



PLANNING COMMISSION AGENDA REPORT

MEETING DATE: JUNE 11, 2012

ITEM NUMBER: **IX. 4**

SUBJECT: PLANNING APPLICATION AMENDMENT PA-91-99 A1 FOR AN EXPANSION OF AN EXISTING SERVICE STATION WITH A CARWASH AND MINI-MARKET AND A FINDING OF PUBLIC CONVENIENCE OR NECESSITY TO ALLOW CONCURRENT SALES OF ALCOHOLIC BEVERAGES AND GASOLINE
1195 BAKER STREET

DATE: MAY 31, 2012

FROM: PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

PRESENTATION BY: MEL LEE, AICP, SENIOR PLANNER

FOR FURTHER INFORMATION CONTACT: MEL LEE, AICP (714) 754-5611
mel.lee@costamesaca.gov

PROJECT DESCRIPTION

The applicant is requesting to amend Conditional Use Permit PA-91-99 for the following:

- Add 143 sq. ft. to the existing retail/mini-market area, a 144 sq. ft. storage shed, and an 80 sq. ft. car wash kiosk;
- Remodel/refurbish existing carwash and gas station facility; and
- Finding of public convenience and necessity in conjunction with a State Alcoholic Beverage Control (ABC) License Type 20 (Off-Sale Beer and Wine) to allow concurrent sales of alcoholic beverages and gasoline.

APPLICANT

The applicant is PLRC, representing Pepper Tree Inc., the property owner.

RECOMMENDATION

Approve project and make finding of Public Convenience or Necessity by adoption of Planning Commission resolution, subject to conditions of approval.

Planning Application Summary

Location: 1195 Baker Street Application: PA-91-99 A1

Request: Amend Conditional Use Permit PA-91-99 for the following: Add 143 sq. ft. to the existing retail/mini-market area, a 144 sq. ft. storage shed, and an 80 sq. ft. car wash kiosk; Remodel/refurbish existing carwash and gas station facility; and finding of public convenience and necessity in conjunction with a State Alcoholic Beverage Control License Type 20 (Off-Sale Beer and Wine) to allow concurrent sales of alcoholic beverages with gasoline.

SUBJECT PROPERTY:

SURROUNDING PROPERTY:

Zone: <u>C2</u>	North: <u>Across Baker St., C1 service station and retail center</u>	
General Plan: <u>General Commercial</u>	South: <u>C2, retail center</u>	
Lot Dimensions: <u>210 FT x 210 FT</u>	East: <u>C2, retail center</u>	
Lot Area: <u>39,000 SF</u>	West: <u>Across Fairview Rd., C1, service station and retail center</u>	
Existing Development: <u>Service station w/ car wash and mini-market</u>		

DEVELOPMENT STANDARD COMPARISON

<u>Development Standard</u>	<u>Required/Allowed</u>	<u>Proposed/Provided</u>
Lot Size:		
Lot Width	120 FT	210 FT
Lot Area	12,000 SF	39,000 SF
Floor Area Ratio:		
(High Traffic FAR)	.20 (7,800 SF)	.10 (3,708) SF
Building Height:		
Interior Landscaping:	2 Stories/ 30 FT maximum	1 Story/19 FT, 9 IN
Setbacks:		
Front (Baker Street)	20 FT	39 FT (To Service Station Canopy)
Front (Fairview Road)	20 FT	53 FT (To Main Bldg.)
Interior Side	0-15 FT	45 FT (To Main Bldg.)
Rear	0 FT	2 FT (To Kiosk)
Parking		
Standard	8	9
Handicap	1	1
Total	9 Spaces	10 Spaces
Bicycle Racks	NA	0(1)
<small>(1) Required for employees per condition of approval no. 9.</small>		
CEQA Status	Exempt, Class 1 (Existing Facilities)	
Final Action	Planning Commission	

BACKGROUND

Project Site/Environs

The property is located on the southeast corner of Baker Street and Fairview Road and contains an existing 76 Service Station, Wildwater Express Car Wash, and a mini-market. The property is zoned C2 (General Business District) and has a general plan land use designation of General Commercial.

Prior land use approvals

The service station was approved in December of 1962 under conditional use permit C-140. The car wash was approved in 1972. In 1985, conditional use permit PA-85-95 was approved for the mini-market. In 1991, conditional use permit PA-91-99 was approved to renovate the property, add an outdoor auto detailing service, and allow a State Alcoholic Beverage Control (ABC) License Type 20 (Off-Sale Beer and Wine) for concurrent sales of beer and wine with gasoline. Although the sale of beer and wine was approved under PA-91-99, an ABC license was never obtained.

The site is in the final stages of groundwater and soil remediation from the underground fuel tanks. The on-site remediation equipment was recently removed.

ANALYSIS

Amendment to Conditional Use Permit

As noted earlier, the conditional use permit amendment consists of the following:

- Add 143 sq. ft. to the existing retail/mini-market area, a 144 sq. ft. storage shed, and an 80 sq. ft. car wash kiosk;
- Remodel/refurbish existing carwash and gas station buildings; and
- Finding of public convenience and necessity in conjunction with a State Alcoholic Beverage Control License Type 20 (Off-Sale Beer and Wine) to allow concurrent sales of alcoholic beverages and gasoline.

Although the sale of beer and wine was approved under PA-91-99, an ABC license was never obtained for this use. The business owner is currently in the process of obtaining a license for the sale of beer and wine from ABC. As a result, a finding of public convenience and necessity is required in accordance with City Council Policy 500-8.

In addition to the proposed additional floor area as described above, the applicant is also proposing to remove the outdoor detailing area and canopy at the south side of the site and replace it with new customer vacuuming stations. The existing customer vacuuming stations towards the easterly (rear) portion of the site will remain and will be refurbished.

Finding of Public Convenience or Necessity (PC or N)

According to ABC, the ratio of the number of off-sale alcoholic beverage licenses to population within the Census Tract (639.03) exceeds the countywide ratio: 3 off-sale licenses are allowed; 6 off-sale licenses exist.

In accordance with City Council Policy 500-8, most recently revised and updated on November 17, 2009, Planning Commission may make a P C or N finding for the requested license.

Staff Justifications for Approval

Staff supports the above requests based on the following:

- The proposed expansion meets and/or exceeds all applicable Zoning Code requirements. The proposed project complies with zoning code provisions for interior landscaping, on-site parking, allowable Floor Area Ratio (FAR) and building setbacks. Additionally, the property owner is proposing to upgrade the existing property by remodeling the exterior of the building with contemporary materials and colors, eliminate the outdoor detailing canopy, and bring all onsite signage (including the non-conforming temporary signage and window signage) into compliance with current code requirements (Condition no. 24). Additionally, staff is recommending, as a condition of approval, that a screen wall be installed to screen views of the existing vacuuming stations from Baker Street (Condition no. 26), that site landscaping be upgraded to current code requirements (Condition no. 27) and that the existing site paving be repaired (Condition no. 31).

The number of proposed on-site parking spaces (10) complies with current code requirements based on the square footage of the enclosed buildings (i.e., excluding the car wash tunnel).

- The previous conditions of approval for PA-91-99 have been updated in conjunction with the proposed project and PC or N finding. The use would be subject to applicable requirements to ensure that no adverse impacts to adjacent uses and properties is created, including, but not limited to, the following conditions of approval:
 - All sales and service staff within 90 days of hire complete Responsible Beverage Service (RBS) training (Condition of approval no. 11).
 - Beer or wine shall not be displayed or sold from an ice tub or any other type of portable refrigerated unit (Condition of approval no. 15).
 - Exterior advertising (including window signs) shall comply with the City's sign regulations, and exterior advertisements shall be prohibited which indicate the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs which are clearly visible from the exterior at

the closest public street or sidewalk are not permitted (Condition of approval no. 23).

Staff also recommends, as a condition of approval, that alcoholic beverage sales shall coincide with the hours of the mini-mart and that store hours (and alcohol sales) shall not occur between 12 midnight and 6 am (Condition of approval no.25). This would be similar to the hours described in the original staff report for PA-91-99 on page 3 (Attachment 4).

- A PC or N finding can be made for this license because of the prior approval for a beer and wine license at this location, the recommended conditions of approval, and the proposed site upgrades for the property.
- The Police Department does not have any objections to the proposed use. The Police Department has reviewed the proposed use and has no objections to the proposal. The Police Department does not anticipate elevated rates of alcohol-related crime (i.e., disturbing the peace, public intoxication, vandalism, graffiti, etc.).

It is staff's opinion that the proposed use, with the recommended conditions of approval, will be consistent with the other uses in the immediate vicinity. Compliance with the conditions of approval will allow this use to operate with minimal impact on surrounding properties and uses.

ENVIRONMENTAL DETERMINATION

If approved, the project would be exempt from the provisions of the California Environmental Quality Act under Section 15301 for Existing Facilities. If the use is denied, they would be exempt from the provisions of the California Environmental Quality Act (CEQA) Section 15270(a) for projects which are disapproved.

GENERAL PLAN CONFORMITY

With the recommended conditions of approval, the use will be consistent with surrounding uses, as specified in Objective LU-1F.2 of the General Plan Land Use Element.

ALTERNATIVES

The Commission has the following alternatives:

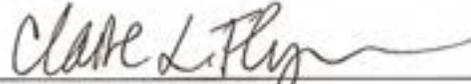
1. Approve the use with the recommended conditions of approval to ensure any impacts to the adjacent properties and uses is minimized; or
2. Deny the use. If the project is denied, the property may still operate under the same limitations and conditions of approval for PA-91-99.

CONCLUSION

It is staff's opinion that the proposed use, with the recommended conditions of approval, will be consistent with the City's Zoning Code and General Plan. The proposed project, as conditioned, will minimize any adverse impacts to surrounding properties, and will help revitalize a high-profile corner property. Therefore, staff supports the applicant's request.



MEL LEE, AICP
Senior Planner



CLAIRE FLYNN, AICP
Asst. Development Services Director

- Attachments: 1. Draft Planning Commission Resolutions
2. Applicant's Description of the Use
3. List of ABC Licensed Establishments in Census Tract 639.03
4. Staff report for PA-91-99
5. Location Map and Photos
6. Plans

cc: Director of Economic & Development / Deputy CEO
Sr. Deputy City Attorney
Public Services Director
City Engineer
Transportation Services Manager
Fire Protection Analyst
Staff (7)
File (2)

PLRC
Attn: Sherrie Olson
1030 North Mountain Avenue, #190
Ontario, CA 91762

Pepper Tree, Inc.
Attn: Larry Kennepohl
595 West 7th Street, Suite 202
San Pedro, CA 90731

Peter Rothe
479 6th Street, Suit 210
San Pedro, CA 90731

RESOLUTION NO. PC-12-___

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING CONDITIONAL USE PERMIT AMENDMENT PA-91-99 A1 AND MAKING A FINDING OF PUBLIC CONVENIENCE OR NECESSITY FOR A TYPE 20 ABC LICENSE.

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by PLRC, representing Pepper Tree Inc., the property owner, requesting approval of an amendment to Conditional Use Permit PA-91-99, located at 1195 Baker Street, for the following:

- Add 143 sq. ft. to the existing retail/mini-market area, a 144 sq. ft. storage shed, and an 80 sq. ft. car wash kiosk;
- Remodel/refurbish existing carwash and gas station buildings; and
- Finding of public convenience and necessity in conjunction with a State Alcoholic Beverage Control License Type 20 (Off-Sale Beer and Wine) to allow concurrent sales of alcoholic beverages and gasoline.

WHEREAS, a duly noticed public hearing was held by the Planning Commission on April 9, 2012 and continued to June 11, 2012, with all persons having the opportunity to speak for and against the proposed project.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, the Planning Commission hereby **APPROVES** PA-91-99 A1 with respect to the property described above **AND MAKES A FINDING OF PUBLIC CONVENIENCE OR NECESSITY** for the Type 20 ABC License.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for PA-91-99 A1 and upon applicant's compliance with each and all of the conditions contained in Exhibit B as well as with compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

PASSED AND ADOPTED this 11th day of June, 2012

Colin McCarthy, Chair
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS

- A. The proposed project complies with Costa Mesa Municipal Code Section 13-29(e) because:
1. A compatible and harmonious relationship exists between the proposed use and existing buildings, site development, and uses on surrounding properties.
 2. Safety and compatibility of the design of the buildings, parking areas, landscaping, luminaries, and other site features including functional aspects of the site development such as automobile and pedestrian circulation.
 3. The proposed use will comply with the performance standards as prescribed in the Zoning Code.
 4. The proposed use is consistent with the General Plan and Redevelopment Plan.
 5. The planning application is for a project-specific case and does not establish a precedent for future development.
 6. The cumulative effect of all the planning applications have been considered.
- B. The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(2) with regard to the conditional use permit amendment in that the proposed use is substantially compatible with developments in the same general area. Granting the proposal will not be materially detrimental to the health, safety, and general welfare of the public or otherwise injurious to properties or improvements within the immediate neighborhood. Specifically, the proposed use complies with the intent of the Zoning Code, the General Plan, and, as conditioned, will ensure compatibility with the surrounding neighborhood.
- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines; and the City's environmental procedures, and has been found to be exempt from CEQA under Section 15301 for Existing Facilities.
- D. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.
- E. The finding of Public Convenience or Necessity for the Type 20 ABC License is based on the following:
- The Police Department does not anticipate elevated rates of alcohol-related crime (i.e., disturbing the peace, public intoxication, vandalism, graffiti, etc.).
 - The City may gain tangible economic benefits from the proposed use, including site upgrades for an older service station/car wash/mini-market facility.

EXHIBIT B

CONDITIONS OF APPROVAL

- Plng. 1. The below conditions of approval shall supersede and replace the original conditions of approval for PA-91-99 dated December 9, 1991.
2. The use shall be limited to the type of operation as described in the staff report. Any change in the operational characteristics including, but not limited to, the hours of operation and additional services provided, shall require review by the Planning Division and may require an amendment to the conditional use permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change. The applicant is reminded that Code allows the Planning Commission to modify or revoke any planning application based on findings related to public nuisance and/or noncompliance with conditions of approval [Title 13, Section 13-29(o)].
3. All new and existing construction shall be architecturally compatible with regard to building materials, style, colors, etc.
4. A copy of the conditions of approval for the conditional use permit must be kept on premises and presented to any authorized City official upon request. New business/property owners shall be notified of conditions of approval upon transfer of business or ownership of land.
5. The conditions of approval for PA-91-99 A1 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
6. No modification(s) of the approved building elevations including, but not limited to, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process such as a minor design review or a variance, or in the requirement to modify the construction to reflect the approved plans.
7. No exterior roof access ladders, roof drain scuppers, or roof drain downspouts are permitted.
8. It is recommended that the project incorporate green building design and construction techniques where feasible. The applicant may contact the Building Safety Division at (714) 754-5273 for additional information.
9. The property owner or applicant shall install bike racks for employees on the site. The bicycle racks shall be decorative in design. This condition shall be completed prior to final inspection, under the direction of the Planning and Building Divisions.
10. The project is subject to compliance with all applicable Federal, State, and local laws. A copy of the applicable Costa Mesa Municipal Code requirements has been forwarded to the Applicant and, where applicable, the Authorized Agent, for reference.
11. All sales and service staff (within 90 days of hire) shall complete Responsible Beverage Service (RBS) training with a provider approved by the California Department of Alcoholic Beverage Control. A copy of the training certificates shall be kept on premises and presented to any authorized City official upon

- request.
12. Alcoholic beverage sales shall be limited to only beer and wine.
 13. No wine shall be sold with an alcoholic content of greater than 15% by volume except for "dinner wines" which have been aged 2 years or more and maintained in corked bottles.
 14. Wine, beer and other distilled spirit shall be sold in the factory manufactured packages for retail sales. Factory multiple-packed bottles or cans shall not be unpackaged to be sold individually. This restriction is not intended to prohibit the sale of beverages in a single container packaged by the manufacturer for individual sale.
 15. Beer or wine shall not be displayed or sold from an ice tub or any other type of portable refrigerated unit.
 16. Applicant shall post signs inside and outside the premises prohibiting the on-site consumption of alcoholic beverages and loitering.
 17. Applicant shall post signs inside and outside the premises in compliance with the City of Costa Mesa Municipal Code notifying the public with regard to the prohibition of open containers of alcohol beverages.
 18. At least every 2 hours, from 4:00 p.m. to closing, the applicant shall patrol the area over which the applicant has control in an effort to prevent the loitering of persons about the premises. The frequency of patrols shall be increased should the need arise. The applicant shall make reasonable efforts to prevent loitering during other hours the business is open.
 19. Applicant shall secure the premises with appropriate security lighting and employee scrutiny of adjacent areas under which applicant has control, to prevent trash, graffiti and littering. Any lighting under the control of applicant shall be directed in such a manner so as not to unreasonably interfere with the quiet enjoyment of nearby residences. Applicant shall further provide adequate lighting above the entrance to the premises sufficient in intensity to make visible the identity and actions of all persons entering and leaving the premises.
 20. Except as permitted by the City of Costa Mesa Municipal Code for window signs, windows shall not be blocked or obscured.
 21. The applicant shall maintain free of litter all areas of the premises under which applicant has control.
 22. Any graffiti painted or marked upon the premises shall be removed or painted over within 48 hours of being applied.
 23. Exterior advertising, including temporary or permanent window signage, shall comply with the City sign regulations. Exterior signage indicating the availability of alcoholic beverages is limited to the name of the business, e.g., South Coast Liquor Store. Additional exterior advertisements promoting or indicating the availability of alcoholic beverages are prohibited. Interior displays of alcoholic beverages or signs which are clearly visible from the exterior at the closest public street or sidewalk, shall constitute a violation of this condition.
 24. On-site signage (including the non-conforming temporary signage and window signage) shall comply with current sign code requirements.

25. Alcoholic beverage sales shall coincide with the hours of the mini-mart and store hours (and alcohol sales) shall not occur between 12 midnight and 6 am.
26. A minimum 5-foot high by 18 foot long screen wall shall screen views of the vacuum stations from Baker Street. Wall color and materials shall be subject to review and approval by the Planning Division.
27. Landscape planters shall be planted with minimum 24-inch box trees which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108, as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits. Replacement/upgrades of existing landscaping shall be to the satisfaction of the Development Services Director.
28. Two (2) sets of landscape and irrigation plans, approved by the Planning Division, shall be attached to two of the final building plan sets.
29. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
30. Existing mature trees shall be retained wherever possible. Should it be necessary to remove existing trees, the applicant shall submit a written request and justification to the Planning Division. A report from a California licensed arborist may be required as part of the justification. Replacement trees shall be of a size consistent with trees to be removed and may be required on a 1:1 basis. This requirement shall be completed under the direction of the Planning Division.
31. The pavement of the property shall be rehabilitated to eliminate the alligator cracking, potholes, and other aspects of pavement damage. The rehabilitation will be in the form of asphaltic slurry seal or other overlay across the entire site, excluding areas with pavers, to the satisfaction of the Development Services Director. Patchwork repair in select areas is not considered an acceptable or comprehensive approach to pavement rehabilitation in this case.

RESOLUTION NO. PC-12__

**A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF COSTA MESA DENYING CONDITIONAL USE PERMIT
AMENDMENT PA-91-99 A1**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by PLRC, representing Pepper Tree Inc., the property owner, requesting approval of an amendment to Conditional Use Permit PA-91-99, located at 1195 Baker Street, for the following:

- Add 143 sq. ft. to the existing retail/mini-market area, a 144 sq. ft. storage shed, and an 80 sq. ft. car wash kiosk;
- Remodel/refurbish existing carwash and gas station buildings; and
- Finding of public convenience and necessity in conjunction with a State Alcoholic Beverage Control License Type 20 (Off-Sale Beer and Wine) to allow concurrent sales of alcoholic beverages and gasoline.

WHEREAS, a duly noticed public hearing was held by the Planning Commission on April 9, 2012 and continued to June 11, 2012, with all persons having the opportunity to speak for and against the proposed project.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, the Planning Commission hereby **DENIES** PA-91-99 A1 with respect to the property described above.

PASSED AND ADOPTED this 11th day of June, 2012.

Colin McCarthy, Chair
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS (DENIAL)

- A. The proposed project does not comply with Costa Mesa Municipal Code Section 13-29(e) because:
 - 1. A compatible and harmonious relationship does not exist between the proposed use and existing buildings, site development, and uses on surrounding properties.
 - 2. The proposed use is not consistent with the General Plan or Redevelopment Plan.

- B. The information presented does not comply with Costa Mesa Municipal Code Section 13-29(g)(2) with regard to the conditional use permit amendment in that the proposed use is not compatible with developments in the same general area. Granting the request will be materially detrimental to the health, safety, and general welfare of the public or otherwise injurious to properties or improvements within the immediate neighborhood.

- C. The Costa Mesa Planning Commission has denied Planning Application PA-91-99 A1. Pursuant to Public Resources Code Section 21080(b)(5) and CEQA Guidelines Section 15270(a) CEQA does not apply to this project because it has been rejected and will not be carried out.

- D. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

City of Cost Mesa

1195 Baker Street, Costa Mesa, CA

Pepper Tree, Inc. has owned and operated this location for many years and places great emphasis on its extensive back ground check of that individual to ensure they meet the high quality standards Pepper Tree, Inc. expects and will continue to expect. The surrounding businesses and community will benefit from the public convenience of an upscale Market.

The applicant is seeking the sale Beer and wine at an upscale convenience store/Gas Station. This is a common and accepted practice at most like type businesses. The proposed use will provide a variety of goods that cater to a variety of needs of consumers. With a selection of other goods such as medicines, fresh foods, hot foods, pre-packaged food items, beauty products, dairy products, meats, breads, coffee station, Danishes and a pleasant atmosphere to relax in. Residents and employees within the immediate area can benefit from an offering of this kind, since there is no other similar use to ours in the immediate area.

Pepper Tree, Inc Market/Gas station will be located on Fairview Road and Baker Street. This location will be remodeled and expanded to offer the community a variety of items that is much needed in the area. The surrounding area has compatible and similar uses that of the proposed use. The subject property is classified as commercial as is approximately 3,480 square feet. The property is located and designed to encourage business and job growth within the city. We offer a variety of items for our customers to choose from. Parking will be provided on site (5 Spaces), not to create traffic flow problems.

The requested use at the proposed location will not adversely affect the economic welfare of the nearby community. This request will only benefit the community. Pepper Tree, Inc offers an up-scale Market/Gas Station with a new image to our community. We employ approximately 2 – 5 people at each our locations. Hours of operation will be 24 hours with limited hours on alcohol from limited to 6am – 2 am 7 days a week.

This location will not be materially detrimental to the use, enjoyment of property of others persons located in the vicinity of the site. Residential zoned and developed properties are buffered from site and sound of other surrounding businesses, streets and alleys. This proposed change will have very minimal noise impact beyond what normally occurs for this type of use.

The approval of the conditional Use permit will not jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare. Since this business is unique in the immediate area. Traffic will not be an issue at this subject property.

Pepper Tree, Inc. will have a state of the art security cameras provided at this store. This new location will only enhance the thriving area of this community.

This subject property will bring jobs within the community to create economic growth in this area.

ATTACHMENT 3



**California Department of Alcoholic Beverage
Control
For the County of ORANGE - (Retail Licenses)
and Census Tract = 639.03**

Report as of 3/16/2012

	License Number	Status	License Type	Orig. Iss. Date	Expir Date	Primary Owner and Premises Addr.	Business Name	Mailing Address	Geo Code
✓ 1)	198718	ACTIVE	21	4/6/1987	8/31/2012	STATER BROS MARKETS 1175 BAKER ST, STE C COSTA MESA, CA 92626 Census Tract: 0639.03	STATER BROS MARKETS 35	PO BOX 150 SAN BERNARDINO, CA 92402-0150	3004
✓ 2)	256696	ACTIVE	20	2/14/1991	6/30/2012	7 ELEVEN INC 1097 BAKER ST COSTA MESA, CA 92626 Census Tract: 0639.03	7 ELEVEN 2172 13795		3004
3)	332266	ACTIVE	41	7/17/1997	6/30/2012	MUNAKATA, MARIKO 891 BAKER ST, STE B15 COSTA MESA, CA 92626-4356 Census Tract: 0639.03	HANA NO KI	10 PALMIERI AISLE IRVINE, CA 92606	3004
✓ 4)	422671	ACTIVE	20	5/16/2005	4/30/2012	MANNEH, LINDA MARIE 1085 BAKER ST COSTA MESA, CA 92626 Census Tract: 0639.03	ALTA DENA DAIRY		3004
5)	431624	ACTIVE	41	12/15/2005	11/30/2012	SANKEI GLOBAL VENTURE INC 891 BAKER ST, STE B21 COSTA MESA, CA 92626-4363 Census Tract: 0639.03	CHINESE RESTAURANT KOHRYU		3004
6)	434991	ACTIVE	41	4/17/2006	3/31/2012	TAKEE INTERNATIONAL INC	MANPUKU	2125 SAWTELLE BLVD	3004

						891 BAKER ST, STE A2 COSTA MESA, CA 92626 Census Tract: 0639.03		LOS ANGELES, CA 90025	
7)	449666	ACTIVE	41	3/21/2007	2/29/2012	RESIDENCE INN BY MARRIOTT LLC 881 BAKER ST COSTA MESA, CA 92626-4315 Census Tract: 0639.03	RESIDENCE INN BY MARRIOTT	610 SMITHFIELD ST, STE 300 PITTSBURGH, PA 15222-2512	3004
8)	457733	ACTIVE	41	9/27/2007	8/31/2012	DIPIETRO, PHILLIP MARTIN 1145 BAKER ST, STE C COSTA MESA, CA 92626-4122 Census Tract: 0639.03	PIZZA DORO		3004
9)	469002	ACTIVE	21	9/9/2008	8/31/2012	FAZA, EDDIE 891 BAKER ST, STE B1 COSTA MESA, CA 92626-4356 Census Tract: 0639.03	COSTA MESA WINE & SPIRITS		3004
10)	469075	ACTIVE	41	9/16/2008	8/31/2012	TAVAKOLY KARIMZAD AND ASSOCIATES LLC 1175 BAKER ST, STE A1 COSTA MESA, CA 92626-4139 Census Tract: 0639.03	ROUND TABLE PIZZA COSTA MESA		3004
11)	475424	ACTIVE	41	3/18/2009	2/29/2012	CASSO ENTERPRISE LLC 891 BAKER ST, STE A18 COSTA MESA, CA 92626-4361 Census Tract: 0639.03	CIAO DELI & PIZZERIA	200 S LOGANBERRY ST ANAHEIM, CA 92808-2234	3004
12)	478466	ACTIVE	21	6/18/2009	5/31/2012	JAIN, MALTI 1089 BAKER ST, STE A COSTA MESA, CA 92626-4155	BUCKS BIN	10391 LORINDA AVE BUENA PARK, CA 90620	3004

						Census Tract: 0639.03				
✓	13)	479496	ACTIVE	21	9/8/2009	8/31/2012	GARFIELD BEACH CVS LLC 1150 BAKER ST COSTA MESA, CA 92626-4111 Census Tract: 0639.03	CVS PHARMACY 9484	1 CVS DR, MAIL DROP 23062A WOONSOCKET, RI 02895-6146	3004
	14)	486876	ACTIVE	41	4/14/2010	3/31/2012	BOOKROCK INC 1113 BAKER ST, STE E COSTA MESA, CA 92626-4121 Census Tract: 0639.03	MEIJI YA	20 WEDGEWOOD IRVINE, CA 92620-1247	3004
	15)	503120	ACTIVE	48	12/22/2010 7:59:24 AM	11/30/2012	CASUAL COMMUNITY CREW LLC 891 BAKER ST, STE A10 COSTA MESA, CA 92626-4353 Census Tract: 0639.03	KITSCH BAR		3004
	16)	504203	ACTIVE	41	2/10/2011 1:31:27 PM	1/31/2013	EVENTOWN USA INC 1093 BAKER ST, STE B COSTA MESA, CA 92626-4161 Census Tract: 0639.03	MAKI YAKI 19		3004
	17)	516134	ACTIVE	41	12/9/2011 4:03:34 PM	11/30/2012	YAMADA, JIN 1175 BAKER ST, STE E25 COSTA MESA, CA 92626-4101 Census Tract: 0639.03	RAMEN YAMADAYA		3004

--- End of Report ---

For a definition of codes, view our [glossary](#).

PLANNING DIVISION STAFF REPORT

AGENDA NO. 6.f.

SITE LOCATION 1195 Baker Street

APPLICATION NO. PA-91-99

AP # 141-211-13

MANDATORY ACTION DATE May 21, 1992

APPLICANT Exxon Company, U.S.A.
(Owner of Record)

AUTHORIZED AGENT Carl Thomas Johnson

ADDRESS 34 Executive Park, Ste. 100
Irvine, CA 92714

ADDRESS 1195 Baker Street
Costa Mesa, CA 92626

Applicant is reminded that all ordinances and regulations governing the use of the land or building(s) to which this application pertains must be complied with whether specified herein or not.

PREPARED BY Jimmy K. Basham
Associate Planner

DATE PREPARED November 25, 1991

LAST UPDATE December 9, 1991

REQUEST:

Conditional Use Permit to renovate an existing service station/hand carwash, legalize an automobile detailing area and to add a convenience store within the service station with possible sale of alcohol (Beer and Wine), at a future date.

STAFF RECOMMENDATION:

Approve, subject to conditions.

FINAL COMMISSION ACTION: December 9, 1991

Approved, based on Planning Staff analysis and findings with the deletion of Finding "B" contained in the Planning Division Staff Report, subject to conditions with the deletion of Condition #2 and #8 through #14 and the following modifications to #6 and #7 along with the withdrawal of the request for sale of alcohol (beer and wine), at a future date:

- 6. The canopy for the detailing area shall not occupy more than 3 parking spaces in excess of the required 11 parking spaces.
- 7. The applicant shall rebuild the trash enclosure in a location subject to Planning Staff approval.

(5-0)

APPLICANT NOTIFIED ns DATE December 11, 1991

CITY OF COSTA MESA, 77 FAIR DRIVE, COSTA MESA, CA 92626-1200 (714) 754-5245



APPL. PA-91-92
PAGE 12

I. DESCRIPTION

A. Subject Property

1. Location - 1195 Baker Street
2. General Plan Designation - General Commercial
3. Zone - C2
4. Present Development - Gasoline station/car wash
5. Lot Area - 72,800 sq.ft. (260 ft.x 280 ft.)
6. CEQA - Exempt

B. Surrounding Property

1. North - C1, (across Baker St.), gas station and shopping center
2. South - C2, shopping center
3. East - C2, shopping center
4. West - C1, (across Fairview Rd.) gas station and shopping center

C. Request

A Conditional Use Permit to remodel an existing service station/car wash to convert a salesroom into a mini-mart.

D. Background

In December of 1962, the gasoline station was approved under Conditional Use Permit C-140. The addition of the car wash was approved in January of 1972.

At their meeting of July 8, 1985, the Planning Commission approved PA-85-95, a Conditional Use Permit for a remodel of a service station/car wash to convert a salesroom into a mini-market. Since the applicant did not commence construction within one year of the date of approval, the Conditional Use Permit expired.

Staff visited several gasoline station/car washes and noted that all of them provided detailing within an enclosed structure and screened from view. There was an exception where the Planning Commission approved Planning Action PA-87-60, a hand car wash facility with detailing under a canopy. However, the approval was contingent upon the detailing be screened from view and located toward the rear of the property.

APPL. PA-91-22
PAGE 13

II. PROJECT DESCRIPTION

The applicant would like to convert the existing 600 square foot sales area into a mini-mart and to legalize the detailing operation located along the southerly side of the property. An aluminum framed canopy is also proposed above the vacuum areas.

A Conditional Use Permit is required since the applicant is requesting to renovate the service station/carwash.

The applicant mentioned that he is in the process of purchasing an alcoholic beverage license to sell off-site beer and wine from the previous owner of the gasoline station. At this time, the applicant has not decided on whether to sell alcoholic beverages but would like to receive approval to sell alcoholic beverages in conjunction with the proposed remodeling.

III. PLANNING STAFF ANALYSIS

The gasoline and car wash facility consists of approximately 2,814 square feet. The applicant employs approximately 11 employees who work between the hours of 8:00 a.m. and 5:00 p.m. Each car is hand washed as the vehicle travels through a covered passageway.

In order to enhance customer convenience while the vehicle is being hand washed, the applicant would like to include a mini-mart within the sales area. This service would include the selling of perishable items and beverages. The hours of operation for the mini-mart, including the selling of alcoholic beverages, would be from 7:00 a.m. to 11:00 p.m.

To enhance the exterior architectural embellishments, the applicant proposes to install a decorative aluminum framed canvas canopy above the vacuum area located along the easterly side of the property. The applicant is also proposing to refurbish the landscaped areas, replace existing light fixtures, repaint and repair areas along the exterior walls.

Staff assessed the building area and determined that since vehicles are washed by employees and not primarily by automation, this area should be included as part of the total square footage for the purpose of determining on-site parking allocation. A minimum of 11 parking spaces are



APPL. EA-21-92
PAGE 14

required for the gasoline station and car wash. The approved plans under EE-71-90 depicted 12 angled parking spaces along the southerly property line. According to the submitted site plan, there would be at least 14 parking spaces within this area. Staff does not foresee any problems with proposing additional parking spaces as shown on the submitted site plan so long as the spaces comply with applicable City development and parking standards. Staff did not include the existing vacuum area with proposed canopy as part of the total building square footage since this area would not be enclosed with side walls.

Staff visited the property and noted that the automobile detailing area was in full operation and located adjacent to Fairview Road along the southerly side of the property. Staff also noted that the applicant recently installed a large red canvas canopy above the detailing area. The cover was situated above 4 parking spaces and supported by 10 aluminum poles embedded below ground and secured with cement. The trash enclosure which once was located within this area was demolished and replaced with a substandard enclosure along the southeasterly area of the property. All of these alterations were completed without building permits and City's approval.

According to Costa Mesa Municipal Code, Section 13-236, all uses shall be conducted underroof except as permitted by a Conditional Use Permit. Staff believes the detailing should not be permitted to continue at the present location. The canopy and detailing activity is not architecturally compatible with the gasoline station nor is the activity, which is located directly adjacent to the public street, aesthetically appealing, in Staff's opinion. Staff suggests that the detailing activity be relocated toward the southeasterly portion of the property. The detailing area with canopy could be restricted to occupying the last 3 parking spaces along the southeasterly corner of the property. The detailing would be substantially screened from view and still allow the applicant to provide the service. Also, there is adequate room along the rear of the property to maneuver the cars to the detailing area.

However, if the applicant cannot provide additional parking on the site in excess of the required 11 parking spaces to accommodate the activity, then detailing should be omitted, since Code requires that required parking remain available for parking purposes.

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PAGE 15

Staff also noted that inadequate on-site vehicular circulation exists along the westerly side of the property. This has primarily contributed to the stacking of vehicles after they have been washed. Staff suggests that the applicant stripe parking spaces along this area to establish designated spaces. This would assist in providing convenience and safety of on-site circulation for pedestrians and vehicles.

The applicant is proposing to install wooden benches along the westerly side of the property adjacent to Fairview Road. This is currently where the vehicles stack after exiting the car wash. Staff does not believe this is a safe place to locate benches. Staff does not support the idea of a pedestrian crossing the primary vehicular circulation path to wait for the vehicle. The existing covered walkway is sufficient to accommodate the benches.

Staff does not anticipate that selling alcoholic beverages would disrupt the integrity of the neighborhood. Residentially zoned and developed property is at least 150 feet away from the subject property. Since the property is surrounded by commercial uses which also sell off-site alcoholic beverages, the applicant's request would not be out of character with adjacent commercial uses. Staff included relevant Alcohol Beverage Control conditions that would minimize any potential land use disruption.

IV. PLANNING STAFF FINDINGS

- A. The information presented substantially complies with Costa Mesa Municipal Code Section 13-347 in that the remodel of the existing gasoline station/car wash and conversion of the sales area to a mini-mart is substantially compatible with developments in the same general area; granting of the Conditional Use Permit will not be detrimental to the health, safety and general welfare of the public or other properties or improvements within the immediate vicinity; and granting of the Conditional Use Permit will not allow a use, density or intensity which is not in accordance with the General Plan designation for the property.
- B. The information presented substantially complies with Costa Mesa Municipal Code Section 13-347 in that the selling of alcoholic beverage from the subject property will not disrupt the integrity of the neighborhood and

APPL. PA-91-92
PAGE 16

is not adjacent to less intensified land uses. The selling of alcoholic beverages is substantially compatible with surrounding commercial properties; granting of the Conditional Use Permit will not be detrimental to the health, safety, and general welfare of the public or other properties or improvements within the immediate vicinity; and granting of the Conditional Use Permit will not allow a use, density or integrity, which is not in accordance with the General Plan designation for the property.

- C. The project is consistent with Article 22-1/2, Transportation Systems Management, of the Costa Mesa Municipal Code in that no intersection to which the project contributes measurable traffic shall operate at less than the Standard Level of Service as a result of project implementation.

V. PLANNING STAFF RECOMMENDATION

Approve, subject to conditions.

VI. CONDITIONS, IF APPROVED

Shall meet all requirements of the various City Departments, copy attached hereto.

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PAGE 17

CONDITIONS OF APPROVAL

- Plng.
1. Approval of the Planning Action is valid for one (1) year and will expire at the end of that period unless building permits are obtained or the applicant applies for and is granted an extension of time.
 2. Approval shall be for a period of two years. Prior to expiration, applicant may request renewal, subject to reevaluation at that time. The Development Services Director may extend the Planning Action for a period not to exceed two (2) years if all conditions of approval have been satisfied, no complaints have been received, and the site inspection reveals compliance with applicable Ordinance requirements. Thereafter, the Development Services Director may extend the permit for successive two (2) year periods under the same terms.
 3. The Conditional Use Permit herein approved shall be valid until revoked, but shall expire upon discontinuance of the activity authorized hereby for a period of 180 days or more. The Conditional Use Permit may be referred to the Planning Commission for modification or revocation at any time if the Conditions of Approval have not been complied with, if the use is being operated in violation of applicable laws or ordinances, or if, in the opinion of the Development Services Director or his designee, any of the findings upon which the approval was based are no longer applicable.
 4. All new construction shall be architecturally compatible with regard to building materials, style, colors, etc. with the existing structure(s). Plans submitted for plan check shall indicate how this will be accomplished.
 5. A copy of the conditions of approval for the Conditional Use Permit must be kept on premises and presented to any authorized City official upon request. New business/property owners shall be notified of conditions of approval upon transfer of business or ownership of land.
 6. The automobile detailing shall be relocated towards the southeasterly portion of the property. The canopy for the detailing area shall not occupy more than 3 parking spaces in excess of the required 11 parking spaces.
 7. The applicant shall rebuild the trash enclosure in its original location.
 8. No beer or wine shall be displayed within 5 feet of the cash register of the front door.

APPL. PA-91-22
PAGE AB

9. No advertisement of alcoholic beverages shall be displayed at motor fuel islands.
10. No sale of alcoholic beverages shall be made from a drive-in window.
11. No display or sale of beer or wine shall be made from an ice tub.
12. No beer or wine advertising shall be locate on motor fuel islands and no self-illuminated advertising for beer or wine shall be located on buildings or windows.
13. Employees on duty between the hours of 10:00 p.m. and 2:00 a.m. shall be least 21 years of age to sell beer and wine.
14. The benches shall not be installed along the westerly side property adjacent to Fairview Road or landscaped areas.
15. The applicant shall revise the architectural plans to incorporate ultimate property and any other revisions required per the Conditions of Approval.
16. Since the northerly drive approach is required to be closed, the existing landscaping along Fairview Road shall be extended under the direction of the Planning Staff.

ORDINANCE AND/OR CODE PROVISIONS

The following list of Federal, State, and local laws applicable to the project has been compiled by Staff for the applicant's reference.

- Plng.
1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final occupancy and utility releases will not be granted, and final inspections will not be granted until all such licenses have been obtained.
 2. Development shall comply with all requirements of Article 16, Chapter II., Title 13 of the Costa Mesa Municipal Code.
 3. Parking stalls shall be double-striped in accordance with City standards.
 4. Any mechanical equipment such as air-conditioning compressors and duct work shall be screened from view.
 5. Two (2) sets of detailed landscape/irrigation plans per the requirements set forth in Costa Mesa Municipal Code Sections 13-263 through 13-266, shall be submitted for review and approval by the Planning Division prior to

APPL. PA-91-22
PAGE A2

- issuance of any building permits. The two approved sets shall be attached to the two final building plan sets. Drought resistant vegetation together with a water conserving irrigation system shall be utilized. Landscaping shall be installed in accordance with the approved plan prior to release of utilities.
6. All property line fences shall be repaired or replaced as necessary under the direction of the Planning Division.
 7. Trash enclosure(s) or other acceptable means of trash disposal shall be provided. Design of trash enclosure(s) shall conform with City standards. Standard drawings are available from the Planning Division.
 8. Permits shall be obtained for all signs, including banners and other special event signing, according to the provisions of the Costa Mesa Sign Ordinance.
 9. Concrete wheel stops shall be installed 2' from the front edge of open parking spaces.
 - Comm. 10. Street trees in the front setback shall meet with
Svc. the approval of the Community Services Department. Existing trees shall remain.
 - Bldg. 11. Comply with the requirements of the Uniform Building Code as to design and construction.
 - Eng. 12. At the time of development submit for approval an Off-site Plan to the Engineering Division and Grading Plan to the Building Department that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a Civil Engineer or Architect. Site Access approval must be obtained prior to Building or Engineering Permits being issued by City of Costa Mesa. Pay Offsite Plan Check fee. An approved Offsite Plan shall be required prior to Engineering/Utility Permits being issued by the City of Costa Mesa.
 13. A Site Access permit and deposit of \$500.00 will be required by the City of Costa Mesa, Engineering Division, prior to the start of any on- or off-site work, which may be necessary during construction for street sweeping.
 14. Maintain the public Right of Way in a "wet-down" condition to the degree necessary to prevent excessive dust and periodically remove any spillage from the public Right of Way by sweeping or sprinkling.
 15. Haul routes must be approved by City of Costa Mesa, Engineering Division, prior to approval of the Site Access Permit.

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PAGE 110

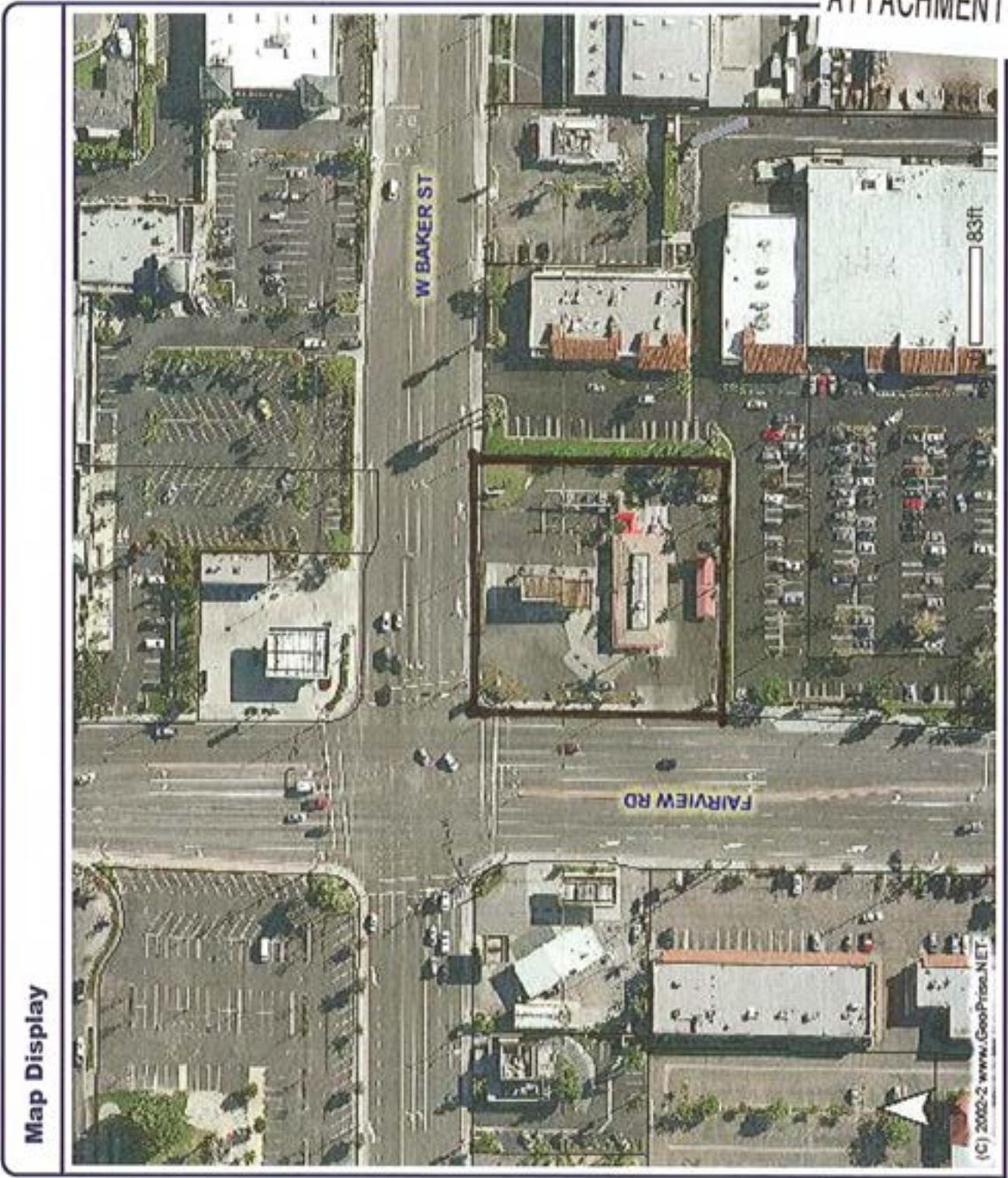
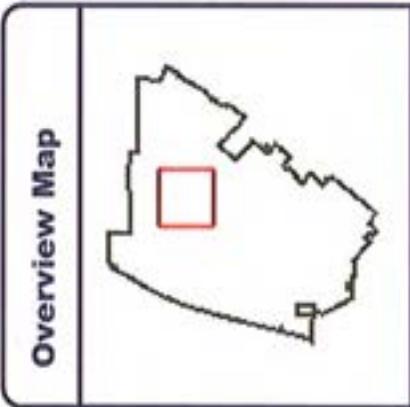
- 16. Submit required cash deposit to guarantee construction of offsite street improvements at time of permit. Cash deposit to be determined by City Engineer.
- 17. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb and sidewalk at applicant's expense.
- 18. Per requirements of Real Property, City of Costa Mesa, Engineering Division, submit legal description for a new area of dedication, plat of new dedication area, both prepared by a Civil Engineer, and Title Report Update of Subject Property.
- Trans. 19. *deleted by City Council 1/18/92* { Per requirements of Real Property, City of Costa Mesa, Engineering and Transportation Divisions, and prior to issuance of building permits, dedicate all land 79' feet from the centerline of Fairview Street for turn pocket/bus bay.
- 20. Close the northerly most drive approach on Fairview Street. The landscape planter and the drying area must be extended.
- 21. Revise site plan delineating limit lines and boundaries of the car wash drying area, keeping drive approach entrances and on-site circulation aisles clear from obstruction prior to building permits. Install pavement markings prior to occupancy.
- 22. As required by Article 22-1/2, Transportation Systems Management, of the Costa Mesa Municipal Code, pay applicable traffic impact fees identified for the Traffic Analysis Zone in which the project is located prior to the issuance of building permits.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special district are hereby forwarded to the applicant:

- Sani. 1. Developer will be required to construct sewers to serve this project, at his own expense, meeting the approval of the Costa Mesa Sanitary District.
- 2. County Sanitation District fees, fixture fees, inspection fees, and sewer permit required prior to installation of sewer. To receive credit for buildings to be demolished, call (714) 754-5307 for inspection.
- 3. Developer is required to submit a plan showing sewer improvements to the District Engineer's Office - (714) 631-1731.

REGP/STW

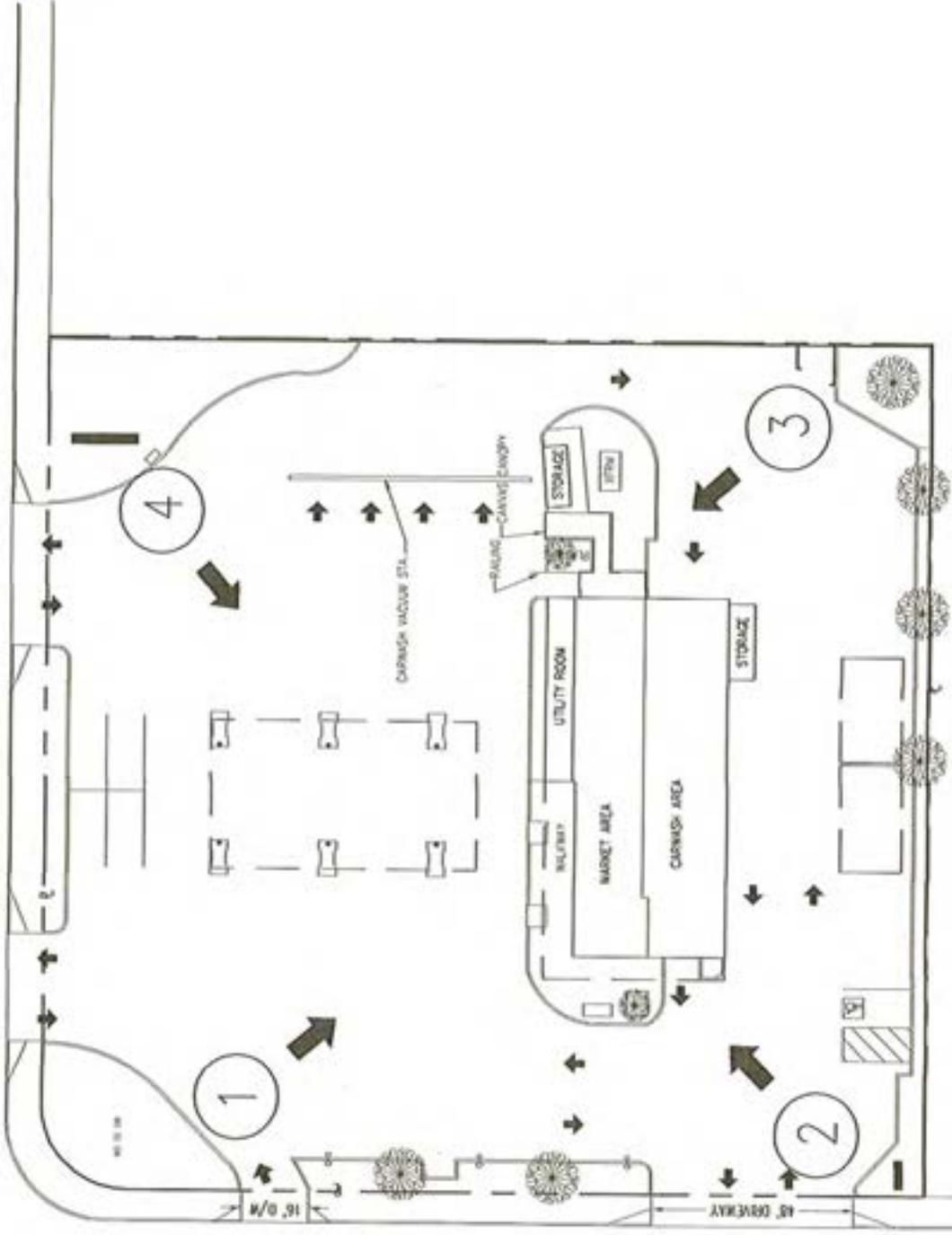


Legend

	Hydrology Channel
	Street Names
	Parcel Lines
	Water Ways
	Ortho 2010 Level1
	Ortho 2008 Level1
	Ortho 2006 Level1
	Parcels
	ROW
	Polygons



PHOTO GUIDE



STREET

BAKER

ROAD

FAIRVIEW

PHOTO EXHIBIT



1



2

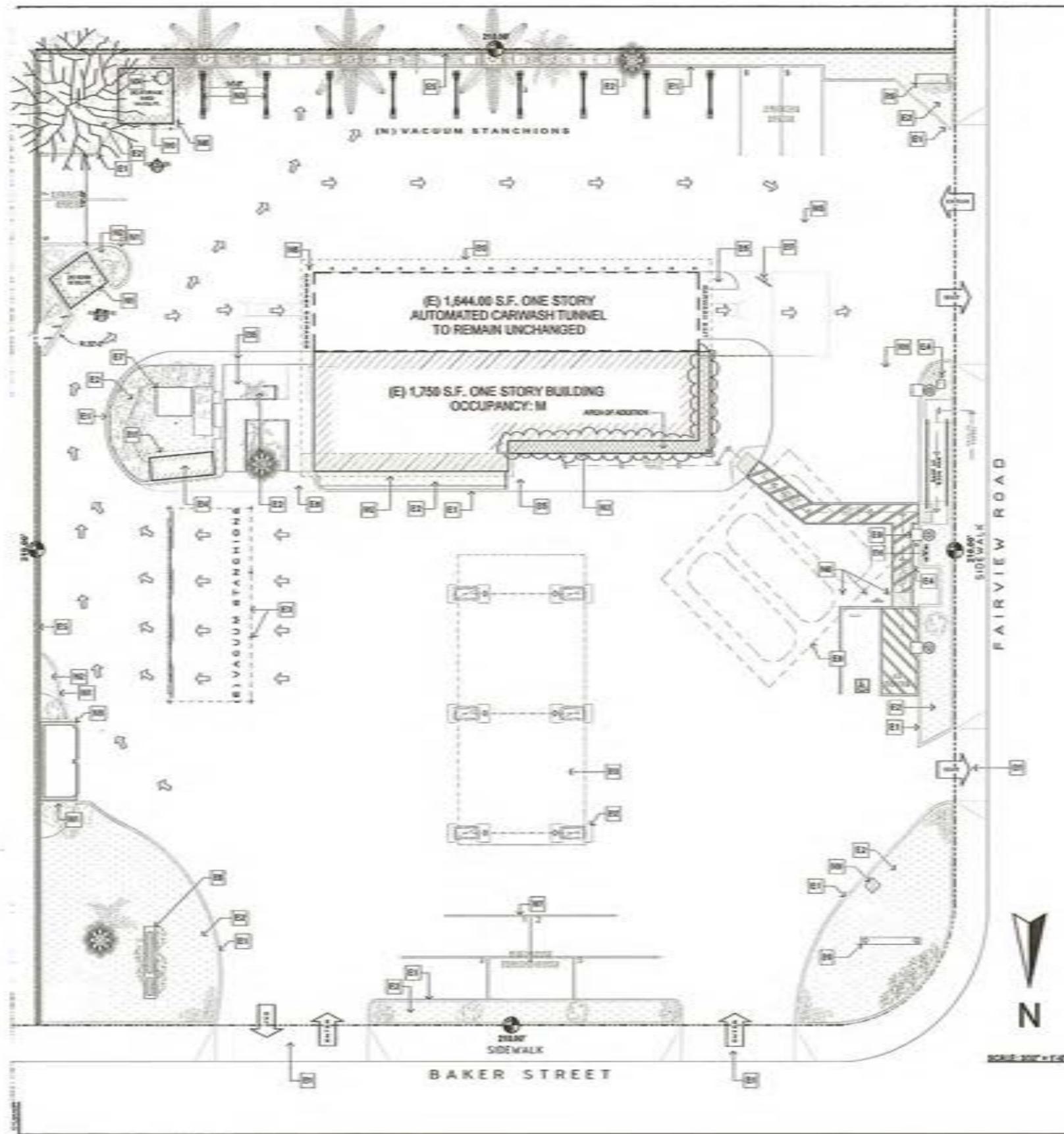


3



4

33



- SITE PLAN KEYNOTES:**
- EXISTING TO REMAIN**
- E1- EXISTING 6" CURB TO REMAIN
 - E2- EXISTING LANDSCAPE AREA TO REMAIN
 - E3- EXISTING CARWASH VACUUM STATIONS TO REMAIN (TYP)
 - E4- EXISTING CONCRETE BOLLARD TO REMAIN (TYP)
 - E5- EXISTING SLUMP BLOCK RETAINING WALL TO REMAIN
 - E6- EXISTING CONC. RAMP WITH GUARD RAIL TO REMAIN
 - E7- EXISTING ELECTRICAL TRANSFORMER TO REMAIN
 - E8- EXISTING UNDER-GROUND GAS TANK STORAGE TO REMAIN
 - E9- EXISTING LIGHT POLES TO REMAIN (TYP)
 - E10- EXISTING MONUMENT SIGN TO REMAIN
 - E11- EXISTING DRIVEWAY TO REMAIN
 - E12- EXISTING CONC. CURB FOR GAS PUMPS TO REMAIN (TYP)
 - E14- EXISTING EQUIPMENT SHED TO REMAIN
 - E15- EXISTING CONC. WALK TO REMAIN
 - E16- EXISTING GAS VENT RISERS TO REMAIN
 - E17- EXISTING "NEUTRALITY" SIGNAGE
- NEW/PROPOSED**
- N1- NEW 4" CURB
 - N2- NEW LANDSCAPE AREA
 - N3- NEW WASH VACUUM STATION BY WASH-TECH (TYP)
 - N4- NEW FILTER SEPARATOR WITH 30HP T3 "VACSTAR" TURBINE
 - N5- NEW 60" C.M.S. KIOSK
 - N6- NEW 4" PIPE BOLLARDS @ 5'-0" O.C. MAX
 - N7- NEW CARWASH INFORMATION SIGNS (TYP)
 - N8- NEW 8' X 17' X 8' HIGH C.M.S. TRASH ENCLOSURE
 - N9- NEW AIR AND GAS
 - N10- NEW 12' X 12' EQUIPMENT SHED
 - N11- NEW 8' X 10' CARWASH HOOD
 - N12- 175,000 SQ. FT. AREA OF BUILDING ADDITION
 - N13- AREA OF (E) CONC. TILE ON (E) SHED ROOF
 - N14- NEW 30 HP VACUUM TURBINE
 - N15- REPAIR & REFURBISH (E) ASPHALT
 - N16- REPLACE (E) PAVEMENT WITH (E) ASPHALT
 - N17- REMOVE & REPLACE (E) STRIPING CONFIGURATION WITH NEW
- TO BE REMOVED**
- D1- EXISTING CHOPPY TO BE REMOVED
 - D2- EXISTING BOLLARD TO BE REMOVED
 - D3- EXISTING STORAGE ROOM TO BE REMOVED
 - D4- EXISTING CONC. RND TO BE REMOVED
 - D5- EXISTING C.M.S. TRASH ENCLOSURE TO BE REMOVED
 - D6- EXISTING AIR AND WATER TO BE REMOVED

PROJECT DATA

APN: 90-215-03
 ZONING: C2
 SITE AREA: 31,000.00
 BLDG USE: RETAIL
 OCC. GROUP: M
 CONST. TYPE: V4/NON-SPRINKLERD
 BLDG. CODE: 2010 C.B.C.

LEGAL DESCRIPTION:

PARCEL 1, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 45, PAGE 19 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA.

AREA CALCULATIONS:

LOT AREA: 30,000 SF

EXISTING:

STD. PARKING SPACES PROVIDED: 8
 ADDITIONAL PARKING SPACES REQUIRED: 1
 NET PARKING SPACES PROVIDED: 7

BUSINESS HEADS:

EXISTING 1ST FLOOR: 1,700 SF
 PROPOSED ADDITION: +1,450 SF
 PROPOSED HOOD: +500 SF
 (SUB-TOTAL): 3,650 SF

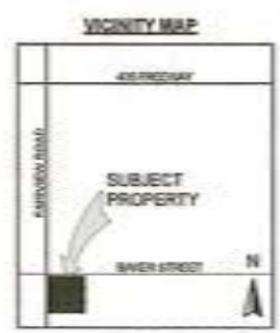
STORAGE SHED:

EXISTING VACUUM SHED: 52 SF
 PROPOSED STORAGE SHED: +145 SF
 DEMO (E) STORAGE SHED: -55 SF
 (SUB-TOTAL): 142 SF

EXISTING (E) SHED (CELL): 1,940 SF

TOTAL PROPOSED BUILDING AREA: 3,792 SF

- SITE PLAN LEGEND**
- EXISTING STRUCTURE TO REMAIN
 - PROPOSED STRUCTURE
 - EXISTING SLUMP BLOCK WALL TO REMAIN
 - NEW CONC. TILE ON (E) SHED ROOF
 - EXISTING ROOF TO REMAIN
 - UNDERGROUND FUEL TANK
 - LINE OF (E) STRUCTURE TO BE REMOVED
 - DIRECTION OF TRAFFIC FLOW
 - EXISTING LIGHT POLE
 - PROPERTY LINE SYMBOL

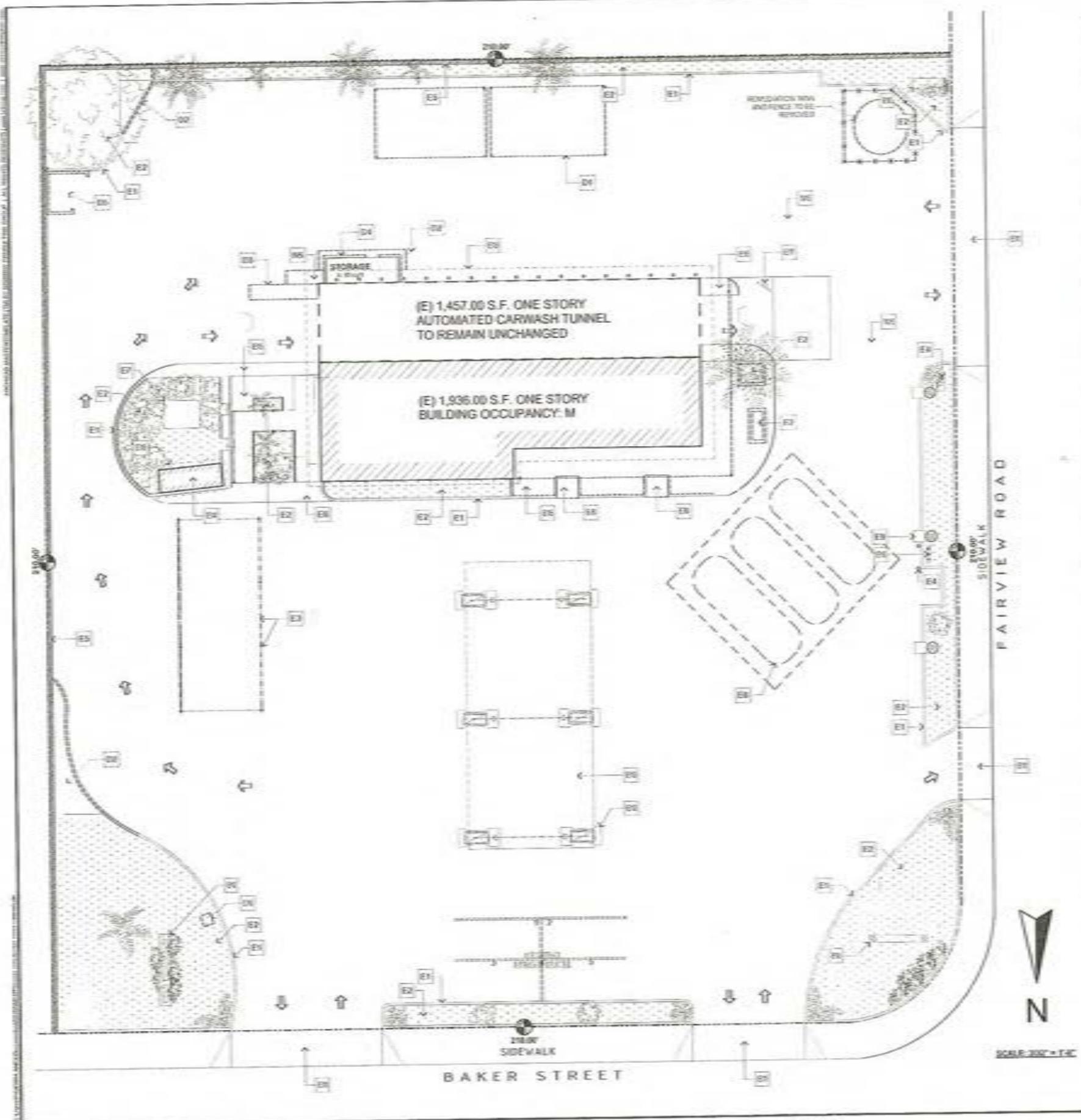


PROJECT ADDRESS: 76 STATION 1195 BAKER ST COSTA MESA, CA 92626

CLIENT: PEPPER TREE INC. 595 W. 7TH ST SUITE 202 SAN PEDRO, CA 90731 TEL: (310) 831-1043

PROPOSED SITE PLAN:

DATE: 5/26/2012
 DRAWN BY: P.R. & D.S.
 CHECKED BY: C.M.C.
A.03



SITE PLAN KEYNOTES:

EXISTING TO REMAIN

- E1 - EXISTING 8" CURB TO REMAIN
- E2 - EXISTING LANDSCAPE AREA TO REMAIN
- E3 - EXISTING CARWASH VACUUM STATIONS TO REMAIN (TYP)
- E4 - EXISTING CONCRETE BOLLARD TO REMAIN (TYP)
- E5 - EXISTING SLUMP BLOCK RETAINING WALL TO REMAIN
- E6 - EXISTING CONC. RAMP WITH GUARD-RAIL TO REMAIN
- E7 - EXISTING ELECTRICAL TRANSFORMER TO REMAIN
- E8 - EXISTING UNDER-GROUND GAS TANK STORAGE TO REMAIN
- E9 - EXISTING LIGHT POLES TO REMAIN (TYP)
- E10 - EXISTING MONUMENT SIGN TO REMAIN
- E11 - EXISTING DRIVEWAY TO REMAIN
- E12 - EXISTING CONC. CURB FOR GAS PUMPS TO REMAIN (TYP)
- E14 - EXISTING EQUIPMENT SHED TO REMAIN
- E15 - EXISTING CONC. WALK TO REMAIN
- E16 - EXISTING GAS VENT RISERS TO REMAIN
- E17 - EXISTING "NEUTRALIS" SIGNAGE

NEW/PROPOSED

- N1 - NEW 8" CURB
- N2 - NEW LANDSCAPE AREA
- N3 - NEW ARCH VACUUM STATION BY VACU-TEDH (TYP)
- N4 - NEW FILTER SEPARATOR WITH 30HP 13 "VACSTAR" TURBINE
- N5 - NEW 6X10 C.M.U. KIOSK
- N6 - NEW 4" PIPE BOLLARDS @ 8'-0" O.C. MAX
- N7 - NEW CARWASH INFORMATION SIGNS (TYP)
- N8 - NEW 8' X 17' X 8' HIGH C.M.U. TRASH ENCLOSURE
- N9 - NEW AIR AND GAS
- N10 - NEW 12' X 10' EQUIPMENT SHED
- N11 - NEW 8' X 10' CARWASH KIOSK
- N12 - 175.00-SQ. FT. AREA OF BUILDING ADDITION
- N13 - AREA OF (N) CONC. TILE ON (E) SHED ROOF
- N14 - NEW 30 HP VACUUM TURBINE
- N15 - REPAIR & REFURBISH (E) ASPHALT
- N16 - REPLACE (E) PAVERS WITH (N) ASPHALT
- N17 - REMOVE & REPLACE (E) STRIPING CONFIGURATION WITH NEW

TO BE REMOVED

- D1 - EXISTING CANOPY TO BE REMOVED
- D2 - EXISTING BOLLARD TO BE REMOVED
- D3 - EXISTING STORAGE ROOM TO BE REMOVED
- D4 - EXISTING CONC. PAD TO BE REMOVED
- D5 - EXISTING C.B.I. TRASH ENCLOSURE TO BE REMOVED
- D6 - EXISTING AIR AND WATER TO BE REMOVED

PROJECT DATA

A.P.N.: 10-214-13
 ZONING: C2
 SITE AREA: 38,880.00
 BLDG USE: RETAIL
 OCC. GROUP: B1
 CONST. TYPE: VACUUM-SPRINKLERED
 BLDG. CODE: 2040 C.B.C.

LEGAL DESCRIPTION

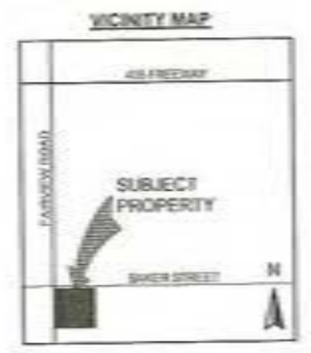
PARCEL 1, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 45, PAGE 19 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA.

AREA CALCULATIONS

LOT AREA:	38,880 SF
PARKING DATA:	
STD. PARKING SPACES PROVIDED:	8
STD. PARKING SPACES REQUIRED:	8
H.C. PARKING SPACES REQUIRED:	1
H.C. PARKING SPACES PROVIDED:	1
BUILDING AREA:	
EXISTING 1ST FLOOR:	1,720 SF
PROPOSED ADDITION:	+1,936 SF
PROPOSED KIOSK:	+100 SF
IMPACT TOTAL:	3,756 SF
STORAGE:	
EXISTING UNOCCUPIED:	50 SF
PROPOSED STORAGE SHED:	+1,000 SF
DEMO (#) STORAGE SHED:	-1,000 SF
3-D PART TOTAL:	50 SF
ADDITIONAL BASH TUNNEL:	1,457 SF
TOTAL PROPOSED BUILDING AREA:	3,706 SF

SITE PLAN LEGEND

- EXISTING STRUCTURE TO REMAIN
- PROPOSED STRUCTURE
- EXISTING SLUMP BLOCK WALL TO REMAIN
- NEW CONC. TILE ON (E) SHED ROOF
- EXISTING ROOF TO REMAIN
- UNDERGROUND FUEL TANK
- LINE OF (E) STRUCTURE TO BE REMOVED
- DIRECTION OF TRAFFIC FLOW
- EXISTING LIGHT POLE
- PROPERTY LINE SYMBOL



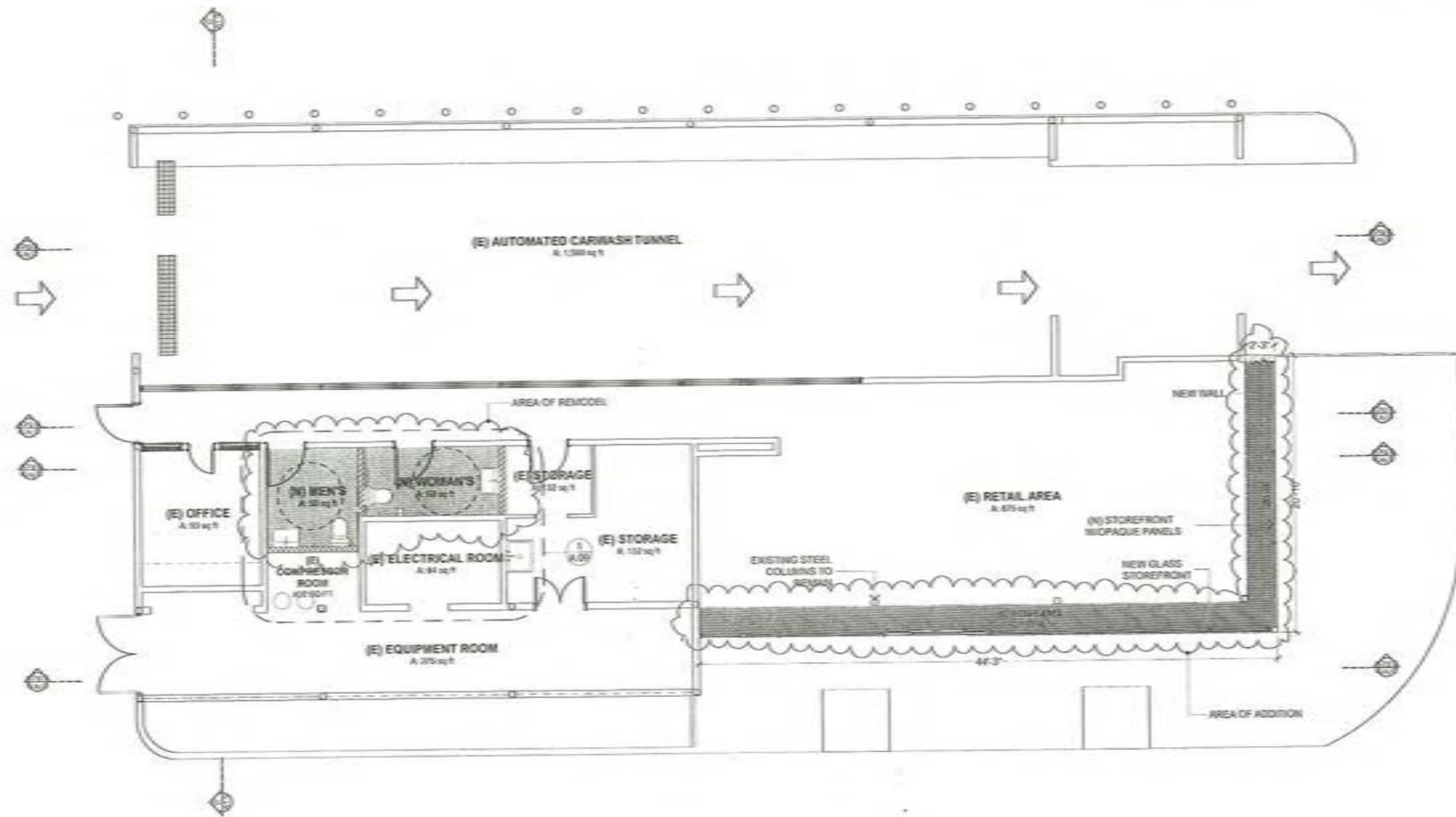
ARCHITECT: **BILL JAMES & ASSOCIATES**
 415 8TH STREET
 SAN PEDRO, CA 90731
 PHONE 310-319-8938
 BILLJAMES@BILLJAMESARCH.COM

PROJECT ADDRESS: **76 STATION**
 1195 BAKER ST
 COSTA MESA, CA
 92626

CLIENT: **PEPPER TREE INC.**
 595 W. 7TH ST SUITE 202
 SAN PEDRO, CA 90731
 TEL: (310) 831-1043

DATE: 5/20/12
 DRAWN: P.R. 405
 CHECKED: C.B.C.B.
 SCALE: 1/8" = 1'-0"

A.04



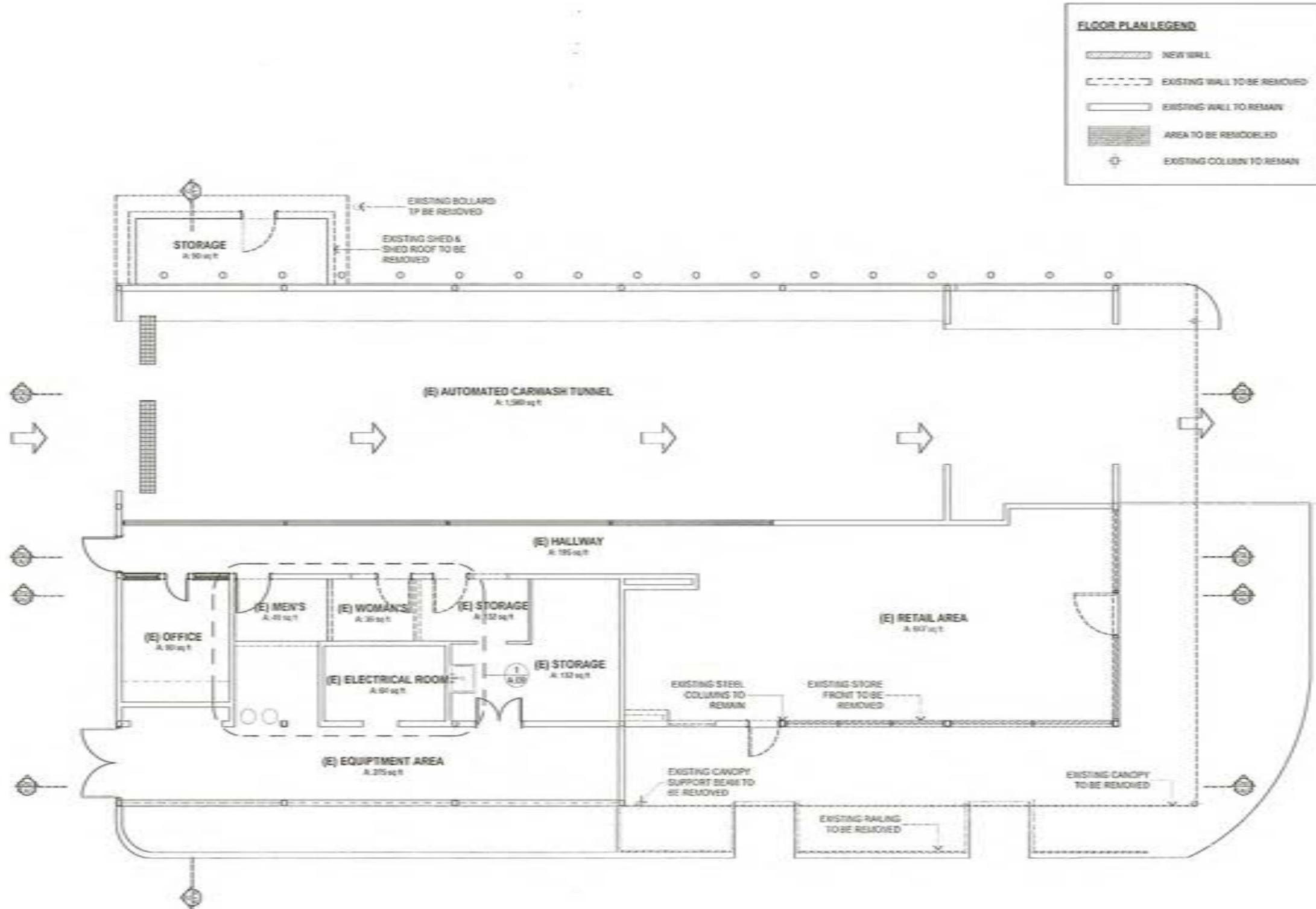
FLOOR PLAN LEGEND

- NEW WALL
- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- AREA TO BE REMODELED
- EXISTING COLUMN TO REMAIN

1 PROPOSED FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

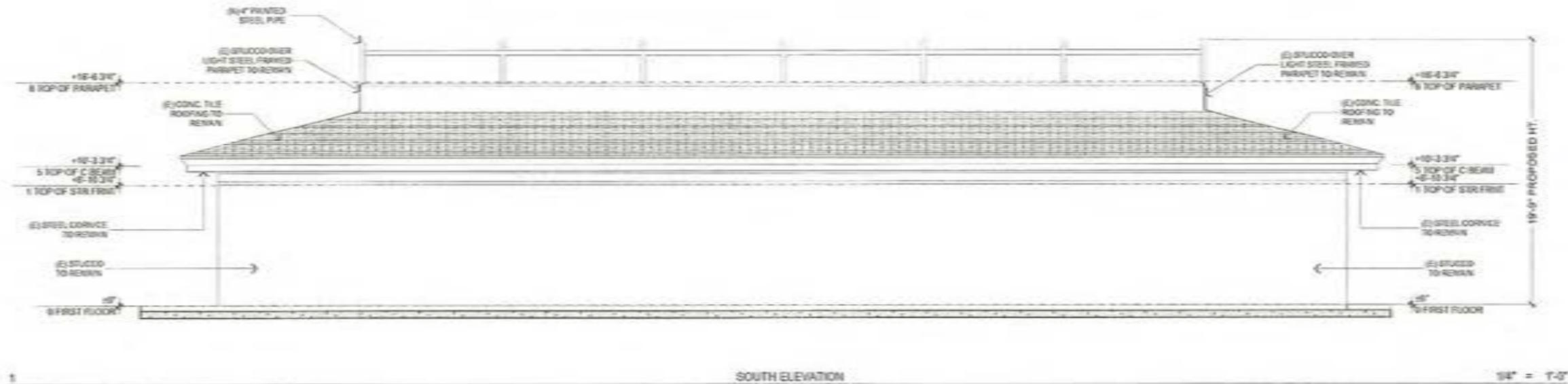
ARCHITECT	BILL JAMES & ASSOCIATES BILL JAMES, ARCHITECT 1601 PARKWAY, SUITE 200 SAN PEDRO, CA 90731 PHONE 310-319-8938 FAX 310-319-8935 BILLJAMES@BILLJAMESARCHITECT.COM
PROJECT ADDRESS	76 STATION 105 BAKER ST COSTA MESA, CA 92626
CLIENT	PEPPER TREE INC. 595 W. 7TH ST SUITE 202 SAN PEDRO, CA 90751 TEL: (310) 831-1043
PROPOSED FLOOR PLAN	
DATE	5/22/12
DESIGNED BY	PR-EDS
CHECKED BY	CBC-W
SCALE	A.05

ARCHITECT: PEPPER TREE INC., 595 W. 7TH ST SUITE 202, SAN PEDRO, CA 90731, TEL: (310) 831-1043
 PROJECT ADDRESS: 76 STATION, 1195 BAKER ST, COSTA MESA, CA 92626
 ARCHITECT: BILL JAMES & ASSOCIATES, SAN PEDRO, CA 90731, PHONE: 310-513-8038, FAX: 310-513-8000, BILLJAMES@BILLJAMESARCHITECTURE.COM



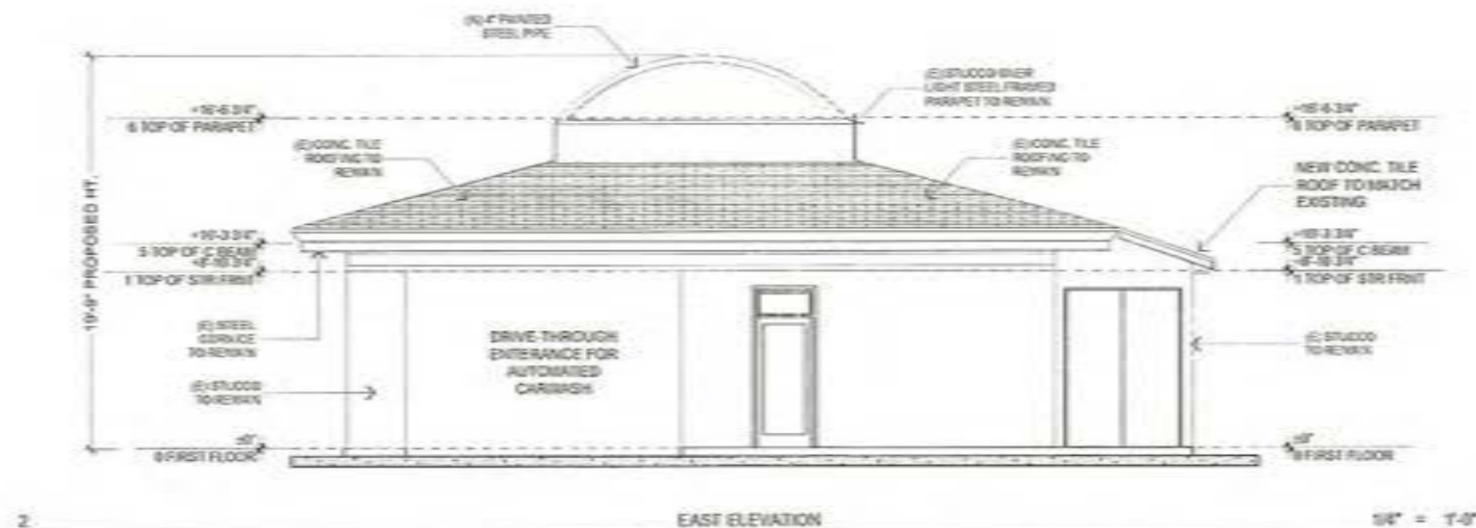
2 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

PROJECT ADDRESS:	76 STATION 1195 BAKER ST COSTA MESA, CA 92626
CLIENT:	PEPPER TREE INC. 595 W. 7TH ST SUITE 202 SAN PEDRO, CA 90731 TEL: (310) 831-1043
ARCHITECT:	BILL JAMES & ASSOCIATES SAN PEDRO, CA 90731 PHONE: 310-513-8038 FAX: 310-513-8000 BILLJAMES@BILLJAMESARCHITECTURE.COM
DATE:	5/4/2012
DESIGNED BY:	PR & DS
CHECKED BY:	CB/CR
SCALE:	A.06



SOUTH ELEVATION

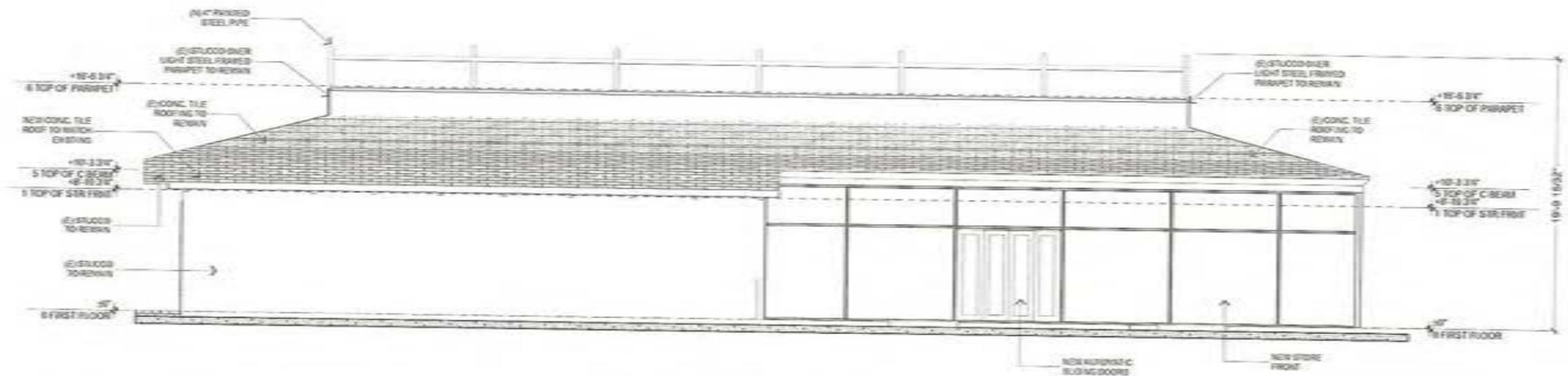
1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"

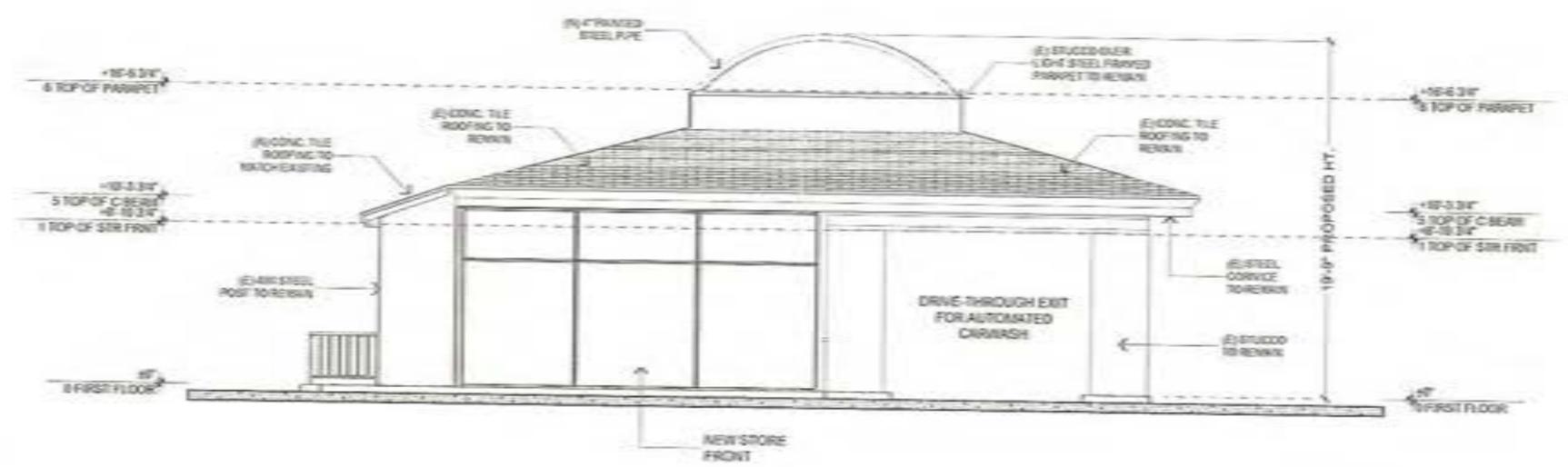
ARCHITECT	BILL JAMES & ASSOCIATES
PROJECT ADDRESS	76 STATION 1195 BAKER ST COSTA MESA, CA 92626
CLIENT	PEPPER TREE INC. 595 W. 7TH ST SUITE 202 SAN PEDRO, CA 90731 TEL: (310) 831-1043
BUILDING ELEVATIONS	
DATE	5/20/02
DRAWN BY	
CHECKED BY	PR. S.D.S.
IN CHARGE	CMC.W.
SCALE	A.07



CD

NORTH ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"

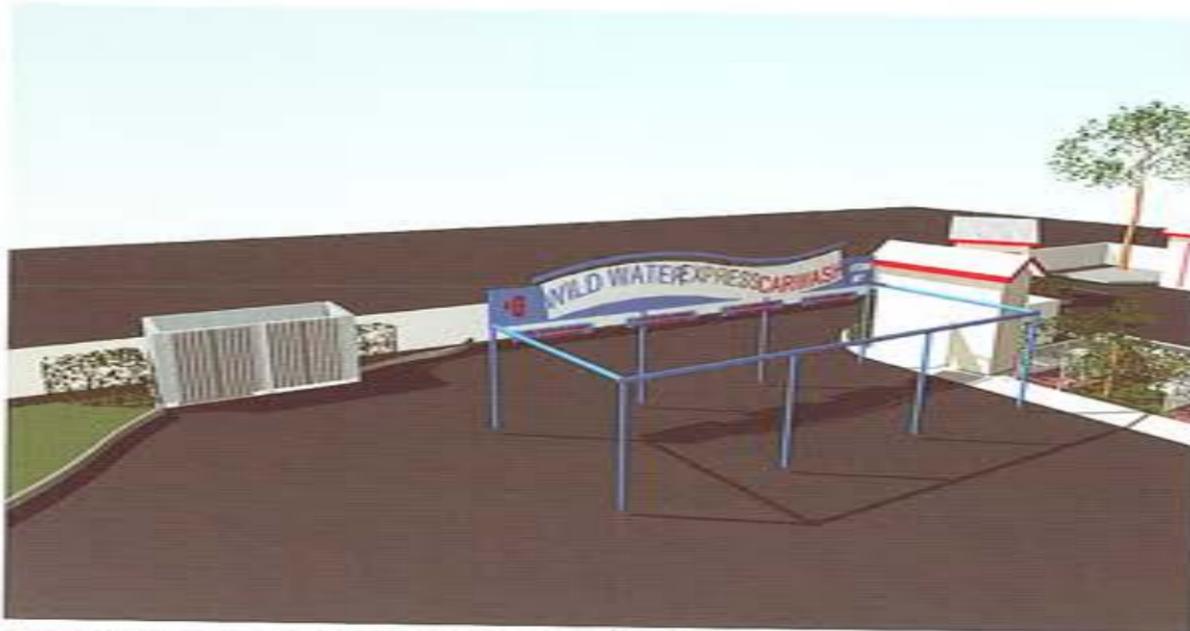
PROJECT ADDRESS	ARCHITECT
76 STATION	BILL JAMES & ASSOCIATES
1195 BAKER ST	1100 W. BAKER ST.
COSTA MESA, CA	SAN PEDRO, CA 90731
92626	PHONE 310-93-8008
	FAX 310-93-8008
	BILLJAMES@BILLJAMES.COM
CLIENT: PEPPER TREE INC.	
595 W. 7TH ST SUITE 202	
SAN PEDRO, CA 90731	
TEL: (310) 831-1043	
BUILDING ELEVATIONS (CONT)	
NO. 542012	
DATE	
BY PR 4/05	
BY CHC/C	
SCALE	
A.08	



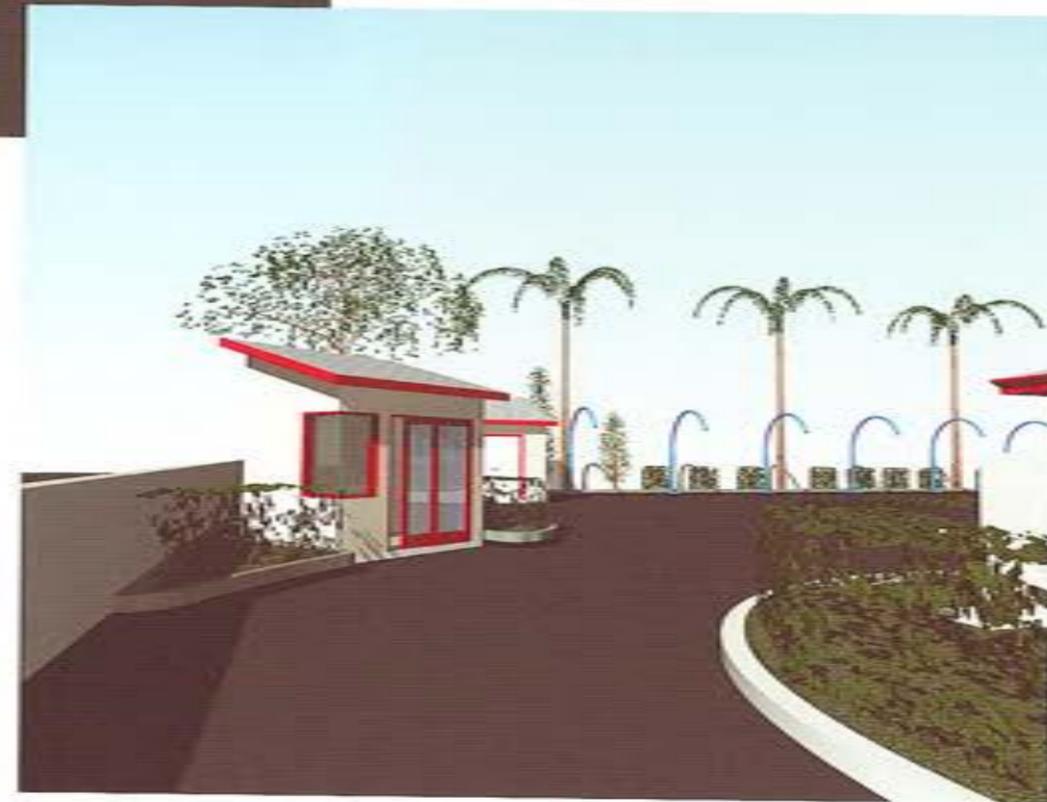
EXPRESS CARWASH/UNOCAL STATION 1195 BAKER STREET, COSTA MESA CA



VIEW SOUTH EAST



NEW SIGNAGE AND TRASH ENCLOSURE



NEW KIOSK AND VAC STANCHIONS

EXPRESS CARWASH/UNOCAL STATION

1195 BAKER STREET, COSTA MESA, CA