks off Cinnamon Ave. vary from 7' to 10' and we are exceeding or matching those existing setbacks with our proposed 10' setbacks.
- C. The opposite site to the west off Cinnamon Ave. for the majority of our site frontage consists of a cemetery and not residential or commercial uses.
- D. With the proposed 10' landscape setback we are deviating from the required 15' landscape setback by 33%-7% less than the maximum 40% allows for modification consideration.

Modification #3 – Deviation from the required overall parking for all the site uses (217 stalls) by 6 stalls for a total of 211 provided stalls.

Justifications:

- A. With the 211 provided stalls in lieu of the 217 required stalls, we are deviating from the code by 3%-37% less than the maximum 40% allowed for modification consideration.
- B. Although it is the city's code, the 1 stall per 50 square feet requirement for the square footage over 3,000 square feet of individual food uses is fairly high, and possibly even higher yet when you consider a high percentage of the fast food user business (particularly McDonald's) is drive through business.
- C. The required landscape setbacks off Harbor Blvd. and off Cinnamon Ave. tend to add up to a higher percentage of landscape area vs. usable building and parking area on a smaller, narrower site like this site.

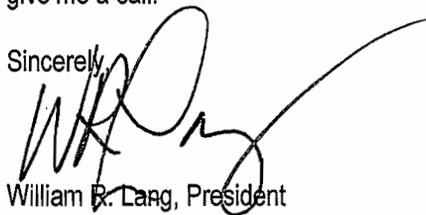
Variance #1 – 5' proposed landscape setback off Cinnamon Ave. to the west of McDonald's in lieu of the required 15' landscape setback.

Justifications:

- A. The proposed 5' landscape setback off Cinnamon Ave. to the west of McDonald's allows McDonald's maximum drive through lane car sacking to minimize backup at the drive through lane towards Harbor Blvd.
- B. The narrowness of the overall site and the proposed 16' landscape setback off Harbor Blvd. limits McDonald's in regards to maximizing their drive through lane length, and the proposed 5' landscape setback off Cinnamon Ave. helps achieve a longer drive through lane.

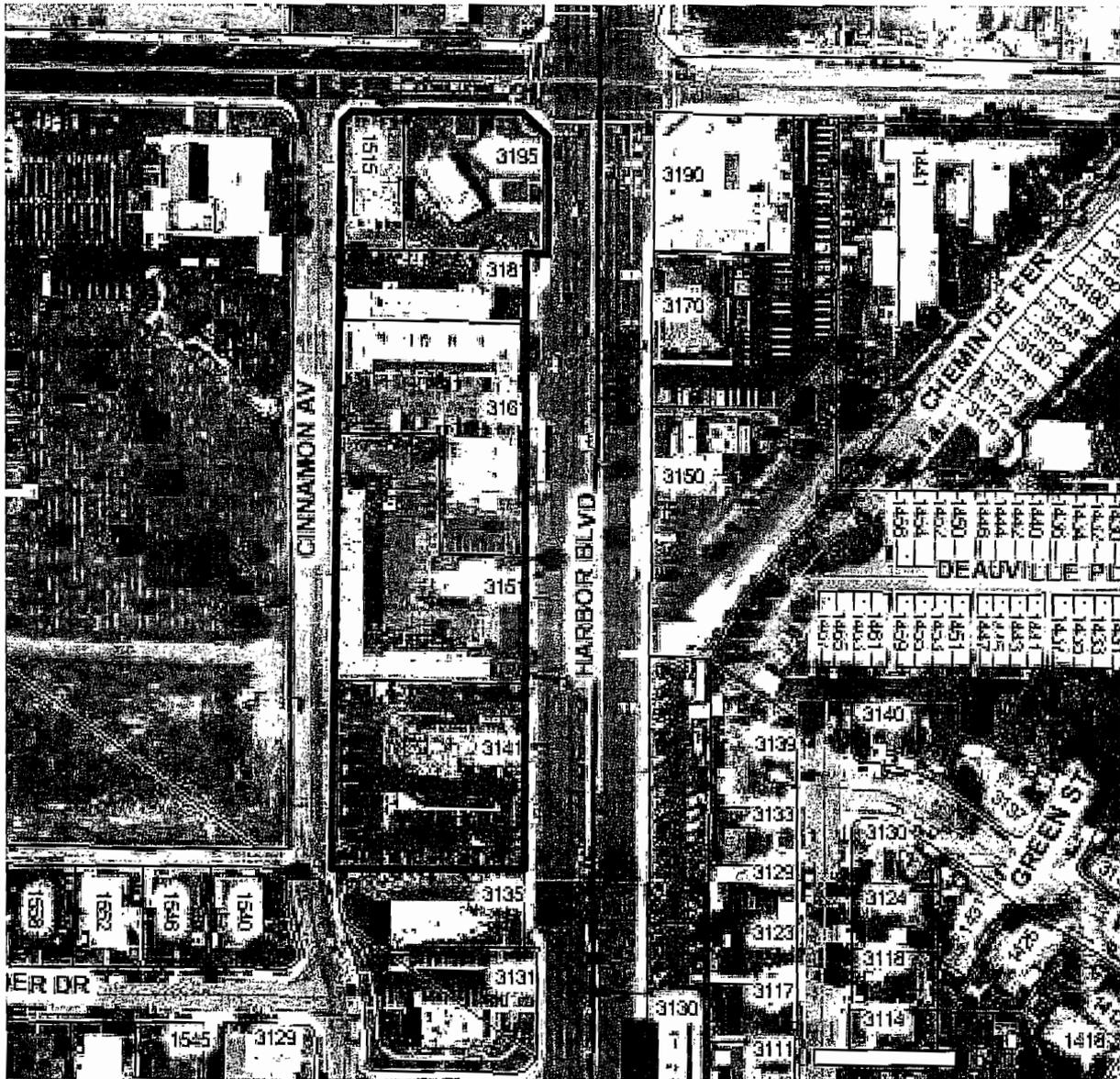
Please consider these Modification and Variance requests and their justifications. If you have any questions, please give me a call.

Sincerely,



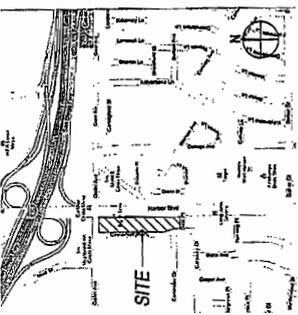
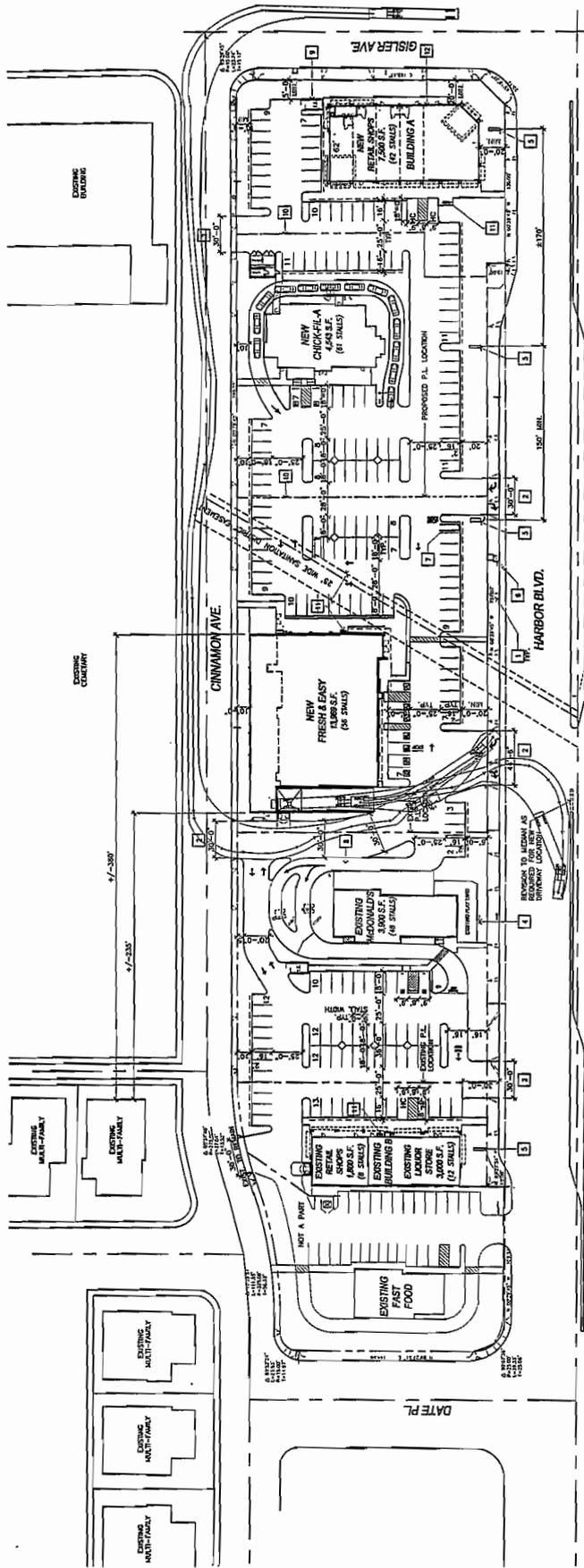
William B. Lang, President

VICINITY MAP  
PA-10-26, TPM-10-135



27





S1

2002-057 051511



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VICINITY MAP

NORTH SITE

HARBOR MESA RETAIL COSTA MESA, CA

ARCHITECTS ORANGE  
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**SUMMARY**

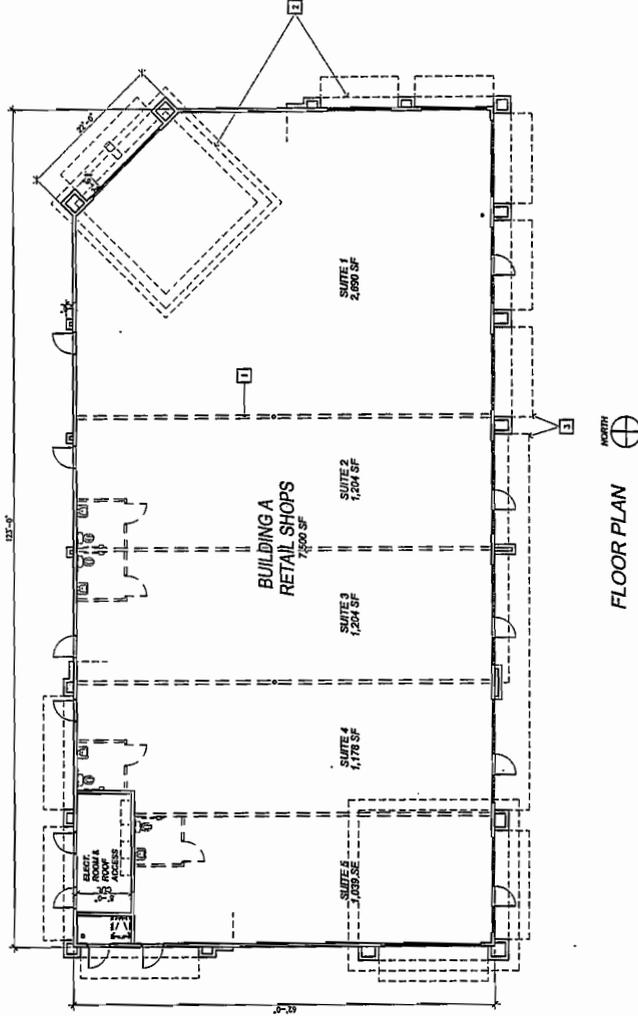
| NEW BUILDING A/SHOPS | NEW FRESH + EASY MARKET       | EXISTING BUILDINGS B/ RETAIL SHOPS |
|----------------------|-------------------------------|------------------------------------|
| RETAIL               | PARKING REQUIRED @ 1/250 SF   | TOTAL BUILDING SF                  |
| 3,800 SF             | 13,690 SF                     | 24,998 SF                          |
| 1,400 SF             | 96 STALLS                     | RETAIL                             |
| 2,400 SF             | 3,800 SF                      | 8,443 SF                           |
| 7,600 SF             | EXISTING MCDONALD'S/FAST FOOD | FOOD                               |
|                      | PARKING REQUIRED              | 34,442 SF                          |
|                      | 1ST 3,000 SF @ 1/100 SF       | TOTAL                              |
|                      | ADDD. SF @ 1/50 SF            | 272 STALLS                         |
|                      | TOTAL                         | 210 STALLS                         |
|                      | 4,800 SF                      |                                    |
|                      | 20 STALLS                     |                                    |
|                      | TOTAL                         |                                    |
|                      | 16 STALLS                     |                                    |
|                      | 12 STALLS                     |                                    |
|                      | 31 STALLS                     |                                    |
|                      | 74 STALLS                     |                                    |
|                      | TOTAL                         |                                    |
|                      | 4,943 SF                      |                                    |
|                      | TOTAL                         |                                    |
|                      | 30 STALLS                     |                                    |
|                      | 31 STALLS                     |                                    |
|                      | TOTAL                         |                                    |
|                      | 81 STALLS                     |                                    |

- NOTES:**
- EXISTING DRIVEWAY LOCATIONS TO BE REMOVED & REPLACED BY NEW DRIVEWAY LOCATIONS PER CITY STANDARDS - SEE PRELIMINARY GRADING PLAN.
  - NEW PLANTER BOUNDARIES IN DOUBLE PARKING ROWS 5'-6" CLEAR.
  - EXISTING POLE SIGN.
  - NEW MANHOLE SIGN - 15" HIGH.
  - EXISTING BUS STOP SIGN + BENCH.
  - NEW CAR CORRAL (PER FRESH + EASY).
  - NEW RECONFIGURED DRIVE-THRU LANE @ MCDONALD'S.
  - NEW TRASH ENCLOSURE PER CITY STANDARDS.
  - NEW IRON BACK.
  - PROVIDE VENT POCKETS @ REAR SIDEWALK FOR METAL WALL GRILLES.
  - SEE UDDISCHER PLAN.

**BUILDING ADDRESSES:**  
 3185 HARBOR BLVD.  
 3186 HARBOR BLVD.  
 3151 HARBOR BLVD.  
 3141 HARBOR BLVD.  
 3135 HARBOR BLVD.

**KEYNOTES**

- 1 PERFORM TENANT WALLS
- 2 LINE OF BUILDING ABOVE
- 3 LINE OF FINISH OR CARTRIDGED METAL CANOPY ABOVE
- 4 EXISTING TENANT WALL
- 5 EXISTING BUILDING WALL



FLOOR PLAN



A-1

208.607 08-30-2010



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BUILDING A FLOOR PLAN

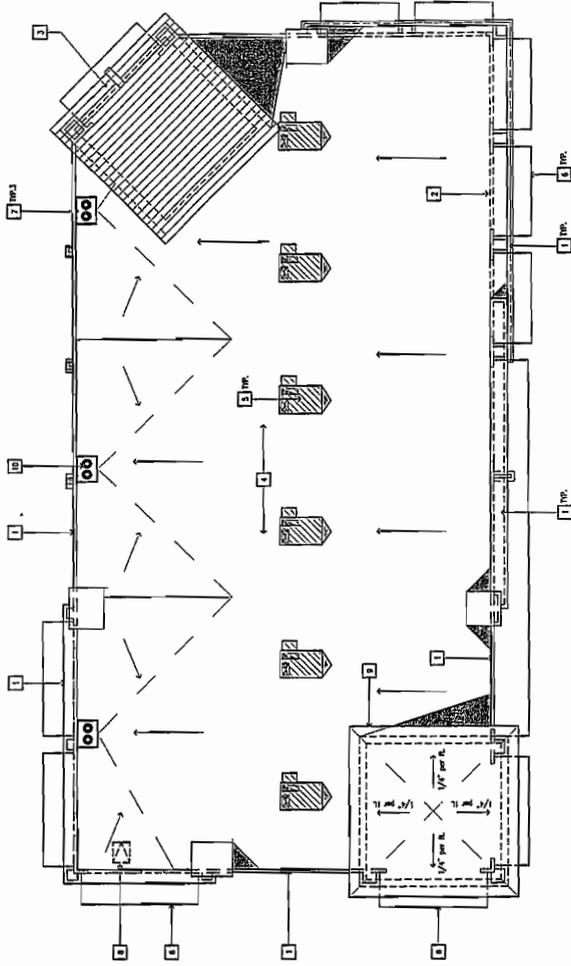
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**HARBOR MESA RETAIL COSTA MESA, CA**

**COMMERCE REALTY**  
 149 PALOS VERDES BLVD., SUITE E, REDONDO BEACH, CALIFORNIA 92677 (310) 373-2797 x201

**KEYNOTES**

- 1 NEW GL FLASHING AT PARAPET-TANKED
  - 2 LINE OF BUILDING WALL BELOW
  - 3 NEW STANDING SEAM METAL ROOF
  - 4 NEW DUAL-TYP ROOF SYSTEM OVER PLYWOOD ROOF DECK
  - 5 NEW MECHANICAL UNIT WITH PLYWOOD CRACKER \*
  - 6 LINE OF CHIMNEY/ AIRING ELBOW
  - 7 EXISTING MECHANICAL UNIT TO REMAIN
  - 8 ROOF ACCESS HATCH
  - 9 EXISTING ROOF BRANK
  - 10 NEW ROOF BRANKS & OVERLAYS - RUN INSIDE BUILDING AND OUT BACK OF WALL
- \*NOTE: ALL TOPS OF ROOF MOUNTED MECHANICAL COMPARTMENT TO BE LOWER THAN TOPS OF BUILDING PARAPETS



BUILDING A ROOF PLAN

SCALE: 1/8" = 1'-0"



A-2

2002-057 08-20-2010



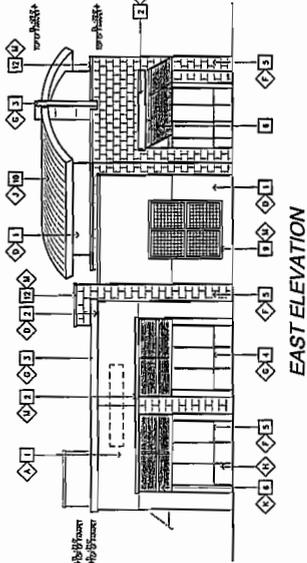
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ROOF PLANS

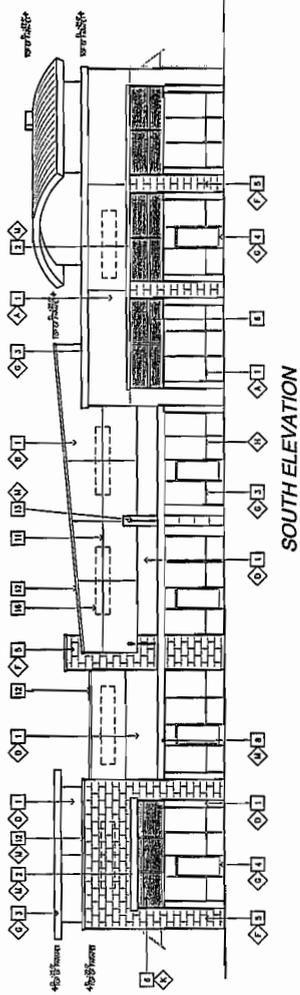
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**HARBOR MESA RETAIL COSTA MESA, CA**

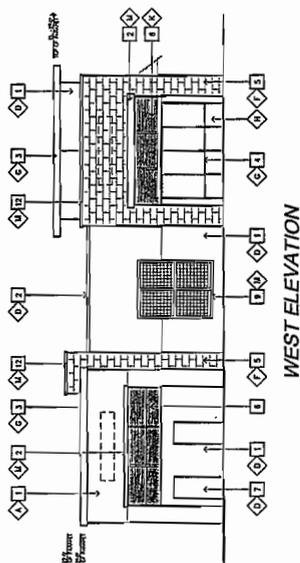
COMMERCE REALTY  
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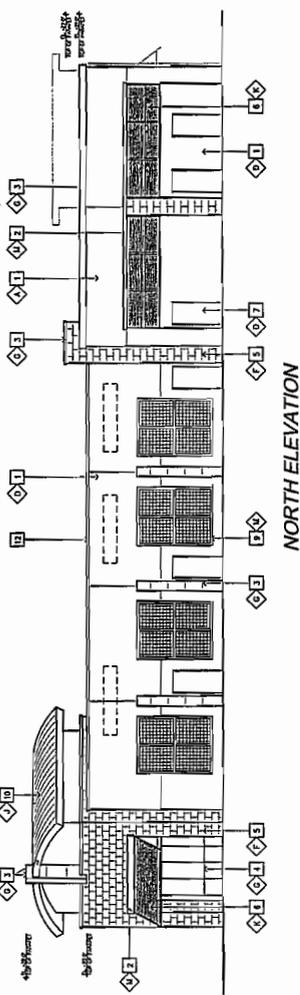
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION

LEGEND

- 1 WALL COLOR - DUNK EDWARDS BRICKS "REGENT CREAM"
- 2 WALL COLOR - SHERMAN WALLS "BURLAP"
- 3 WALL COLOR - DUNK EDWARDS BRICKS "NUMBERED SHALE"
- 4 WALL COLOR - DUNK EDWARDS BRICKS "ALUMED LATE"
- 5 EXISTING CONCRETE BLOCK WALL - UNPAINTED
- 6 GUT SINK VENTS, DUTILE SLATE 15x12 "DUNA APPROX" WITH APPROVED CLEAR GLAZING
- 7 STRUTIRON® + FACES + COLUMNS - CLEAR ALUMINUM
- 8 CLEAR GLAZING
- 9 STANDING SEAM METAL ROOF, 40' SPAN "DUN TBC GREY"
- 10 METAL LOUVER ARCHES - DUNK EDWARDS BRICKS "JET"

KEYNOTES

- 1 PAINTED EXTERIOR PLASTER SYSTEM OVER WOOD FRAMING
- 2 INTERIOR PLASTER SYSTEM OF FOAM INSULATION OF BROWN CONCRETE
- 3 CLEAR ALUMINUM FACES OR PANELS ON WALL PANEL
- 4 FACTORY FINISH ALUMINUM STRUCTURE WITH CLEAR GLAZING WITH 3/4" SPACERS WITH 3/8" GROUT JOINTS. SEAL SUITE WITH APPROVED CLEAR GLAZING
- 5 LIGHTWEIGHT METAL LOUVER ARCHES - RECESSED
- 6 PAINTED METAL DOOR AND FRAME
- 7 UNPAINTED METAL CHIMNEY - PAINTED
- 8 PAINTED METAL TRUSS FOR VENTILATION
- 9 1/2" CLEAR ALUMINUM REVEAL IN PLASTER WALL-UNPAINTED
- 10 METAL FLASHING CAP - PAINTED SAME COLOR AS WALL

SCALE: 1/8" = 1'-0"



A-3

200607 02/04/2017



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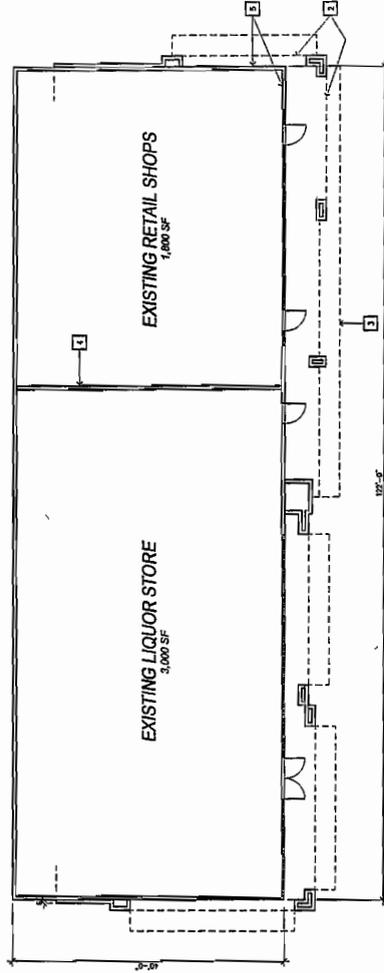
HARBOR MESA RETAIL COSTA MESA, CA BUILDING A EXTERIOR ELEVATIONS

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 144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92666 (714) 639-9660

COMMERCE REALTY  
 148 PALOS VERDES BLVD., SUITE E, REDONDO BEACH, CALIFORNIA 90277 (310) 372-2797 x201

**KEYNOTES**

- 1 POTENTIAL TOWER WALLS
- 2 USE OF BRICKING ABOVE
- 3 USE OF BRICKS OR CHANGELINED METAL CANOPY ABOVE
- 4 EXISTING TOWER WALL
- 5 EXISTING BUILDING WALL



FLOOR PLAN  NORTH



A-4

200407 06.20.2010



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**HARBOR MESA RETAIL COSTA MESA, CA**

**BUILDING B FLOOR PLAN**

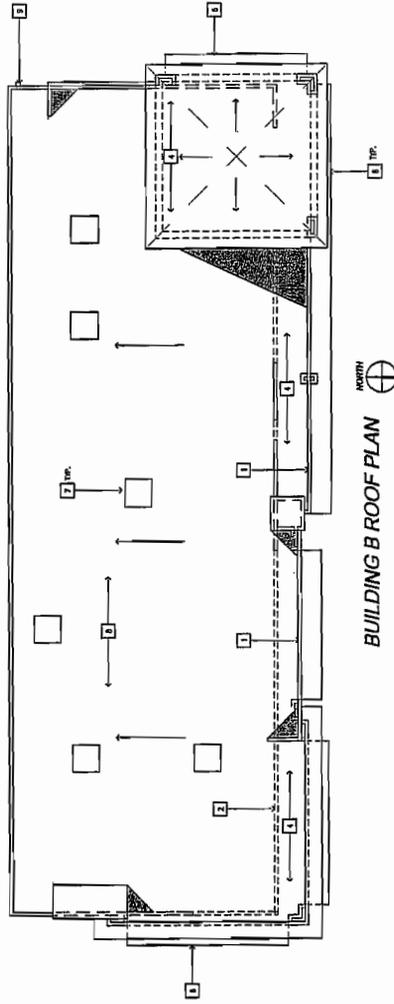
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144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92666 (714) 639-9860

**COMMERCE REALTY**  
 148 PALOS VERDES BLVD., SUITE E, REDONDO BEACH, CALIFORNIA 90277 (310) 373-2787 x201

**KEYNOTES**

- 1 NEW G.I. FLASHING AT FINISH-TIMBERED
  - 2 LINE OF BUILDING WALL BELOW
  - 3 TRIM STANDING SEAM METAL ROOF
  - 4 NEW BUILT-UP ROOF SYSTEM OVER FINISHED ROOF DECK
  - 5 NEW MECHANICAL UNIT WITH FINISHED CRACKS \*
  - 6 LINE OF CANOPY/ AWNING BELOW
  - 7 EXISTING MECHANICAL UNIT TO REMAIN
  - 8 ROOF ACCESS HATCH
  - 9 EXISTING ROOF DRAINS
  - 10 NEW ROOF DRAINS & OVERDRAINS - NEW INSIDE BUILDING AND OUT
  - 11 BACK OF WALL
- \*NOTE: ALL TOPS OF ROOF MOUNTED MECHANICAL EQUIPMENT TO BE LOWER THAN TOPS OF BUILDING FINISHES



BUILDING B ROOF PLAN

A-5



ROOF PLANS

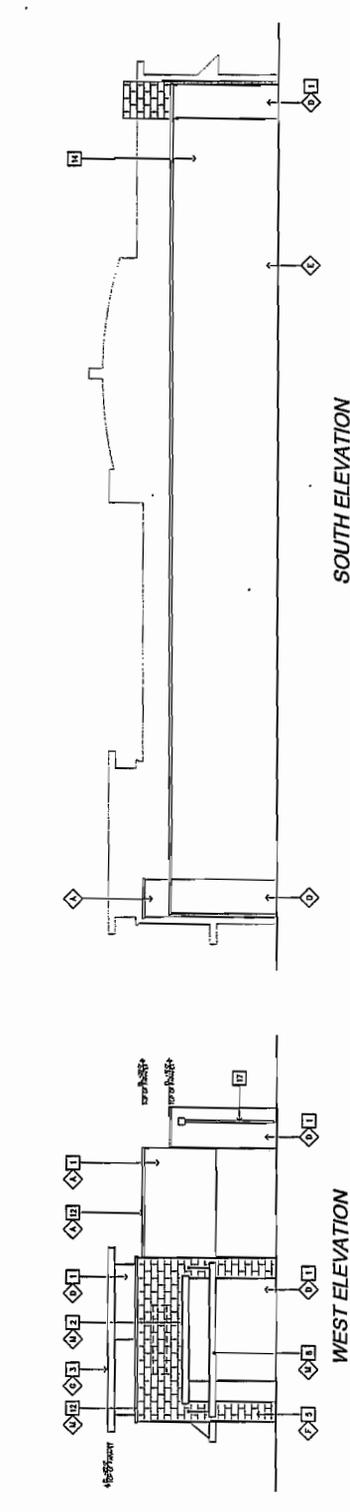
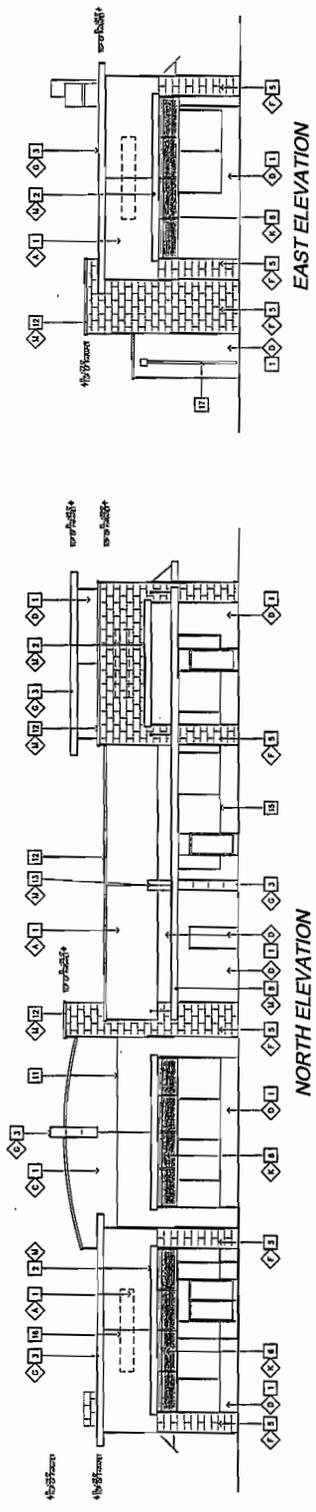


HARBOR MESA RETAIL COSTA MESA, CA

COMMERCE REALTY

149 PALOS VERDES BLVD., SUITE E, REDONDO BEACH, CALIFORNIA 90277 (310) 373-2397 x201

ARCHITECTS ORANGE  
144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92666 (714) 639-5860



**LEGEND**

- 1 WALL COLOR - DARK CHERRY WOOD FINISH
- 2 WALL COLOR - SIKKENS RELIANT 3000/3100 "BUDGET"
- 3 WALL COLOR - DARK CHERRY WOOD FINISH
- 4 WALL COLOR - DARK CHERRY WOOD FINISH
- 5 WALL COLOR - DARK CHERRY WOOD FINISH
- 6 WALL COLOR - DARK CHERRY WOOD FINISH
- 7 WALL COLOR - DARK CHERRY WOOD FINISH
- 8 WALL COLOR - DARK CHERRY WOOD FINISH
- 9 WALL COLOR - DARK CHERRY WOOD FINISH
- 10 WALL COLOR - DARK CHERRY WOOD FINISH
- 11 WALL COLOR - DARK CHERRY WOOD FINISH
- 12 WALL COLOR - DARK CHERRY WOOD FINISH
- 13 WALL COLOR - DARK CHERRY WOOD FINISH
- 14 WALL COLOR - DARK CHERRY WOOD FINISH
- 15 WALL COLOR - DARK CHERRY WOOD FINISH
- 16 WALL COLOR - DARK CHERRY WOOD FINISH
- 17 WALL COLOR - DARK CHERRY WOOD FINISH
- 18 WALL COLOR - DARK CHERRY WOOD FINISH
- 19 WALL COLOR - DARK CHERRY WOOD FINISH
- 20 WALL COLOR - DARK CHERRY WOOD FINISH
- 21 WALL COLOR - DARK CHERRY WOOD FINISH
- 22 WALL COLOR - DARK CHERRY WOOD FINISH
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- 100 WALL COLOR - DARK CHERRY WOOD FINISH

**KEYNOTES**

- 1 PAINTED EXTERIOR PLASTER STUCCO OVER WOOD FINISH
- 2 FINISH GROUT PLASTER STUCCO OVER FORM LINDERS OF BROWN GROUT
- 3 CLEAR ALUMINUM FINISH OR FINISH CAP OR WALL PANEL
- 4 FACTORY FINISH ALUMINUM STATIONFRONT WITH CLEAR GLAZING
- 5 12" X 24" SLATE TILE VENTILATOR WITH "K" GROUT JOINTS, SEAL SLATE WITH APPLIED CLEAR SEALER
- 6 LIGHTWEIGHT METAL LOWER FINISHES - FINISHED
- 7 PAINTED METAL DOOR AND FRAME
- 8 GALVANNEED METAL CHIMNEY - PAINTED
- 9 PAINTED METAL TRUSS FOR VILLAGE
- 10 DARK STAINING SOLID METAL ROOF
- 11 2" CLEAR ALUMINUM RIVALS IN PLASTER WALL-UNFINISHED
- 12 METAL FLASHING CAP - PAINTED SAME COLOR AS WALL

A-6



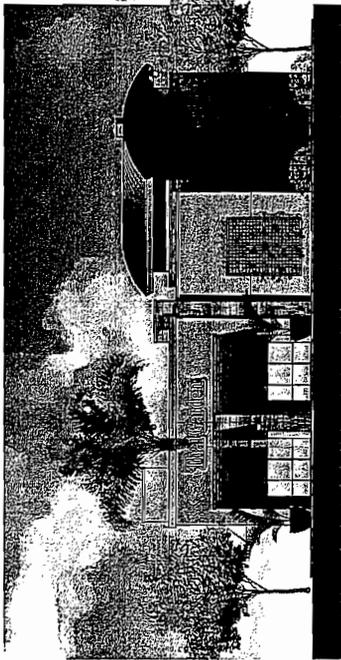
**BUILDING B EXTERIOR ELEVATIONS**

**HARBOR MESA RETAIL COSTA MESA, CA**

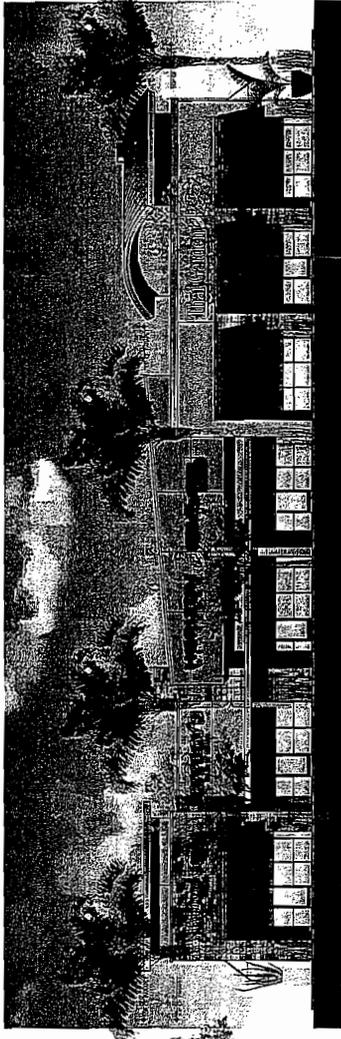
**ARCHITECTS ORANGE**  
144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92666 (714) 639-9860

**COMMERCE REALTY**  
118 PALOS VERDES BLVD., SUITE E, REDONDO BEACH, CALIFORNIA 92677 (310) 373-2707 x201

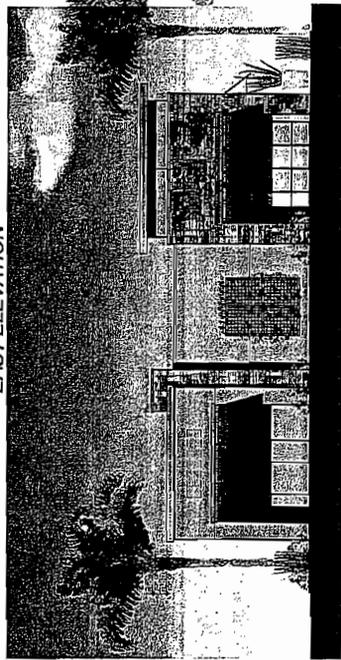
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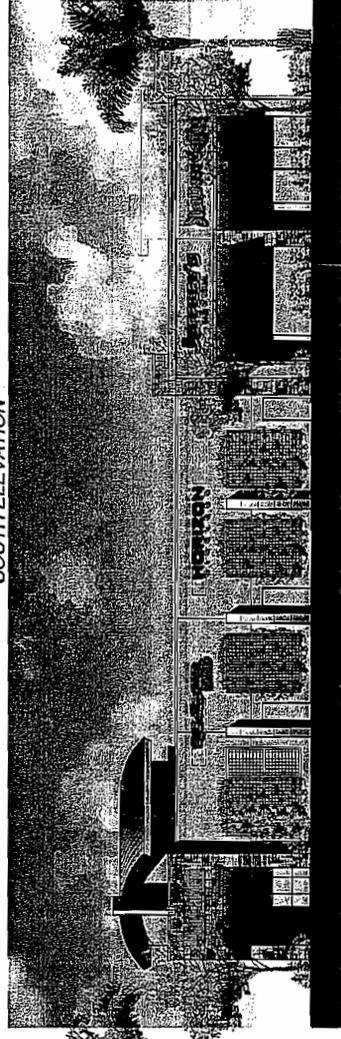
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION

A-2

SCALE: 1/8" = 1'-0"



2008-007 01-18-2010

BUILDING A ELEVATIONS

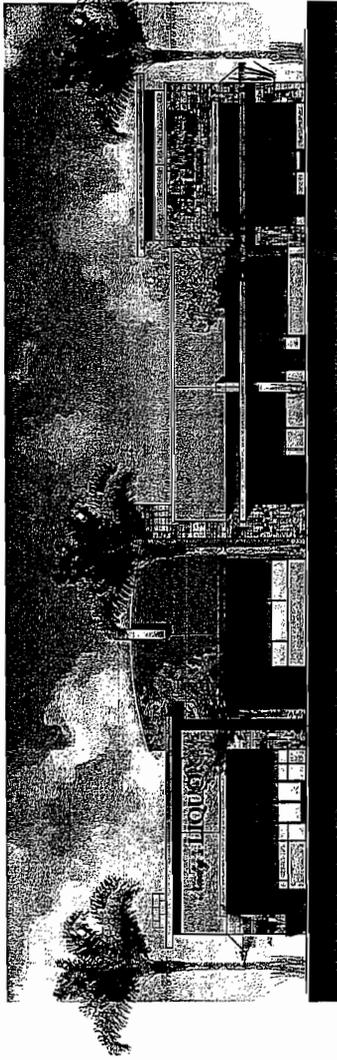


ARCHITECTS ORANGE  
144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92666 (714) 639-9860

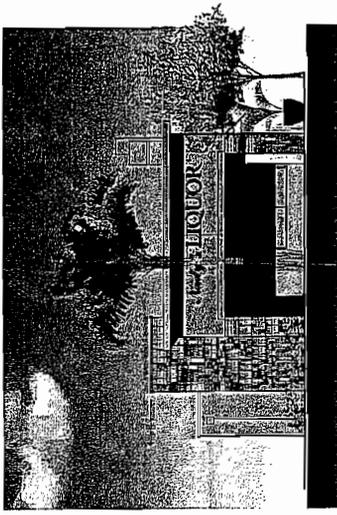
HARBOR MESA RETAIL COSTA MESA, CA

COMMERCE REALTY  
149 PALCOS VERDES BLVD., SUITE G, REDONDO BEACH, CALIFORNIA 90277 (310) 375-2797 x201

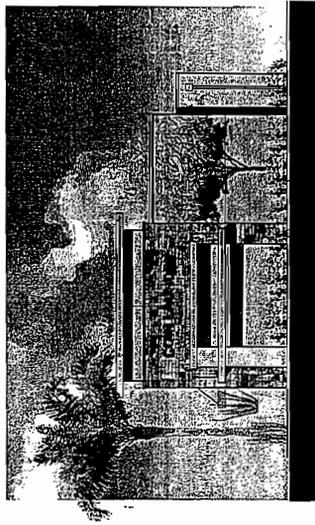
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Architects Orange, California



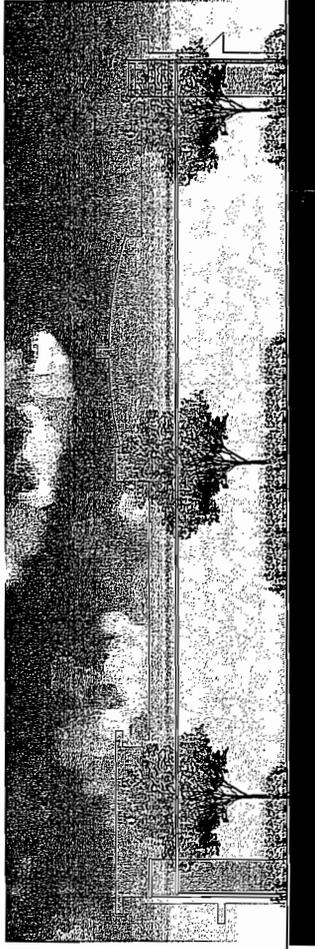
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

A-3

SCALE: 1/8" = 1'-0"



2009-067 01-15-2010

BUILDING A ELEVATIONS

HARBOR MESA RETAIL COSTA MESA, CA

COMMERCE REALTY

148 PALCOS VERDES BLVD., SUITE E, REDONDO BEACH, CALIFORNIA 90277 (310) 373-2737 x201

ARCHITECTS ORANGE  
144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92666 (714) 639-9860

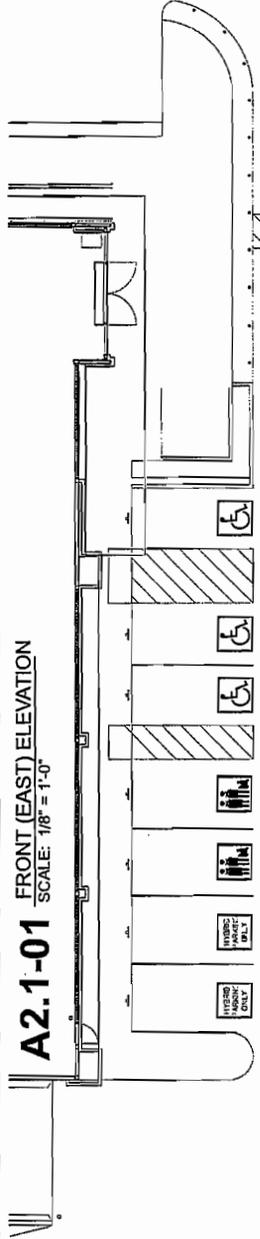
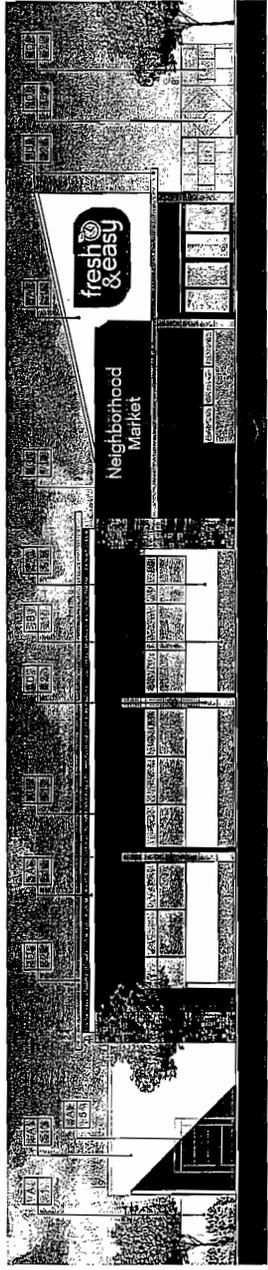


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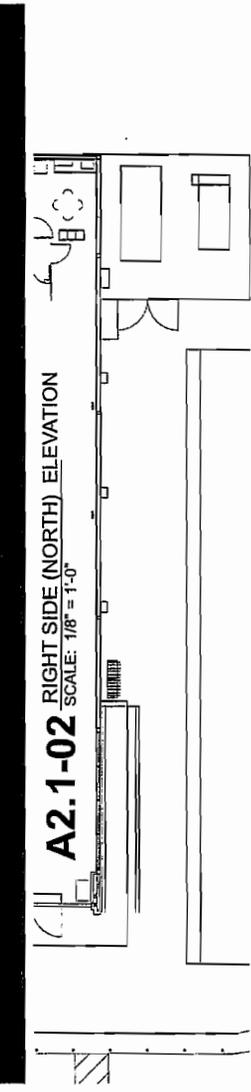
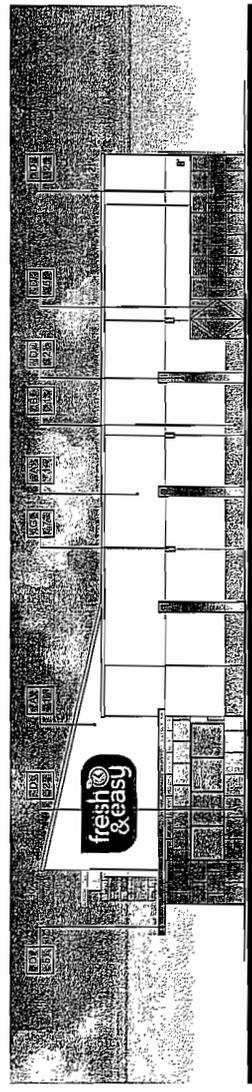








**A2.1-01** FRONT (EAST) ELEVATION  
SCALE: 1/8" = 1'-0"



**A2.1-02** RIGHT SIDE (NORTH) ELEVATION  
SCALE: 1/8" = 1'-0"

**REVISIONS**

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**Materials**

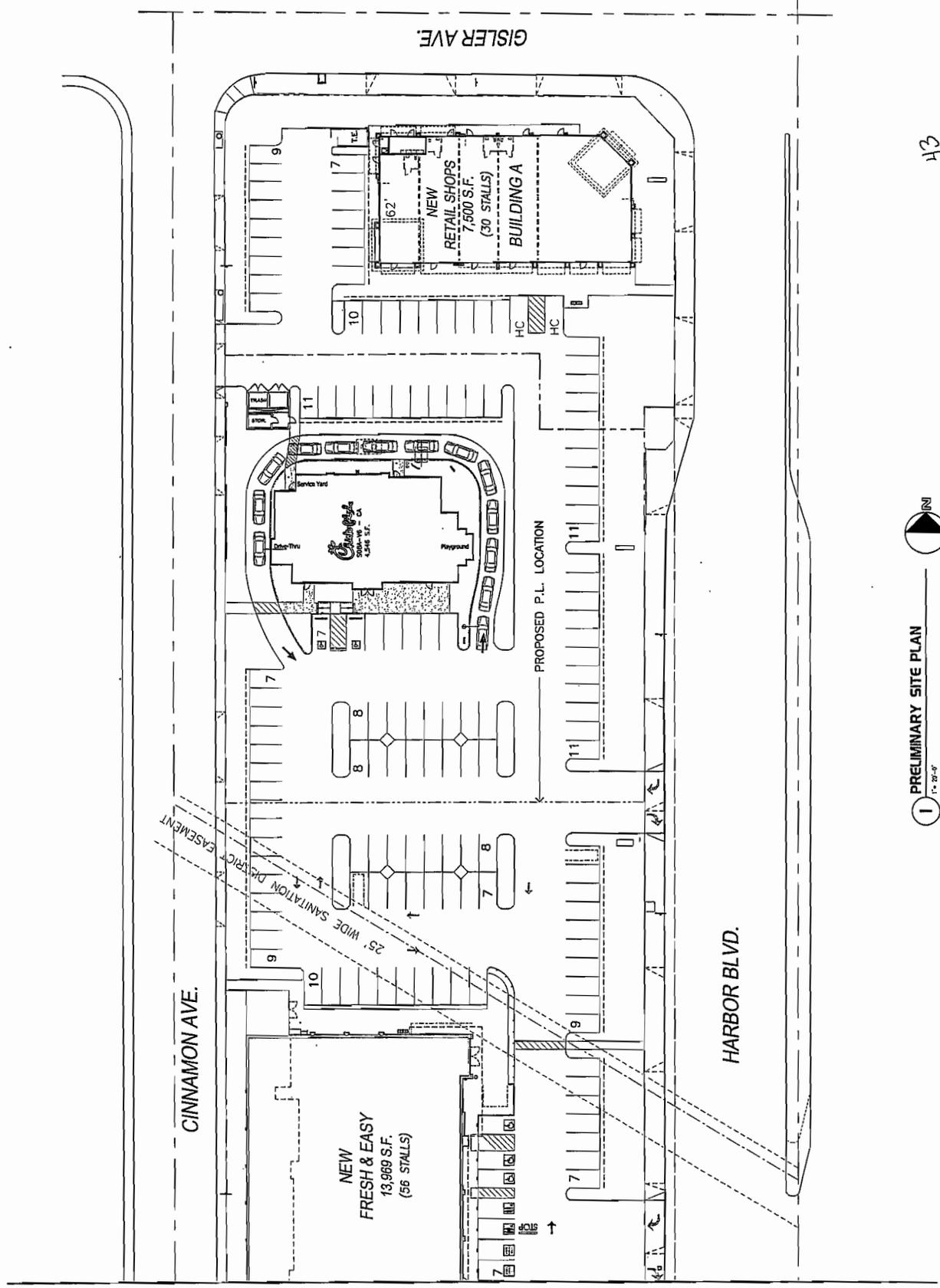
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|-----|----------------------------|--------|--------------------------|
| 1   | STUCCO - LIGHT GRAY FINISH | 5      | PAINTED METAL DOOR       |
| 2   | PAINTED BRICK/CLAY         | 6      | STONE VENEER             |
| 3   | NOT USED                   | 7      | DECORATIVE WALL DOORCASE |
| 4   | PAINTED METAL              | 8      | NOT USED                 |

**Finishes**

| NO. | DESCRIPTION              | NOTED                       |
|-----|--------------------------|-----------------------------|
| A   | BRICK - PRINCED/PAVEMENT | STONE VENEER TYPE AND COLOR |
| B   | BRICK - CALIFORNIA WALK  | CLEAR ANODIZED FINISH       |
| C   | BRICK - WIRE BARKER      | OPAQUE ANODIZED FINISH      |
| D   | METAL COLOR - 1B1        | NOT USED                    |



|   |   |   |   |  |                                |   |             |
|---|---|---|---|--|--------------------------------|---|-------------|
|  <b>Cinnamons</b><br>5200 Burlington Rd.<br>Hayward, CA 94545<br>510-781-2038 | Revisions:<br>Mark Date By<br>Δ<br><br>Mark Date By<br>Δ<br><br>Mark Date By<br>Δ<br><br>Seal | <b>C.R.H.O</b><br>REGISTERED ARCHITECT<br>105 South 1st Street 200<br>Santa, California 95060<br>TEL: 424-2521<br>FAX: 424-1210 | STORE<br>COSTA MESA, CA<br>FSU 3008A CA | COSTA MESA, CA<br>SHEET TITLE<br><b>PRELIMINARY<br/>         SITE PLAN</b> | PERSON:<br>ISSUE DATE: 11-2010 | Job No. : 09-235<br>Store :<br>Date : 12/15/10<br>Drawn By :<br>Checked By :<br>Sheet | <b>SP-1</b> |
|   | PRELIMINARY SITE PLAN<br>1" = 20'-0"  |   |   |  |                                |   |             |



43

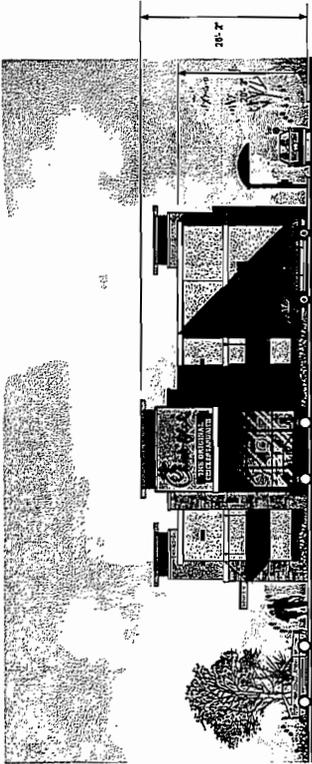
1 PRELIMINARY SITE PLAN  
 1" = 20'-0"



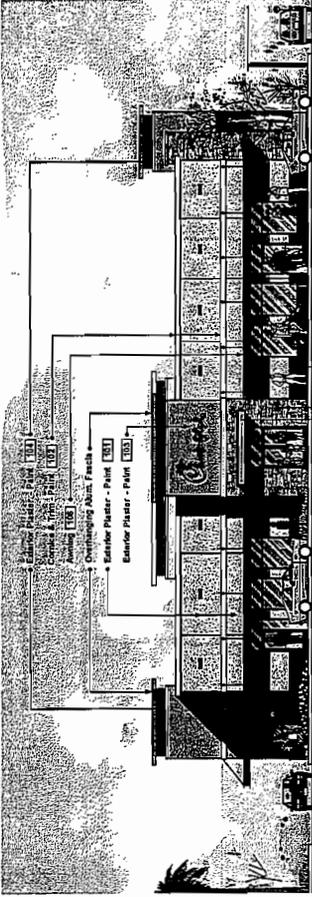




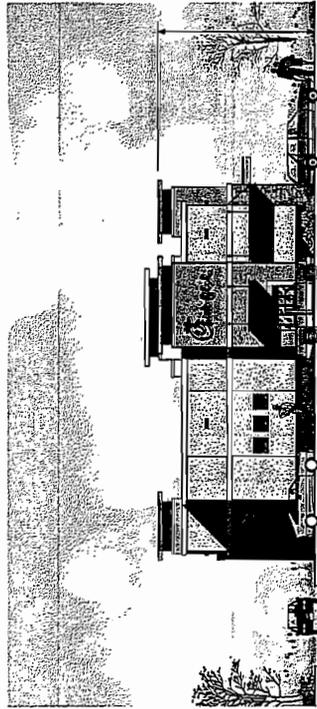




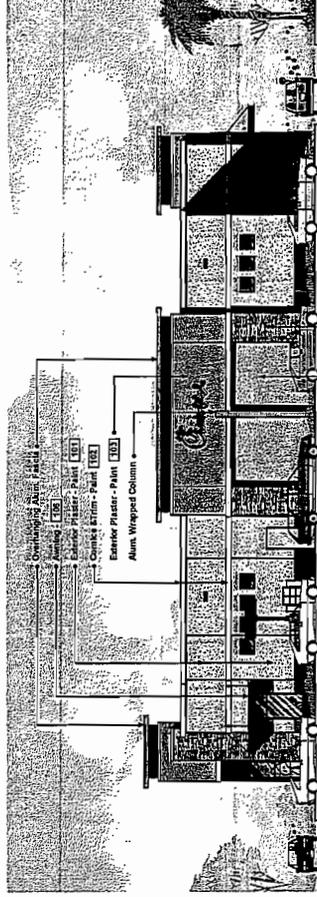
**EAST ELEVATION**



**SOUTH ELEVATION**



**WEST ELEVATION**



**NORTH ELEVATION**



**PRELIMINARY ELEVATIONS**  
Costa Mesa, California

4-6-10 Revised: 12-15-10  
Revised: 1-13-11

File Name: 0323E-ALL-1-13-11

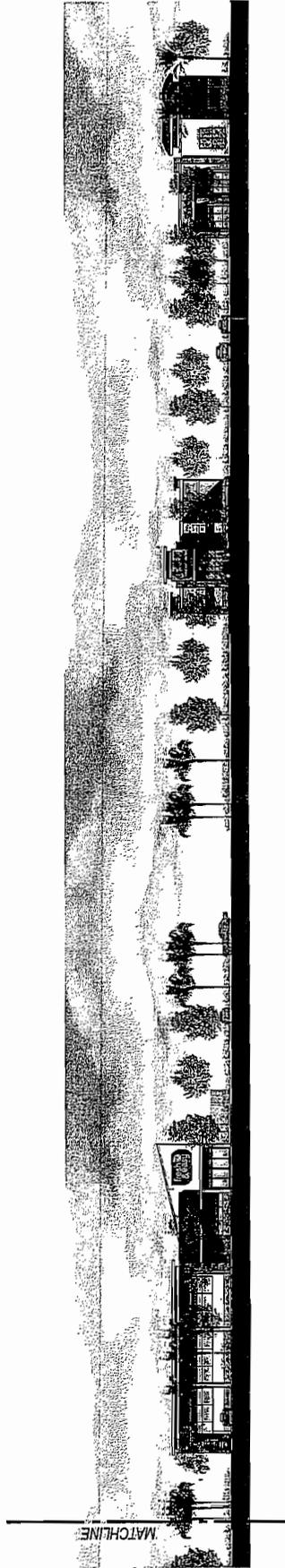
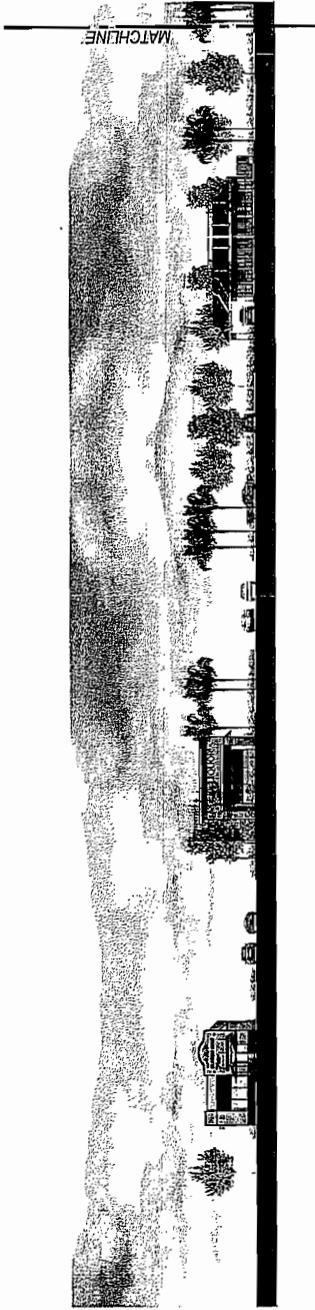
**Note:**  
All roof top mechanical equipment shall be located in equipment well and screened from view by parapet walls.

**COLOR AND MATERIAL LEGEND**

- 1301 Paint - Sherwin Williams - #SW9143 "Macadamia"
- 1302 Paint - Sherwin Williams - #SW9140 "Moderate White"
- 1303 Paint - Sherwin Williams - #SW9139 "Lark"
- 1304 Paint - Sherwin Williams - #SW9138 "Woodward Clay"
- 1305 Stone Veneer - To Match The Craft
- 1306 Metal Awning - Sherwin Williams - #SW9114 "Bijou"
- 1307 Paint - Sherwin Williams - #SW9114 "Bijou"



**C · R · H · O**  
Architect - Sherry Agency  
121 South "C" Street, Suite 200  
Costa Mesa, CA 92626  
714 832 1811  
FAX 714 832 1869



OVERALL COMPOSITE ELEVATION (FOR REFERENCE)  
N.T.S.



HARBOR MESA RETAIL COSTA MESA, CA

SCALE: 3/32" = 1'-0"

COMPOSITE ELEVATION

2008.007 1-17-11



ARCHITECTS ORANGE

144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92668 (714) 639-9860

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All other drawings are the property of Architects Orange.

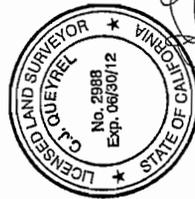
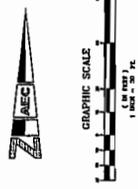
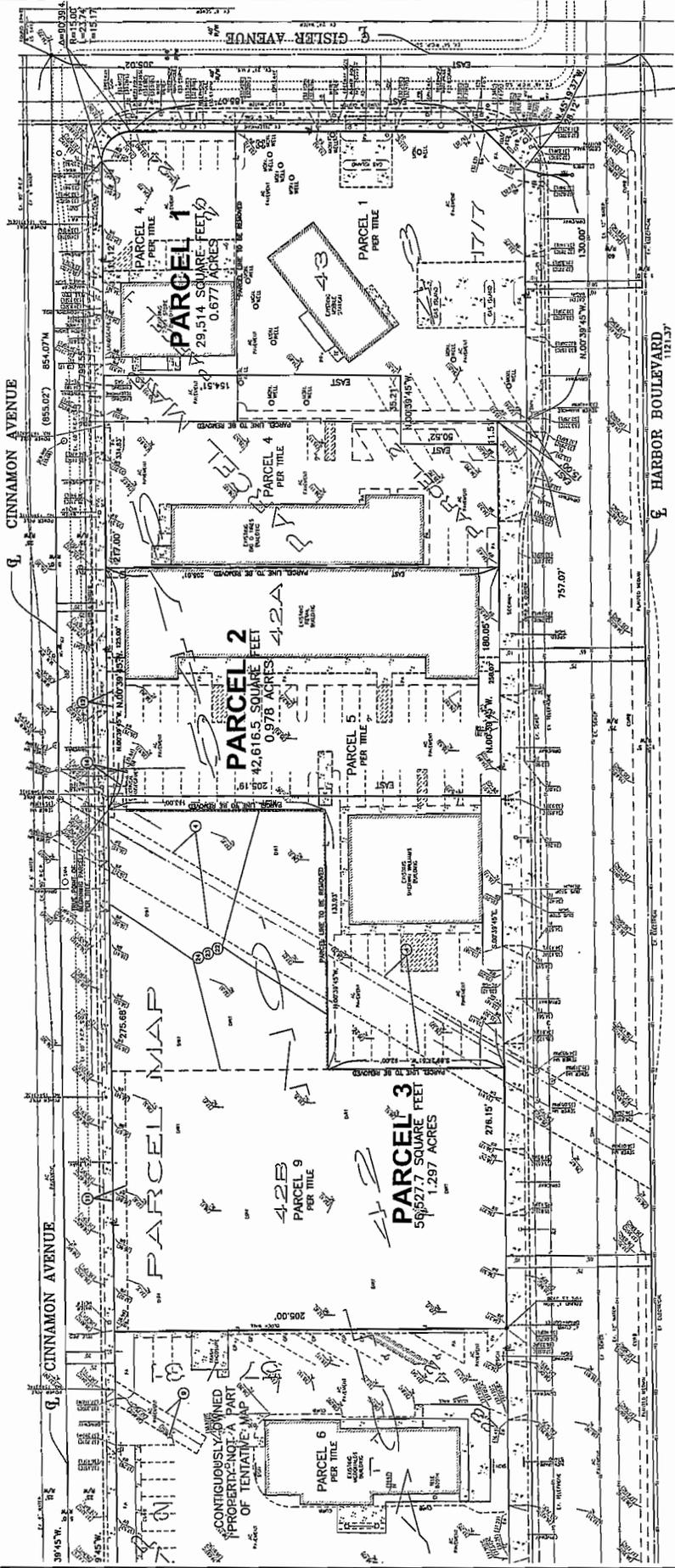
**LEGEND**

|     |                  |    |                 |    |                |
|-----|------------------|----|-----------------|----|----------------|
| 4   | FIRE HYDRANT     | WM | WALKWAY         | Y  | TRANSFORMER    |
| 1   | ASPHALT PAVEMENT | CB | BACKFLOW DEVICE | BY | GAS VALVE      |
| 2   | CONCRETE         | CD | CONCRETE CURB   | BR | BRICK WALL     |
| 3   | CONCRETE         | CE | CONCRETE CURB   | BS | BRICK WALL     |
| 4   | CONCRETE         | CF | CONCRETE CURB   | BT | BRICK WALL     |
| 5   | CONCRETE         | CG | CONCRETE CURB   | BU | BRICK WALL     |
| 6   | CONCRETE         | CH | CONCRETE CURB   | BV | BRICK WALL     |
| 7   | CONCRETE         | CI | CONCRETE CURB   | BW | BRICK WALL     |
| 8   | CONCRETE         | CJ | CONCRETE CURB   | BY | BRICK WALL     |
| 9   | CONCRETE         | CK | CONCRETE CURB   | BZ | BRICK WALL     |
| 10  | CONCRETE         | CL | CONCRETE CURB   | CA | BRICK WALL     |
| 11  | CONCRETE         | CM | CONCRETE CURB   | CB | BRICK WALL     |
| 12  | CONCRETE         | CN | CONCRETE CURB   | CC | BRICK WALL     |
| 13  | CONCRETE         | CO | CONCRETE CURB   | CD | BRICK WALL     |
| 14  | CONCRETE         | CP | CONCRETE CURB   | CE | BRICK WALL     |
| 15  | CONCRETE         | CQ | CONCRETE CURB   | CF | BRICK WALL     |
| 16  | CONCRETE         | CR | CONCRETE CURB   | CG | BRICK WALL     |
| 17  | CONCRETE         | CS | CONCRETE CURB   | CH | BRICK WALL     |
| 18  | CONCRETE         | CT | CONCRETE CURB   | CI | BRICK WALL     |
| 19  | CONCRETE         | CU | CONCRETE CURB   | CJ | BRICK WALL     |
| 20  | CONCRETE         | CV | CONCRETE CURB   | CK | BRICK WALL     |
| 21  | CONCRETE         | CL | CONCRETE CURB   | CM | BRICK WALL     |
| 22  | CONCRETE         | CO | CONCRETE CURB   | CN | BRICK WALL     |
| 23  | CONCRETE         | CP | CONCRETE CURB   | CO | BRICK WALL     |
| 24  | CONCRETE         | CQ | CONCRETE CURB   | CP | BRICK WALL     |
| 25  | CONCRETE         | CR | CONCRETE CURB   | CQ | BRICK WALL     |
| 26  | CONCRETE         | CS | CONCRETE CURB   | CR | BRICK WALL     |
| 27  | CONCRETE         | CT | CONCRETE CURB   | CS | BRICK WALL     |
| 28  | CONCRETE         | CU | CONCRETE CURB   | CT | BRICK WALL     |
| 29  | CONCRETE         | CV | CONCRETE CURB   | CU | BRICK WALL     |
| 30  | CONCRETE         | AW | ASPHALT DRIVE   | CV | CONCRETE CURB  |
| 31  | CONCRETE         | AX | ASPHALT DRIVE   | AW | ASPHALT DRIVE  |
| 32  | CONCRETE         | AY | ASPHALT DRIVE   | AX | ASPHALT DRIVE  |
| 33  | CONCRETE         | AZ | ASPHALT DRIVE   | AY | ASPHALT DRIVE  |
| 34  | CONCRETE         | BA | CONCRETE DRIVE  | AZ | ASPHALT DRIVE  |
| 35  | CONCRETE         | BB | CONCRETE DRIVE  | BA | CONCRETE DRIVE |
| 36  | CONCRETE         | BC | CONCRETE DRIVE  | BB | CONCRETE DRIVE |
| 37  | CONCRETE         | BD | CONCRETE DRIVE  | BC | CONCRETE DRIVE |
| 38  | CONCRETE         | BE | CONCRETE DRIVE  | BD | CONCRETE DRIVE |
| 39  | CONCRETE         | BF | CONCRETE DRIVE  | BE | CONCRETE DRIVE |
| 40  | CONCRETE         | BG | CONCRETE DRIVE  | BF | CONCRETE DRIVE |
| 41  | CONCRETE         | BH | CONCRETE DRIVE  | BG | CONCRETE DRIVE |
| 42  | CONCRETE         | BI | CONCRETE DRIVE  | BH | CONCRETE DRIVE |
| 43  | CONCRETE         | BJ | CONCRETE DRIVE  | BI | CONCRETE DRIVE |
| 44  | CONCRETE         | BK | CONCRETE DRIVE  | BJ | CONCRETE DRIVE |
| 45  | CONCRETE         | BL | CONCRETE DRIVE  | BK | CONCRETE DRIVE |
| 46  | CONCRETE         | BM | CONCRETE DRIVE  | BL | CONCRETE DRIVE |
| 47  | CONCRETE         | BN | CONCRETE DRIVE  | BM | CONCRETE DRIVE |
| 48  | CONCRETE         | BO | CONCRETE DRIVE  | BN | CONCRETE DRIVE |
| 49  | CONCRETE         | BP | CONCRETE DRIVE  | BO | CONCRETE DRIVE |
| 50  | CONCRETE         | BQ | CONCRETE DRIVE  | BP | CONCRETE DRIVE |
| 51  | CONCRETE         | BR | CONCRETE DRIVE  | BQ | CONCRETE DRIVE |
| 52  | CONCRETE         | BS | CONCRETE DRIVE  | BR | CONCRETE DRIVE |
| 53  | CONCRETE         | BT | CONCRETE DRIVE  | BS | CONCRETE DRIVE |
| 54  | CONCRETE         | BU | CONCRETE DRIVE  | BT | CONCRETE DRIVE |
| 55  | CONCRETE         | BV | CONCRETE DRIVE  | BU | CONCRETE DRIVE |
| 56  | CONCRETE         | BW | CONCRETE DRIVE  | BV | CONCRETE DRIVE |
| 57  | CONCRETE         | BX | CONCRETE DRIVE  | BW | CONCRETE DRIVE |
| 58  | CONCRETE         | BY | CONCRETE DRIVE  | BX | CONCRETE DRIVE |
| 59  | CONCRETE         | BZ | CONCRETE DRIVE  | BY | CONCRETE DRIVE |
| 60  | CONCRETE         | CA | CONCRETE DRIVE  | BZ | CONCRETE DRIVE |
| 61  | CONCRETE         | CB | CONCRETE DRIVE  | CA | CONCRETE DRIVE |
| 62  | CONCRETE         | CC | CONCRETE DRIVE  | CB | CONCRETE DRIVE |
| 63  | CONCRETE         | CD | CONCRETE DRIVE  | CC | CONCRETE DRIVE |
| 64  | CONCRETE         | CE | CONCRETE DRIVE  | CD | CONCRETE DRIVE |
| 65  | CONCRETE         | CF | CONCRETE DRIVE  | CE | CONCRETE DRIVE |
| 66  | CONCRETE         | CG | CONCRETE DRIVE  | CF | CONCRETE DRIVE |
| 67  | CONCRETE         | CH | CONCRETE DRIVE  | CG | CONCRETE DRIVE |
| 68  | CONCRETE         | CI | CONCRETE DRIVE  | CH | CONCRETE DRIVE |
| 69  | CONCRETE         | CJ | CONCRETE DRIVE  | CI | CONCRETE DRIVE |
| 70  | CONCRETE         | CK | CONCRETE DRIVE  | CJ | CONCRETE DRIVE |
| 71  | CONCRETE         | CL | CONCRETE DRIVE  | CK | CONCRETE DRIVE |
| 72  | CONCRETE         | CM | CONCRETE DRIVE  | CL | CONCRETE DRIVE |
| 73  | CONCRETE         | CN | CONCRETE DRIVE  | CM | CONCRETE DRIVE |
| 74  | CONCRETE         | CO | CONCRETE DRIVE  | CN | CONCRETE DRIVE |
| 75  | CONCRETE         | CP | CONCRETE DRIVE  | CO | CONCRETE DRIVE |
| 76  | CONCRETE         | CQ | CONCRETE DRIVE  | CP | CONCRETE DRIVE |
| 77  | CONCRETE         | CR | CONCRETE DRIVE  | CQ | CONCRETE DRIVE |
| 78  | CONCRETE         | CS | CONCRETE DRIVE  | CR | CONCRETE DRIVE |
| 79  | CONCRETE         | CT | CONCRETE DRIVE  | CS | CONCRETE DRIVE |
| 80  | CONCRETE         | CU | CONCRETE DRIVE  | CT | CONCRETE DRIVE |
| 81  | CONCRETE         | CV | CONCRETE DRIVE  | CU | CONCRETE DRIVE |
| 82  | CONCRETE         | CW | CONCRETE DRIVE  | CV | CONCRETE DRIVE |
| 83  | CONCRETE         | CX | CONCRETE DRIVE  | CW | CONCRETE DRIVE |
| 84  | CONCRETE         | CY | CONCRETE DRIVE  | CX | CONCRETE DRIVE |
| 85  | CONCRETE         | CZ | CONCRETE DRIVE  | CY | CONCRETE DRIVE |
| 86  | CONCRETE         | DA | CONCRETE DRIVE  | CZ | CONCRETE DRIVE |
| 87  | CONCRETE         | DB | CONCRETE DRIVE  | DA | CONCRETE DRIVE |
| 88  | CONCRETE         | DC | CONCRETE DRIVE  | DB | CONCRETE DRIVE |
| 89  | CONCRETE         | DD | CONCRETE DRIVE  | DC | CONCRETE DRIVE |
| 90  | CONCRETE         | DE | CONCRETE DRIVE  | DD | CONCRETE DRIVE |
| 91  | CONCRETE         | DF | CONCRETE DRIVE  | DE | CONCRETE DRIVE |
| 92  | CONCRETE         | DG | CONCRETE DRIVE  | DF | CONCRETE DRIVE |
| 93  | CONCRETE         | DH | CONCRETE DRIVE  | DG | CONCRETE DRIVE |
| 94  | CONCRETE         | DI | CONCRETE DRIVE  | DH | CONCRETE DRIVE |
| 95  | CONCRETE         | DJ | CONCRETE DRIVE  | DI | CONCRETE DRIVE |
| 96  | CONCRETE         | DK | CONCRETE DRIVE  | DJ | CONCRETE DRIVE |
| 97  | CONCRETE         | DL | CONCRETE DRIVE  | DK | CONCRETE DRIVE |
| 98  | CONCRETE         | DM | CONCRETE DRIVE  | DL | CONCRETE DRIVE |
| 99  | CONCRETE         | DN | CONCRETE DRIVE  | DM | CONCRETE DRIVE |
| 100 | CONCRETE         | DO | CONCRETE DRIVE  | DN | CONCRETE DRIVE |
| 101 | CONCRETE         | DP | CONCRETE DRIVE  | DO | CONCRETE DRIVE |
| 102 | CONCRETE         | DQ | CONCRETE DRIVE  | DP | CONCRETE DRIVE |
| 103 | CONCRETE         | DR | CONCRETE DRIVE  | DQ | CONCRETE DRIVE |
| 104 | CONCRETE         | DS | CONCRETE DRIVE  | DR | CONCRETE DRIVE |
| 105 | CONCRETE         | DT | CONCRETE DRIVE  | DS | CONCRETE DRIVE |
| 106 | CONCRETE         | DU | CONCRETE DRIVE  | DT | CONCRETE DRIVE |
| 107 | CONCRETE         | DV | CONCRETE DRIVE  | DU | CONCRETE DRIVE |
| 108 | CONCRETE         | DW | CONCRETE DRIVE  | DV | CONCRETE DRIVE |
| 109 | CONCRETE         | DX | CONCRETE DRIVE  | DW | CONCRETE DRIVE |
| 110 | CONCRETE         | DY | CONCRETE DRIVE  | DX | CONCRETE DRIVE |
| 111 | CONCRETE         | DZ | CONCRETE DRIVE  | DY | CONCRETE DRIVE |
| 112 | CONCRETE         | EA | CONCRETE DRIVE  | DZ | CONCRETE DRIVE |
| 113 | CONCRETE         | EB | CONCRETE DRIVE  | EA | CONCRETE DRIVE |
| 114 | CONCRETE         | EC | CONCRETE DRIVE  | EB | CONCRETE DRIVE |
| 115 | CONCRETE         | ED | CONCRETE DRIVE  | EC | CONCRETE DRIVE |
| 116 | CONCRETE         | EE | CONCRETE DRIVE  | ED | CONCRETE DRIVE |
| 117 | CONCRETE         | EF | CONCRETE DRIVE  | EE | CONCRETE DRIVE |
| 118 | CONCRETE         | EG | CONCRETE DRIVE  | EF | CONCRETE DRIVE |
| 119 | CONCRETE         | EH | CONCRETE DRIVE  | EG | CONCRETE DRIVE |
| 120 | CONCRETE         | EI | CONCRETE DRIVE  | EH | CONCRETE DRIVE |
| 121 | CONCRETE         | EJ | CONCRETE DRIVE  | EI | CONCRETE DRIVE |
| 122 | CONCRETE         | EK | CONCRETE DRIVE  | EJ | CONCRETE DRIVE |
| 123 | CONCRETE         | EL | CONCRETE DRIVE  | EK | CONCRETE DRIVE |
| 124 | CONCRETE         | EM | CONCRETE DRIVE  | EL | CONCRETE DRIVE |
| 125 | CONCRETE         | EN | CONCRETE DRIVE  | EM | CONCRETE DRIVE |
| 126 | CONCRETE         | EO | CONCRETE DRIVE  | EN | CONCRETE DRIVE |
| 127 | CONCRETE         | EP | CONCRETE DRIVE  | EO | CONCRETE DRIVE |
| 128 | CONCRETE         | EQ | CONCRETE DRIVE  | EP | CONCRETE DRIVE |
| 129 | CONCRETE         | ER | CONCRETE DRIVE  | EQ | CONCRETE DRIVE |
| 130 | CONCRETE         | ES | CONCRETE DRIVE  | ER | CONCRETE DRIVE |
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| 132 | CONCRETE         | EU | CONCRETE DRIVE  | ET | CONCRETE DRIVE |
| 133 | CONCRETE         | EV | CONCRETE DRIVE  | EU | CONCRETE DRIVE |
| 134 | CONCRETE         | EW | CONCRETE DRIVE  | EV | CONCRETE DRIVE |
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| 136 | CONCRETE         | EY | CONCRETE DRIVE  | EX | CONCRETE DRIVE |
| 137 | CONCRETE         | EZ | CONCRETE DRIVE  | EY | CONCRETE DRIVE |
| 138 | CONCRETE         | FA | CONCRETE DRIVE  | EZ | CONCRETE DRIVE |
| 139 | CONCRETE         | FB | CONCRETE DRIVE  | FA | CONCRETE DRIVE |
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| 141 | CONCRETE         | FD | CONCRETE DRIVE  | FC | CONCRETE DRIVE |
| 142 | CONCRETE         | FE | CONCRETE DRIVE  | FD | CONCRETE DRIVE |
| 143 | CONCRETE         | FF | CONCRETE DRIVE  | FE | CONCRETE DRIVE |
| 144 | CONCRETE         | FG | CONCRETE DRIVE  | FF | CONCRETE DRIVE |
| 145 | CONCRETE         | FH | CONCRETE DRIVE  | FG | CONCRETE DRIVE |
| 146 | CONCRETE         | FI | CONCRETE DRIVE  | FH | CONCRETE DRIVE |
| 147 | CONCRETE         | FJ | CONCRETE DRIVE  | FI | CONCRETE DRIVE |
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| 162 | CONCRETE         | FY | CONCRETE DRIVE  | FX | CONCRETE DRIVE |
| 163 | CONCRETE         | FZ | CONCRETE DRIVE  | FY | CONCRETE DRIVE |
| 164 | CONCRETE         | GA | CONCRETE DRIVE  | FZ | CONCRETE DRIVE |
| 165 | CONCRETE         | GB | CONCRETE DRIVE  | GA | CONCRETE DRIVE |
| 166 | CONCRETE         | GC | CONCRETE DRIVE  | GB | CONCRETE DRIVE |
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| 168 | CONCRETE         | GE | CONCRETE DRIVE  | GD | CONCRETE DRIVE |
| 169 | CONCRETE         | GF | CONCRETE DRIVE  | GE | CONCRETE DRIVE |
| 170 | CONCRETE         | GG | CONCRETE DRIVE  | GF | CONCRETE DRIVE |
| 171 | CONCRETE         | GH | CONCRETE DRIVE  | GG | CONCRETE DRIVE |
| 172 | CONCRETE         | GI | CONCRETE DRIVE  | GH | CONCRETE DRIVE |
| 173 | CONCRETE         | GJ | CONCRETE DRIVE  | GI | CONCRETE DRIVE |
| 174 | CONCRETE         | GK | CONCRETE DRIVE  | GJ | CONCRETE DRIVE |
| 175 | CONCRETE         | GL | CONCRETE DRIVE  | GK | CONCRETE DRIVE |
| 176 | CONCRETE         | GM | CONCRETE DRIVE  | GL | CONCRETE DRIVE |
| 177 | CONCRETE         | GN | CONCRETE DRIVE  | GM | CONCRETE DRIVE |
| 178 | CONCRETE         | GO | CONCRETE DRIVE  | GN | CONCRETE DRIVE |
| 179 | CONCRETE         | GP | CONCRETE DRIVE  | GO | CONCRETE DRIVE |
| 180 | CONCRETE         | GQ | CONCRETE DRIVE  | GP | CONCRETE DRIVE |
| 181 | CONCRETE         | GR | CONCRETE DRIVE  | GQ | CONCRETE DRIVE |
| 182 | CONCRETE         | GS | CONCRETE DRIVE  | GR | CONCRETE DRIVE |
| 183 | CONCRETE         | GT | CONCRETE DRIVE  | GS | CONCRETE DRIVE |
| 184 | CONCRETE         | GU | CONCRETE DRIVE  | GT | CONCRETE DRIVE |
| 185 | CONCRETE         | GV | CONCRETE DRIVE  | GU | CONCRETE DRIVE |
| 186 | CONCRETE         | GW | CONCRETE DRIVE  | GV | CONCRETE DRIVE |
| 187 | CONCRETE         | GX | CONCRETE DRIVE  | GW | CONCRETE DRIVE |
| 188 | CONCRETE         | GY | CONCRETE DRIVE  | GX | CONCRETE DRIVE |
| 189 | CONCRETE         | GZ | CONCRETE DRIVE  | GY | CONCRETE DRIVE |
| 190 | CONCRETE         | HA | CONCRETE DRIVE  | GZ | CONCRETE DRIVE |
| 191 | CONCRETE         | HB | CONCRETE DRIVE  | HA | CONCRETE DRIVE |
| 192 | CONCRETE         | HC | CONCRETE DRIVE  | HB | CONCRETE DRIVE |
| 193 | CONCRETE         | HD | CONCRETE DRIVE  | HC | CONCRETE DRIVE |
| 194 | CONCRETE         | HE | CONCRETE DRIVE  | HD | CONCRETE DRIVE |
| 195 | CONCRETE         | HF | CONCRETE DRIVE  | HE | CONCRETE DRIVE |
| 196 | CONCRETE         | HG | CONCRETE DRIVE  | HF | CONCRETE DRIVE |
| 197 | CONCRETE         | HH | CONCRETE DRIVE  | HG | CONCRETE DRIVE |
| 198 | CONCRETE         | HI | CONCRETE DRIVE  | HH | CONCRETE DRIVE |
| 199 | CONCRETE         | HJ | CONCRETE DRIVE  | HI | CONCRETE DRIVE |
| 200 | CONCRETE         | HK | CONCRETE DRIVE  | HJ | CONCRETE DRIVE |
| 201 | CONCRETE         | HL | CONCRETE DRIVE  | HK | CONCRETE DRIVE |
| 202 | CONCRETE         | HM | CONCRETE DRIVE  | HL | CONCRETE DRIVE |
| 203 | CONCRETE         | HN | CONCRETE DRIVE  | HM | CONCRETE DRIVE |
| 2   |                  |    |                 |    |                |









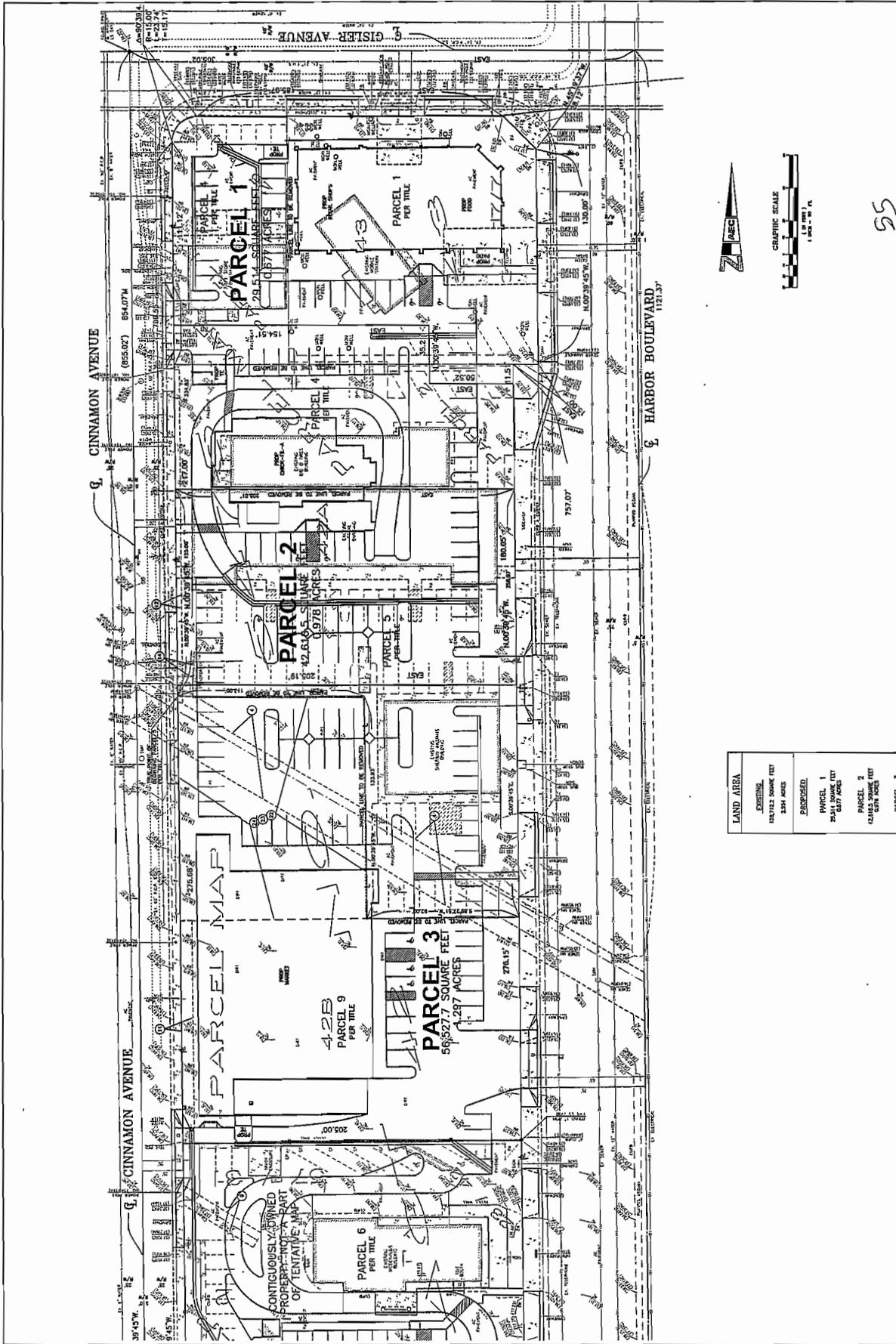
*Signature*  
54

| LAND AREA |                                     |
|-----------|-------------------------------------|
| EXISTING  | 132,712.2 SQUARE FEET<br>3.04 ACRES |
| PROPOSED  |                                     |
| PARCEL 1  | 29,514 SQUARE FEET<br>0.6771 ACRES  |
| PARCEL 2  | 42,616.5 SQUARE FEET<br>0.978 ACRES |
| PARCEL 3  | 56,527.7 SQUARE FEET<br>1.297 ACRES |

PROJECT OWNER: ANACAL ENGINEERING CO.  
 CIVIL ENGINEERING & LAND SURVEYING  
 1930 EAST LA PALMA AVENUE, SUITE 202  
 ANAHEIM, CALIFORNIA 92815  
 PHONE: 714-774-7163 FAX: 714-774-6690  
 E-MAIL: ADDRESS: ANACAL@ANACALENGINEERING.COM

DATE: 12/27/10  
 SHEET NO. 2

PROJECT: TENTATIVE PARCEL MAP NO. 2010-135  
 "HARBOR MESA"  
 3135.3141.3151.3161 HARBOR BOULEVARD  
 C. A. G.  
 A.C.S. NO. 10027-204



55

| LAND AREA |   |
|-----------|---|
| EXISTING  | 124,712 SQUARE FEET<br>2.84 ACRES             |
| PROPOSED  | PARCEL 1<br>29,511 SQUARE FEET<br>0.677 ACRES |
|           | PARCEL 2<br>42,615 SQUARE FEET<br>0.978 ACRES |
|           | PARCEL 3<br>56,528 SQUARE FEET<br>1.297 ACRES |
|           | PARCEL 4<br>4,297 SQUARE FEET<br>0.098 ACRES  |
|           | PARCEL 5<br>4,297 SQUARE FEET<br>0.098 ACRES  |
|           | PARCEL 6<br>24,337 SQUARE FEET<br>0.557 ACRES |

SHEET TITLE: TENTATIVE PARCEL MAP NO. 2010-135

PROJECT: "HARBOR MESA"  
3135, 3141, 3151, 3161 HARBOR BOULEVARD

DATE: 12/27/10

SCALE: 1" = 30'

PROJECT ENGINEER: ANACAL ENGINEERING CO.  
CIVIL ENGINEERING & LAND SURVEYING  
1000 EAST LA PALMA AVENUE - SUITE 202  
COSTA MESA, CALIFORNIA 92626  
PHONE: 714-774-1783 FAX: 714-774-6500  
E-MAIL: ANACAL@ANACALENGINEERING.COM

COSTA MESA, CALIFORNIA

A.C.C. NO. 10027-TH

A-1

# HARBOR MESA SIGN PROGRAM

COSTA MESA, CALIFORNIA



**T&T ELECTRIC SIGN INC.**

3080 East 29th Street, Long Beach, CA 90806

Bus: (800) 655-6366 • (562) 595-7725

Fax: (562) 595-5434

CONTACT: NEIL MCNAUGHT 562/244-7546

CALL: CLE-438097  
LIC # 118-NOCT170223

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## TENANT SIGN SCHEDULE

1. ALL TENANTS GET A MAXIMUM OF TWO SIGNS UNLESS THEY ARE AN END TENANT, END TENANTS ARE ALLOWED A MAXIMUM OF THREE SIGNS, ONE PER ELEVATION
2. EACH SIGN CAN BE A MAXIMUM OF ONE SQUARE FOOT PER LINEAR FOOT OF TENANT FRONTAGE AND A LENGTH OF SEVENTY FIVE PERCENT OF THE LEASEHOLD FRONTAGE
3. EACH SIGN MUST HAVE LETTERS WITH A MINIMUM HEIGHT OF TWELVE INCHES AND A MAXIMUM HEIGHT OF FORTY EIGHT INCHES
4. SIGNS ARE ALLOWED TO HAVE A LOGO NOT TO EXCEED TWENTY FIVE PERCENT OF THE TOTAL SIGN
5. SIGNS PERMITTED ARE THE FOLLOWING: STANDARD ILLUMINATED CHANNEL LETTERS AND PAN CHANNELS, REVERSE LIT CHANNEL LETTERS AND PAN CHANNELS AND DUAL LIGHT CHANNEL LETTERS AND PAN CHANNELS
6. ALL SIGNS ARE SUBJECT TO LANDLORD/PROPERTY OWNER'S APPROVAL TO THEIR ABSOLUTE AND SOLE DISCRETION

## ALLOWABLE SQUARE FEET FOR PROJECT

|                        | STREET FRONTAGE | +   | ½ SQ FT FOR DEPTH |
|------------------------|-----------------|-----|-------------------|
| BUILDING A (5 TENANTS) | 236             | 126 | 110               |
| BUILDING B (2 TENANTS) | 203             | 93  | 110               |
| FRESH & EASY           | 386             | 276 | 110               |
| CHICK-FIL-A            | 327             | 217 | 110               |

1152 ALLOWABLE PROJECT SQUARE FEET

- 144 (36 x 4 MONUMENT SIGNS)

1008 REMAINDER ALLOCATION FOR BUILDING SIGNS





75% MAX OF LEASE FRONT

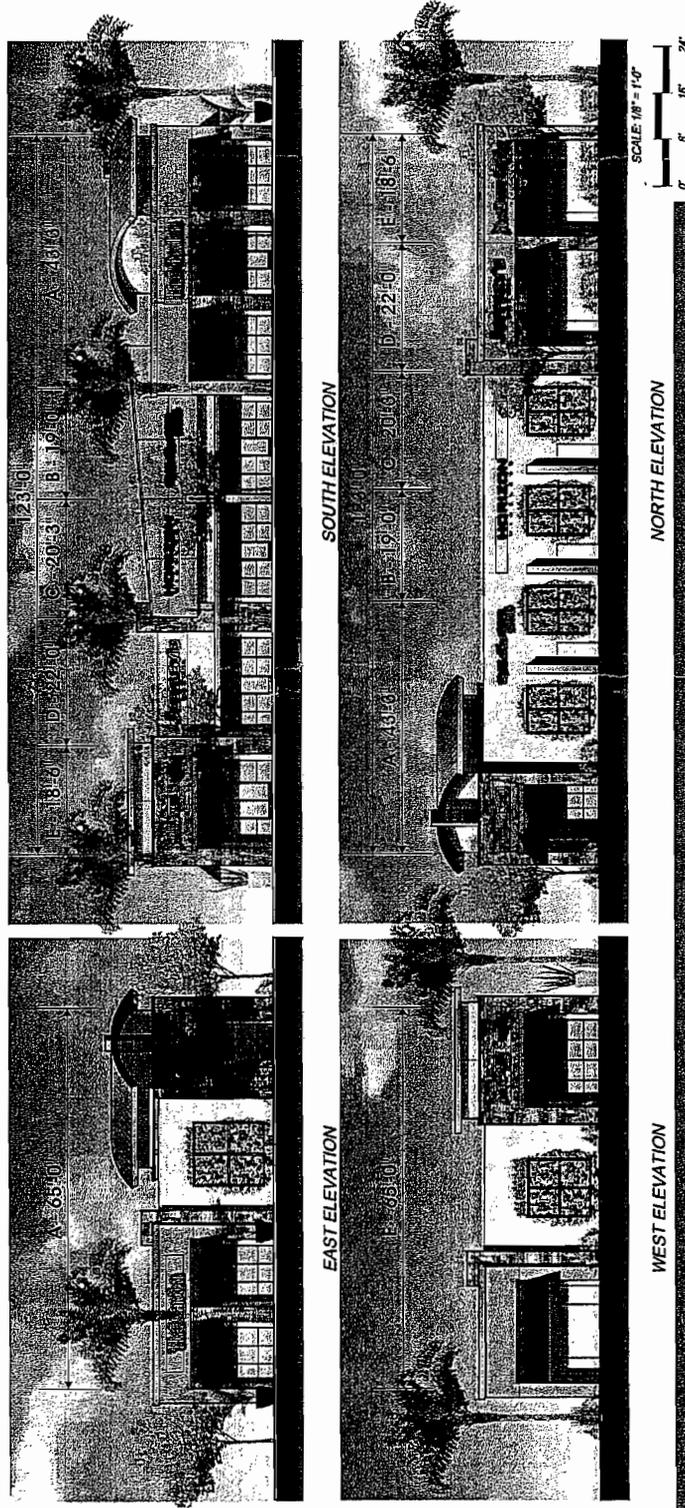
25% MAX OF SIGN

# TENANT SIGN

TENANT  
LOGO

12-48"

12-48"



B-1

75% MAX OF LEASE FRONT

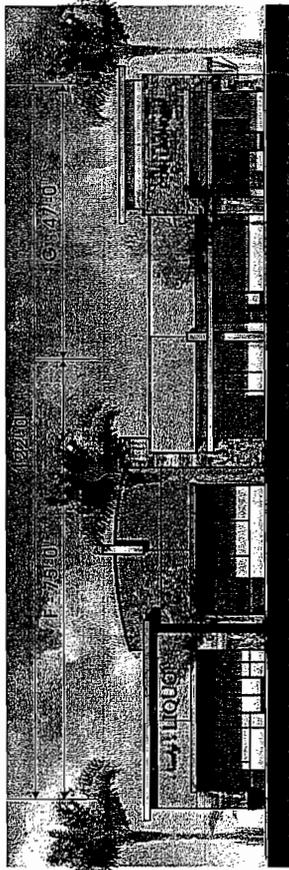
# TENANT SIGN

TENANT  
LOGO

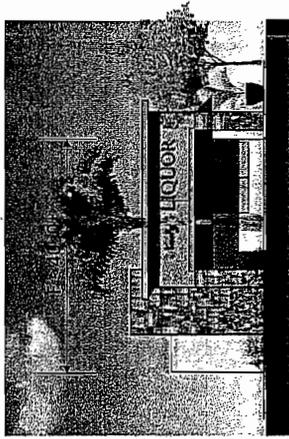
25% MAX OF SIGN

12-48"

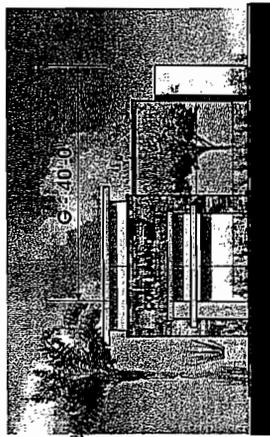
12-48"



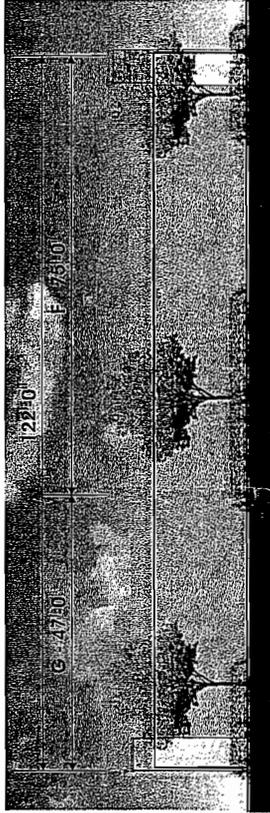
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

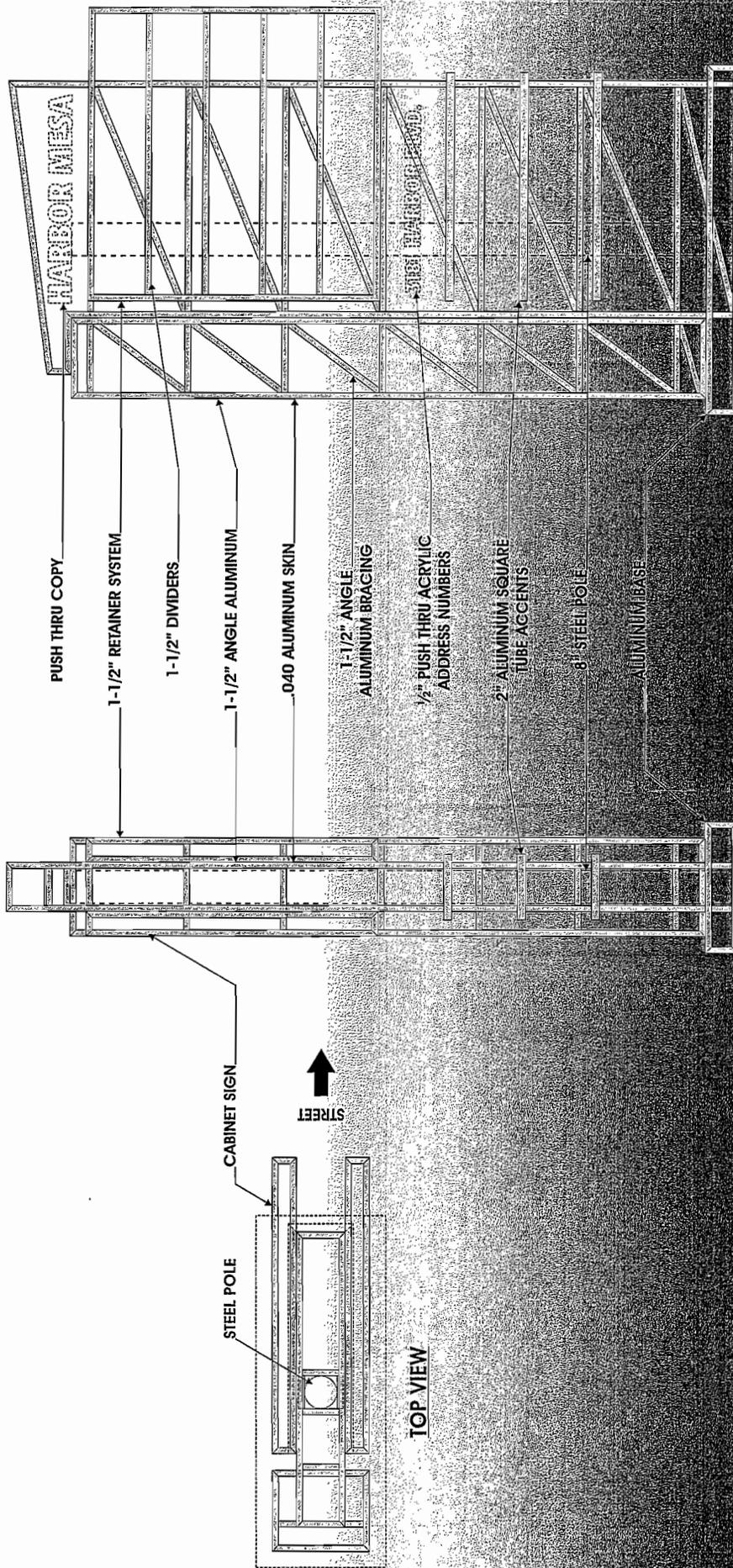
0 8 16 24'











D-5

FRONT VIEW CABINET/RETAINERS

SIDE VIEW/FACING STREET

TOP VIEW

HARBOR MESA

STEEL HARBOR MESA

PUSH THRU COPY

1-1/2" RETAINER SYSTEM

1-1/2" DIVIDERS

1-1/2" ANGLE ALUMINUM

.040 ALUMINUM SKIN

1-1/2" ANGLE ALUMINUM BRACING

1/2" PUSH THRU ACRYLIC ADDRESS NUMBERS

2" ALUMINUM SQUARE TUBE ACCENTS

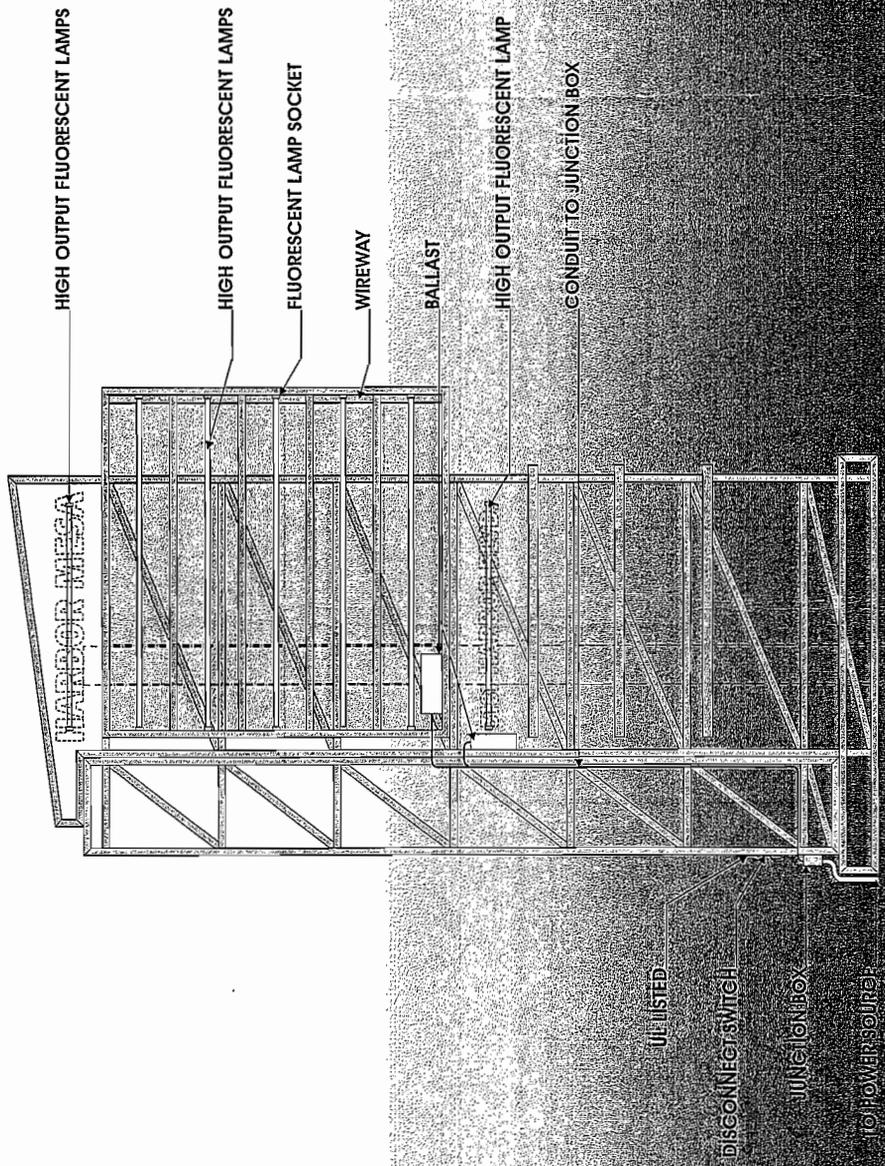
8" STEEL POLE

ALUMINUM BASE

CABINET SIGN

STEEL POLE

STREET



FRONT VIEW/PHYSICAL DETAIL