



PLANNING COMMISSION AGENDA REPORT

MEETING DATE: NOVEMBER 12, 2013

ITEM NUMBER: PH-4

SUBJECT: PLANNING APPLICATION 13-22 FOR DEVELOPMENT OF 49 LIVE/WORK UNITS AT 643-651 W. 17TH STREET, 1677 SUPERIOR AVENUE, AND 1695 SUPERIOR AVENUE

DATE: OCTOBER 28, 2013

FROM: PLANNING DEPARTMENT/DEVELOPMENT SERVICES DIVISION

PRESENTATION BY: ANTONIO GARDEA, SENIOR PLANNER

FOR FURTHER INFORMATION CONTACT: ANTONIO GARDEA (714) 754-5692
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DESCRIPTION

The proposed project involves development of 49, three-story live/work units at 643-651 W. 17th Street and 1677-1695 Superior Avenue. The project includes the following:

- 1) Adoption of an **Initial Study/Mitigated Negative Declaration**;
- 2) **Planning Application PA-13-22** – Urban Master Plan for development of a 49-unit live/work project on a commercial zoned parcel and two industrial zoned parcels within the 19th West Urban Plan area. The project includes the following:
 - Deviation from the 50-foot buffer zone from the adjacent industrial property;
 - Deviation from the parking design standards (20' x 20' required for interior garage dimensions; 19' x 19' proposed, 49 open parking spaces required; 45 standard size stalls and four compact stalls proposed);
 - Deviation from the minimum work space requirement (250 sq. ft. required, 163 and 217 sq. ft. proposed).
- 3) **Vesting Tentative Tract Map 17639** – Subdivision of a 2.55-acre property for condominium purposes to allow private sale and ownership of the 49 live/work units.

APPLICANT

The applicant is Intracorp Socal -1, LLC, authorized agent for the property owners, Christine E. Means, Kathleen M. Owen, and Growers Direct Properties LLC.

RECOMMENDATION

Adopt Planning Commission resolution approving the project, subject to conditions.

PLANNING APPLICATION SUMMARY

Location: 643-651 W. 17th Street and
1677-1695 Superior Avenue

Application: PA-13-22, VTT-17639

Request: Construction of 49 live/work units and a subdivision for condominium purposes

SUBJECT PROPERTY:

SURROUNDING PROPERTY:

Zone: C1 (Local Business) and MG (General Industrial)

North: Commercial uses (Trader Joes, Petsmart, and Michaels retailers).

General Plan: General Commercial (CG) and Light Industry (LI)

South: Industrial uses (Brothers Plumbing and various automobile repair shops)

Lot Dimensions: Irregular

East: Commercial uses (Growers Direct, and Ramada Hotel, and Bayside Motors)

Lot Area: 2.55 acres (gross)

West: Industrial uses (Argo-Tech)

Existing Development: The site consists of three parcels. Two of the parcels are developed with single-story buildings with commercial and industrial uses and a surface parking. The corner parcel is currently vacant and was formerly a gasoline station.

DEVELOPMENT STANDARD COMPARISON

Development Standard

Required/Allowed

Proposed/Provided

Lot Area	1.0 acre	2.55 – acres (net area)
Floor Area Ratio	1.0	.87 ¹
Lot Coverage	(90%)	(70%) ²
Open Space	10% - 11,000 SF	30% - 33,349 SF ³
Height	Max. 4 stories	3 stories and a roof deck
Setbacks		
Front (17 th Street / Superior Avenue)	10 ft.	10 ft.
Side (Argotech)	50 ft. buffer	20 ft.
Side (Interior))	-0- ft.	13.5 ft.
Patios and balconies	Same as building setbacks	Consistent with building setbacks
Parking for live/work units less than 2,000 square feet in size:		
Garage (covered)	1.5 spaces per unit	2 spaces per unit
Open parking	1.5 space per unit	1 space per unit
Total	147 spaces	147 spaces ⁴
Minimum garage size	20' x 20' inside dimension	19' x 19' ⁵
Work Space	250 SF (net area)	163 SF (Unit A) ⁶ 217 SF (Unit B) ⁶

¹ Live/work units are subject to the maximum 1.0 FAR requirement and not by density limits per acre. In this case, this translates to a density of 19 live/work units per acre. The FAR area excludes the interior square footage of garages.

² Lot coverage involves the gross building footprints and all driveways and parking areas.

³ Open space refers to areas at grade and not private balconies or roof decks.

⁴ 24 of the required open parking spaces are provided as part of the covered parking.

⁵ The garages provide space for trash carts outside the required areas.

⁶ These areas exclude the bathroom, stairways and hallways.

CEQA Status	Mitigated Negative Declaration
Final Action	Planning Commission

BACKGROUND

Project Location

The proposed 2.55-acre site is comprised of three parcels at the corner of 17th Street and Superior Avenue. The site is zoned MG (General Industrial) and C1 (Local Business) and has a General Plan land use designation of Light Industrial and General Commercial. The corner parcel is primarily vacant and was used formerly as a gasoline station. The westerly portion of the parcel is developed with two small-scale industrial buildings with surface parking. The two parcels that form an L-shape around the corner parcel are currently developed with four industrial buildings with surface parking. Applications were submitted for a 29-unit live/work project on the L-shaped site. After the developer was able to secure a purchase agreement for the corner parcel, the plans were revised to include an additional 20 units, for a total of 49 live/work units.

The City Council considered the urban plan screening for these two sites on July 16th and September 17th. The Council was generally supportive of the project and noted that the applicant should provide sufficient area at the corner for landscaping and a sign identifying the site as part of the 19 West Urban Plan area.

General Plan

The site's land use designations are General Commercial for the corner parcel and Light Industry for the easterly and southerly parcels. The General Commercial designation is intended to permit a wide range of commercial uses, which serve both local and regional needs. The Light Industry designation is intended for a variety of light and general industrial uses. The Land Use Element notes the following regarding mixed-use development projects:

"Mixed-use development projects are intended to provide additional housing opportunities in the City (such as the Westside) by combining residential and nonresidential uses in an integrated development..... Mixed-use developments shall be implemented through an adopted urban plan (such as the 19 West Urban Plan) and shall be identified on the City's Zoning Map by designating either the CL, C1 and/or C2 base zoning districts with the mixed-use overlay district. The mix of uses can occur in either a vertical or horizontal design, up to four stories in height. Product types shall be identified in the applicable urban plan and may include live/work units and commercial/residential units where the residential uses are located above or adjacent to the nonresidential component. Nonresidential uses may include office, retail, business services, personal service, public spaces and uses, and other community amenities."

Zoning

The project site is zoned as C1, Local Business District, and MG, General Industrial District and within the 19 West Urban Plan and the 19 West Village Mixed-Use Overlay District. The Urban Plans work interchangeably in terms of development standards and regulations. Live/work units are subject to the development standards included in the Mesa West Urban Plan.

The Mesa West Urban Plan defines live/work development as follows:

“Live/Work Loft or Live/Work Unit. A mixed-use development composed of commercially- or industrially-oriented joint work and living quarters in the same building, where typically the primary use is a place of work and where there are separately-designated residential and work areas. A live/work unit consists of the following: (a) living/sleeping area, kitchen, and sanitary facilities in conformance with the Uniform Building Code and (b) adequate work space accessible from the living area, reserved for, and regularly used by the resident(s).”

ANALYSIS

Project Description - Planning Application PA-13-22

The Urban Master Plan is for the development of a 49-unit live/work project at the three-parcel site (2.55-acres) within the 19th West Urban Plan area. The project meets most development standards related to setbacks, height, open space, etc. However, the following deviations are requested:

- Deviation from the 50-foot buffer zone from major industrial sites:
A minimum distance of 50 feet from the property line is required for live/work units from the JC Carter/Argo-Tech property. Eleven units would be located within the buffer zone – two units are set back 11 feet, seven inches from the property line and nine units are set back 44 feet, ten inches from the property line.
- Deviation from the parking design standards (20' x 20' required for interior garage dimensions; 19' x 19' proposed, 49 open parking spaces required; 45 standard size stalls and four compact stalls proposed);
- Deviation from the minimum size of the work space:
A minimum of 250 square feet of workspace is required; the project is proposing 163 square feet and 217 square feet of ground level work space.

Vesting Tentative Tract Map 17639

Vesting Tentative Tract Map No. 17639 represents an airspace subdivision to create a single lot for condominium purposes. Vesting Tentative Tract Map 17639 also includes various dedications, easements, and a right-of-way abandonment.

Proposed live/work units

The 49-unit live/work project is proposed at a density of 19 units per acre and a Floor Area Ratio of 0.87. The buildings are designed with clusters of three, four and five units. The buildings are designed with some units facing the surrounding streets and others facing a common courtyard and walkways. The three-story buildings have roof decks and attached two-car garages. Each unit includes a work space at the ground level. Two different floor plans are proposed for the two bedroom units.

Plan Type	Type	Living Area	Work Space Area (net)	Total Area	Parking Ratio
A 26 units	2 Bd/3.5 bath	1,559 SF	163 SF*	1,722 SF	3
B 23 units	2 Bd/ 3.5 bath + den	1,614 SF	217 SF*	1,831 SF	3

* The Mesa West Urban Plan requires a minimum work space of 250 square feet. The proposed ground floor work spaces are 163 and 217 square feet in area and subject to approval of a deviation from the standard.

Open Space and Landscaping

The site plan provides 30 percent open space; this includes landscaped setback areas along the 17th Street and Superior Avenue frontage and a central courtyard. Walkways along the street edges provide connections to the surrounding sidewalks. In particular, there are two predominant pathways along the easterly and southerly portions of the site. The units also include a roof deck as private open space. The preliminary landscape plan shows trees planted in front of the units, along the street frontages, as a screen along the south property line, and in planter islands along the row of open spaces along the west property line.

Deviations from Buffer Zone

With the adoption of the Urban Plans, the City Council established buffer zones from the J. C. Carter (Argotech) industrial property (671 West 17th Street) and the CLA-VAL industrial property (1701 Placentia Avenue) requiring a minimum 50-foot distance between property lines (Resolution 06-34). The site’s westerly property line is common with the Argotech easterly property line and eleven of the live/work units are located within the 50-foot buffer zone.

The applicant is requesting approval of a deviation from the buffer zone requirement to allow the live/work units within the 50-foot buffer zone. Specifically, eleven units would be located within the buffer zone: two units at the southwest corner (set back a minimum of 20 feet from property line); and nine units along the western boundary (set back 44 feet, 4 inches).

Deviation from Minimum Size Work Space

Per the Mesa West Bluffs Urban Plan standards for live/work units, the minimum size for a work space is 250 square feet, excluding the bathroom and hallway areas. The project includes 26 of Plan A and 23 of Plan B floor plans. The plans include a 163-square foot and 217-square foot work space on the ground floor. The work space is the main entrance to the unit and adjacent to the two-car garage.

Deviation from Minimum Garage Size and Standard Size Stall

The Zoning Code requirements for garages set a minimum standard interior dimension of 10 feet wide by 20 feet long for each parking space. Each unit is provided with a two-car garage consistent with requirements for live/work units up to 2,000 square feet in area. The minimum interior dimension for a two-car garage is 20 feet wide by 20 feet

long. The two-car garages have interior dimension of 19' X 19' which are smaller than the 20' x 20' parking standard.

On-Site Parking Layout

The open parking spaces are dispersed around the project site for visitor convenience. The majority of the open parking spaces are provided along the westerly property line. The four compact stalls are located near the central common courtyard area. Five parking spaces are located at the Superior Avenue street frontage but only accessible from the internal driveway within the project site. The project will function as one site with inter-connected pedestrian walkways, vehicular driveways and unassigned, i.e. common use, parking spaces.

The Mesa West Urban Plan includes specific parking requirements for live/work units. The number of spaces required is based on the unit size. For a maximum 2,000 square-foot unit, three parking spaces per unit are required. The 49 live/work units require a total of 147 parking spaces. The proposed plans provide a two-car garage per unit (98 spaces total) and 49 open parking spaces. A deviation from the standard size stall is requested since four of the spaces are compact stalls. The proposed compact parking stalls are eight feet wide instead of the required eight feet, six-inch wide, standard spaces.

Traffic/Trip Generation

The proposed 49-unit live/work project will result in a small increase of daily trips. As indicated in the traffic analysis in Appendix E of the Initial Study/Mitigated Negative Declaration report, the projected trip generation is 578 trips for the proposed 49-unit live/work project. In comparison to the existing trip generation for the displaced commercial/industrial uses, the live/work project generates 29 net new daily trips.

Full access for the site is provided at 17th Street and Superior Avenue. Both 17th Street and Superior Avenue are four-lane divided roadways separated by a left turn lane. The left-turn lanes facilitate the vehicular turning movements in to and out of the site. The project driveways are forecast to operate efficiently during peak hours. Furthermore, the project is forecast to result in no significant traffic impact at either the City study intersections or the State-controlled study intersections.

Justifications for Approval

Staff recommends approval of the proposed project for the following reasons:

- *Proposed master plan is consistent with land use objectives of the City's General Plan.* The proposed project is consistent with General Plan Goals LU-1A and LU-2 in that the project would redevelop a vacant site and marginal commercial and industrial uses with a high-quality architectural design and landscaping enhancing the site's visual appearance, and would provide for a mix and balance of housing and employment opportunities at a level no greater than can be supported by the existing infrastructure.

- Proposed Development is consistent with the Zoning Code and Urban Plan. The proposed 49-unit live/work development is consistent with the goals and policies of the General Plan, 19th West Urban Plan and live/work development standards of the Mesa West Bluffs Urban Plan. The proposed development generally meets the development standards; however, deviations are requested from the 50 foot buffer, the minimum size of the ground floor work space, and parking standards related to size of garage and use of four compact stalls. The deviations are justified with the proposed site plan because it is anticipated that adequate parking spaces will be provided on-site. The project includes buildings that are oriented toward 17th street and Superior Avenue and located within walking distance to retail uses promoting walking and biking to nearby retail and services. The development also provides adequate open space in form of a common central courtyard, private patios and rooftop decks. In addition, the project is designed with perimeter and interior pedestrian access paths that are conducive to the live/work environment. Additional buffers from the industrial site to the west and south are provided with use of a driveway and parking placed along the westerly property line and a pedestrian walkway along the south side of the site. With the exception of the noted deviations, the development meets the development standards per urban plans. The proposed live/work project would enhance the highly visible intersection at 17th Street and Superior Avenue by providing vibrancy and active uses along the street frontages.
- Project complies with Zoning Code by promoting design excellence. The overall architectural design promotes excellence and compatibility. The buildings are three-story structures in multiple-unit clusters. As live/work units, the development is not subject to the application of the 80 percent second-floor to first-floor ratio recommended in the City's Residential Design Guidelines; however, the elevations with off-sets and balconies, variety of building materials and staggered massing provide modulation and visual rhythm along the front and side elevations. Landscaping and pedestrian walkways are provided along the street frontages to buffer the live/work units from the traffic.
- Project traffic impacts will be significantly lower than development of the site as a commercial (service station)/light industrial use under the maximum General Plan build-out conditions. The proposed modified project will generate 29 net new daily trips, when accounting for the existing vacant and commercial land uses. Given the project's consistency with zoning, and since negligible traffic is generated due to the proposed change in land uses, no traffic mitigation other than providing a dedicated right turn lane on 17th Street, relocating the signal equipment, and submittal of signal modification, signing, and striping plans for the 17th Street & Superior Avenue intersection, as noted in the conditions of approval is required.

Per Condition No. 5, permitted commercial/business activity in the live/work units shall be limited to those uses that generate no to minimal customer traffic (max. eight customers per day), and do not involve employees which do not reside in the live/work unit. The proposed work spaces shall be limited to the following uses shown below (Exhibit D of Planning Commission resolution).

LAND USE MATRIX	
49-unit Live/Work Development at 643-651 W. 17 th Street and 1677-1695 Superior Avenue	
LIVE/WORK UNITS	
<ul style="list-style-type: none"> • Artists, craftspersons, sculpture studios (woodworking, furniture restoration, painting, ceramics, etc.) 	<ul style="list-style-type: none"> • Barber and beauty shops
<ul style="list-style-type: none"> • Catering 	<ul style="list-style-type: none"> • Commercial art, graphic design, website designers
<ul style="list-style-type: none"> • Computer and data processing 	<ul style="list-style-type: none"> • Legal, Engineering; Architectural; and Surveying services
<ul style="list-style-type: none"> • Offices: Professional, central admin., general, bookkeeping and data processing 	<ul style="list-style-type: none"> • Offices: medical office with sole practitioner
<ul style="list-style-type: none"> • Photography Studio 	<ul style="list-style-type: none"> • One-on-one Studio Use: Sole Practitioner for Dance; Martial arts; Music, Yoga, etc.
<ul style="list-style-type: none"> • Specialty Retail; Customers by appointment. 	
<p>NOTES: All businesses subject to zoning approval to ensure adequacy in parking and compatibility with a residential environment. All other uses not specified in this table are either prohibited or may require a Conditional Use Permit, as deemed by the Development Services Director.</p>	

- The project architecture and site design are consistent with the visions of the urban plan. The urban plans envision contemporary architecture and infill development that will be complementary to an urban setting. The proposed architecture and site design will enhance the street view and potentially evoke new development in the area. The proposed three-story, 49-unit, live/work condominium development is a new type of urban housing in the area that complies with the objectives of the Urban Plan which are: a) to encourage construction of live/work that combines residential and nonresidential uses in the same unit without exceeding the development capacity of the General Plan transportation system, b) attract more residents and merchants by offering first floor offices, c) stimulate improvements in the urban plan area through well designed and integrated urban residential development, d) meet demand for a new housing type to satisfy a diverse residential population; and e) promote new housing for people seeking alternative housing choices.

- Project is subject to the City's interior noise standards and Buyer's Notice requirement. The Urban Plan promotes mixed-use development to be compatible with the surrounding industrial/commercial context. A block wall and a row of trees will separate the project site from the industrial uses to the west and south. A condition is included to require that the design of the new block wall shall incorporate materials, color, and texture that will be compatible with the building designs. In addition, the units will include construction assemblies that will comply with the interior noise standards for residential uses.

- The private balconies and patios are exempt from compliance with Noise standards. Title 13, Section 13-280(d) and (e), Exterior Noise Standards, of the Costa Mesa Zoning Code indicates that exterior noise standards shall not apply to "private balconies or patios of live/work units located within the Mixed-Use Overlay District. Therefore, no noise attenuation is proposed for the patios or balconies. A condition is included requiring a homebuyer notification to disclose that the project is located within an area designated as Light Industry and General Commercial in

the City of Costa Mesa General Plan and is subject to existing and potential annoyances or inconveniences associated with industrial and commercial uses.

- The proposed Vesting Tentative Tract Map is consistent with subdivision requirements. The proposed property is physically suitable to accommodate the subdivision for condominium purposes. Engineering staff has confirmed that there are no interferences with the City's or other utility right-of-way areas and/or easements within the tract.

Requested Deviations from Development Standards

- Project complies with the setbacks from the street frontages (north and east property lines) and south side property line; however, a deviation is requested from the 50 foot buffer (setback) from the west side property line. The strict application of the minimum 50-foot buffer zone requirement along the western portion of the property would preclude development on approximately 26 percent of the site. The area available for circulation and amenities would be significantly limited. The site layout achieves land use compatibility by placing required parking and drive aisle along the majority of the westerly portion of the site. The live/work development is designed with full fire access, on-site features and landscape amenities. The site is also desirable for live/work development because of proximity to retail and service uses.
- Project provides workspaces on the ground floor for the live/work units. The project includes 26 of Plan A and 23 of Plan B floor plans. The plans include a 163-square foot and 217-square foot work space on the ground floor. The minimum size for a work space is 250 square feet (excluding the bathroom and hallway areas). Even though the work spaces are smaller than the minimum standard, they have either direct access to the common courtyard area, pedestrian paseo, or street frontage. In addition, the units comply with A.D.A standards so that the space can serve as home offices or small commercial spaces. Despite of the smaller size, these units include storefronts directly accessed from common/public areas that will be conducive to use as small offices or commercial spaces.
- Project complies with parking requirements in terms of total supply; however, a minor deviation is requested for the interior dimensions of the garage and compact stalls. The live/work standards in the Mesa West Urban Plan include specific parking requirements for live/work units based on the unit size. For a maximum 2,000 square-foot unit, three parking spaces are required. The 49 live/work units require a total of 147 parking spaces (98 garage spaces and 49 open parking stalls).

The project proposes garages with interior dimensions of 19' x 19' slightly smaller than a standard two car garage, which is 20 by 20 feet. Even though the proposed garages are smaller, the minor deviation will still allow two vehicles to be adequately parked inside the garage. Additional space is provided for the water heater and storage of trash and recycling bins. A condition is included requiring that the Covenants, Conditions and Restrictions (CC&Rs) include provisions limiting the use of garage spaces to park vehicles and homeowners association to

enforce the on-site parking regulations. In addition, the units are expected to generate fewer vehicle trips than typical residential uses.

The 49-unit development requires a minimum of one parking space per unit. The site plan includes all required parking; however, four of the 49 open parking spaces are compact stalls. The spaces are eight feet wide, instead of the required width of eight feet, six inches and located adjacent to a 25-foot drive aisle. Therefore, the vehicles parked in the compact stalls will not be encroaching into emergency access, obstructing the driveway or interfering with access to the garages for the units.

The deviations are justified with the proposed site plan because it is anticipated that adequate parking spaces will be provided on-site. In addition, the project includes internal and perimeter pedestrian access promoting walking and biking opportunities to nearby retail and services. The development also provides adequate open space in form of a common central courtyard, private patios and rooftop decks.

GENERAL PLAN CONFORMITY

The project is consistent with the General Plan policies as discussed in the Findings for approval.

ENVIRONMENTAL DETERMINATION

Pursuant to CEQA and the State CEQA Guidelines, an Initial Study/Mitigated Negative Declaration was prepared. A notice of availability and intent to adopt a mitigated negative declaration and public hearing was distributed to the property owners within 500-foot radius of the property, responsible and trustee agencies, other affected agencies, surrounding cities, and interested parties, home owners associations, as well as any other parties requesting a copy of the environmental document pursuant to Public Resources Code (PRC) Section 21092. The draft document was available for a 30-day public review from October 1, 2013 to October 30, 2013. The analysis found that the project may have a significant effect on the environment unless mitigation is included to lessen or avoid the environmental effects of the project. Mitigation measures have been identified in the Initial Study (Exhibit C of Planning Commission Resolution) to reduce potential air quality, hazard and hazardous materials and noise effects to a less than significant level. With incorporation of these measures, potential environmental effects would be reduced to less than significant levels.

Three comment letters from responsible agencies were received during the comment period. The standard conditions of approval and mitigation measures have been included in the final MND. The Initial Study is available for review on the City's website at: <http://www.costamesaca.gov/index.aspx?page=151>

LEGAL REVIEW

The City Attorney's office has approved the attached resolutions as to form.

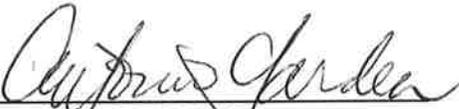
ALTERNATIVES

The Planning Commission may take the following actions:

- Approve the project by adopting mitigated negative declaration and approving Master Plan PA-13-22 allowing development of 49 live/work units and 147 parking spaces with deviations from the minimum garage size and work space requirements subject to conditions.
- Deny the project. If the project were denied, the applicant could not submit substantially the same type of application for six months.

CONCLUSION

Approval of the master plan will provide for development of this site currently developed with industrial uses. The project will be a quality project and consistent with the urban plan standards that will be a benefit to the community. This location provides housing opportunities to professionals in a mixed use setting and in close proximity to commercial, transit and transportation corridors.


ANTONIO GARDEA
Senior Planner


GARY ARMSTRONG
Development Svs. Director

Attachments: 1. Planning Commission Resolutions
 2. Location Map
 3. Submitted Plans
 4. Initial Study/Mitigated Negative Declaration (previously distributed)

Distribution: Director of Economic & Development/Deputy CEO
 Senior Deputy City Attorney
 Public Services Director
 City Engineer
 Transportation Services Manager
 Fire Protection Analyst
 Staff (6)
 File (2)

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Christine E. Means & Kathleen M. Owen
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RESOLUTION NO. PC-13-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA ADOPTING THE MITIGATED NEAGITVE DECLARATION AND APPROVING A MASTER PLAN, AND VESTING TENTATIVE TRACT MAP FOR DEVELOPMENT OF 49-UNIT LIVE/WORK PROJECT AT 643-651 W. 17TH STREET AND 1677-1695 SUPERIOR AVENUE .

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Intra Corp Socal-1 LLC, as the authorized agent on behalf of the property owners, Christine E. Means, Kathleen M. Owen, and Growers Direct Properties LLC, requesting approval of the following:

- 1) Adoption of an **Initial Study/Mitigated Negative Declaration**;
- 2) **Planning Application PA-13-22** – Urban Master Plan for development of a 49-unit live/work project at the site of three parcels developed with industrial and commercial uses within the 19th West Urban Plan area. The project includes the following:
 - Deviation from the 50-foot buffer zone from the adjacent industrial property;
 - Deviation from the minimum work space requirement (250 sq. ft. required, 163 and 217 sq. ft. proposed);
 - Deviation from the parking design standards (20' x 20' required for interior garage dimensions; 19' x 19' proposed, 49 open parking spaces required; 45 standard size stalls and four compact stalls proposed);
- 2) **Vesting Tentative Tract Map 17639** – Subdivision of a 2.55-acre property for condominium purposes to allow private sale and ownership of the live/work units.

WHEREAS, the environmental review for the proposed project was processed in accordance with the requirements of the California Environmental Quality Act (CEQA), the State CEQA Guidelines, the Council on Environmental Quality Regulations implementing the National Environmental Policy Act, and the City of Costa Mesa Environmental Guidelines, and the IS/MND was available for public review from October 1, 2013 to October 30, 2013;

WHEREAS, the Costa Mesa Planning Commission finds that proposed live/work project will not have a significant negative impact on the environment with the

incorporation of the mitigation measures identified in the Initial Study/Mitigated Negative Declaration (IS/MND);

WHEREAS, the Costa Mesa Planning Commission has considered responses to comments received during the public review period on the IS/MND;

WHEREAS, a duly noticed public hearing were held by the Planning Commission on November 12, 2013, with all persons provided an opportunity to speak for and against the proposed project;

NOW, THEREFORE, BE IT RESOLVED that based on the evidence in the record, the findings contained in Exhibit A, and subject to conditions of approvals/mitigation measures indicated in the Mitigation Monitoring Program contained in Exhibits B and C, and permitted uses included in Exhibit D, the Planning Commission hereby **ADOPTS** the Initial Study/Mitigated Negative Declaration and **APPROVES** Planning Application PA-13-22 and Vesting Tentative Tract Map 17639 with respect to the property described above; and,

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-13-22, and Vesting Tentative Tract Map 17639 and upon applicant's compliance with each and all of the conditions contained in Exhibit B, Mitigation Monitoring Program contained in Exhibit C, and subject to permitted uses noted in Exhibit D as well as with compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

PASSED AND ADOPTED this 12th day of November, 2013.

Jim Fitzpatrick, Chair
Costa Mesa Planning Commission

RESOLUTION NO. PC-13-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA DENYING THE MASTER PLAN PA-13-22, AND VESTING TENTATIVE TRACT MAP VT-17639 FOR DEVELOPMENT OF 49-UNIT LIVE/WORK PROJECT AT 643-651 W. 17TH STREET AND 1677-1695 SUPERIOR AVENUE.

WHEREAS, an application was filed by Intra Corp Social-1 LLC on behalf of the property owners, Christine E. Means, Kathleen M. Owen, and Growers Direct Properties LLC., requesting approval of the following:

1) **Planning Application PA-13-22** – Urban Master Plan for development of a 49-unit live/work project at the site of three commercial uses within the 19th West Urban Plan area. The project includes the following:

- Deviation from the 50-foot buffer zone from the adjacent industrial property;
- Deviation from the minimum work space requirement (250 sq. ft. required, 163 and 217 sq. ft. proposed);
- Deviation from the parking design standards (20' x 20' required for interior garage dimensions; 19' x 19' proposed, 49 open parking spaces required; 45 standard size stalls and four compact stalls proposed);

2) **Vesting Tentative Tract Map 17639** – Subdivision of a 2.55-acre property for condominium purposes to allow private sale and ownership of the live/work units.

WHEREAS, a duly noticed public hearing were held by the Planning Commission on November 12, 2013, with all persons provided an opportunity to speak for and against the proposed project;

BE IT RESOLVED that, Public Resources Code Section 21080(b)(5) and CEQA Guidelines Section 15270(a), CEQA does not apply to this project because it has been rejected and will not be carried out;

BE IT FURTHER RESOLVED that, based on the evidence in the record and the findings contained in Exhibit "A, the Planning Commission hereby recommends that the City Council **DENY** Planning Application PA-13-22 and Vesting Tentative Tract Map 17639 with respect to the property described above.

PASSED AND ADOPTED this 12th day of November, 2013.

Jim Fitzpatrick, Costa Mesa Planning Commission

EXHIBIT "A"

FINDINGS – DENIAL

- The proposed project does not comply with Costa Mesa Municipal Code Section 13-29(e) because:
 1. A compatible and harmonious relationship does not exist between the proposed use and existing buildings, site development, and uses on surrounding properties.
 2. The proposed project does not comply with the performance standards as prescribed in the Zoning Code.
 3. The proposed project is not consistent with the General Plan or Zoning Code.
- Granting the approval for development of 49-unit live/work development project will be materially detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood.
- The Costa Mesa Planning Commission has denied Planning Application PA-13-22, Pursuant to Public Resources Code Section 21080(b)(5) and CEQA Guidelines Section 15270(a), CEQA does not apply to this project because it has been rejected and will not be carried out.
- The project is exempt from Chapter IX, Article 11, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

EXHIBIT "A"

FINDINGS

- A. The proposed project complies with Costa Mesa Municipal Code Section 13-29(e) because:
- a) The proposed use and site development is compatible and harmonious with uses on surrounding properties. The site layout and building placement is oriented to connect with the surrounding streets and enhances the streetscape along 17th Street and Superior Avenue.
 - b) Safety and compatibility of the design of the parking areas, landscaping, luminaries, and other site features including functional aspects of the site development such as automobile and pedestrian circulation have been considered. The points of vehicular ingress and egress are placed away from the intersection to ease access to the site. Landscaping is provided along the perimeter of the site to visually enhance the streetscape.
 - c) The project complies with the performance standards prescribed in the Zoning Code. The project complies with the overall number of parking spaces required and standards for project landscaping.
 - d) The project is consistent with the City's General Plan and the Urban Plans that allow a Floor Area Ratio of 1.0 for live/work and mixed use projects.
 - e) The planning applications are for a unique, irregularly shaped site and project specific deviations do not establish a precedent for future development.
 - f) The cumulative effect of the planning applications for deviations from the Urban Plan standards (Buffer zone and work space size) and the parking standards (garage size and compact parking) are being considered.
- B. The proposed project (Master Plan Application PA-13-22) complies with the Master Plan Findings, Costa Mesa Municipal Code Section 13-29 (g) because:
- a) The master plan meets the broader goals of the general plan, any applicable specific plan, and the Zoning Code by exhibiting excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development. The live/work project is consistent with the goals, policies, objectives, and/or regulations of the General Plan, Zoning Code, 19 West Urban Plan and Mesa West Bluffs Urban Plan. The proposed live/work development is a new type of urban housing that combines residential and nonresidential uses in the same unit without exceeding the transportation system capacity; attracts more residents and merchants by offering first floor work spaces; stimulates improvements in the plan area through well designed and integrated urban residential development; and promotes new housing for people seeking alternative housing choices. The proposed 49-unit live/work development project will meet the central objectives of Urban Plan to revitalize the Westside and create new live/work opportunities.
 - b) As applicable to affordable multi-family housing developments, the project complies with the maximum density standards allowed pursuant to the general plan and provides affordable housing to low or very-low income households, as defined by the California Department of Housing and Community Development. The project includes long-term affordability covenants in compliance with state law. The project is not an affordable multi-family development.

C. The proposed project (Master Plan Application PA-13-22) complies with the Master Plan Findings for the Mixed-use Overlay District, Costa Mesa Municipal Code Section 13-83.53 (c) because:

- a) The project meets the purpose and intent of the mixed-use overlay district, and the stated policies of the Mesa West Bluffs Urban Plan. The proposed 49-unit live/work development project will meet the central objectives of Urban Plan to revitalize the Westside and create new live/work opportunities. The proposed live/work project is compatible and harmonious with uses on surrounding properties. The project is located in close proximity to retail uses promoting walking and biking to nearby services. The proposed live/work project would enhance the highly visible intersection at 17th Street and Superior Avenue by providing vibrancy and active commercial uses along the street frontages in place of a vacant site and obsolete industrial uses. The project complies with the maximum Floor Area Ratio of 1.0 for live/work and mixed use projects. The proposed three-story, 49-unit, live/work condominium development combines residential and nonresidential uses in the same unit without exceeding the development capacity of the General Plan transportation system, attracts more residents and merchants by offering first floor offices, is a well designed development, meets demand for a new housing type to satisfy a diverse residential population and is an alternative housing choice.
- b) The live/work development is designed with unit features such as roof decks and balconies and landscaped setbacks, pedestrian pathways and common courtyards as site amenities.
- c) As envisioned by the 19 West Urban Plan, a live/work development would be compatible with the commercial and light industrial surrounding uses with the use of adequate sound walls and construction assemblies to achieve the allowable interior noise standards. Mixed use and live/work projects are exempt from the exterior noise standards for private open space. The live/work project includes perimeter landscaping to reduce or minimize night-time light and daytime glare effects. The applicant is required to comply with specific measures to mitigate potential hazardous materials effects. Future residents would receive notice that the site is within an existing industrial area with a potential for inconveniences due to operational characteristics such as hours of operation, delivery schedules, outdoor activities, noise, and odor generation.
- d) The project is designed with consideration of the surrounding properties and incorporates features to separate and screen the live/work units from the adjacent properties. A driveway and parking placed along the westerly end of the site and a landscaped pedestrian walkway along the south side of the site to provide a buffer from the adjacent industrial uses.

D. The proposed project (Master Plan Application PA-13-22) complies with the Master Plan Findings for the Mixed-use Overlay District, Costa Mesa Municipal Code Section 13-83.52(d) because:

- a) The proposed master plan does not strictly conform to the live/work development standards, and therefore, deviations are requested to the minimum 50 foot buffer separation, for minimum garage size standards, and minimum work space square footage standards. Compliance with the minimum 50-foot buffer zone requirement along the western portion of the property would preclude development in approximately 26 percent of the site and significantly limit the area available for circulation and amenities.
 - b) The project is a mixed-use nontraditional development the project complies with 19 West Urban Plan's objectives and General Plan Policies and is considered compatible with the neighborhood with the proposed site design and location of the buildings. Adequate parking spaces will be provided on-site that will be maintained by homeowners association and enforced by provisions of the CC&Rs.
 - c) No adverse impacts from implementation of the proposed project are identified. The future businesses would be reviewed to ensure that they are a permitted use that would not expose neighboring properties to offensive odors or excessive noise levels, vibration, or dust. The applicant has executed a mutual waiver and consent agreement with the neighboring property owner (Seventeenth Street Realty LLC) of the 50 foot buffer with the understanding that the applicant intends to develop the property as a mixed-use project. The project is an enhancement to the area and may serve as a catalyst for reinvestment in the surrounding properties.
 - d) The minor deviation to provide smaller work spaces will still provide for an adequate sized office or service space. Even though the work spaces are smaller than the minimum standard, they have either direct access to the common courtyard area, pedestrian paseo, or street frontage. In addition, the units comply with A.D.A standards so that the space can serve as home offices or small commercial spaces. Because of these amenities, these units will be conducive to use as small offices or commercial spaces. This minor deviation will still provide for an adequate office or small service space, because these work spaces are directly accessed from common/public areas.
 - e) The live/work units would be an asset to the community and may serve as a catalyst for reinvestment in the surrounding properties.
- E. The proposed project (Master Plan Application PA-13-22) complies with the Master Plan Findings for the Mixed-use Overlay District, Costa Mesa Municipal Code Section 13-83.52(d), in reference to the deviation from the minimum required size for a two-car garage and use of compact parking spaces because:
- a) Even though the proposed garages are slightly smaller, the minor deviation will still allow two vehicles to be adequately parked inside the garage. Additional space is provided within the garage for the water heater and storage of trash and recycling bins. In addition, the applicant is required to include restrictions requiring that the CC&Rs include provisions limiting the use of garage spaces to park vehicles. Enforcement of the on-site parking regulations by the homeowners association will help prevent spill over

parking to adjacent properties.

The 49-unit development requires a minimum of one parking space per unit. The site plan includes all required parking; however, four of the 49 open parking spaces are compact stalls. The spaces are eight feet wide, instead of the required width of eight feet, six inches and located adjacent to a 25-foot drive aisle. Therefore, the vehicles parked in the compact stalls will not be encroaching into emergency access, obstructing the driveway or interfering with access to the garages for the units.

- b) The proposed project will generate 29 net new daily trips, which include eight net new morning peak hour trips, and 17 net new afternoon peak hour trips. Additionally, as the proposed project is consistent with 19 West Village Mixed-Use Overlay District. Given the Project's consistency with zoning, and since negligible traffic generation is created due to the proposed change in land uses, no traffic mitigation is required. In addition, the live/work units are expected to generate less vehicle trips than typical residential uses and the owner(s) are anticipated to have less demand for multiple vehicles.

The deviations are justified with the proposed site plan because it is anticipated that adequate parking spaces will be provided on-site. In addition, the project includes internal and perimeter pedestrian access promoting walking and biking opportunities to nearby retail and services. The development also provides adequate open space in form of a common central courtyard, private patios and rooftop decks.

- F. Pursuant to Section 13-29(g)(13) of the Municipal Code, the subject property is physically suitable to accommodate Vesting Tentative Tract Map 17639 in terms of type, design and intensity of development, and will not result in substantial environmental damage nor public health problems, based on compliance with the City's Zoning Code and General Plan.
- G. The discharge of sewage from this subdivision into the public sewer system will not violate the requirements of the California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000 of the Water Code).
- H. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City's environmental procedures. Mitigation Measures have been included as conditions of approval. If any of these conditions are removed, the Planning Commission must make a finding that the project will not result in significant environmental impacts, that the condition(s) are within the responsibility and jurisdiction of another public agency, or that specific economic, social, or other considerations make the mitigation measures infeasible.
- I. The project is exempt from Chapter IX, Article 12, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

EXHIBIT "B"

CONDITIONS OF APPROVAL (Master Plan PA-13-22)

- Plng.
1. The conditions of approval for Master Plan PA-13-22 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
 2. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc, shall be blueprinted on the site plan and on all floor plans in the working drawings.
 3. The applicant shall incorporate a portion of the northeast corner of the site as area to place a City identification / entry sign for the 19 West Urban Plan area.
 4. Prior to the issuance of a building permit, the construction plans shall modify the orientation of Units #1, 40, and 41 to face the adjacent street(s). Unit #1 shall use Unit Type B and the with the ground floor entrance/patio oriented to 17th Street. The ground floors of Units # 40 and 41 shall be oriented to Superior Avenue.
 5. A decorative six-foot high block wall shall be provided separating the site from the industrial uses to the west and south. The design of the retaining wall shall incorporate materials, color, and texture that will be compatible with the live/work project design.
 6. No exterior roof access ladders, roof drain scuppers, or roof drain downspouts are permitted. This condition relates to visually prominent features of scuppers or downspouts that not only detract from the architecture but may be spilling water from overhead without an integrated gutter system which would typically channel the rainwater from the scupper/downspout to the ground. An integrated downspout/gutter system which is painted to match the building would comply with the condition. This condition shall be completed under the direction of the Planning Division.
 7. Development shall comply with all requirements of the Westside Urban Plans applicable to live/work units and applicable condominium standards. [Land Use Matrix of approved uses; Exhibit D]
 8. Prior to issuance of grading permits, developer shall identify to the Development Services Director a construction relations officer to act as a community liaison concerning on-site activity, including resolution of issues related to dust generation from grading/paving activities.
 9. Prior to issuance of grading permits, developer shall submit for review and approval a Construction Management Plan. This plan features methods to minimize disruption to the neighboring residential uses to the fullest extent that is reasonable and practicable. The plan shall include construction parking and vehicle access and specifying staging areas and delivery and hauling truck routes. The plan should mitigate disruption to residents and also businesses during construction.

The truck route plan shall preclude truck routes through residential areas and major truck traffic during peak hours. The total truck trips to the site shall not exceed 200 trucks per day (i.e., 100 truck trips to the site plus 100 truck trips from the site) unless approved by the Development Services Director or Transportation Services Manager.

10. If additional fill dirt is needed to provide acceptable on-site storm water flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. Such alternatives may include subsurface tie-in to public storm water facilities, subsurface drainage collection systems and/or sumps

with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties. Applicant is advised that recordation of a drainage easement across the private street may be required to fulfill this requirement.

11. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
12. No modification(s) of the approved floor plans, building elevations including, but not limited to, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process or a variance, or in the requirement to modify the construction to reflect the approved plans.
13. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened upon view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
14. The applicant shall plant appropriately sized (Minimum 15-gallon) street trees in the landscape parkways, Liquidambar 'Palo Alto' or Liquidambar 'Festival' along 17th Street and Eucalyptus ficifolia or Tristania conferta along Superior Avenue, spaced at 30 feet on center, or as determined by the Development Services Director once the determination of parkway size is made. The final landscape concept plan shall indicate the design and material of these areas, and the landscape/hardscape plan shall be approved by the Planning Division prior to issuance of building permits.
15. Prior to issuance of building permits, the building plans shall demonstrate that all units are equipped with a mechanical ventilation system that will properly filter the indoor air. The ventilation system can be a component of the air conditioning system with the distinction being that clean, ventilated air flow does not necessarily need coolant.
16. Applicant shall provide proof of establishment of a homeowners association prior to release of any utilities prior to selling any of the units as condominiums.
17. Provide proof of recordation of VTTM 17639 prior to issuance of building permits.
18. Prior to issuance of building permits, the applicant shall provide the Conditions, Covenants, and Restrictions (CC&Rs) to the Development Services Director and City Attorney's office for review. The CC&Rs must be in a form and substance acceptable to, and shall be approved by the Development Services Director and City Attorney's office.
 - A. The CC&Rs shall contain provisions requiring that the HOA homeowner's association (HOA) effectively manage parking and contract with a towing service to enforce the parking regulations and shall contain restrictions prohibiting parking in the driveway and in front of garage doors.
 - B. The CC&Rs shall also contain provisions related to night-time lighting and active use of the common areas and the rooftop terrace areas. These provisions shall prohibit amplified noise, loud parties/gatherings, night-time lighting other than for security purposes, or any other activities that may be disruptive to the quiet enjoyment of neighboring properties after sunset.

C. The CC&Rs shall also contain provisions related to preservation and maintenance of the common lot and common open space areas in perpetuity by the homeowner's association. The CC&Rs shall also contain the buyer's notice (described in Condition No. 24) as an exhibit.

D. The 49-unit project requires 74 open spaces and 74 covered parking spaces. A total of 49 open parking spaces are provided on-site and 98 covered parking spaces are provided in two-car garages. The CC&Rs shall include a provision for common use of all unassigned parking spaces throughout the 49-unit live/work development.

E. The CC&Rs shall include a provision requiring that the ground floor work space be maintained per plan and not converted to a bedroom. Permitted commercial/business activity in the live/work units shall be limited to those uses that generate no to minimal customer traffic, do not involve more than one customer/client at a time, do not involve more than 8 customers per day, and do not involve employees which do not reside in the live/work unit.

Any subsequent revisions to the CC&Rs related to these provisions must be reviewed and approved by the City Attorney's office and the Development Services Director before they become effective.

19. Open parking spaces shall be designated as unreserved, available, open visitor / guest parking for the project site. Signage will be posted to indicate that these spaces are available to all visitors.
20. All units are required to maintain a two-car garage. Residents shall park vehicles in garage spaces. Storage of other items may occur only to the extent that vehicles may still be parked within the require garage spaces.
21. Design, grading, and construction shall be performed in accordance with the requirements of the California Building Code applicable at the time of grading as well as the appropriate local grading regulations, and the recommendations of the project geotechnical consultant as summarized in a final written report, subject to review by the City of Costa Mesa Building official prior to issuance of grading permits.
22. Prior to issuance of building permits, developer shall contact the U.S. Postal Service with regard to location and design of mail delivery facilities. Such facilities shall be shown on the site plan, landscape plan, and/or floor plan.
23. If the project is constructed in phases, the perimeter wall, landscaping along the frontages, and irrigation shall be installed prior to completion of the first phase.
24. To avoid an alley-like appearance, the private street shall not be entirely paved with asphalt nor be developed with a center concrete swale. The private street shall be complemented by stamped concrete or pervious pavers. The final landscape concept plan shall indicate the landscape palette and the design/material of paved areas, and the landscape/hardscape plan shall be approved by the Planning Division prior to issuance of building permits.
25. Prior to the issuance of Building Permits, the Applicant shall submit a Lighting Plan and Photometric Study for the approval of the City's Development Services Department. The Lighting Plan shall demonstrate compliance with the following:
 - The mounting height of lights on light standards shall not exceed 18 feet in any location on the Project site unless approved by the Development Services Director.
 - The intensity and location of lights on buildings shall be subject to the Development Services Director's approval.
 - All site lighting fixtures shall be provided with a flat glass lens. Photometric calculations shall indicate the effect of the flat glass lens fixture efficiency.

- Lighting design and layout shall limit spill light to no more than 0.5 footcandle at the property line of the surrounding neighbors, consistent with the level of lighting that is deemed necessary for safety and security purposes on site.
 - Glare shields may be required for select light standards.
26. A "Notice to Buyers" shall disclose that the project is located within an area designated as Light Industry in the City of Costa Mesa General Plan and is subject to existing and potential annoyances or inconveniences associated with industrial land uses. The Notice shall disclose the existing surrounding industrial land uses, including but not limited to, operational characteristics such as hours of operation, delivery schedules, outdoor activities, and noise and odor generation. In addition, the Notice shall state that the existing land use characteristics are subject to change in the event that new businesses move or existing businesses change ownership. The Buyer's Notice shall be reviewed/approved by the City Attorney's office and Development Services Director prior to recordation. The Buyer's Notice shall serve as written notice of the then existing noise environment and any odor generating uses within the mixed-use development and within a 500-foot radius of the mixed use development, as measured from the legal property lines of the development lot. The Buyer's Notice shall be remitted to any prospective purchaser or tenant at least 15 days prior to close of escrow, or within three days of the execution of a real estate sales contract or rental/lease agreement, whichever is longer. The Buyer's Notice shall also indicate that business operations in the live/work units shall be consistent with the land use matrix of the Mesa West Bluffs Urban Plan subject to zoning authorization and obtaining a business license.
 27. Developer shall market and offer these units as live/work units to potential buyers.
 28. The end parking stalls adjacent to a building shall be provided with a two-foot clearance from the building.
 29. In the event that archeological resources are archaeological materials are encountered during grading and construction, all construction activities shall be temporarily halted or redirected to permit the sampling, identification, and evaluation of archaeological materials as determined by the City, who shall establish, in cooperation with the project applicant and a certified archaeologist, the appropriate procedures for exploration and/or salvage of the artifacts.
 30. In the event that paleontological resources are encountered during grading and construction operations, all construction activities shall be temporarily halted or redirected to permit a qualified paleontologist to assess the find for significance and, if necessary, develop a PRIMP for the review and approval by the City prior to resuming excavation activities.
 31. If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to Public Resources Code Section 5097.98. The County Coroner must be notified of the find immediately. If the remains are determined to be prehistoric, the Coroner will notify the Native American Heritage Commission (NAHC), which will determine and notify a Most Likely Descendant (MLD). With the permission of the landowner or his/her authorized representative, the MLD may inspect the site of the discovery. The MLD shall complete the inspection within 24 hours of notification by the NAHC. The MLD may recommend scientific removal and nondestructive analysis of human remains and items associated with Native American burials.
 32. The proposed project would be subject to all applicable regulations of the City's

General Plan, zoning ordinance, and all requirements and enactments of Federal, County, City authorities, and any other governmental entities, and all such requirements and enactments would, by reference, become conditions of project implementation

- Eng. 33. All construction contractors shall comply with South Coast Air Quality Management District (SCAQMD) regulations, including Rule 403, Fugitive Dust. All grading (regardless of acreage) shall apply best available control measures for fugitive dust in accordance with Rule 403. To ensure that the project is in full compliance with applicable SCAQMD dust regulations and that there is no nuisance impact off the site, the contractor would implement each of the following:
- a. Moisten soil not more than 15 minutes prior to moving soil or conduct whatever watering is necessary to prevent visible dust emissions from exceeding 100 feet in any direction.
 - b. Apply chemical stabilizers to disturbed surface areas (completed grading areas) within five days of completing grading or apply dust suppressants or vegetation sufficient to maintain a stabilized surface.
 - c. Water excavated soil piles hourly or covered with temporary coverings.
 - d. Water exposed surfaces at least twice a day under calm conditions. Water as often as needed on windy days when winds are less than 25 miles per day or during very dry weather in order to maintain a surface crust and prevent the release of visible emissions from the construction site.
 - e. Wash mud-covered tires and under-carriages of trucks leaving construction sites.
 - f. Provide for street sweeping, as needed, on adjacent roadways to remove dirt dropped by construction vehicles or mud which would otherwise be carried off by trucks departing project sites.
 - g. Securely cover loads with a tight fitting tarp on any truck leaving the construction sites to dispose of debris.
 - h. Cease grading during period when winds exceed 25 miles per hour.
34. Construction of structural BMPs as required by the NPDES Stormwater Permit issued to the project site by the County of Orange/City of Costa Mesa to capture urban runoff contaminants from developed areas prior to discharge to on-site storm drain facilities.
35. Prior to issuance of grading permits, the applicant shall develop a Storm Water Pollution Prevention Plan (SWPPP) that contains structural and non-structural BMPs that comply with NPDES Program requirements. BMPs shall be implemented as required by the NPDES Permit issued to the site.
36. Prior to issuance of a grading permit, the applicant shall obtain an NPDES Permit from the County of Orange. Applicable BMP provisions shall be incorporated into the NPDES Permit.
37. The Project shall comply with the NPDES requirements, as follows:
- Construction General Permit Notice of Intent (NOI) Design: Prior to the issuance of preliminary or precise grading permits, the project applicant shall provide the City Engineer with evidence that an NOI has been filed with the Storm Water Resources Control Board (SWRCB). Such evidence shall consist of a copy of the NOI stamped by the SWRCB or Regional Water Quality Control Board (RWQCB), or a letter from either agency stating that the NOI has been filed.

- Construction Phase Storm Water Pollution Prevention Plan (SWPPP): Prior to the issuance of grading permits, the applicant shall prepare a SWPPP that complies with the Construction General Permit and will include at a minimum the following: a) Discuss in detail the BMPs planned for the project related to control of sediment and erosion, nonsediment pollutants, and potential pollutants in non-storm water discharges; and b) Describe post-construction BMPs for the project;
 - Explain the maintenance program for the project's BMPs;
 - List the parties responsible for SWPPP implementation and BMP maintenance during and after grading. The Project Applicant shall implement the SWPPP and modify the SWPPP as directed by the Construction General Permit.
38. In order to comply with the 2003 DAMP, the proposed Project shall prepare a Storm Drain Plan, Stormwater Pollution Prevention Plan (SWPPP), and Water Quality Management Plan (WQMP) conforming to the current National Pollution Discharge Elimination System (NPDES) requirements, prepared by a Licensed Civil Engineer or Environmental Engineer, which shall be submitted to the Department of Public Works for review and approval.
- The SWPPP shall be prepared and updated as needed during the course of construction to satisfy the requirements of each phase of development.
 - The plan shall incorporate all necessary Best Management Practices (BMPs) and other City requirements to eliminate polluted runoff until all construction work for the project is completed. The SWPPP shall include treatment and disposal of all dewatering operation flows and for nuisance flows during construction.
 - A WQMP shall be maintained updated as needed to satisfy the requirements of the adopted NPDES program. The plan shall ensure that the existing water quality measures for all improved phases of the project are adhered to.
 - Location of the BMPs shall not be within the public right-of-way.
39. Should dewatering be required for the discharge of perched groundwater during excavation for site improvements, the applicant shall acquire either a National Pollutant Discharge Elimination System (NPDES) permit for the discharge of wastes to surface waters or a Waste Discharge Requirements (WDR) permit for the discharge of wastes to land, as required, from the Santa Ana Regional Water Quality Control Board and provide evidence of permit issuance to the Costa Mesa Building Safety Division prior to initiating any such discharge.
- Bldg. 40. Prior to the issuance of Grading Permits, the Project Applicant shall provide the City of Costa Mesa Department of Building Safety with a geotechnical investigation of the project site detailing recommendations for remedial grading in order to reduce the potential of on-site soils to cause unstable conditions. Design, grading, and construction shall be performed in accordance with the requirements of the California Building Code applicable at the time of grading, appropriate local grading regulations, and the recommendations of the geotechnical consultant as summarized in a final written report, subject to review by the City of Costa Mesa Department of Building Safety.
41. Submit grading plans including a hydrology report and soils report.
42. Submit a soils report for this project. Soil's Report recommendations shall be blueprinted on both the architectural and grading plans. Soils report shall address how the new slop shall be maintained to avoid any future failure.
43. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise

a minimum of 12 inches plus 2 percent. 2010 California Building Code CBC 1808.7.4.

44. The ground immediately adjacent to the foundation shall be sloped away from the building at a slope of not less than 5% for a minimum of 10 ft. measured perpendicular to the face of the wall. CBC 1803.3.
45. Lots shall be graded to drain surface water away from foundation walls. The grade shall be a minimum of six inches within the first 10 feet -2010 California Residential Code sec. R401.3.
46. Show compliance with the requirements of 2010 California Building Code Chapter 11A, 11 B and Section 1101B.6.
47. Compliance with California Building Code provisions and standard subdivision engineering requirements, as specified in the City's conditions of approval will satisfactorily address geotechnical issues related to seismic hazards.
48. The proposed development shall be designed to comply with all applicable geological and seismic safety requirements of the California Building Code and mitigation as defined in the Public Resources Code Section 2693(c). Verification of such compliance will be confirmed during the City's plan review and building permit issuance processes.
49. Grading and foundation plans, including foundation loads, shall be reviewed by a registered soils engineer, and approved by the City of Costa Mesa Building Safety Division.
50. All grading shall be accomplished under the observation and testing of the project geotechnical engineer, the engineering geologist and their representatives.
- Trans. 51. The applicant shall meet with Transportation Services to discuss on-site circulation for Tract Number 17639.
52. Prior to issuance of Building Permits, dedicate all land 42 feet from the centerline of W. 17th St. for an additional 12 feet for an eastbound right turn lane.
53. Prior to issuance of a certificate of occupancy or final building permit inspection, the applicant or successor in interest shall construct an eastbound right turn lane on W. 17th Street. Utilities shall be relocated as necessary.
54. Excess public right-of-way exists on Superior Ave. that may be vacated by the City. Submit a written request to the City Engineer and pay appropriate fees to process the vacation of the excess right-of-way.
55. Prior to issuance of permits, the site plan shall be revised to reflect the dedication on W. 17th St. and the vacation of right-of-way on Superior Ave
56. Drive aisle widths of 25' shall be provided per City parking standards.
57. The applicant shall construct Type II drive approaches at approved locations.
58. The applicant shall furnish and install one H.P.S.V. street light on marbelite pole on W. 17th Street.
59. The applicant shall contact Southern California Edison and meet their underground service requirements.
60. The applicant shall relocate all traffic signal equipment on the southwest corner of the intersection of W. 17th St. and Superior Ave.
61. The applicant shall submit signal modification plan, signing, and striping plan for the intersection of W. 17th St. and Superior Ave. to relocate all traffic signal equipment from the southwest corner for the intersection.
62. The Tract shall be developed in full compliance with the State Map Act and the City of Costa Mesa Municipal Code (C.C.M.M.C.), except as authorized by the

- Costa Mesa City Council and/or Planning Commission. The attention of the Subdivider and his engineer is directed to Section 13-208 through 13-261 inclusive, of the Municipal Code.
63. The Subdivider shall conduct soil investigations and provide the results to the City of Costa Mesa Engineering and Building Divisions pursuant to Ordinance 97-11.
 64. Two copies of the Final Tract Map shall be submitted to the Engineering Division for checking. Map check fee shall be paid per C.C.M.M.C. Section 13-231.
 65. A current copy of the title search shall be submitted to the Engineering Division with the first submittal of the Final Tract Map.
 66. Prior to recordation of a Final Tract Map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor in a manner described in Subarticle 12, Section 7-9-337 of the Orange County Subdivision Code.
 67. Prior to recordation of a Final Tract Map, the surveyor/engineer preparing the map shall submit to the County Surveyor a digital-graphics file of said map in a manner described in Subarticle 12, Section 7-9-337 of the Orange County Subdivision Code.
 68. Survey monuments shall be preserved and referenced before construction and replaced after construction, pursuant to Section 8771 of the Business and Profession Code.
 69. The elevations shown on all plans shall be on Orange County benchmark datum.
 70. Prior to recordation of a Final Tract Map, submit required cash deposit or surety bond to guarantee monumentation. Deposit amount to be determined by the City Engineer.
 71. Prior to occupancy on the Tract, the surveyor/engineer shall submit to the City Engineer a Digital Graphic File, reproducible mylar of the recorded Tract Map, and approved off-site plan and nine copies of the recorded Tract Map.
 72. Dedicate an ingress/egress easement to the City for emergency and public security vehicles purposes only. Maintenance of easement shall be the sole responsibility of a Homeowners Association formed to conform to Section 13-41 (e) of the C.C.M.M.C.
 73. Vehicular and pedestrian access rights to Superior Avenue and West 17th Street shall be released and relinquished to the City of Costa Mesa except at approved access locations.
 74. The Subdivider's engineers shall furnish the Engineering Division a storm runoff study showing existing and proposed facilities and the method of draining this area and tributary areas without exceeding the capacity of any street or drainage facility on-site or off-site. This study to be furnished with the first submittal of the Final Tract Map. Cross lot drainage shall not occur.
 75. Construct storm drain facilities per City of Costa Mesa Master Drainage Plan on Superior Avenue and drain the entire site storm runoff directly to the existing storm drain line on Superior Avenue.
 76. Ownership and maintenance of private on-site drainage facilities and parkway culverts and other common areas shall be transferred by the owner to the Homeowner Association to be formed pursuant to C.C.M.M.C. Section 13-41 (e) and said association shall indemnify and hold harmless the City for any liability arising out of or in any way associated with the connection of the private drainage system with the City's drainage system and shall execute and deliver to the City the standard (indemnity) Hold Harmless Agreement required for such conditions prior to issuance of permits.

77. Fulfill City of Costa Mesa Drainage Ordinance No. 06-19 requirements prior to approval of plans.
78. Sewer improvements shall meet the approval of the Costa Mesa Sanitary District; call (949) 631-1731 for information. Water system improvements shall meet the approval of Mesa Consolidated Water District; call (949) 631-1200 for information.
79. Dedicate easements as needed for public utilities.
80. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Cross lot drainage shall not occur. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-29(2)(b) of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
81. A Construction Access Permit and deposit of \$1230 will be required by City of Costa Mesa, Engineering Division prior to start of any on-site work, necessary during construction for street sweeping and to guarantee replacement costs in case of damage to existing public improvements.
- Eng. 82. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
83. Submit required cash deposit or surety bond to guarantee construction of off-site street improvements at time of permit per Section 15-32, C.C.M.M.C. and as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.
84. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. sidewalk per City of Costa Mesa Standards as shown on the Offsite Plan, including four (4) feet clear around obstructions in the sidewalk.
85. Applicant/Developer is hereby advised that no removal of trees from the public right-of-way will be permitted without specific approval from the Parks and Recreation Commission and compliance with mitigation measures as determined by the Commission to relocate the trees and/or to compensate the City for the loss of trees from the public right-of-way. Conditions of the Commission must be incorporated onto the plans prior to plan approval. The approval process may take up to three months, therefore, the applicant/developer is advised to identify all trees affected by the proposed project and make a timely application to the Parks and Recreation Commission to avoid possible delays.
86. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approaches per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager. ADA compliance required for all new driveway approaches.
87. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb and sidewalk.
88. Dedicate street and highway easement to the City of Costa Mesa on West 17th Street to its ultimate width per City of Costa Mesa Master Plan of Highways and fully improve West 17th Street to its ultimate width per City of Costa Mesa Standards.

89. Provide preliminary utility plans to the City prior to any final design and underground utility poles adjacent to the property. The location of all new poles shall be first approved by the City.
90. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then reconstruct Wheelchair Ramp on the corner of West 17th Street and Superior Avenue due to the street widening.
- Fire 91. A Fire Alarm system with public address capabilities shall be required.
92. The final master plan for development of the Project site shall provide sufficient capacity for fire flows required by the City of Costa Mesa Fire Department.
93. All buildings will require a Combined Fire Sprinkler and Standpipe system. All stairs will be equipped with class I standpipes.
94. Vehicular access shall be provided and maintained serviceable throughout construction to all required fire hydrants.
95. Vehicular access must be provided and maintained serviceable throughout construction to all required fire hydrants. Additional fire hydrants must be provided in the alley serving the interior units subject to approval by Fire Prevention Division.
96. Prior to the issuance of a Building Permit, the City of Costa Mesa Fire Department shall review and approve the developer's Project design features to assess compliance with the California Building Code and California Fire Code. Fire staff shall examine the projected demands of the proposed Project and make recommendations to ensure that adequate personnel/resources will be available to meet projected demand. Recommendations of the study shall be implemented to the satisfaction of the Fire Department to ensure that emergency response impacts are minimized to below a level of significance.
97. The Project shall provide approved smoke detectors to be installed in accordance with the 2010 Edition of the Uniform Fire Code.
98. The Project shall provide fire extinguishers with a minimum rating of 2A to be located within 75 feet of travel distance from all areas. Extinguishers may be of a type rated 2A, 10BC as these extinguishers are suitable for all types of fires and are less expensive.
99. The Project shall provide an automatic fire sprinkler system according to NFPA 13 R.
100. The Project shall provide a fire alarm system.
101. The Project shall provide individual numeric signage for proposed residences with minimum 6 inches height.
- Utilities 102. Prior to the issuance of a connection permit, the applicant shall pay the applicable water connection fees.
103. Prior to issuance of building permits, a letter shall be obtained from the Costa Mesa Sanitary District and the Orange County Sanitation District verifying that there is sufficient capacity in the receiving trunk lines to serve the project.
104. The applicant shall comply with guidelines provided by Southern California Edison Company with respect to easement restrictions, construction guidelines, and potential amendments to right-of-way in the areas of any existing Southern California Edison Company easements.
105. The applicant shall submit plans for review by the Mesa Water District. The applicant shall obtain a letter of approval and letter of project completion from the Mesa Water District.
106. Prior to the issuance of building permits, the project applicant shall pay the applicable connection fees charged to new development by the Mesa Consolidated Water District.

CODE REQUIREMENTS (Master Plan PA-13-22)

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- PIng.
1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
 2. Approval of the planning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by obtaining building permits for the authorized construction and initiates construction. If the applicant is unable to establish the use/obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the planning application.
 3. Trash enclosure or other acceptable means of trash disposal shall be provided. Design of trash enclosure(s) shall conform to City standards. Standard drawings are available from the Planning Division.
 4. All on-site utility services shall be installed underground.
 5. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
 6. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
 7. Two (2) sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
 8. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
 9. Two (2) sets of landscape and irrigation plans, approved by the Planning Division, shall be attached to two of the final building plan sets.
 10. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
 11. During construction, the contractor shall ensure that construction activity complies with the City's Noise Ordinance. Exceptions may be made for activities that will not generate noise audible from off-site, such as painting and other quiet indoor work.
 12. Prior to issuance of occupancy permits, the Developer shall pay a park impact fee or dedicate parkland to meet the demands of the proposed development. The current park impact fee is calculated at \$13,829 per new multi-family dwelling unit.
- Bldg.
13. Comply with the requirements of the 2010 California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, and 2010 California Energy Code (or the applicable adopted California Residential Code, California Electrical Code, California Mechanical Code California Plumbing Code, and California Energy Code at the time of plan submittal) and

California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.

14. The applicant shall contact the Southern California Air Quality Management District (SCAQMD) at 800-288-7664 for potential additional conditions of development or required permits by SCAQMD.
15. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
16. Submit grading plans, an erosion control plan and a hydrology study.
17. Submit a soils report for this project. Soil's Report recommendations shall be printed on both the architectural and grading plans.
18. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus 2 percent. 2010 California Building Code CBC 1808.7.4

The ground immediately adjacent to the foundation shall be sloped away from the building at a slope of not less than 5% for a minimum of 10 ft. measured perpendicular to the face of the wall. CBC 1803.3

19. Show on plans compliance with Chapter 11A and 11B of the 2010 California Building Code
20. During demolition, grading, and excavation, workers shall comply with the requirements of Title 8 of the California Code of Regulations, Section 1529, which provides for exposure limits, exposure monitoring, respiratory protection, and good working practices by workers exposed to asbestos. Asbestos-contaminated debris and other wastes shall be managed and disposed of in accordance with the applicable provision of the California Health and Safety Code.

Eng. 21. During demolition, grading, and excavation, workers shall comply with the requirements of Title 8 of the California Code of Regulations, Section 1532.1, which provides for exposure limits, exposure monitoring, respiratory protection, and good working practice by workers exposed to lead. Lead-contaminated debris and other wastes shall be managed and disposed of in accordance with the applicable provision of the California Health and Safety Code.

22. Prior to approval of Plans, the project shall fulfill the City of Costa Mesa Drainage Ordinance No. 06-19 requirements.

Fire 23. Street addresses shall be visible from the public street and may be displayed either on the front door, on the fascia adjacent to the main entrance, or on another prominent location. When the property has alley access, address numerals shall be displayed in a prominent location visible from the alley. Numerals shall be a minimum six (6) inches in height with not less than one-half-inch stroke and shall contrast sharply with the background.

SPECIAL DISTRICT REQUIREMENTS (Master Plan PA-13-22)

The requirements of the following special districts are hereby forwarded to the applicant:

- | | |
|--------|---|
| Sani | <ol style="list-style-type: none">1. Applicant will be required to construct sewers to serve this project, at his own expense, meeting the approval of the Costa Mesa Sanitary District.2. County Sanitation District fees, fixture fees, inspection fees, and sewer permit are required prior to installation of sewer. To receive credit for buildings to be demolished, call (714) 754-5307.3. Applicant shall submit a plan showing sewer improvements that meets the District Engineer's approval to the Building Division as part of the plans submitted for plan check.4. The applicant is required to contact the Costa Mesa Sanitary District at (714) 754-5307 to arrange final sign-off prior to certificate of occupancy being released.5. Unless an off-site trash hauler is being used, applicant shall contact the Costa Mesa Sanitary District at (714) 754-5043 to pay trash collection program fees and arrange for service for all new residences. Residences using bin or dumpster services are exempt from this requirement.6. Applicant shall contact Costa Mesa Sanitary District at (949) 654-8400 for any additional district requirements. |
| AQMD | <ol style="list-style-type: none">7. Applicant shall contact Costa Mesa Sanitary District at (949) 654-8400 for any additional district requirements. |
| School | <ol style="list-style-type: none">8. Pay applicable Newport Mesa Unified School District fees to the Building Division prior is issuance of building permits.9. Prior to issuance of a building permit, the project applicant shall pay developer fees to the Newport-Mesa Unified School District pursuant to the requirements established in SB 50. The amount of fees to be paid will be determined based on the established State formula for determining construction costs. |
| State | <ol style="list-style-type: none">10. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information. |

"EXHIBIT C"

MITIGATION MONITORING PROGRAM (PA-13-22, VTTM 17639)

AIR QUALITY

AQ-1 Prior to issuance of Building Permits, the Building Plans shall demonstrate that all residences are equipped with a mechanical ventilation system that will properly filter the indoor air. The ventilation system can be a component of the air conditioning system, with the distinction being that clean, ventilated air flow does not necessarily need coolant. The ventilation system shall be effective with all doors and windows closed. Additionally, the ventilation system shall have a filtration efficiency of at least 90 percent and the ability to remove particulate matter with diameters equal to or greater than 0.5 micron.

HAZARDS AND HAZARDOUS MATERIALS

HAZ-1 Site mitigation engineering controls, such as a Liquid Boot® barrier, shall be installed at the Project site in order to prevent vapor intrusion into proposed structures.

HAZ-2 Prior to demolition and/or rehabilitation activities, an asbestos survey shall be conducted by an Asbestos Hazard Emergency Response Act (AHERA) and Cal OSHA certified building inspector to determine the presence or absence of asbestos containing-materials (ACMs). If ACMs are located, abatement of asbestos shall be completed prior to any activities that would disturb ACMs or create an airborne asbestos hazard. Asbestos removal shall be performed by a State certified asbestos containment contractor in consultation with the Costa Mesa Fire Department and in accordance with the South Coast Air Quality Management District (SCAQMD) Rule 1403.

HAZ-3 If paint is separated from building materials (chemically or physically) during demolition of the structures, the paint waste shall be evaluated independently from the building material by a qualified Environmental Professional. If lead-based paint is found, abatement shall be completed by a qualified Lead Specialist prior to any activities that would create lead dust or fume hazard. Lead-based paint removal and disposal shall be performed in accordance with California Code of Regulation Title 8, Section 1532.1, which specifies exposure limits, exposure monitoring and respiratory protection, and mandates good worker practices by workers exposed to lead. Contractors performing lead-based paint removal shall provide evidence of abatement activities to the City Project Engineer.

HAZ-4 Prior to grading/excavation activities, an environmental consultant with Phase II/site characterization experience shall review available documentation and files for on- and off-site properties and prepare a worker safety plan, for approval by the City Project Engineer, in order to ensure construction worker safety during grading/excavation activities.

HAZ-5 If unknown or suspect materials are discovered during construction by the contractor that are believed to involve hazardous wastes or materials, the contractor shall:

- Immediately stop work in the vicinity of the suspected contaminant, removing workers and the public from the area;
- Notify the City Engineer and Costa Mesa Fire Department;
- Secure the area(s) in question; and
- Implement required corrective actions, including remediation if applicable.

NOISE

NOI-1 For Project residential areas immediately adjacent to West 17th Street and Superior Avenue (i.e., along the roadway or with a direct line of sight), all exterior walls and floor ceiling assemblies (unless within a unit) shall be constructed with double paned glass or an equivalent windows in a manner to provide an airborne sound insulation system achieving a minimum Sound Transmission Class of 33. The Applicant, as an alternative, may retain a qualified acoustical consultant whom shall submit a report for an alternative means of sound insulation satisfactory to the City of Costa Mesa which achieves a maximum interior noise level of 45 CNEL.

"EXHIBIT D"
Permitted Uses

LAND USE MATRIX	
49-unit Live/Work Development at 643-651 W. 17th Street and 1677-1695 Superior Avenue	
P= Permitted Uses	
LIVE/WORK UNITS	
• Artists, craftspersons, sculpture studios (woodworking, furniture restoration, painting, ceramics, etc.)	P
• Barber and beauty shops	P
• Catering	P
• Commercial art, graphic design, website designers	P
• Computer and data processing	P
• Legal, Engineering; Architectural; and Surveying services	P
• Offices: Professional, central admin., general, bookkeeping and data	P
• Offices: medical office with sole practitioner	P
• Photography Studio	P
• One-on-one Studio Use: Sole Practitioner for Dance; Martial arts; Music, Yoga,	P
• Specialty Retail; Customers by appointment.	P
<p>NOTES: All businesses subject to zoning approval to ensure adequacy in parking and compatibility with a residential environment. All other uses not specified in this table are either prohibited or may require a Conditional Use Permit, as deemed by the Development Services Director.</p>	

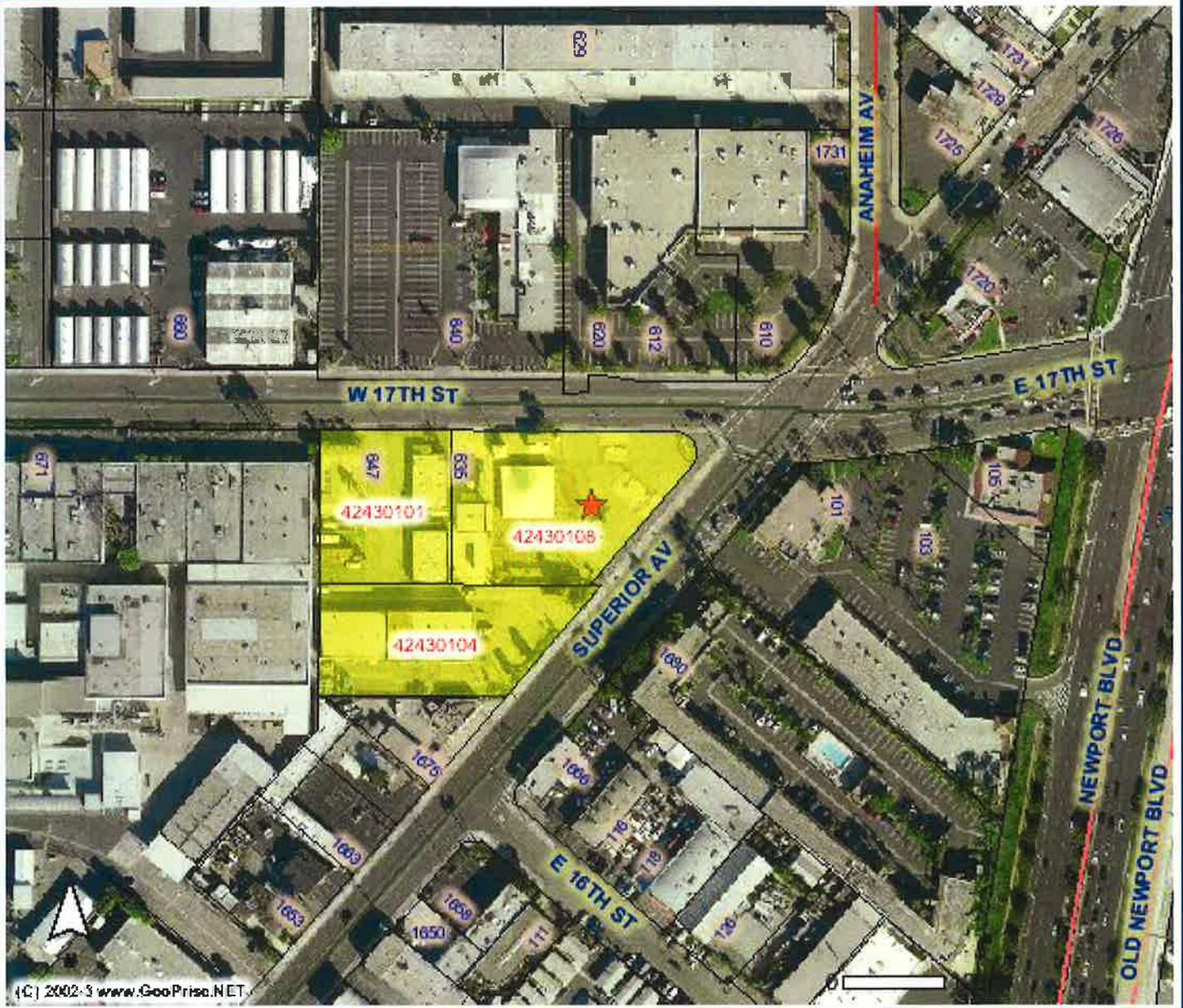
Overview Map



Legend

- | | | | | | | | | |
|----------------|--|------------------|--|---------------|--|---------------------|--|--------------------------------------|
| Address Small | | Freeway Roads | | Freeway Major | | Newport BLVD (cont) | | Primary SECONDARY Hydrology Channels |
| Address Points | | Collector (cont) | | | | | | |

Map Display



(C) 2002-3 www.GeoPrise.NET

643-651 W. 17th STREET & 1677 SUPERIOR AVENUE MASTER PLAN

VESTING TENTATIVE TRACT NO. 17639 FOR CONDOMINIUM PURPOSES CITY COSTA MESA, STATE OF CALIFORNIA



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION

APN 424-301-01
THIS LEGAL DESCRIPTION IS FROM COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY UNDER ORDER NO. NCS-578123-SA1 DATED JANUARY 10, 2013, AND AMENDED MAY 7, 2013. NO RESPONSIBILITY IS ASSUMED AS TO THE ACCURACY AND COMPLETENESS OF SAID REPORT.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
THE WEST 156 FEET OF THE FOLLOWING DESCRIBED LAND:
THAT PORTION OF LOT 409 OF "NEWPORT MESA TRACT", AS SHOWN ON A MAP RECORDED IN BOOK 5, PAGE 1, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT, BEING THE INTERSECTION OF THE CENTER LINES OF SEVENTEENTH STREET AND NEWPORT ROAD AS SHOWN ON SAID MAP, AND RUNNING THENCE WEST ALONG THE NORTH LINE OF SAID LOT (SAID NORTH LINE BEING THE CENTER LINE OF A 60.00 FOOT STREET KNOWN AS SEVENTEENTH STREET) 259.10 FEET TO THE NORTHWEST CORNER OF SAID LOT; THENCE SOUTH ALONG THE WEST LINE OF SAID LOT, 213.06 FEET; THENCE EAST PARALLEL WITH THE NORTH LINE OF SAID LOT 378.59 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF SAID LOT (SAID SOUTHEASTERLY LINE BEING THE CENTER LINE OF A 60.00 FOOT STREET KNOWN AS NEWPORT ROAD) 279.25 FEET SOUTHWESTERLY FROM THE POINT OF BEGINNING; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY LINE OF SAID LOT 279.25 FEET TO THE POINT OF BEGINNING.

SAID LAND IS SHOWN ON A LICENSED SURVEY FILED IN BOOK 7, PAGE 16 OF RECORDS OF SURVEYS OF SAID ORANGE COUNTY.

TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN NANCY LEE ANDERSSON, AN UNDIVIDED 1/8TH INTEREST, ROBERT W. CLARK, AN UNDIVIDED 1/8TH INTEREST AND CHRISTINE ELIZABETH MEANS AND EDWARD GLEN MEANS III, TRUSTEES OF THE MEANS FAMILY TRUST ESTABLISHED SEPTEMBER 28, 2004, AN UNDIVIDED 1/8TH INTEREST, SCOTT C. ORSH AS TO AN UNDIVIDED 1/8 INTEREST, SUSAN M. MULLEN AS TO AN UNDIVIDED 1/8 INTEREST AND KATHLEEN M. ORSH, AS TO AN UNDIVIDED 1/4 INTEREST.

APN 424-301-04
THIS LEGAL DESCRIPTION IS FROM COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY UNDER ORDER NO. NCS-578281-SA1 DATED JANUARY 10, 2013. NO RESPONSIBILITY IS ASSUMED AS TO THE ACCURACY AND COMPLETENESS OF SAID REPORT.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
A PORTION OF LOT 409, NEWPORT MESA TRACT AS PER MAP RECORDED IN BOOK 5, PAGE 1 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY, CALIFORNIA, DESCRIBED AS: BEGINNING AT A POINT IN THE WESTERLY LINE OF SAID LAND AT A POINT 183.08 FEET SOUTHERLY OF THE NORTHWEST CORNER THEREOF AND RUNNING THENCE SOUTH ALONG SAID WESTERLY LINE 135.25 FEET TO A POINT; THENCE EAST PARALLEL WITH THE NORTHERLY LINE OF SAID LAND 265.38 FEET MORE OR LESS TO A POINT IN THE CENTER LINE OF NEWPORT AVENUE; THENCE NORTHEASTERLY ALONG THE CENTER LINE OF NEWPORT AVENUE, 178.56 FEET MORE OR LESS TO THE EASTERLY EXTENSION OF THE SOUTHERLY LINE OF A PARCEL OF LAND CONVEYED TO OLIVE M. KINLEY BY DEED DATED 4/9/23 RECORDED IN BOOK 464-132 OF DEEDS OF ORANGE COUNTY; THENCE WEST ALONG SAID SOUTHERLY LINE OF SAID PARCEL AND THE EXTENSION THEREOF 378.85 FEET MORE OR LESS TO THE POINT OF BEGINNING.
EXCEPTING THEREFROM THAT PORTION INCLUDED WITHIN NEWPORT AVENUE.

- GENERAL NOTES**
- SITE ADDRESS: 643-651 W. 17th STREET COSTA MESA, CA 92627
1677 SUPERIOR AVENUE COSTA MESA, CA 92627
 - ASSESSOR PARCEL: 424-301-01 424-301-08
424-301-04
 - SITE AREA:
NET: 2.5 AC
GROSS: 3.1 AC (TO CL. OF ADJACENT STREETS)
 - EXISTING ZONING: GENERAL INDUSTRIAL
 - PROPOSED ZONING: MIXED-USE DEVELOPMENT PER 19 WEST URBAN PLAN
 - EXISTING LANDUSE: GENERAL INDUSTRIAL
 - PROPOSED LANDUSE: MIXED-USE LIVE/WORK PER 19 WEST URBAN PLAN
 - FLOOD ZONE: NO SPECIAL FLOOD HAZARDS
 - TOTAL NUMBER OF LOTS: 2
 - TOTAL NUMBER OF UNITS: 49
 - PROPOSED DEVELOPMENT:
3 STORY LIVE/WORK CONDOS
147 TOTAL PARKING SPACES INCL. GARAGE SPACES
 - THE UTILITIES SHOWN ON THIS MAP ARE BASED UPON THE BEST AVAILABLE PUBLIC INFORMATION
 - ALL EXISTING STRUCTURES ON SITE SHALL BE REMOVED.

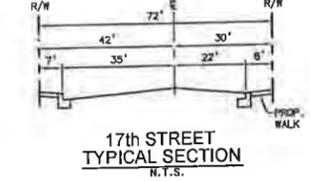
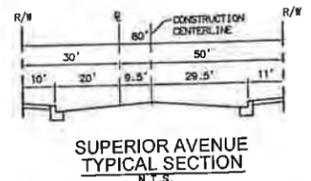
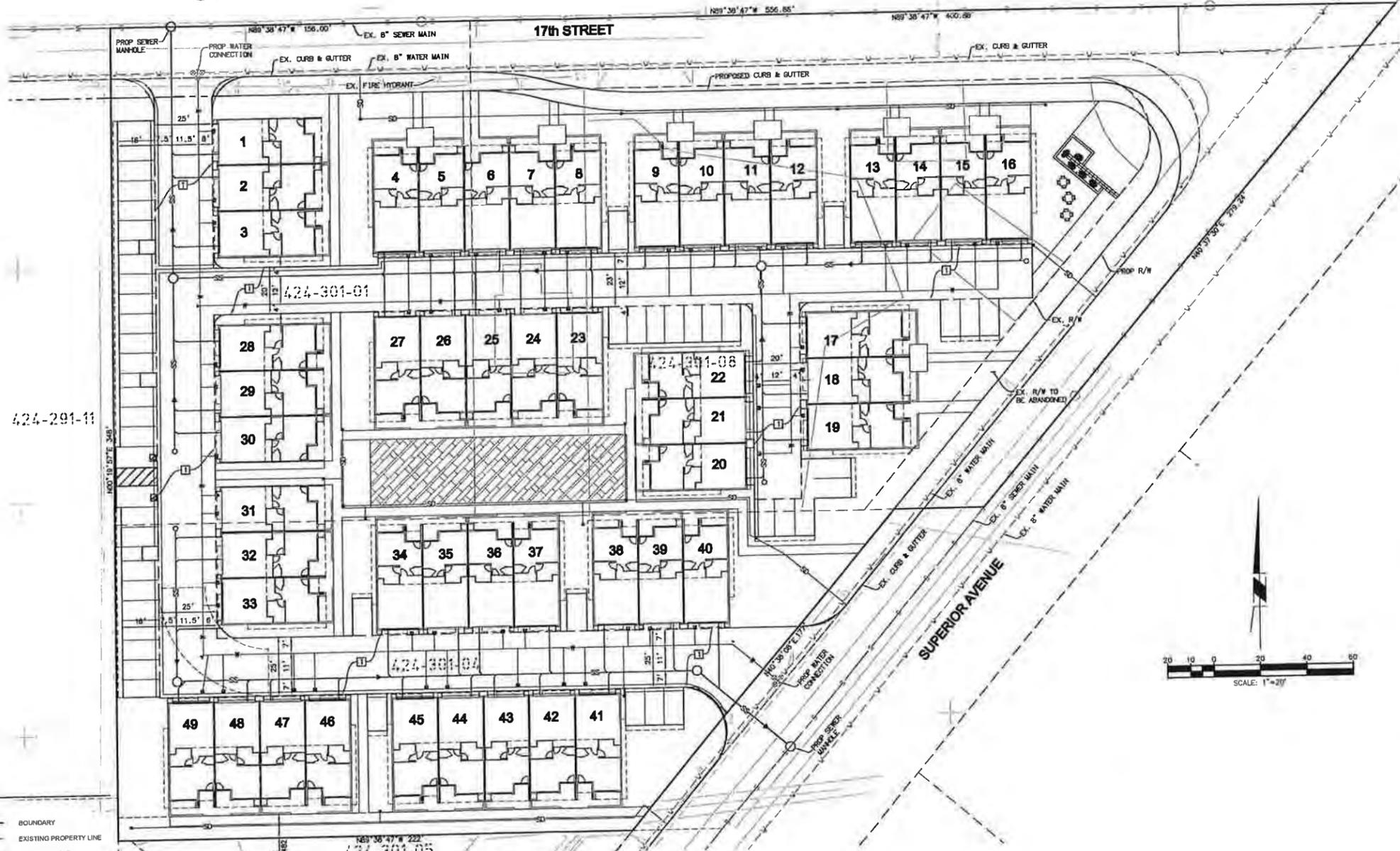
UTILITY COMPANIES/CONTACTS

TELEPHONE	PACIFIC BELL	(800) 310-2155
ELECTRIC	SOUTHERN CALIFORNIA EDISON CO	(800)884-8123
GAS	SOUTHERN CALIFORNIA GAS CO	(800)427-2100
CABLE T.V.	TIME WARNER CABLE	(866)744-1678
SEWER AND TRASH	COSTA MESA SANITARY DISTRICT	(949)845-8400
WATER	MESA CONSOLIDATED WATER	(949) 831-1200

- LEGEND**
- BOUNDARY
 - EXISTING PROPERTY LINE
 - EASEMENT LINE
 - CENTERLINE
 - SS --- EXISTING SEWER
 - SC --- PHASE 1 SEWER
 - SS --- PROPOSED SEWER
 - W --- EXISTING WATER
 - W --- PHASE 1 WATER
 - W --- PROPOSED WATER
 - SD --- EXISTING STORM DRAIN
 - SD --- PHASE 1 STORM DRAIN
 - SD --- PROPOSED STORM DRAIN
 - FH --- PROPOSED FIRE HYDRANT

BASIS OF BEARING
COORDINATES SHOWN HEREON ARE BASED ON THE BEARING BETWEEN U.C.S. HORIZONTAL CONTROL STATION GPS NO. 6255 AND STATION GPS NO. 6283 BEING NORTH 47°46'24" EAST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

DATUM STATEMENT
COORDINATES SHOWN ARE BASED UPON THE CALIFORNIA STATE COORDINATE SYSTEM, ZONE VI, RAD OF 1983 (1991.30 EPOCH). ALL DISTANCES SHOWN ARE GROUND, UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCE MULTIPLY GROUND DISTANCES BY 0.99996843.



PROPOSED EASEMENTS

REVISION
1. EASEMENT FOR THE PURPOSES OF PUBLIC UTILITIES, VEHICLE INGRESS & EGRESS



14728 ALTON PARKWAY
IRVINE, CALIFORNIA 92618-2027
949.472.3505 • FAX 949.472.8373 • www.RBF.com

ENGINEER
RBF CONSULTING
14728 ALTON PARKWAY
IRVINE, CA 92618
PHONE: (949) 472-3505

DEVELOPER
INTRACORP COMPANIES
4041 MACARTHUR BLVD., SUITE 250
NEWPORT BEACH, CA 92650
PHONE: (949) 955-2370

PROJECT ADDRESS
643-651 17th STREET & 1677 SUPERIOR AVENUE
COSTA MESA, CA 92627

MASTER PLAN FOR TTM 17639
CITY OF COSTA MESA CASE NO. X

SHEET
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OF
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643-651 W. 17th STREET & 1677 SUPERIOR AVENUE

VESTING TENTATIVE TRACT NO. 17639

FOR CONDOMINIUM PURPOSES

CITY COSTA MESA, STATE OF CALIFORNIA



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION

APN 424-301-01
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THE WEST 156 FEET OF THE FOLLOWING DESCRIBED LAND:

THAT PORTION OF LOT 409 OF "NEWPORT MESA TRACT", AS SHOWN ON A MAP RECORDED IN BOOK 5, PAGE 1, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT, BEING THE INTERSECTION OF THE CENTER LINES OF SEVENTEENTH STREET AND NEWPORT ROAD AS SHOWN ON SAID MAP, AND RUNNING THENCE WEST ALONG THE NORTH LINE OF SAID LOT (SAID NORTH LINE BEING THE CENTER LINE OF A 60.00 FOOT STREET KNOWN AS SEVENTEENTH STREET) 59.10 FEET TO THE NORTHWEST CORNER OF SAID LOT; THENCE SOUTH ALONG THE WEST LINE OF SAID LOT, 213.06 FEET; THENCE EAST PARALLEL WITH THE NORTH LINE OF SAID LOT, 378.59 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF SAID LOT (SAID SOUTHEASTERLY LINE BEING THE CENTER LINE OF A 60.00 FOOT STREET KNOWN AS NEWPORT ROAD) 279.25 FEET SOUTHWESTERLY FROM THE POINT OF BEGINNING; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY LINE OF SAID LOT 279.25 FEET TO THE POINT OF BEGINNING.

SAID LAND IS SHOWN ON A LICENSED SURVEY FILED IN BOOK 7, PAGE 16 OF RECORDS OF SURVEYS OF SAID ORANGE COUNTY.

TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN NANCY LEE ANDERSSON, AN UNDIVIDED 1/8TH INTEREST, ROBERT W. CLARK, AN UNDIVIDED 1/8TH INTEREST AND CHRISTINE ELIZABETH MEANS AND EDWARD RUDEN MEANS 1/4, TRUSTEES OF THE MEANS FAMILY TRUST ESTABLISHED SEPTEMBER 28, 2004, AN UNDIVIDED 1/8TH INTEREST, SCOTT C. OWEN AS TO AN UNDIVIDED 1/8 INTEREST, SUSAN W. MULLEN AS TO AN UNDIVIDED 1/8 INTEREST AND KATHLEEN M. OWEN, AS TO AN UNDIVIDED 1/4 INTEREST.

APN 424-301-04
THIS LEGAL DESCRIPTION IS FROM COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY UNDER ORDER NO. NCS-578281-SA1 DATED JANUARY 10, 2013. NO RESPONSIBILITY IS ASSUMED AS TO THE ACCURACY AND COMPLETENESS OF SAID REPORT.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

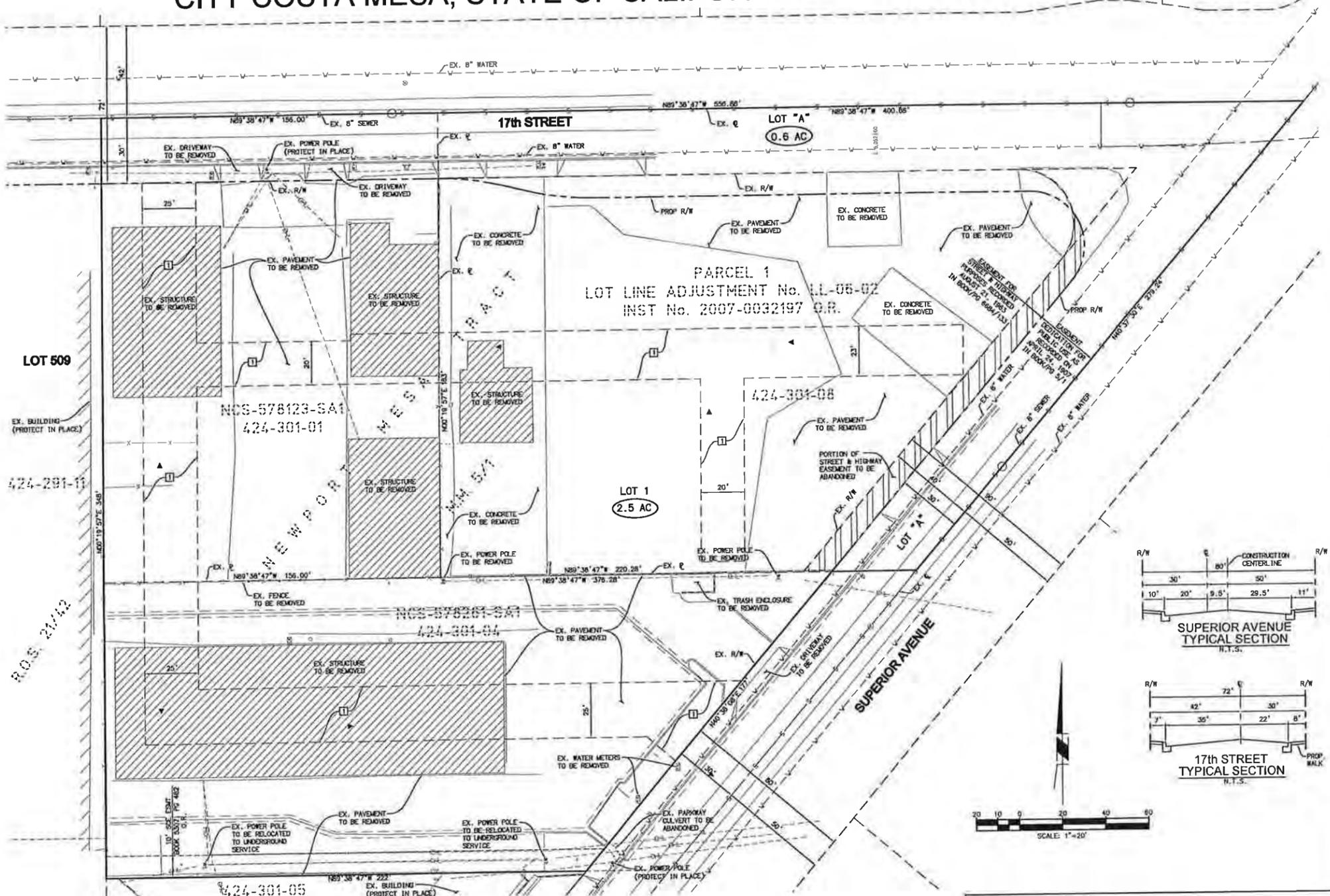
A PORTION OF LOT 409, NEWPORT MESA TRACT AS PER MAP RECORDED IN BOOK 5, PAGE 1 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY, CALIFORNIA, DESCRIBED AS: BEGINNING AT A POINT IN THE WESTERLY LINE OF SAID LAND AT A POINT 153.08 FEET SOUTHERLY OF THE NORTHWEST CORNER THEREOF AND RUNNING THENCE SOUTH ALONG SAID WESTERLY LINE 153.08 FEET TO A POINT; THENCE EAST PARALLEL WITH THE NORTHERLY LINE OF SAID LAND 205.38 FEET MORE OR LESS TO A POINT IN THE CENTER LINE OF NEWPORT AVENUE; THENCE NORTHEASTERLY ALONG THE CENTER LINE OF NEWPORT AVENUE, 178.56 FEET MORE OR LESS TO THE EASTERLY EXTENSION OF THE SOUTHERLY LINE OF A PARCEL OF LAND CONVEYED TO CLIVE W. KINLEY BY DEED DATED 3/9/23 RECORDED IN BOOK 464-132 OF DEEDS OF ORANGE COUNTY; THENCE WEST ALONG SAID SOUTHERLY LINE OF SAID PARCEL AND THE EXTENSION THEREOF 378.85 FEET MORE OR LESS TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PORTION INCLUDED WITHIN NEWPORT AVENUE.

GENERAL NOTES

- SITE ADDRESS: 643-651 W. 17th STREET COSTA MESA, CA 92627
1677 SUPERIOR AVENUE COSTA MESA, CA 92627
- ASSESSOR PARCEL: 424-301-01 424-301-08
424-301-04
 - SITE AREA:
NET: 2.5 AC
GROSS: 3.1 AC (TO CL. OF ADJACENT STREETS)
 - EXISTING ZONING: GENERAL INDUSTRIAL
 - PROPOSED ZONING: MIXED-USE DEVELOPMENT PER 19 WEST URBAN PLAN
 - EXISTING LANDUSE: GENERAL INDUSTRIAL
 - PROPOSED LANDUSE: MIXED-USE LIVE/WORK PER 19 WEST URBAN PLAN
 - FLOOD ZONE: NO SPECIAL FLOOD HAZARDS
 - TOTAL NUMBER OF LOTS: 2
 - TOTAL NUMBER OF UNITS: 49
 - PROPOSED DEVELOPMENT:
3 STORY LIVE/WORK CONDOS
147 TOTAL PARKING SPACES INCL. GARAGE SPACES
 - THE UTILITIES SHOWN ON THIS MAP ARE BASED UPON THE BEST AVAILABLE PUBLIC INFORMATION
 - ALL EXISTING STRUCTURES ON SITE SHALL BE REMOVED.

UTILITY COMPANIES/CONTACTS

TELEPHONE	PACIFIC BELL	(800) 310-2155
ELECTRIC	SOUTHERN CALIFORNIA EDISON CO	(800)884-8123
GAS	SOUTHERN CALIFORNIA GAS CO	(800)427-2100
CABLE T.V.	TIME WARNER CABLE	(866)744-1578
SEWER AND TRASH	COSTA MESA SANITARY DISTRICT	(949)845-8400
WATER	MESA CONSOLIDATED WATER	(949) 831-1200



LOT 509

PARCEL 1
LOT LINE ADJUSTMENT No. LL-08-02
INST No. 2007-0032197 O.R.

LOT 1
2.5 AC

LOT "A"
0.6 AC

GPS POINT LOCATIONS

GPS # 8255
N 2178227.078
E 6054775.141

FOUND PUNCHED ROUND HEAD SPIRE WITH WASHER STAMPED "RICE 22398" FLUSH. STATION IS LOCATED AT THE APPARENT INTERSECTION OF 17TH STREET AND SANTA ANA AVENUE PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

GPS #6283
N 2178238.088
E 6052803.987

FOUND GEAR SPIRE AND WASHER STAMPED "LS 4743" FLUSH. STATION IS LOCATED AT THE CENTERLINE INTERSECTION OF CATALINA DRIVE AND 15TH STREET PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

BASIS OF BEARING

COORDINATES SHOWN HEREON ARE BASED ON THE BEARING BETWEEN O.G.S. HORIZONTAL CONTROL STATION GPS NO. 8255 AND STATION GPS NO. 6283 BEING NORTH 47°48'24" EAST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

DATUM STATEMENT

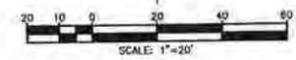
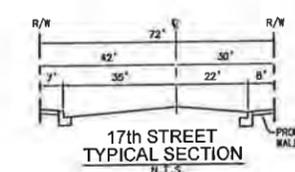
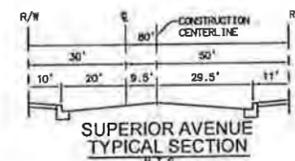
COORDINATES SHOWN ARE BASED UPON THE CALIFORNIA STATE COORDINATE SYSTEM, ZONE VI, NAD OF 1983 (1983.35 EPOCH). ALL DISTANCES SHOWN ARE GROUND, UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCE MULTIPLY GROUND DISTANCES BY 0.99998843

PROPOSED EASEMENTS

EASEMENT FOR THE PURPOSES OF PUBLIC UTILITIES, VEHICLE INGRESS & EGRESS

AREA SUMMARY

LOT 1 2.5 AC GROSS
LOT "A" 0.6 AC GROSS (R/W DEDICATION)
TOTAL 3.1 AC GROSS



SCALE: 1"=20'

ENGINEER
RBF CONSULTING
14725 ALTON PKWY
IRVINE, CA. 92618
PHONE: (949) 472-3505

DEVELOPER
INTRACORP COMPANIES
4041 MACARTHUR BLVD., SUITE 250
NEWPORT BEACH, CA. 92660
PHONE: (949) 955-2370

PROJECT ADDRESS
643-651 17th STREET & 1677 SUPERIOR AVENUE
COSTA MESA, CA 92627

VESTING TENTATIVE TRACT MAP 17639

CITY OF COSTA MESA CASE NO. 2

SHEET
1
OF
1

REVISION



14725 ALTON PARKWAY
IRVINE, CALIFORNIA 92618-2027
949.472.3505 • FAX 949.472.8373 • www.RBF.com

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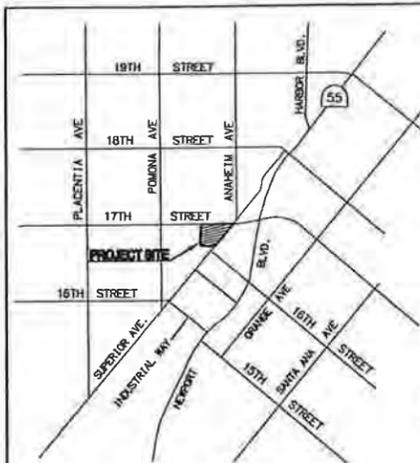
643-651 W. 17th STREET & 1677 SUPERIOR AVENUE

PRELIMINARY GRADING PLAN

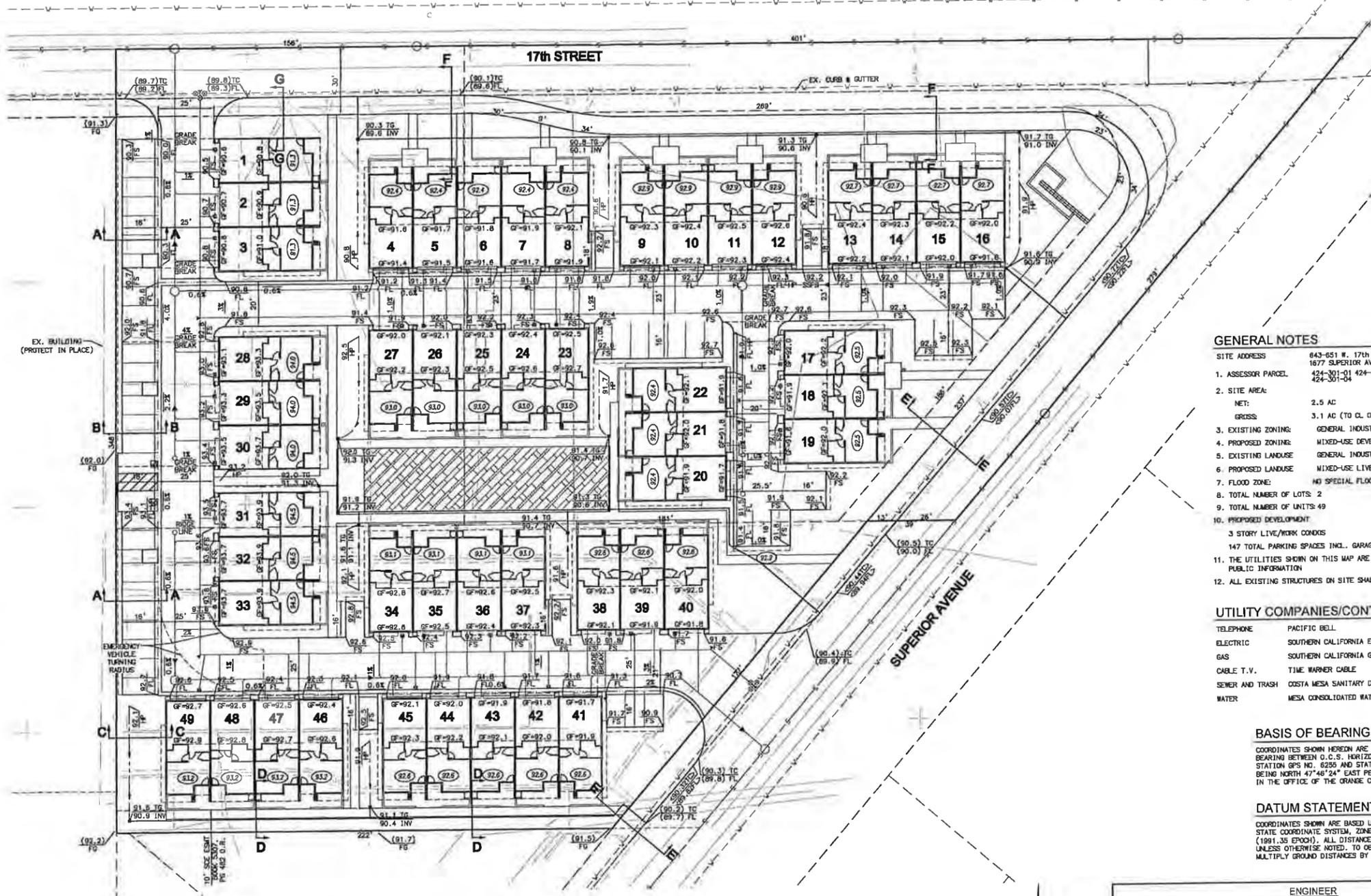
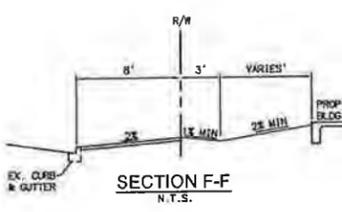
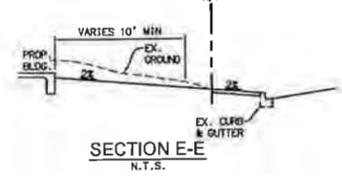
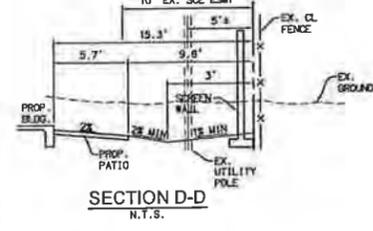
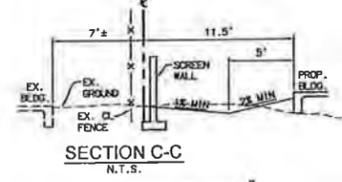
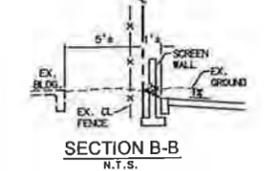
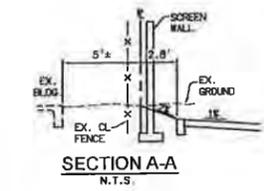
VESTING TENTATIVE TRACT NO. 17639

FOR CONDOMINIUM PURPOSES

CITY COSTA MESA, STATE OF CALIFORNIA



VICINITY MAP
NOT TO SCALE



GENERAL NOTES

- SITE ADDRESS: 643-651 W. 17th STREET COSTA MESA, CA 92627
1677 SUPERIOR AVENUE COSTA MESA, CA 92627
- ASSESSOR PARCEL: 424-301-01 424-301-08 424-301-04
 - SITE AREA: NET: 2.5 AC GROSS: 3.1 AC (TO CL. OF ADJACENT STREETS)
 - EXISTING ZONING: GENERAL INDUSTRIAL
 - PROPOSED ZONING: MIXED-USE DEVELOPMENT PER 19 WEST URBAN PLAN
 - EXISTING LANDUSE: GENERAL INDUSTRIAL
 - PROPOSED LANDUSE: MIXED-USE LIVE/WORK PER 19 WEST URBAN PLAN
 - FLOOD ZONE: NO SPECIAL FLOOD HAZARDS
 - TOTAL NUMBER OF LOTS: 2
 - TOTAL NUMBER OF UNITS: 49
 - PROPOSED DEVELOPMENT: 3 STORY LIVE/WORK CONDOS 147 TOTAL PARKING SPACES INCL. GARAGE SPACES
 - UTILITIES SHOWN ON THIS MAP ARE BASED UPON THE BEST AVAILABLE PUBLIC INFORMATION
 - ALL EXISTING STRUCTURES ON SITE SHALL BE REMOVED.

UTILITY COMPANIES/CONTACTS

TELEPHONE	PACIFIC BELL	(800) 310-2155
ELECTRIC	SOUTHERN CALIFORNIA EDISON CO	(800)684-6123
GAS	SOUTHERN CALIFORNIA GAS CO	(800)427-2100
CABLE T.V.	TIME WARNER CABLE	(866)744-1678
SEWER AND TRASH	COSTA MESA SANITARY DISTRICT	(949)645-8400
WATER	MESA CONSOLIDATED WATER	(949) 631-1200

BASIS OF BEARING

COORDINATES SHOWN HEREON ARE BASED ON THE BEARING BETWEEN O.C.S. HORIZONTAL CONTROL STATION GPS NO. 6235 AND STATION GPS NO. 6263 BEING NORTH 47°46'24" EAST PER RECORDS ON FILE IN THE OFFICE OF THE GRANGE COUNTY SURVEYOR.

DATUM STATEMENT

COORDINATES SHOWN ARE BASED UPON THE CALIFORNIA STATE COORDINATE SYSTEM, ZONE VI, NAD OF 1983 (1981.35 EPOCH). ALL DISTANCES SHOWN ARE GROUND, UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCE MULTIPLY GROUND DISTANCES BY 0.99996543

ENGINEER

RBF CONSULTING
14725 ALTON PARKY
IRVINE, CA. 92618
PHONE: (949) 472-3505

DEVELOPER

INTRACORP COMPANIES
4041 MACARTHUR BLVD., SUITE 250
NEWPORT BEACH, CA. 92660
PHONE: (949) 955-2370

PROJECT ADDRESS

643-651 17th STREET & 1677 SUPERIOR AVENUE
COSTA MESA, CA 92627

PRELIMINARY GRADING

FOR
TTM 17639

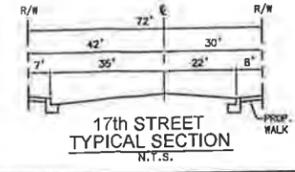
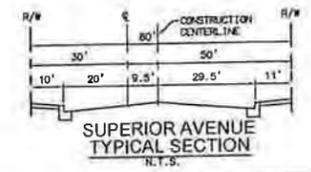
CITY OF COSTA MESA CASE NO. 2

SHEET
1
OF
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REVISION



14725 ALTON PARKWAY
IRVINE, CALIFORNIA 92618-2027
949.472.3505 • FAX 949.472.8373 • www.RBF.com



643-651 W. 17th STREET & 1677 SUPERIOR AVENUE MASTER PLAN

VESTING TENTATIVE TRACT NO. 17639
FOR CONDOMINIUM PURPOSES
CITY COSTA MESA, STATE OF CALIFORNIA



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION

APN 424-301-01
THIS LEGAL DESCRIPTION IS FROM COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY UNDER CREDIT NO. NCS-578123-541 DATED JANUARY 10, 2013, AND AMENDED MAY 7, 2013. NO RESPONSIBILITY IS ASSUMED AS TO THE ACCURACY AND COMPLETENESS OF SAID REPORT.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
THE WEST 156 FEET OF THE FOLLOWING DESCRIBED LAND:

THAT PORTION OF LOT 409 OF "NEWPORT MESA TRACT", AS SHOWN ON A MAP RECORDED IN BOOK 5, PAGE 1, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT, BEING THE INTERSECTION OF THE CENTER LINES OF SEVENTEENTH STREET AND NEWPORT ROAD AS SHOWN ON SAID MAP, AND RUNNING THENCE WEST ALONG THE NORTH LINE OF SAID LOT (SAID NORTH LINE BEING THE CENTER LINE OF A 60.00 FOOT STREET KNOWN AS SEVENTEENTH STREET) 509.10 FEET TO THE NORTHWEST CORNER OF SAID LOT; THENCE SOUTH ALONG THE WEST LINE OF SAID LOT, 213.06 FEET; THENCE EAST PARALLEL WITH THE NORTH LINE OF SAID LOT 378.59 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF SAID LOT (SAID SOUTHEASTERLY LINE BEING THE CENTER LINE OF A 60.00 FOOT STREET KNOWN AS NEWPORT ROAD) 279.28 FEET SOUTHWESTERLY FROM THE POINT OF BEGINNING; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY LINE OF SAID LOT 279.25 FEET TO THE POINT OF BEGINNING.

SAID LAND IS SHOWN ON A LICENSED SURVEY FILED IN BOOK 7, PAGE 16 OF RECORDS OF SURVEYS OF SAID ORANGE COUNTY.

TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN: NANCY LEE ANDERSON, AN UNDIVIDED 1/4TH INTEREST, ROBERT W. CLARK, AN UNDIVIDED 1/4TH INTEREST AND CHRISTINE ELIZABETH MEANS AND GIMARD GLEN MEANS (1), TRUSTEES OF THE MEANS FAMILY TRUST ESTABLISHED SEPTEMBER 28, 2004, AN UNDIVIDED 1/8TH INTEREST, SCOTT C. OWEN AS TO AN UNDIVIDED 1/8 INTEREST, SUSAN M. MULLEN AS TO AN UNDIVIDED 1/8 INTEREST AND KATHLEEN M. OWEN, AS TO AN UNDIVIDED 1/4 INTEREST.

APN 424-301-04
THIS LEGAL DESCRIPTION IS FROM COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY UNDER CREDIT NO. NCS-578281-541 DATED JANUARY 10, 2013. NO RESPONSIBILITY IS ASSUMED AS TO THE ACCURACY AND COMPLETENESS OF SAID REPORT.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
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EXCEPTING THEREFROM THAT PORTION INCLUDED WITHIN NEWPORT AVENUE.

GENERAL NOTES

- 1. SITE ADDRESS: 643-651 W. 17th STREET COSTA MESA, CA 92627
1677 SUPERIOR AVENUE COSTA MESA, CA 92627
- 2. ASSESSOR PARCEL: 424-301-01 424-301-08
424-301-04
- 3. SITE AREA:
NET: 2.5 AC
GROSS: 3.1 AC (TO CL OF ADJACENT STREETS)
- 4. EXISTING ZONING: GENERAL INDUSTRIAL
- 5. PROPOSED ZONING: MIXED-USE DEVELOPMENT PER 19 WEST URBAN PLAN
- 6. EXISTING LANDUSE: GENERAL INDUSTRIAL
- 7. PROPOSED LANDUSE: MIXED-USE LIVE/WORK PER 19 WEST URBAN PLAN
- 8. FLOOD ZONE: NO SPECIAL FLOOD HAZARDS
- 9. TOTAL NUMBER OF LOTS: 2
- 10. TOTAL NUMBER OF UNITS: 49
- 11. PROPOSED DEVELOPMENT:
3 STORY LIVE/WORK CONDOS
147 TOTAL PARKING SPACES INCL. GARAGE SPACES
- 12. THE UTILITIES SHOWN ON THIS MAP ARE BASED UPON THE BEST AVAILABLE PUBLIC INFORMATION
- 13. ALL EXISTING STRUCTURES ON SITE SHALL BE REMOVED.

UTILITY COMPANIES/CONTACTS

TELEPHONE	PACIFIC BELL	(800) 310-2155
ELECTRIC	SOUTHERN CALIFORNIA EDISON CO	(800)684-8123
GAS	SOUTHERN CALIFORNIA GAS CO	(800)427-2100
CABLE T.V.	TIME WARNER CABLE	(866)744-1678
SEWER AND TRASH	COSTA MESA SANITARY DISTRICT	(949)845-8400
WATER	MESA CONSOLIDATED WATER	(949) 631-1200

LEGEND

- BOUNDARY
- EXISTING PROPERTY LINE
- EASEMENT LINE
- CENTERLINE
- SS --- EXISTING SEWER
- SS --- PROPOSED SEWER
- W --- EXISTING WATER
- W --- PROPOSED WATER
- SD --- EXISTING STORM DRAIN
- SD --- PROPOSED STORM DRAIN
- F --- EXISTING FIRE HYDRANT
- F --- PROPOSED FIRE HYDRANT

BASIS OF BEARING

COORDINATES SHOWN HEREON ARE BASED ON THE BEARING BETWEEN O.C.S. HORIZONTAL CONTROL STATION GPS NO. 8255 AND STATION GPS NO. 8283 BEING NORTH 47°46'24" EAST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

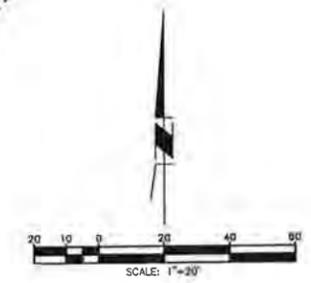
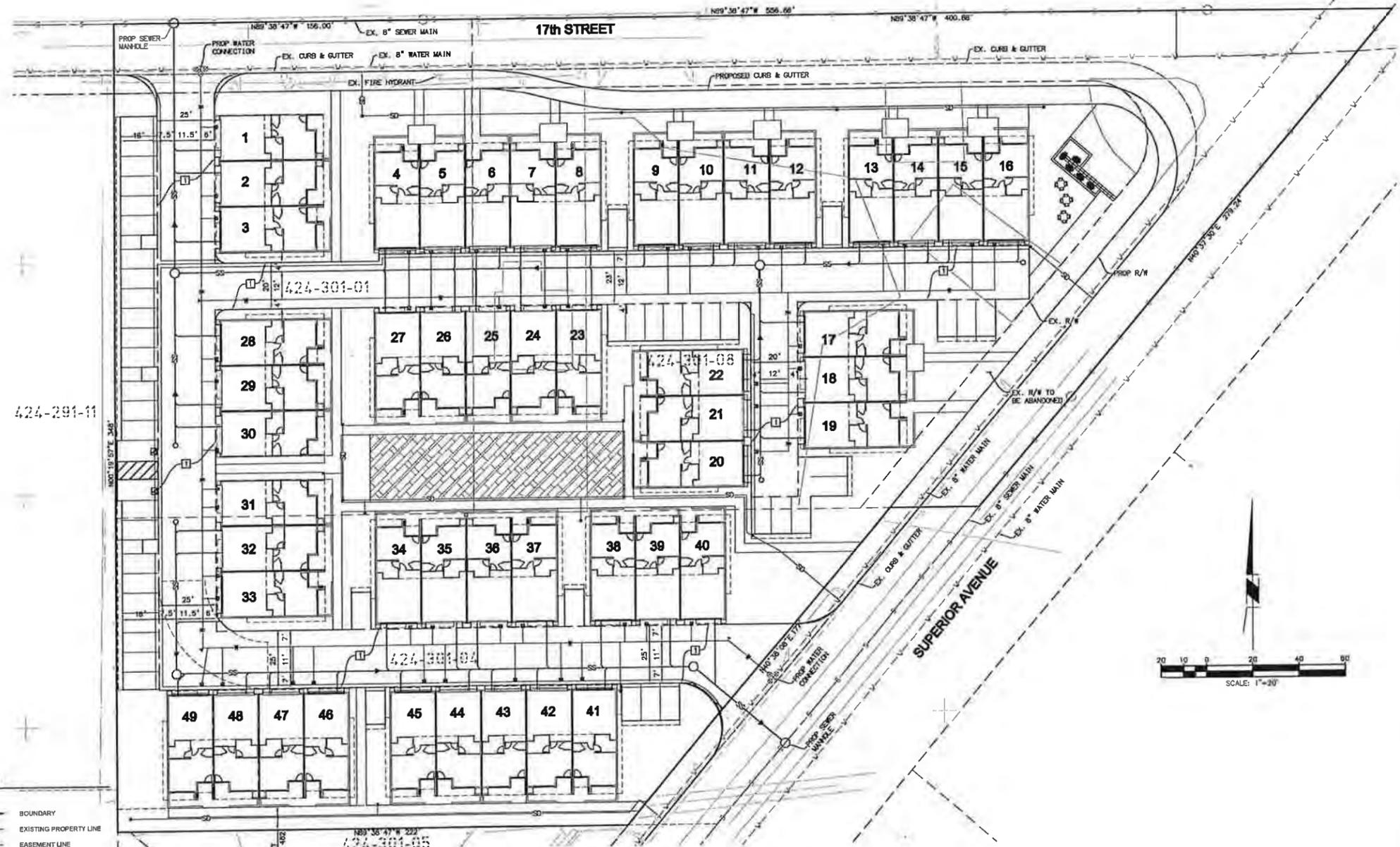
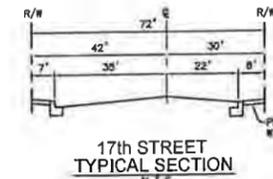
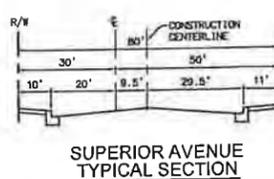
DATUM STATEMENT

COORDINATES SHOWN ARE BASED UPON THE CALIFORNIA STATE COORDINATE SYSTEM, ZONE VI, NAD OF 1983 (1991.35 EPOCH). ALL DISTANCES SHOWN ARE GROUND, UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCE MULTIPLY GROUND DISTANCES BY 0.99996843

PROPOSED EASEMENTS

1. EASEMENT FOR THE PURPOSES OF PUBLIC UTILITIES, VEHICLE INGRESS & EGRESS

REVISION



<p>ENGINEER RBF CONSULTING 14725 ALTON PARKWAY IRVINE, CA 92618 PHONE: (949) 472-3505</p>	
<p>DEVELOPER INTRACORP COMPANIES 4041 MACARTHUR BLVD., SUITE 250 NEWPORT BEACH, CA 92660 PHONE: (949) 955-2370</p>	
<p>PROJECT ADDRESS 643-651 17th STREET & 1677 SUPERIOR AVENUE COSTA MESA, CA 92627</p>	
<p>MASTER PLAN FOR TTM 17639 CITY OF COSTA MESA CASE NO. 2</p>	
<p>SHEET 1 OF 1</p>	<p>FILE: \DATA\134700\CADD\LAND\DLV\MASTERPLAN\134700-MP-10L.DWG TMEING 8/27/13 1:14 pm</p>

RBF CONSULTING
A BIRCH COMPANY
14725 ALTON PARKWAY
IRVINE, CALIFORNIA 92618-2027
949.472.3505 • FAX 949.472.8373 • www.RBF.com



CONCEPTUAL PERSPECTIVE -

SHEET INDEX

- SD00 PROJECT SUMMARY + VICINITY MAP
- LT PRELIMINARY LANDSCAPE PLAN
- SD01 CONCEPTUAL PERSPECTIVE
- SD02 CONCEPTUAL PERSPECTIVE
- SD03 SITE PLAN
- SD04 BUILDING ELEVATIONS - 3 PLEX
- SD05 BUILDING ELEVATIONS - 3 PLEX
- SD06 BUILDING ELEVATIONS - 4 PLEX
- SD07 BUILDING ELEVATIONS - 5 PLEX
- SD08 UNIT PLAN A
- SD09 UNIT PLAN B

SITE SUMMARY

PROJECT ADDRESS	1677 Superior Avenue Costa Mesa, CA 92627	111,000 sf
LOT AREA (revised street deceleration lane to 17th street)	2.55 acres	
TOTAL RESIDENTIAL UNITS	49	
TOTAL UNIT WORK SPACE GROSS SQUARE FOOTAGE	12,628 sf	
DENSITY	19.23 Du/acre	
FAR ALLOWABLE	1.00	
FAR PROVIDED	0.87	
LANDSCAPE AREA / OPEN SPACE	33,349 sf	30% of total lot area
BUILDING COVERAGE	46,440 sf	42% of total lot area
DRIVEWAYS / OPEN PARKING	31,211 sf	28% of total lot area

PROGRAM SUMMARY

PLAN	DESCRIPTION	QNTY	UNIT RESIDENTIAL AREA	UNIT WORK AREA	UNIT TOTAL AREA	AREA SUBTOTAL	PARKING RATIO	REQUIRED PARKING
A	2 BR / 3.5 BA LIVE / WORK UNIT SIDE BY SIDE GARAGE	26 (53%)	1,690 sf	261 sf	1,941 sf	50,466 sf	2.00	52 spaces
B	2 BR / 3.5 BA / DEN LIVE / WORK UNIT SIDE BY SIDE GARAGE GUEST PARKING	23 (47%)	1,745 sf	254 sf	1,999 sf	45,977 sf	2.00	46 spaces
							1.0 per unit	49 spaces
SUBTOTAL UNITS:						96,443 sf		147 spaces required
								147 spaces provided
								(4 compact spaces) 8% of guest spaces



VICINITY MAP - NTS.

PROJECT SITE



17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA

JULY 31, 2013

PROJECT SUMMARY + VICINITY MAP

17th ST. + SUPERIOR LIVE / WORK

INTRACORP COMPANIES

4041 Main Avenue (Bldg. 250)
Newport Beach, CA 92660

WITHEE MALCOLM ARCHITECTS, LLP

2251 West 100th Street Torrance, CA 90501
T 310.217.8655
www.withee-malcolm.com

JOB NO. 03015.200

PRINTED July 31, 2013





CONCEPTUAL PERSPECTIVE - VIEW ALONG SUPERIOR AVENUE FROM CORNER

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA

JULY 31, 2013



CONCEPTUAL PERSPECTIVE - VIEW FROM TRADER JOES AT 17TH STREET

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA

JULY 31, 2013

CONCEPTUAL PERSPECTIVE
17th ST. + SUPERIOR LIVE / WORK

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JOB NO. B3015.200
DATE: JULY 31, 2013



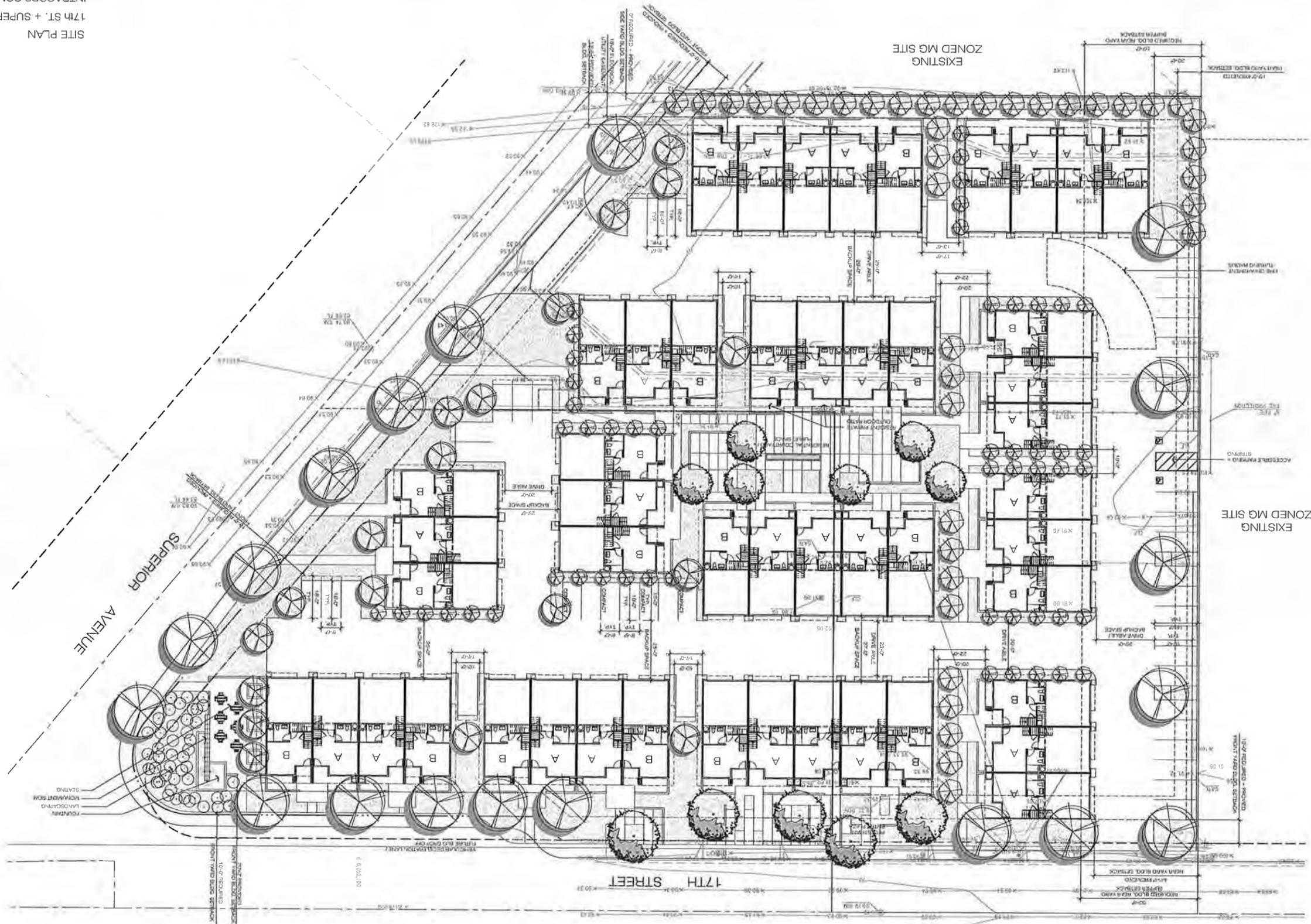


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17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA

JULY 31, 2018

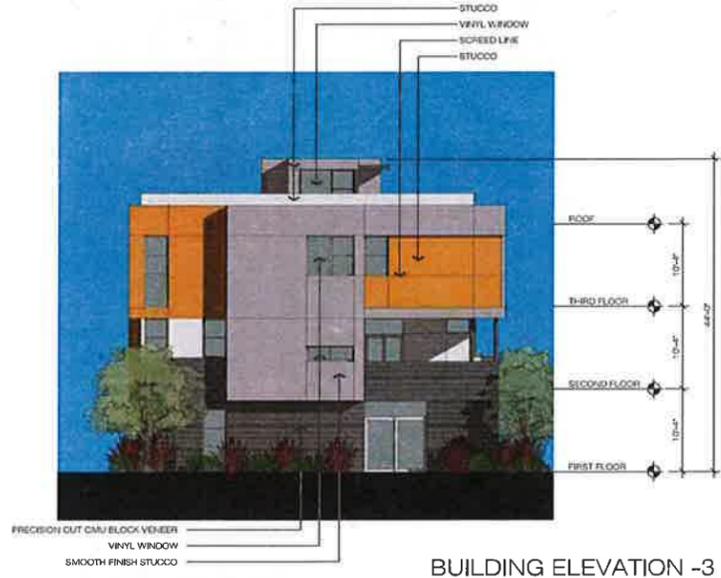




BUILDING ELEVATION -4
NORTH / SOUTH ELEVATION



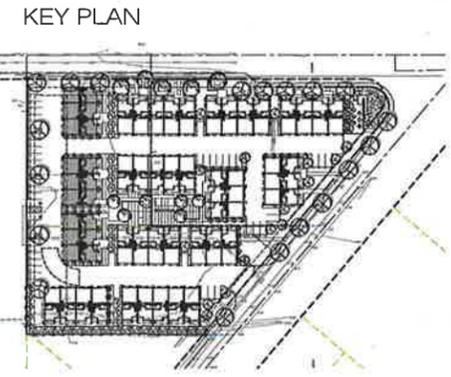
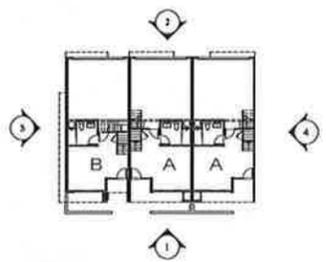
BUILDING ELEVATION -2
WEST ELEVATION



BUILDING ELEVATION -3
NORTH / SOUTH ELEVATION



BUILDING ELEVATION -1
EAST ELEVATION



KEY PLAN

BUILDING ELEVATIONS
3-PLEX_1 (A & B UNITS)

17th STREET + SUPERIOR LIVE / WORK
COSTA MESA, CALIFORNIA

JULY 31, 2013



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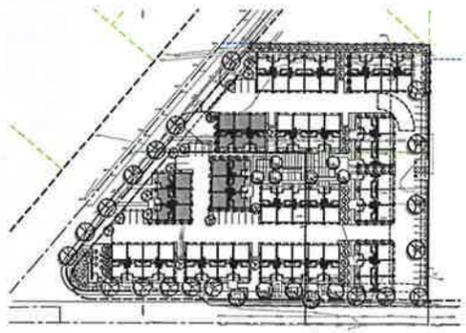
46-

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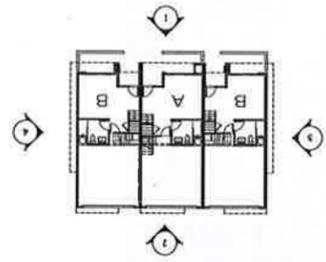
4041 KNOX AVENUE, SUITE 200
 HANFORD BEACH, CA 92340
 INTRACORP COMPANIES
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 408 N.O. #3015200
 REGISTERED ARCHITECT
 7/21/13



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KEY PLAN



BUILDING ELEVATION -3
NORTH / SOUTH ELEVATION



BUILDING ELEVATION -4
NORTH / SOUTH ELEVATION

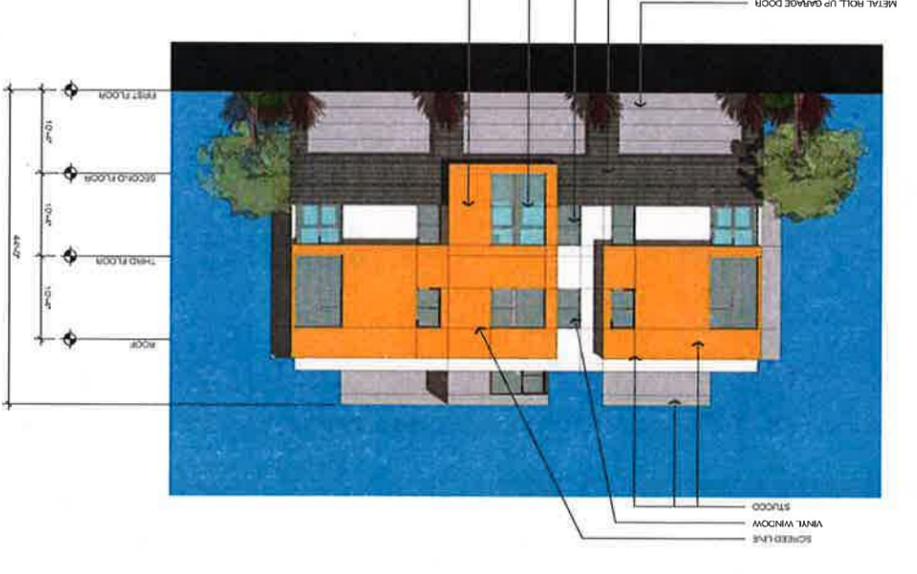


BUILDING ELEVATIONS
3-PLEX_2 (A & B UNITS)

BUILDING ELEVATION -1
EAST / WEST ELEVATION



BUILDING ELEVATION -2
EAST / WEST ELEVATION





BUILDING ELEVATION -4
EAST / WEST ELEVATION



BUILDING ELEVATION -2
NORTH / SOUTH ELEVATION



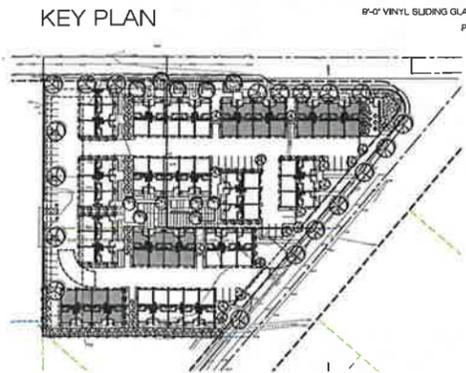
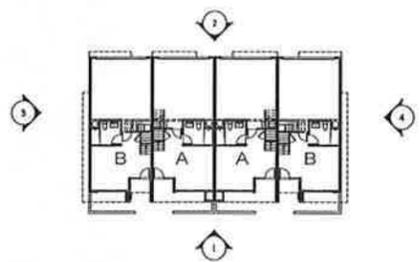
BUILDING ELEVATION -3
EAST / WEST ELEVATION



BUILDING ELEVATION -1
NORTH / SOUTH ELEVATION

PRECISION CUT CMU BLOCK VENEER
SMOOTH FINISH STUCCO

METAL AWNING
PRECISION CUT CMU BLOCK VENEER
SCREED LINE
8'-0" VINYL SLIDING GLASS DOORS
PATIO WALL



KEY PLAN

BUILDING ELEVATIONS
4-PLEX (A & B UNITS)

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA

JULY 31, 2013



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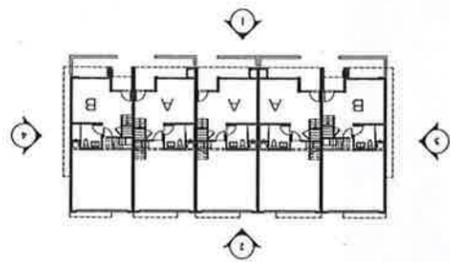
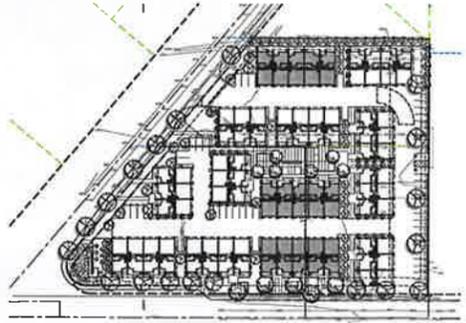


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17th ST. + SUPERIOR LIVE / WORK
5-PLEX (A & B UNITS)
BUILDING ELEVATIONS

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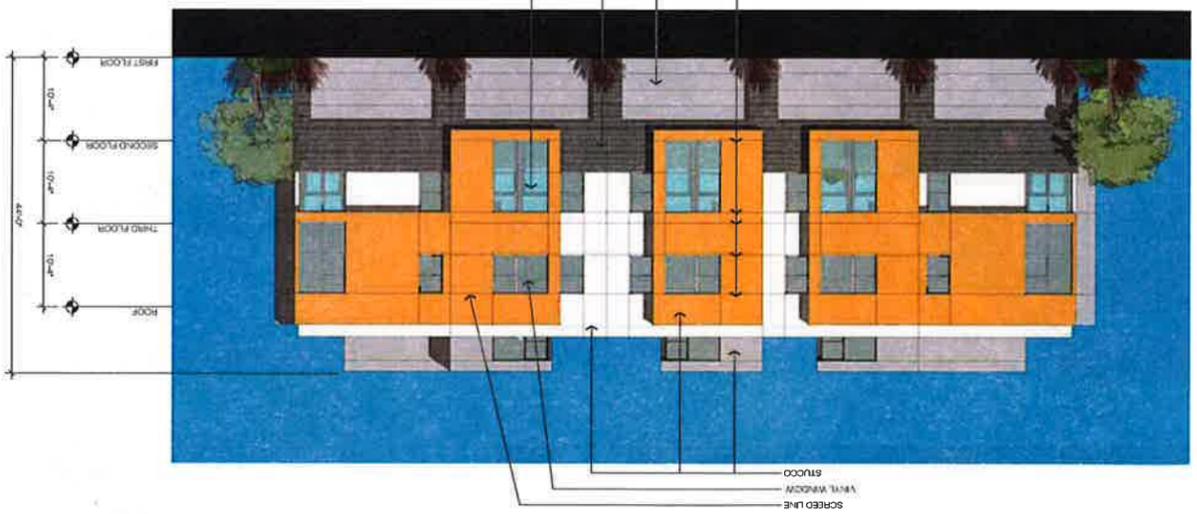
BUILDING ELEVATION -1
NORTH / SOUTH ELEVATION



METAL AWNING
PRECISION CUT CMU BLOCK VENEER
SCREENED LINE
8'-0" VINYL SLIDING GLASS DOORS
PAINT WALL

SMOOTH FINISH STUCCO
VINYL WINDOW
STUCCO

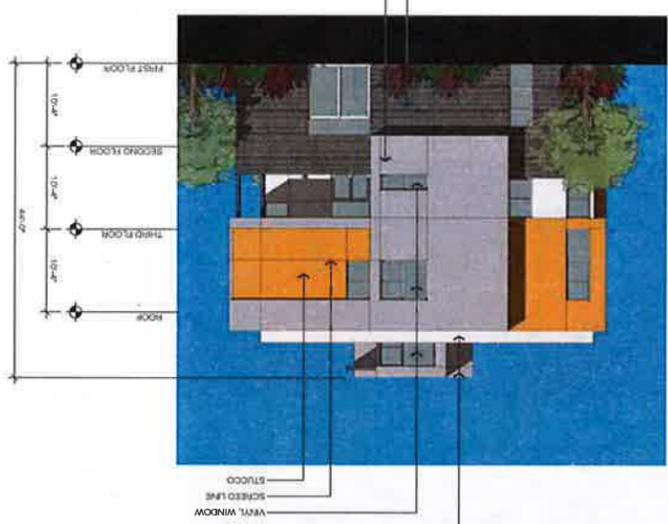
BUILDING ELEVATION -2
NORTH / SOUTH ELEVATION



SCREENED LINE
METAL ROLL UP GARAGE DOOR
PRECISION CUT CMU BLOCK VENEER
VINYL WINDOW

SCREENED LINE
VINYL WINDOW
STUCCO

BUILDING ELEVATION -3
EAST / WEST ELEVATION



PRECISION CUT CMU BLOCK VENEER
SMOOTH FINISH STUCCO

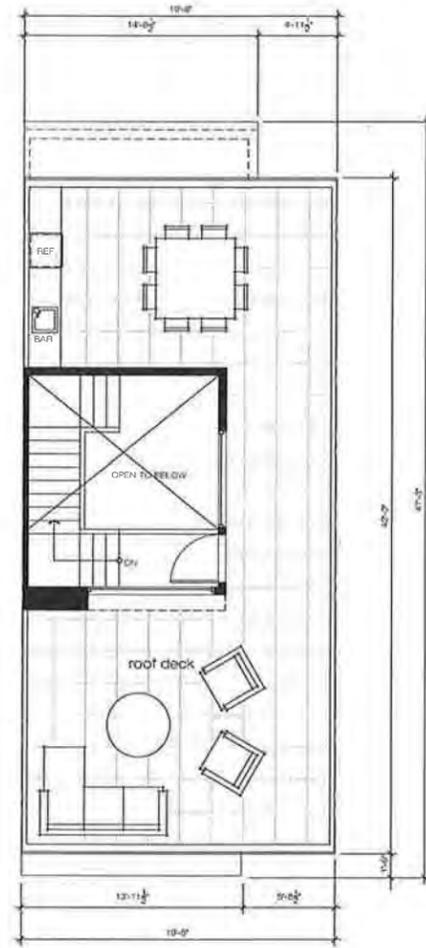
STUCCO
VINYL WINDOW
SCREENED LINE

BUILDING ELEVATION -4
EAST / WEST ELEVATION

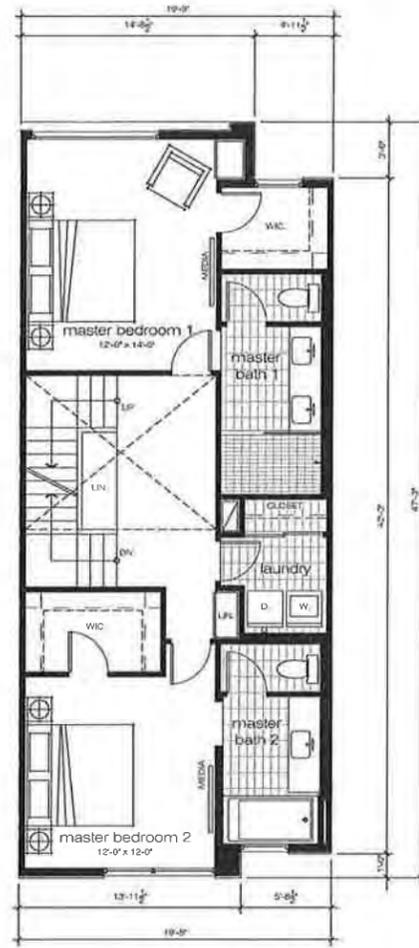


PRECISION CUT CMU BLOCK VENEER
SMOOTH FINISH STUCCO

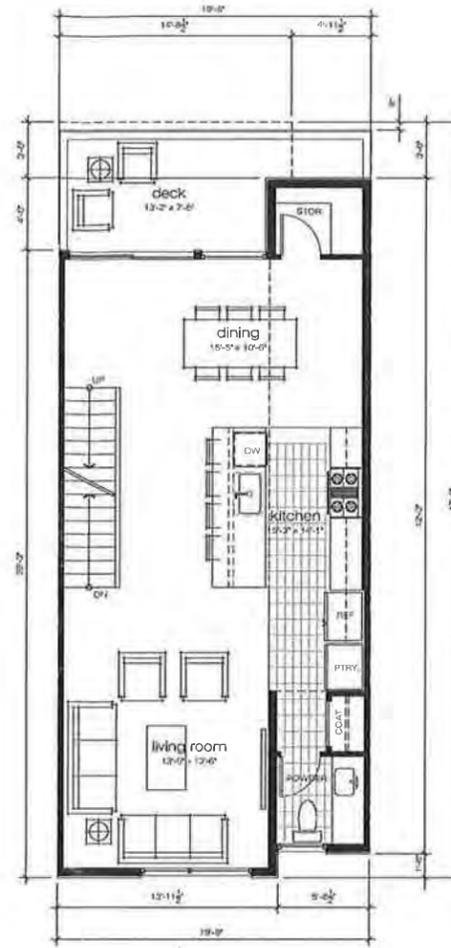
STUCCO
VINYL WINDOW
SCREENED LINE



UNIT A -roof plan
 AREA: 26 sf
 ROOF DECK: 625 sf



UNIT A -third floor plan
 AREA: 820 sf



UNIT A -second floor plan
 AREA: 739 sf
 DECK: 100 sf



UNIT A -first floor plan
 AREA: 356 sf
 DECK: 70 sf

UNIT A
 TOTAL AREA: 1,941 sf
 TOTAL PATIO / DECK: 170 sf
 TOTAL ROOF DECK: 625 sf

17th STREET + SUPERIOR LIVE / WORK

COSTA MESA, CALIFORNIA

JULY 31, 2013

UNIT PLANS UNIT A

17th ST. + SUPERIOR LIVE / WORK

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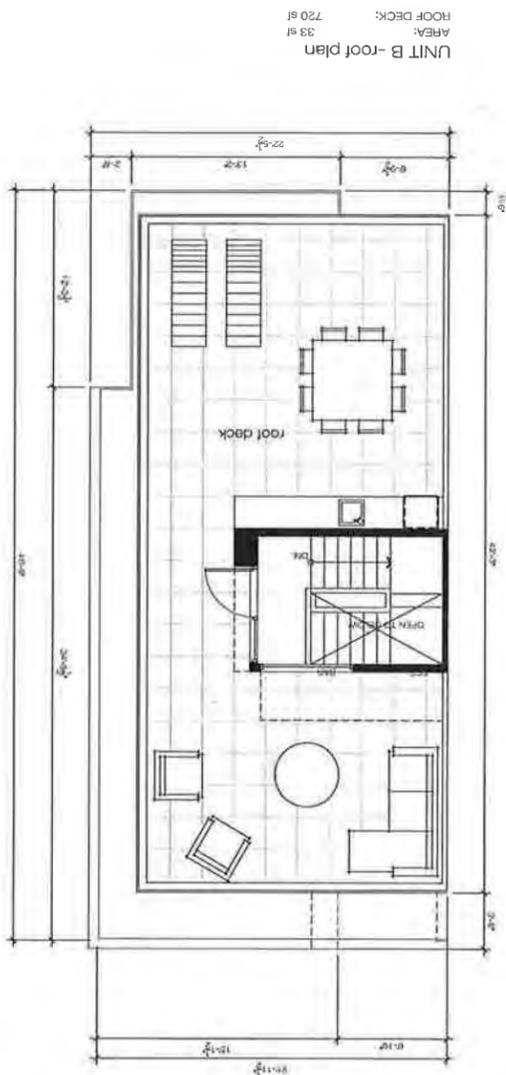
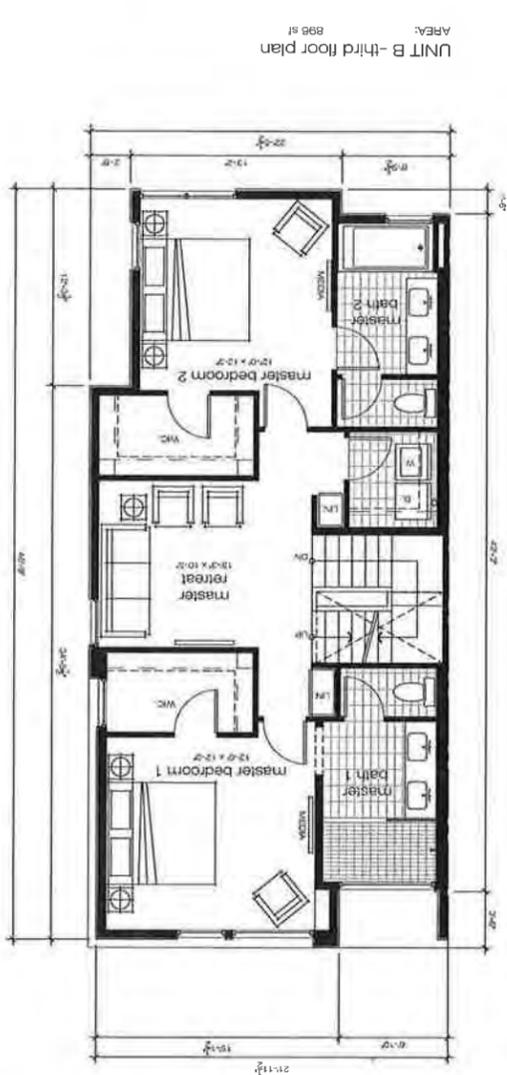
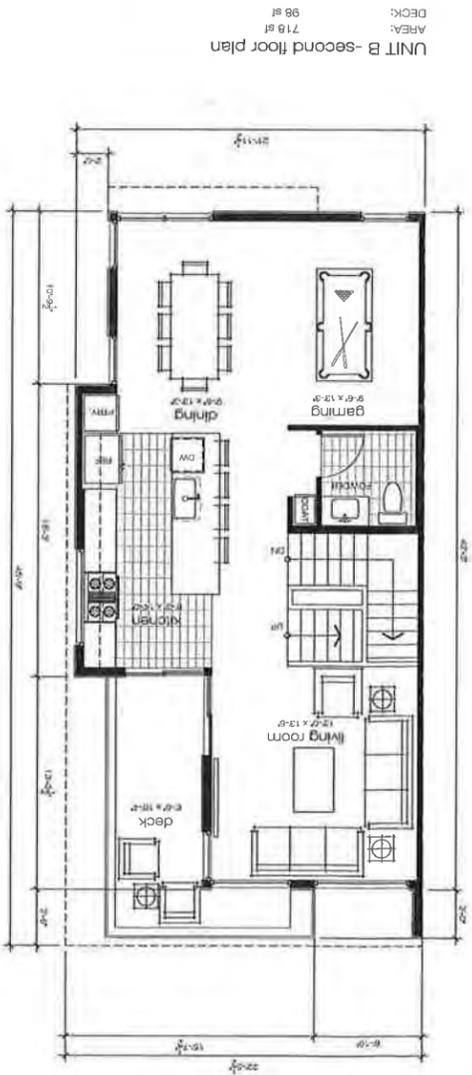
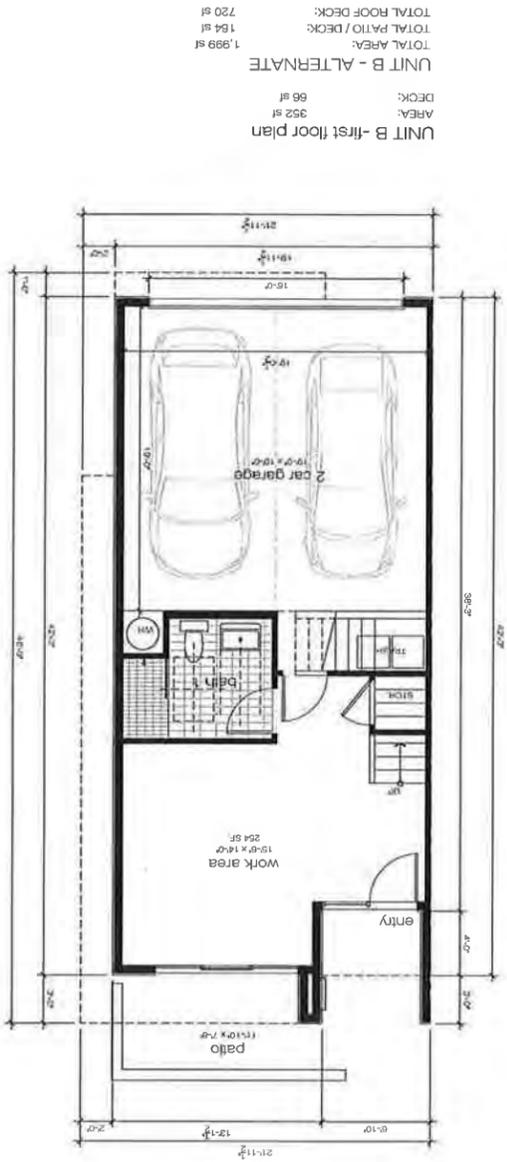
WITHEE MALCOLM ARCHITECTS, LLP

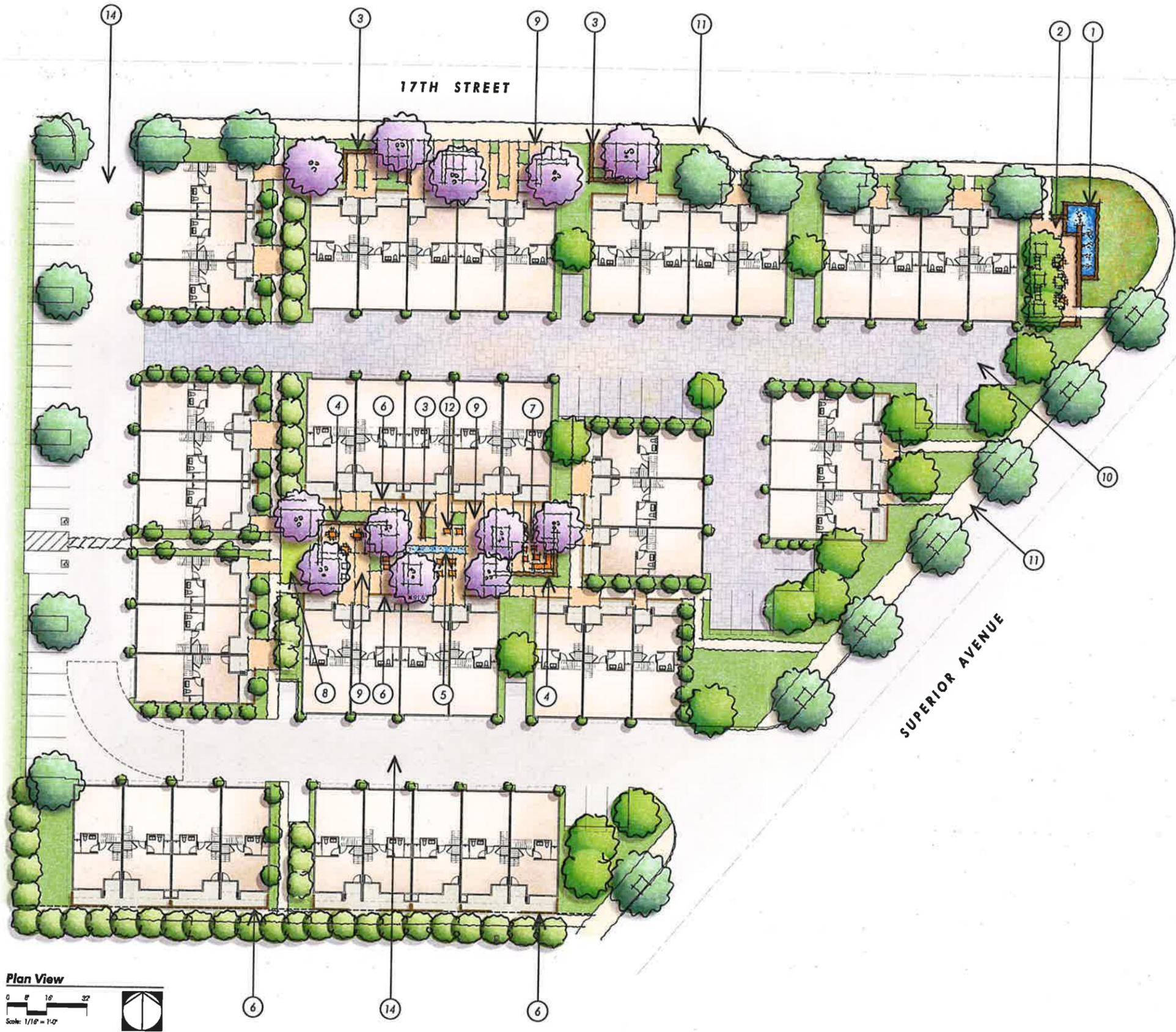
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 JOB NO. B3615.200
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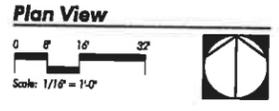


HARDSCAPE LEGEND

1. Entry Monument Wall with Water Feature
2. Shaded Social Seating Area
3. Seat Wall
4. Low Wall with Horizontal Wood Fencing
5. Central Water Wall
6. Patio Wall with Sliding Gate
7. Social Space Under Overhead Structure
8. Turf Area
9. Enhanced Pedestrian Paving
10. Permeable Pavers (50% Max of Drivable Area)
11. Curb Adjacent Sidewalk
12. Outdoor Furniture
13. Planting Pockets
14. Asphalt

PLANTING LEGEND

Symbol	Botanical Name (Common Name)	Size
TREES		
	<i>Agonia flexuosa</i> (Peppermint Willow)	36" box
	<i>Platanus racemosa</i> (California Sycamore)	36" box
	<i>Jacaranda mimosifolia</i> (Jacaranda)	36" box
	<i>Phoenix dactylifera</i> (Date Palm)	20" bit
	<i>Lagerstroemia indica</i> (Crape Myrtle)	24" box
	<i>Melrosideros excelsa</i> (Pōhutukawa)	24" box
	<i>Prunus cerasifera</i> (Purple Leaf Plum)	24" box
	<i>Cassia leptophylla</i> (Golden Medallion Tree)	24" box
	<i>Platanus racemosa</i> (California Sycamore)	24" box
	<i>Prunus cerasifera</i> (Purple Leaf Plum)	24" box
	<i>Bambusa sp.</i> (Bamboo)	15 gal.
	<i>Ginkgo biloba</i> (Maidenhair Tree)	15 gal.
	<i>Prunus caroliniana</i> (Carolina Cherry Laurel)	15 gal.
	<i>Tristonia conferta</i> (Brisbane Box)	15 gal.
	<i>Pittosporum tenuifolium</i> (Kohuhu)	15 gal.
	<i>Cupressus sempervirens</i> (Italian Cypress)	24" box
	<i>Podocarpus macrophyllus</i> (Yew Podocarpus)	15 gal.



17th St. + Superior Live/Work

Preliminary Landscape Plan

Job no: INT-02
July 15, 2013

C2 COLLABORATIVE

LANDSCAPE ARCHITECTURE
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San Clemente, California 92672
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Prepared for:
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