



PLANNING COMMISSION

AGENDA REPORT

MEETING DATE: MAY 12, 2014

ITEM NUMBER: PH-1

SUBJECT: REVIEW OF THE ZONING ADMINISTRATOR DECISION TO APPROVE A MINOR CONDITIONAL USE PERMIT TO CONSTRUCT AN OVERSIZE GARAGE AND SECOND STORY GAME ROOM

DATE: MAY 2, 2014

FROM: PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

PRESENTATION BY: CHELSEA CRAGER, ASSISTANT PLANNER

FOR FURTHER INFORMATION CONTACT: CHELSEA CRAGER (714) 754-5609
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DESCRIPTION

The applicant is proposing minor conditional use permit ZA-14-06 to allow a detached two-story garage over 700 square feet (835 square feet proposed) to be constructed next to an existing single family residence.

The Zoning Administrator's approval of ZA-14-06 was called up for review by a Planning Commissioner.

APPLICANT

The applicant is Rick Wallace, authorized agent for the property owner Ed Pranis.

RECOMMENDATION

Staff recommends that the Planning Commission:

- Find that the project is exempt from the provisions of the California Environmental Quality Act under Section 15303, for New Construction; and
- Uphold the Zoning Administrator decision to approve the project by adoption of Planning Commission Resolution, subject to conditions.

BACKGROUND

The subject property is located on the northwest corner of Placentia Avenue and Governor Street in an R1 (Single Family Residential) zone. The lot is 8,276 square feet and is improved with an existing one-story single family residence and one covered carport that takes access from Placentia Avenue. The subject property is surrounded by similar properties also zoned R1 to the north, south, and west. Across Placentia Avenue to the east are R2-MD (Multiple Family Residential Medium Density) zoned properties.

The applicant proposes to construct an 835 square foot detached garage (700 square foot maximum allowed) with a second story game room at the interior side of the property, setback 5 feet from the left side property line and 40 feet from the rear property line. The proposed garage will take access from Governor Street, the front of the property. The garage will provide two tandem covered parking spaces and a laundry area. The 735 square foot, second story, game room will contain a powder room and a 193 square foot deck on the south side of the structure facing Governor Street.

A minor conditional use permit is required for the excess garage area; all other applicable development standards are to be satisfied by the proposed project.

ANALYSIS

The garage, though oversized, meets all other development standards and improves the property by providing additional off-street parking and providing safer access for vehicles parking on the property. The existing home has a parking for just one (1) vehicle in a single space carport with a substandard length driveway; whereas the proposed project provided parking for six (6) vehicles, four (4) garage spaces and two (2) spaces in the driveway. The current driveway takes access from Placentia Avenue, which is very hazardous, whereas the proposed driveway access is from Governor Street, which is a residential street with less traffic and slower speeds. Though located in a predominately single-story neighborhood, the neighboring property to the north is a two-story residence as are the multi-family buildings across the street on Placentia Ave.

To ensure that the second story game room does not become a second unit on the property, only a powder room is permitted on the second floor. There will be no bath tub, shower, or kitchenette permitted. Additionally, a land use restriction will be required to be recorded to inform future property owners that the garage and second story game room may not be used as a second unit.

The proposed garage and second story game room, when developed in conjunction with the proposed remodel of the home, will provide safer access for vehicles parking on the property. The existing carport will be replaced by a master bedroom suite addition and the driveway on Placentia Avenue, a primary street, will be removed. The property will instead take access from Governor Street, a neighborhood street.

Parking

The oversized garage will provide a total of four (4) covered parking spaces in a tandem configuration, with two (2) open parking spaces provided in front of the garage. This is a total of three (3) spaces more than is currently provided at the residence, which has one

(1) covered carport space. Because the proposed addition to the existing home brings the total number of bedrooms up to five (5), Zoning Code requires that minimum parking be met. Code allows for single-family detached residences with five (5) bedrooms or more to utilize tandem parking, and with two (2) garage parking spaces and two (2) open parking spaces, the proposed project is compliant with code required parking.

Accessory Structures

Zoning Code states that accessory buildings or structures constructed closer than 75 feet from the front property line or on the front one-half of the lot, whichever is less, shall be reviewed by the Planning Division for adequate screening and compatibility with the main structure (Section 13-33). The proposed accessory structure is a detached garage, which are not typically screened from view. The garage is set back 20 feet from the street right of way in conformance with the setback requirements and the structure is compatible in terms of architectural design and construction materials.

Residential Design Guidelines

The proposed garage is in compliance with residential development standards, as shown in the planning application summary below, and with residential design guidelines.

Second-Story Designs The proposed garage has been designed with articulation and off-sets on all elevations to avoid a boxy appearance from the street and neighboring views. This is not limited to only the front elevation. The second-story floor area is 100% of the first-story floor area, including the garage area. This is the maximum allowed by the residential design guidelines.

Building Mass and Form Considerations The proposed project does not include long and unbroken building facades, and instead includes offsets and building projections to enhance variety and interest. This is accomplished through varying building heights and forms. Consideration was given to the light, air, and privacy of adjacent properties and impacts will be minimal due to adequate setbacks. Visual relief to the side yard is provided with architectural details such as painted horizontal siding and window framing.

Second-Story Side Setback The average 10 foot second-story interior side setback does not apply to the proposed development because the property will have less than 2,700 square feet of living area, not including the garage (2,411 square feet proposed).

Elevation Treatments Architectural projections are included on the east and west sides of the building. Variations in building materials provide a transition from the first floor to the second floor. The front of the building includes a 193 square foot deck, providing another transition from the first floor to the second floor.

Roof Forms The roof is designed with gables to provide visual interest, and to enhance the appearance of the neighborhood. The proposed structure reaches 22 feet in height, less than the 27 foot maximum.

Window Placement Second story windows on the west side of the structure incorporate projections to create visual interest, but windows are kept set back to ensure privacy to the adjacent neighbors.

Integration of Second-Story Construction The proposed garage and game room will be conditioned to be architecturally compatible with regard to building materials, style, colors, etc. with the existing structure. The second-story floor-to-ceiling dimension is similar to the first-story floor-to-ceiling ratio, preventing the second story from appearing out of proportion or top heavy in relation to the first story.

Consistency in Architectural Design The design of the accessory structure is conditioned to be consistent and compatible with the existing structure with regard to building materials, style, colors, etc.

GENERAL PLAN CONFORMANCE

Subject to conditions, the proposed use is in conformance with the 2000 General Plan. Specifically the project complies with Community Design Objective CD-7A.1, “Ensure that new and remodeled structures are designed in architectural styles which reflect the City’s diversity, yet are compatible in scale and character with existing buildings and the natural surroundings within residential neighborhoods” in that the new two-story accessory structure will be compatible in style and scale with the surrounding neighborhood. The project is conditioned such that the new structure is architecturally compatible with regard to building materials, style, colors, etc. with the existing structure, and the subject property is adjacent to a property containing a two-story residential structure.

The project also complies with Community Design Objective CD-7A.2 “Preserve the character and scale of Costa Mesa’s established residential neighborhoods; where residential development or redevelopment is proposed, require as a condition of approval that it is consistent with the prevailing character of existing development in the immediate vicinity, and that it does not have a substantial adverse impact on adjacent uses.” This project is conditioned to be consistent with the character of the existing development and will have a beneficial impact on surrounding uses by providing off-street parking for the existing residence.

ENVIRONMENTAL DETERMINATION

The project is exempt from the provisions of the California Environmental Quality Act under Section 15303, Class 3, for New Construction.

CONCLUSION

Upholding the Zoning Administrator’s decision to approve the minor conditional use permit will allow for the construction of the detached two-story oversized garage. The project satisfies the required findings for the requested minor conditional use permit and is consistent with the intent of the General Plan and Zoning Code.

ALTERNATIVES

The Planning Commission has the following alternatives:

1. Continue the project to a later date to allow time for further analysis or project revisions.
2. Direct staff to prepare a resolution for denial of the project and provide a basis for making findings for denial.



CHELSEA CRAGER
Assistant Planner



JERRY GUARRACINO
Interim Assistant Director of Development
Services

- Attachments:
1. Draft Planning Commission Resolution and Exhibits
 2. Applicant's Letter
 3. Project Plans
 4. Zoning Administrator Approval Letter
 5. Public Correspondence

Distribution:

- Director of Economic & Development Services/Deputy CEO
- Senior Deputy City Attorney
- Public Services Director
- City Engineer
- Transportation Services Manager
- Fire Protection Analyst
- Staff (6)
- File (2)

Rick Wallace
30100 Town Center Drive, Suite 301
Laguna Niguel, CA 92677

Ed Pranis
5692 Edinger
Huntington Beach, CA 92649

RESOLUTION NO. PC-14-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING PLANNING APPLICATION ZA-14-06 LOCATED AT 2175 PLACENTIA AVENUE

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Rick Wallace, as the authorized agent on behalf of the property owner, Ed Pranis, requesting approval of a minor conditional use permit to allow construction of a two-story oversize garage; and

WHEREAS, a duly noticed public hearing held by the Planning Commission on May 12, 2014 with all persons having the opportunity to speak for and against the proposal;

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit "A," and subject to the conditions of approval contained within Exhibit "B," the Planning Commission hereby **APPROVES** Planning Application ZA-14-06 with respect to the property described above.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application ZA-14-06 and upon applicant's compliance with each and all of the conditions in Exhibit "B", and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

PASSED AND ADOPTED this 12th day of May, 2014.

Jim Fitzpatrick, Chair
Chair, Costa Mesa Planning Commission

STATE OF CALIFORNIA)
)ss
COUNTY OF ORANGE)

I, Claire Flynn, Secretary to the Planning Commission of the City of Costa Mesa, do hereby certify that the foregoing Resolution was passed and adopted at a meeting of the City of Costa Mesa Planning Commission held on May 12, 2014 by the following votes:

AYES: COMMISSIONERS

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS

ABSTAIN: COMMISSIONERS

Secretary, Costa Mesa
Planning Commission

EXHIBIT "A"

FINDINGS

- A. The proposed project complies with Costa Mesa Municipal Code Section 13-29(e) because:

Required Finding: The proposed use is compatible and harmonious with uses on surrounding properties.

Response: Subject to approval of the Minor Conditional Use Permit for the excess garage size the Residential Design Guidelines and Development Code standards, have been met and the proposed development is neighboring another property with two-story development.

Required Finding: Safety and compatibility of the design of the parking areas, landscaping, luminaries, and other site features including functional aspects of the site development such as automobile and pedestrian circulation have been considered.

Response: Safety and compatibility of design of functional aspects of the site development such as automobile and pedestrian circulation will be improved by the new garage taking access from Governor Street instead of Placentia Avenue.

Required Finding: The project, as conditioned, is consistent with the General Plan and any applicable specific plan.

Response: The project is consistent with Community Design objectives CD-7A.1 and CD-7A.2 in that the proposed project will be compatible in size and scale with the surrounding neighborhood. There is no specific plan for this neighborhood.

Required Finding: The project is consistent with any applicable design guidelines adopted by City Council resolution.

Response: The project has been analyzed and found to be consistent with the residential design guidelines, as outlined in this report.

Required Finding: The planning application is for a project-specific case and does not establish a precedent for future development.

Response: Approval will apply to this project-specific location. Conditions have been included that are specific to the proposed project.

- B. The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:

Required Finding: The proposed use is substantially compatible with developments in the same general area and would not be materially detrimental to other properties within the area.

Response: The use, as conditioned, is not anticipated to have any negative effects on the surrounding properties, and is compatible with developments in the same neighborhood, specifically setback and building separation and height requirements are met.

Required Finding: Granting the minor conditional use permit will not be materially detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood.

Response: The new structure will have to comply with all requirements of the California Building Code and garage access will be from Governor Street (a neighborhood street) instead of Placentia Avenue (designated a primary street on the City's Master Plan of Highways).

Required Finding: Granting the minor conditional use permit will not allow a use, density, or intensity which is not in accordance with the General Plan designation and any applicable specific plan for the property.

Response: The proposed garage is a permitted subordinate structure to the existing residence.

- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15303, Class 3(e), New Construction, of the CEQA Guidelines.
- D. The project is exempt from Chapter IX, Article 12, Transportation Demand Management, of Title 13 of the Costa Mesa Municipal Code.

EXHIBIT "B"

CONDITIONS OF APPROVAL

- Plng.
1. The project shall be limited to the type of building as described in this staff report and in the attached plans. Any change in the use, size, or design shall require review by the Planning Division and may require an amendment to the minor conditional use Permit.
 2. Applicant shall defend, indemnify and hold harmless the City, its officials and employees, against all legal actions filed challenging City's approval of the applicant's project and/or challenging any related City actions supporting the approval. City shall have the right to select the attorney defending it, if it elects to do so.
 3. The conditions of approval, code requirements, and special district requirements of ZA-14-06 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
 4. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to occupancy permit. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
 5. All on-site utility services shall be installed underground or with the ability to be underground in the future.
 6. All new and existing construction shall be architecturally compatible with regard to building materials, style, colors, etc. with the existing structure. Plans submitted for plan check shall indicate how this will be accomplished.
 7. No modification(s) of the approved building elevations including, but not limited to, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process such as a minor design review or a variance, or in the requirement to modify the construction to reflect the approved plans.
 8. A land use restriction, executed by and between the applicant and the City of Costa Mesa, shall be recorded prior to the issuance of building permits. This land use restriction shall inform future property owners that the garage and second story game room may not be used as a second unit on the property. Applicant shall submit to the Planning Division a copy of the legal description for the property, and either a lot book report or current title report identifying the current legal property owner so that the document may be prepared.
 9. Deteriorated fences along the north and west property lines shall be replaced with block wall or vinyl fencing.

CODE REQUIREMENTS (ZA-14-06)

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Bldg.
1. Approval of the planning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by obtaining building permits for the authorized construction and initiates construction. If the applicant is unable to obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the planning application.
 2. All construction-related activity shall be limited to between the hours of 7 a.m. and 7 p.m., Monday through Friday, and 9 a.m. to 6 p.m. Saturday. Construction is prohibited on Sundays and federal holidays. Exceptions may be made for activities that will not generate noise audible from off-site, such as painting and other quiet interior work.
 3. Any new mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division. All roof-mounted equipment is prohibited.
 4. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation vault, wall cabinet, or wall box shall be installed under the direction of the Planning Division.
 5. The driveway on Placentia Avenue leading to the existing carport and approach shall be removed and replaced with landscaping.
 6. Comply with the requirements of the 2013 California Building Code, 2013 California Residential Code, 2013 California Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
 7. Applicant shall contact the Air Quality Management District (AQMD) at (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.
 8. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
 9. Projections, including eaves, shall be one-hour fire resistive construction, heavy timber or of noncombustible material if they project into the 5 foot setback area from the property line. They may project a maximum of 12 inches beyond the 3 foot setback. CRC Tables

R302.1(1) and R302.1(2).

WALLACE DESIGN GROUP

Architecture Planning Interiors

ATTACHMENT 2

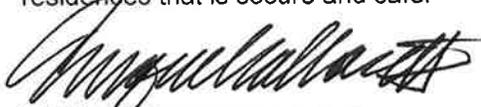
24 January 2014

City of Costa Mesa
Development Services Department
77 Fair Drive
Costa Mesa, CA 92628

Re: Minor Conditional Use Permit
2175 Placentia

The purpose of the Minor Conditional Use Permit application for this project is due to the proposed development including a 4-car garage that exceeds 700 square feet. The existing carport with driveway access from Placentia is to be enclosed as part of the single family dwelling. The existing carport is not conducive to a vehicular backing into the street to due to the traffic volume along Placentia. The property owner proposes to build a 928 s.f. four (4) car garage with second floor entertainment room to provide secured off street parking for tenants.

The proposed property improvements are intended to enhance the neighborhood and eliminate off site parking by residences that is secure and safe.



WALLACE DESIGN GROUP
Enrique Wallace III
Architect, C15704

NEW GARAGE & GAME ROOM AND ROOM ADDITION FC

the PRANIS RESIDENCE

ATTACHMENT 3

W.D.G
ACE
ROUP
ENTER DR.
DI
CA 92627
949/ 246-3083
This drawing and its contents are the copyrighted property of Wallace Design Group, Inc. and its approval is required for the reproduction of this drawing in whole or in part without the written permission of Wallace Design Group, Inc.
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20. CITY APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE GENERAL CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ON COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
21. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE JOB IS IN PROGRESS AND UNTIL JOB IS COMPLETED.
22. SUBCONTRACTOR SHALL START HIS WORK PROMPTLY, PURSUE IT DILIGENTLY AND COMPLETE IT IN ACCORDANCE WITH GENERAL CONTRACTOR'S PROGRESS SCHEDULE. NORMALLY EXPECTED RAINFALL CONDITIONS SHALL NOT BE CAUSE FOR AUTHORIZED EXTENSION.
23. THE USE OF ALCOHOL OR ANY CONTROLLED SUBSTANCES IS PROHIBITED AT THE JOB SITE AND ANY PERSON FOUND TO BE UNDER THE INFLUENCE OF A CONTROLLED SUBSTANCE WILL BE REFUSED ENTRY TO THE JOB SITE.
24. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL FINISH MATERIALS. HE SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE ABOVE-MENTIONED MATERIALS. OBSERVATION VISITS TO THE SITE BY STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
25. FLAME-SPREAD REQUIREMENTS-ALL INTERIOR CEILING AND WALL FINISHES EXCEPT TRIM OR WALL PAPERINGS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF CLASS C OR BETTER AS DETERMINED BY ASTM E 84 FLAME-SPREAD RATINGS OF 75-200.
26. PROVIDE SAFETY GLAZING IN LOCATIONS SPECIFIED IN CBC 2406 - GLASS TO BE ETCH MARKED.
27. ALL MATERIALS AND EQUIPMENT SHALL BE NEW, BEAR THE UNDERWRITERS LABORATORY LABEL (UL) AND BE INSTALLED AS APPROVED AND PER MANUFACTURER'S REQUIREMENTS.
28. TEST ALL NEWLY INSTALLED ELECTRICAL CIRCUITS FOR LINE TO GROUND FAULTS.
29. PROVIDE ONE-HOUR FIRE RESISTIVE CONSTRUCTION AT WALLS AND CEILING FOR ENCLOSED USABLE SPACE UNDER STAIRWAYS PER CBC REQUIREMENTS.
30. PROVIDE SMOKE DETECTORS IN EACH HALLWAY LEADING TO BEDROOMS OF NEW AND EXISTING CONSTRUCTION AND ON TOP OF STAIRWAY PER CBC 907.5.01.
31. FIRE-WARNING SYSTEM - PROVIDE APPROVED ELECTRONICALLY WIRED SMOKE DETECTOR AND ALARM CONFORMING TO CBC 907.5.01.1 ON CEILING NEAR SLEEPING ROOMS, AND ABOVE STAIRS. PROVIDE DETECTORS ON EACH FLOOR ADJACENT TO BEDROOMS WITH NO SWITCH ON CIRCUIT EXCEPT FOR OVERLOAD PROTECTION.
32. FLAME-SPREAD REQUIREMENTS-ALL INTERIOR CEILING AND WALL FINISHES EXCEPT TRIM OR WALL PAPERINGS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF CLASS-C OR BETTER AS DETERMINED BY ASTM E 84 FLAME-SPREAD RATINGS OF 75-200.
33. PROVIDE SAFETY GLAZING IN LOCATIONS SPECIFIED IN CBC 2406 - GLASS TO BE ETCH MARKED.
34. ALL GAS FIRE EQUIPMENT INCLUDING FURNACES, COOKING EQUIPMENT, WATER HEATERS AND CLOTHES DRYERS SHALL CONFORM TO TITLE 20, REGULATIONS FOR APPLIANCE EFFICIENCY STANDARDS, GAS COOKING APPLIANCES SHALL HAVE INTERMITTENT IGNITION DEVICES.
35. IT IS THE OWNER'S INTENTION THAT PLUMBING SHALL NOT INTERFERE WITH THE AESTHETICS OF THE COMPLETED BUILDING. THEREFORE, ALL EXPOSED CLEAN-OUTS SHALL BE INSTALLED PLUMB WITH FINISHED WALLS WITH A FINISH COVER. IN KITCHENS, CLEAN-OUTS SHALL BE AT LEAST 6" OFF THE FLOOR. ALL STUB-OUTS, SHUT-OFFS, ETC., SHALL BE LOCATED WITH APPROVAL OF INSPECTING AUTHORITIES.
36. WATER HEATERS SHALL HAVE 6" UNOBSTRUCTED CLEARANCE IN FRONT OF UNIT AND 2" MINIMUM AT SIDES AND REAR. COMPARTMENT DOOR SHALL BE 2'-0" WIDE, MINIMUM. WHEN LOCATED IN GARAGE, PLACE ON 2" HIGH PLATFORM COVERED WITH 5/8" TYPE OF GYP-SUM BOARD PROTECTED WITH 1/2" PLYWOOD LAYER OVER. PROVIDE 80 SQ. IN. IN MINIMUM VENTS OR 1 SQ. IN. PER 1000 BTU WITHIN 12" OF BOTH FLOOR AND CEILING. (800 SQ. IN. TOTAL MINIMUM) WATER HEATERS WITH NON-RESED WATER CONNECTIONS SHALL BE STRAPPED FOR LATERAL SUPPORT.
37. WATER HEATERS SHALL HAVE INSULATION BLANKET OF R-11 MINIMUM. PIPES WITHIN 6 FEET SHALL BE INSULATED WITH R-5 MINIMUM AND PROVIDE INSULATION ON RETURN AND CIRCULATION HOT PIPES IN UNCONDITIONED SPACES.
38. PROVIDE CABLE T.V. PER MUNICIPAL CODES AND PUBLIC WORKS SPECIFICATIONS.
39. THE FOLLOWING ITEMS REQUIRE A SEPARATE PERMIT:
A. ALL FENCES REQUIRE A SEPARATE BUILDING PERMIT.
B. DETACHED WALLS.
40. SECTION 41314217 OF THE GOVERNMENT CODE REQUIRES A D19 ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A PERMIT TO EXCAVATE WILL VALID. FOR D19 ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT; TOLL FREE 800/ 423-4133 TWO WORKING DAYS BEFORE YOU DIG.

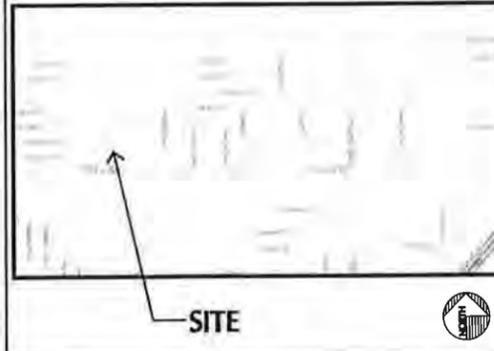
GENERAL NOTES

3. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
4. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS.
5. ANY REQUESTED CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE BY THE ARCHITECT OR ENGINEER IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN OR NEAR THE CONSTRUCTION SITE.
6. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT OR ENGINEER FIELD REPRESENTATIVES DURING CONSTRUCTION SHALL BE Distinguished FROM CONTRACTOR AND DETAILED INSPECTION SERVICES WHICH MAY BE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ARCHITECT OR ENGINEER, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, BUT THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
7. ALL WORK SHALL CONFORM TO THE LATEST APPLICABLE CONSTRUCTION SAFETY REQUIREMENTS OF OSHA AND ANY OTHER GOVERNMENTAL ENTITY HAVING JURISDICTION.
8. NO REVISIONS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE ARCHITECT. IF CONDITIONS ARE FOUND IN THE FIELD WHICH DO NOT AGREE WITH THOSE SHOWN ON THE PLANS, THE ARCHITECT IS TO BE NOTIFIED BEFORE PROCEEDING WITH THE WORK.
9. ANY OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT BEFORE PROCEEDING WITH ANY OF THE WORK SO INVOLVED. ALL WORK IS TO BE COORDINATED SO THAT COOPERATION BETWEEN ALL TRADES WHERE REQUIRED IS ACCOMPLISHED. VERIFY ALL EXISTING DIMENSIONS.
10. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS - DO NOT SCALE.
11. THE CONTRACTOR SHALL REQUIRE SUCH COOPERATION OF THE VARIOUS TRADES AS WILL BE NECESSARY TO COMPLETE EACH AND EVERY PART OF THE WORK, EVEN THOUGH NOT SPECIFICALLY INDICATED, NOTED OR DETAILED ON THE DRAWINGS OR SPECIFIED.
12. THE SUBCONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ALL ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY HIS EMPLOYEES OR WORK, AND AT THE COMPLETION OF THE WORK SHALL REMOVE ALL RUBBISH, DEBRIS AND WASTE MATERIALS FROM IN AND ABOUT THE BUILDING AND LEAVE THE WORK AREA CLEAN.
13. FIRE PRECAUTIONS AND PROTECTION. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL TAKE NECESSARY PRECAUTIONS TO GUARD AGAINST AND ELIMINATE POSSIBLE FIRE HAZARD AND TO PREVENT DAMAGE TO CONSTRUCTION WORK, BUILDING MATERIALS, EQUIPMENT, TEMPORARY FIELD OFFICES, STORAGE SHEDS, AND PUBLIC AND PRIVATE PROPERTY. THE GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, MAINTAINING AND ENFORCING THE FOLLOWING CONDITIONS AND REQUIREMENTS DURING THE ENTIRE CONSTRUCTION PERIOD.
A. ELECTRICAL OUTLET BOXES IN OPPOSITE FACES OF SEPARATION WALLS SHALL BE SEPARATED HORIZONTALLY BY 24". BACK AND SIDES OF BOXES TO BE SEALED WITH 1/2" RESILIENT SEALANT AND BACKED WITH 1" MINIMUM GENERAL FIBER INSULATION. (TV, TELEPHONE AND INTERCOM OUTLETS MUST BE INSTALLED IN BOXES ACCORDINGLY).
14. APPROVED ACOUSTICAL SEALANT SHALL BE PROVIDED ALONG THE JOINT BETWEEN THE FLOOR AND THE SEPARATION WALL.
15. ALL PENETRATIONS INTO PARTITIONS OF FLOOR-CEILING ASSEMBLIES SHALL BE SEALED WITH APPROVED PERMANENT RESILIENT SEALANT.
16. ALL PLUMBING PIPES AND APPLIANCE VENTS SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES, MOUNTS OR MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL. EXCEPTION: GAS PIPING NEED NOT BE ISOLATED.
17. MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES TO A POINT OF BEYOND THE PIPE OR DUCT, WHEREVER A PLUMBING PIPE, OR DUCT PENETRATES A FLOOR-CEILING ASSEMBLY OR WHERE SUCH UNIT PASSES THROUGH THE PLANE OF THE FLOOR-CEILING ASSEMBLY FROM WITHIN A WALL.
18. WITH EXCEPTIONS AS SPECIFIED AND/OR INDICATED ON THE DRAWINGS, APPLY, INSTALL, CONNECT, ERECT, USE, CLEAN AND CONDITION MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT PER MANUFACTURER'S CURRENT PRINTED RECOMMENDATIONS, KEEP COPIES OF SUCH PRINTED RECOMMENDATIONS AT JOB SITE AND MAKE AVAILABLE TO OWNER OR HIS REPRESENTATIVE.
19. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REPAIR ANY FAULTY, IMPROPER OR DEFECTIVE MATERIALS OR WORKMANSHIP OR ANY DAMAGE TO OTHER WORK RESULTING THEREFROM, WITHOUT COST TO OWNER WHICH SHALL APPEAR WITHIN ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
20. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OF PLANS FOR BID PURPOSES PRIOR TO ISSUANCE OF BUILDING PERMIT.
21. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONNECTION WITH THE EXECUTION OF WORK.
22. FIELD INSPECTORS TO REVIEW AND APPROVE FUTURE UNDERGROUND SERVICE REQUIREMENTS PRIOR TO CONCRETE PLACEMENT.
23. PERMITS: THE GENERAL BUILDING PLAN CHECK FEES AND PERMIT SHALL BE SECURED AND PAID FOR BY THE OWNER. THE PLUMBING, MECHANICAL AND ELECTRICAL SUBCONTRACTORS SHALL SECURE PERMITS FOR THEIR RESPECTIVE TRADES.

GENERAL NOTES

15

VICINITY MAP



CITY PROJECT REQUIREMENTS:

1. PROVIDE HOUSE STREET NUMBER TO BE VISIBLE & LEGIBLE FROM STREET.
2. SEPARATE PERMIT IS REQUIRED FOR ACCESSORY BUILDING, PATIO COVER, WALLS, SWIMMING POOL, RETAINING WALLS, DEMOLITION, ETC.

FIRE NOTES

FIRE DEPARTMENT NOTES

1. FIRE DEPARTMENT FINAL INSPECTION REQUIRED. SCHEDULE ALL INSPECTIONS 24 HOURS IN ADVANCE.
2. EXTINGUISHER LOCATIONS AND RATINGS TO BE DETERMINED BY THE FIRE INSPECTOR. FIRE EXTINGUISHER REQUIREMENTS SHALL BE DETERMINED BY FIELD INSPECTION. FIRE CODE 1.03064.
3. BUILDING ADDRESS NUMBERS TO BE PROVIDED ON THE FRONT OF ALL BUILDINGS AND SHALL BE VISIBLE AND LEGIBLE FROM STREET FRONTING THE PROPERTY. SIGN HEIGHTS SHALL BE MIN. 6" HIGH AND CONTRAST WITH THEIR BACKGROUND. FIRE CODE 1.03064.
4. ORANGE COUNTY FIRE AUTHORITY MAIN OFFICE: 714/ 575-9100 INSPECTIONS: 714/ 575-9163

GENERAL NOTES

THE FOLLOWING NOTES SHALL APPLY TO ALL DRAWINGS UNLESS OTHERWISE SHOWN OR NOTED.

1. ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2010 EDITION OF THE CALIFORNIA BUILDING CODE, CBC, CBC, AND CBC AS AMENDED BY CITY ORDINANCE AND THE 2008 TITLE 24 ENERGY REGULATIONS. ALL WORK AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF LOCAL AND BUILDING CODES.
2. THE SPECIFICATION MANUAL IS A PART OF THESE CONSTRUCTION DOCUMENTS. SEE SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.

ACOUSTICAL GENERAL NOTES:

- A. ELECTRICAL OUTLET BOXES IN OPPOSITE FACES OF SEPARATION WALLS SHALL BE SEPARATED HORIZONTALLY BY 24". BACK AND SIDES OF BOXES TO BE SEALED WITH 1/2" RESILIENT SEALANT AND BACKED WITH 1" MINIMUM GENERAL FIBER INSULATION. (TV, TELEPHONE AND INTERCOM OUTLETS MUST BE INSTALLED IN BOXES ACCORDINGLY).
- B. APPROVED ACOUSTICAL SEALANT SHALL BE PROVIDED ALONG THE JOINT BETWEEN THE FLOOR AND THE SEPARATION WALL.
- C. ALL PENETRATIONS INTO PARTITIONS OF FLOOR-CEILING ASSEMBLIES SHALL BE SEALED WITH APPROVED PERMANENT RESILIENT SEALANT.
- D. ALL PLUMBING PIPES AND APPLIANCE VENTS SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES, MOUNTS OR MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL. EXCEPTION: GAS PIPING NEED NOT BE ISOLATED.
- E. MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES TO A POINT OF BEYOND THE PIPE OR DUCT, WHEREVER A PLUMBING PIPE, OR DUCT PENETRATES A FLOOR-CEILING ASSEMBLY OR WHERE SUCH UNIT PASSES THROUGH THE PLANE OF THE FLOOR-CEILING ASSEMBLY FROM WITHIN A WALL.

GENERAL NOTES

SHEET INDEX

T-1 PROJECT INFORMATION, GENERAL NOTES, VICINITY MAP
SPECIFICATIONS:

- SP-1 SPEC DIV. 1 - GENERAL REQUIREMENTS THRU DIV. 5 - WOOD.
- SP-1 SPEC DIV. 6 - WOOD (CONT'D) THRU DIV. 16 - ELECTRICAL.

ARCHITECTURAL:

- A-1 SITE PLAN & ROOF PLAN
- A-2 1ST FLOOR PLAN, 2ND FLOOR PLAN, DOOR SCHEDULE
- A-3 2ND FLOOR PLAN, WINDOW SCHEDULE
- A-4 SECTIONS, FINISH SCHEDULE
- A-5 EXTERIOR ELEVATIONS
- A-6 DETAILS
- EM-1 T-24 ENERGY COMPLIANCE FORMS
- EM-2 T-24 ENERGY COMPLIANCE FORMS

STRUCTURAL:

- S-1 FOUNDATION & ROOF FRAMING PLANS
- S-2 STRUCTURAL NOTES
- S-3 FOUNDATION DETAILS
- S-4 GENERAL DETAILS
- S-5 STRUCTURAL DETAILS

PROJECT DATA

ADDRESS: 2775 PLACENTIA AVE.
LEGAL DESCRIPTION: NTR 1872, LOT 61
TRACT 13003
ASSESSOR'S PARCEL NO: 422 - 432 - 21
SITE DATA:

ZONING / DISTRICT:	R-1 LOW DENSITY RESIDENTIAL
LOT AREA:	8,776 S.F. (0.20 ACRE)
ALLOWABLE LOT COVERAGE:	40% MAX. COVERAGE 3,510 S.F.
PROPOSED LOT COVERAGE:	34.8% COVERAGE 3,085 S.F.
EXISTING RESIDENCE AREA:	1,636 SQ. FT. 1ST FLOOR 1,225 S.F. PORCH & CARPORT 411 S.F.
PROPOSED GARAGE BLDG AREA:	828 SQ. FT.
PROPOSED DRIVEWAY AREA:	320 SQ. FT.
TOTAL SITE COVERAGE AREA:	3,285 SQ. FT.

BUILDING DATA:

APPLICABLE CODES:	2010 CBC 2010 CMC 2010 CEC AS AMENDED BY CITY ORDINANCE 2010 CPC 2008 TITLE 24 ENERGY
OCCUPANCY:	R-3 & U-1
USE:	SINGLE FAMILY RESIDENCE
CONSTRUCTION TYPE:	V-5
STORIES ALLOWED:	2-STORIES
FIRE SPRINKLERS:	NO

EXISTING RESIDENCE:

EXISTING RESIDENCE FLOOR AREA:	1,640 SQ. FT.
ENCLOSED CAR PORT AREA ADDITION:	245 SQ. FT.
TOTAL RESIDENCE AREA:	1,485 SQ. FT.

GARAGE & GAME ROOM:

NEW GARAGE 1ST FLR AREA:	828 SQ. FT.
NEW 2ND FLOOR AREA:	735 SQ. FT.
NEW 2ND FLOOR DECK AREA:	195 SQ. FT.
PROPOSED BUILDING AREA:	1,656 SQ. FT.

PROJECT DESCRIPTION:

- THE SCOPE OF THE IMPROVEMENT OF THE RESIDENTIAL ADDITION IS AS FOLLOWS:
1. NEW 4-CAR GARAGE AND 2ND FLOOR DECK & ENTERTAINMENT/GAME ROOM
 2. ENCLOSE EXISTING CARPORT OF EXISTING RESIDENCE FOR MASTER SUITE ADDITION.

PROJECT DATA

CONSULTANT

PROJECT TITLE

NEW ADDITION & REMODEL FOR:
the PRANIS RESIDENCE
2775 PLACENTIA, COSTA MESA, CA 92627

SHEET TITLE

SHEET INDEX
PROJECT DATA
GENERAL NOTES

REVISIONS

JOB NO. 13-0827
DATE 15 NOV 2013

SHEET NUMBER

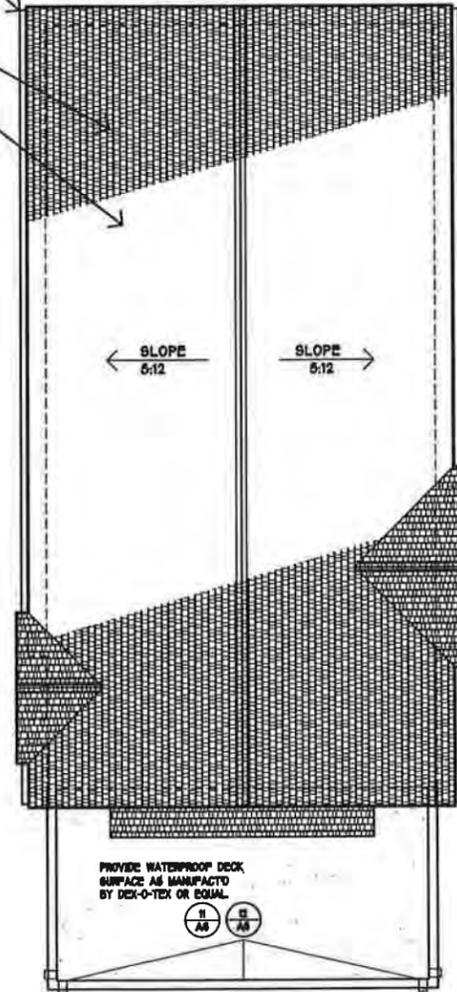
T-1



EXISTING ADJACENT PROPERTIES AS SEEN FROM THE SITE

3

- NEW PAINTED GALV. MTL. GUTTERS. REVIEW DOWNSPOUT LOCATIONS W/ ARCHITECT PRIOR TO INSTALLATION (TYPICAL)
- ASPHALT SHINGLE ROOF ON BASK SHITS & FLYWD SHITS. - SLOPE TO DRAIN SW/PT. MBL
- ROOFING MATERIAL TO BE 30AF-ELK TIMBERLINE PRESTIGE GRANDE 40" CLASS-A ROOF. EBR-1001 AS MANUFACTURED BY GAP MATERIALS CORP.



ATTIC VENT NOTE:

THE REQUIRED VENTILATION AREA RATIO IS 1/50 OF ATTIC AREA WITH 50% OF OPENINGS 9" ABOVE EAVE OR CORNICE VENTS OR 1/300 OF ATTIC AREA IF A VAPOR RETARDER IS PROVIDING THE REMAINING PORTION OF THE VENT AREA. OPENINGS TO HAVE 1/4 INCH CORROSION RESISTANT METAL MESH COVERING. CBC 1203.2.

ALTERNATE: PROVIDE SOLAR POWERED ATTIC FAN TO MEET OR EXCEED CBC COMPLIANCE.

ENERGY NOTE:

1. PROVIDE R-30 BATT INSULATION AT ATTIC CEILING FRAMING OF ADDITION.
2. PROVIDE RADIANT BARRIER ASV. ROOF RAFTERS AT UNDERSIDE OF FLYWD. SHITS.

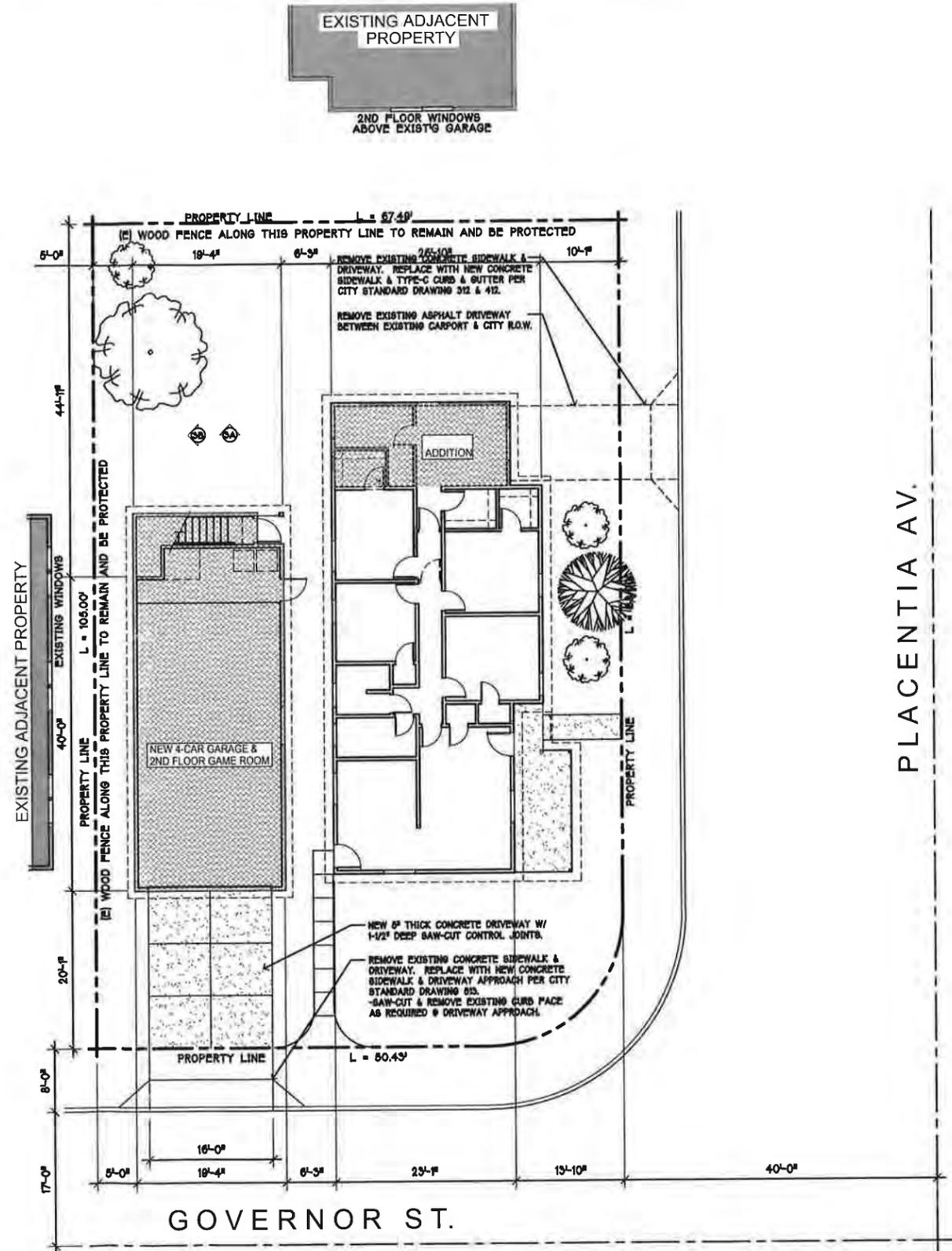
PROVIDE WATERPROOF DECK SURFACE AS MANUFACTURED BY DEK-O-TEX OR EQUAL.



ROOF PLAN

SCALE: 1/8" = 1'-0"

2



GOVERNOR ST.

PLACENTIA AV.

SITE PLAN

SCALE: 1/8" = 1'-0"

1

W·D·G
WALLACE
DESIGN GROUP
30100 TOWN CENTER DR.
SUITE C801
LAGUNA HILLS, CA 92657
949/246-3683

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CONSULTANT

PROJECT TITLE

NEW ADDITION & REMODEL FOR:
the PRANIS RESIDENCE
2775 PLACENTIA, COSTA MESA, CA 92627

SHEET TITLE

SITE PLAN
&
ROOF PLAN

REVISIONS
17MAR14 ELEV REVISED

JOB NO. 13-0827
DATE 15 NOV 2013

SHEET NUMBER



A-1

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PROJECT TITLE

NEW ADDITION & REMODEL FOR :
the PRANIS RESIDENCE
 2775 PLACENTIA, COSTA MESA, CA 92627

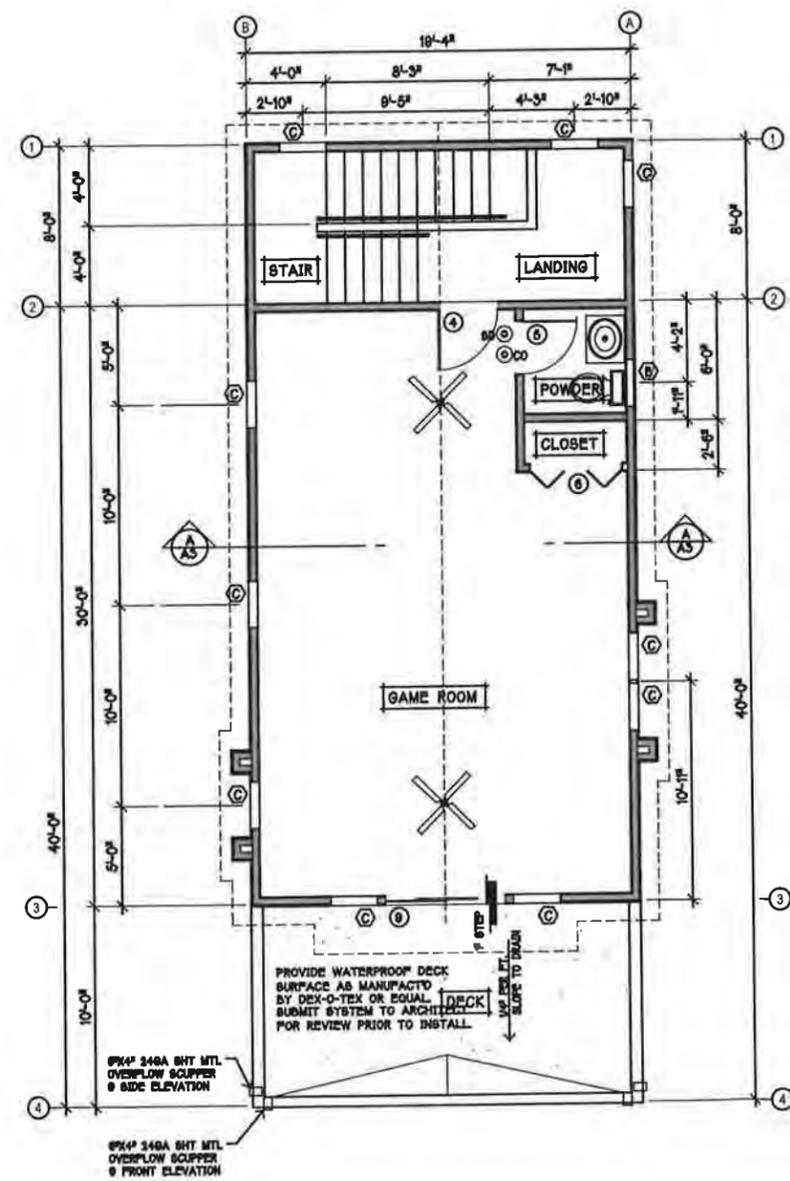
SHEET TITLE

FIRST FLOOR
 &
 SECOND FLOOR
 PLAN

REVISIONS
 17/MAR/14 ELEV REVISED

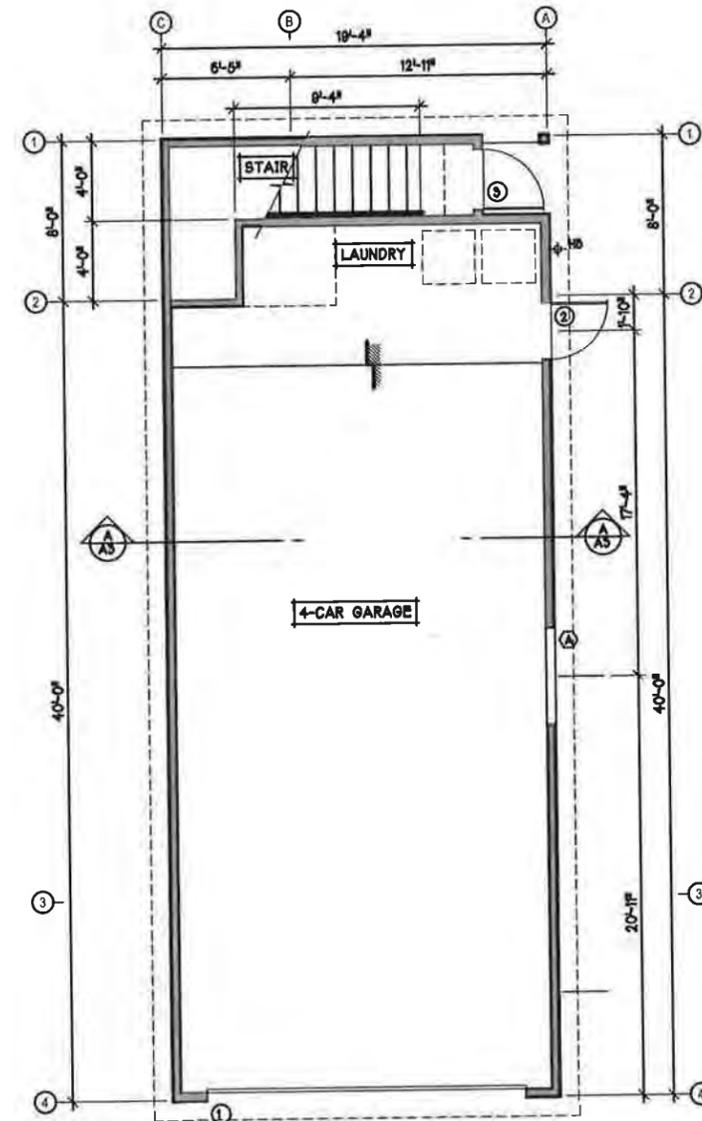
JOB NO. 13-0827
 DATE 15 NOV 2013

SHEET NUMBER



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0" 2



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0" 1

A-2

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PROJECT TITLE

NEW ADDITION & REMODEL FOR :
the PRANIS RESIDENCE
 2775 PLACENTIA, COSTA MESA, CA 92627

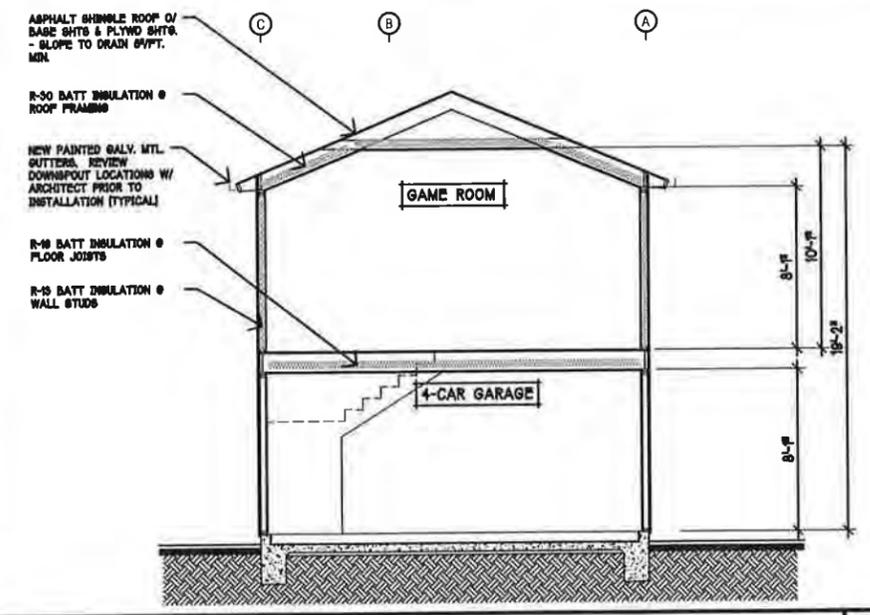
SHEET TITLE
ADDITION FLOOR PLAN & SECTION

REVISIONS

JOB NO. 13-0827
 DATE 15 NOV 2013

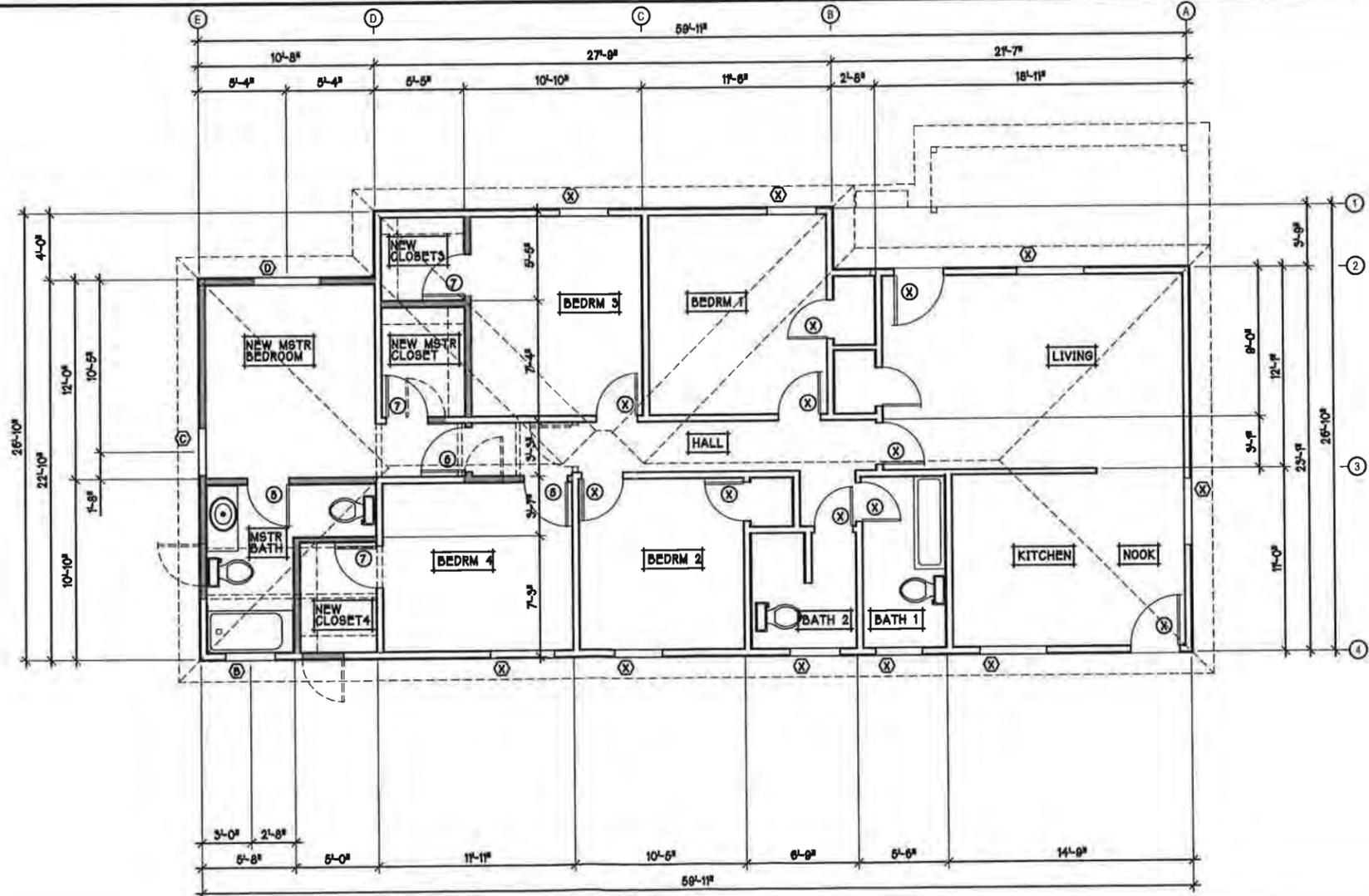
SHEET NUMBER

A-3



SECTION A - A

SCALE :
 1/4" = 1'-0" A



HOUSE FLOOR PLAN - ADDITION

SCALE :
 1/4" = 1'-0" 1

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CONSULTANT

PROJECT TITLE

NEW ADDITION & REMODEL FOR:
the PRANIS RESIDENCE
 2775 PLACENTIA, COSTA MESA, CA 92627

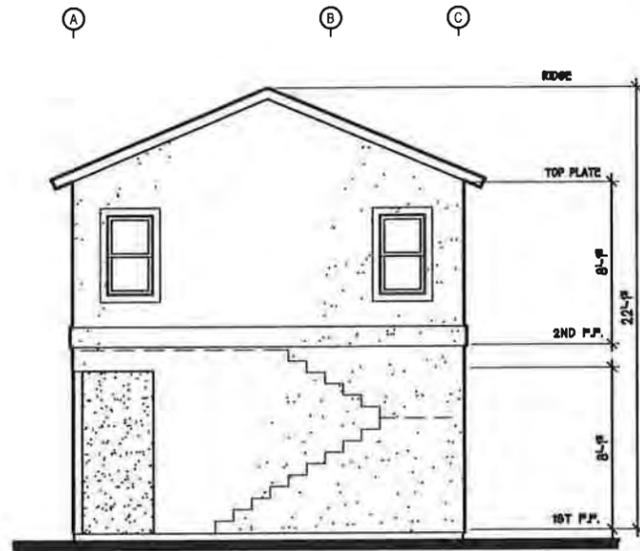
SHEET TITLE
ELEVATIONS

REVISIONS
 17MAR14 ELEV REVISED

JOB NO. 13-0827
 DATE 15 NOV 2013

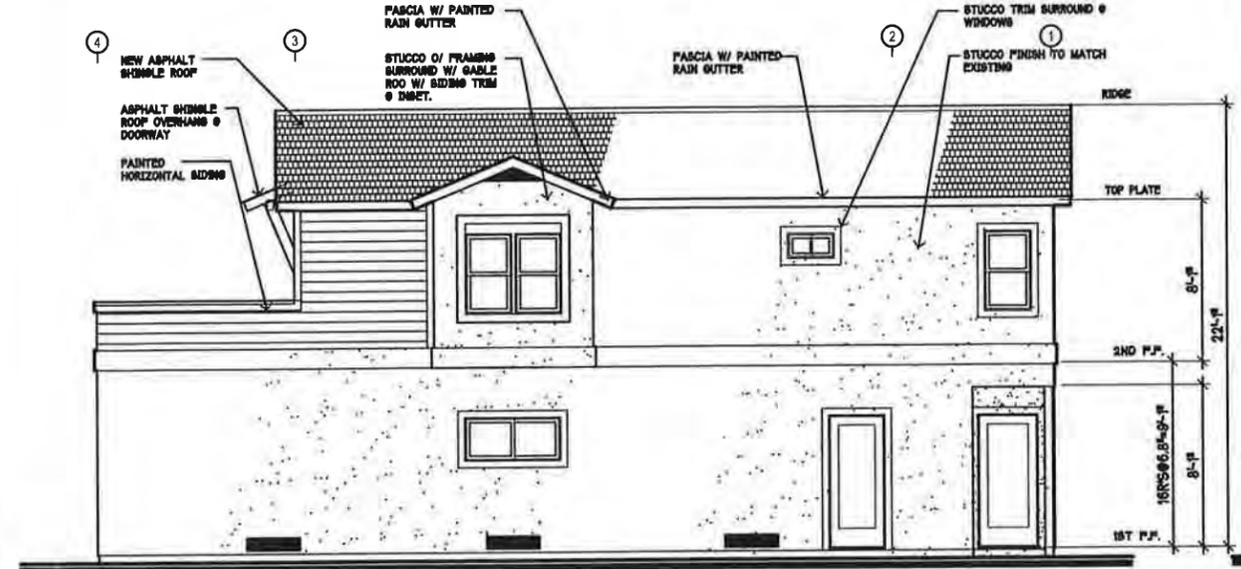
SHEET NUMBER

A-4



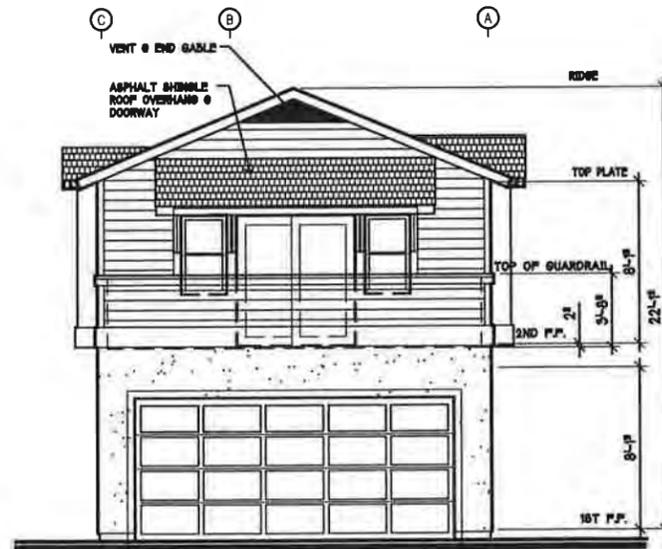
REAR NORTH ELEVATION

SCALE: 1/4" = 1'-0" 3



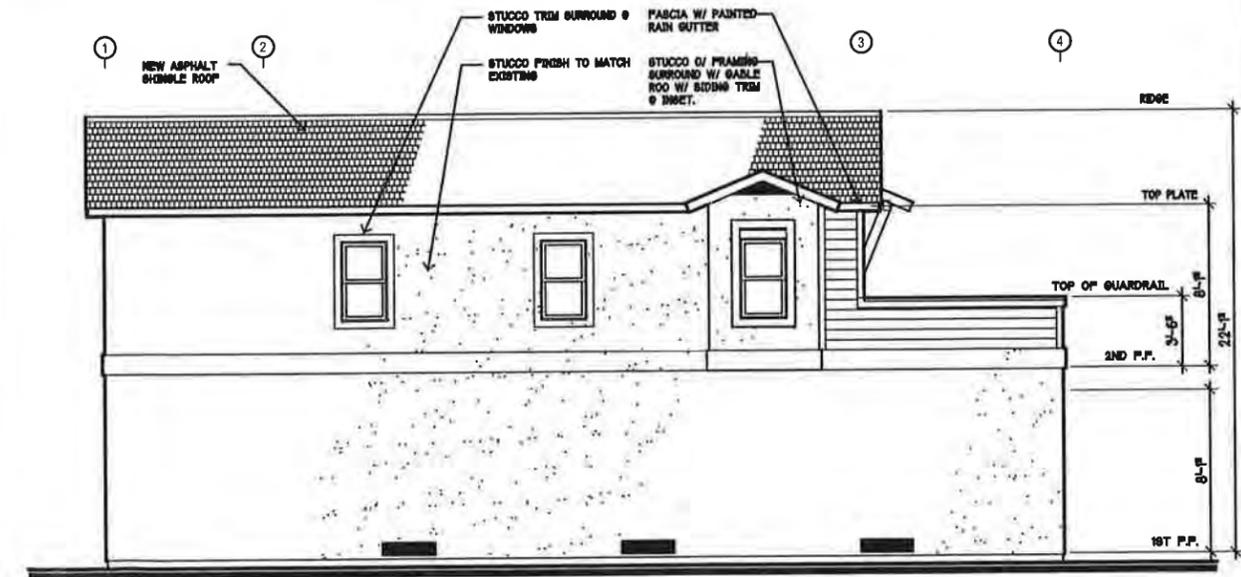
PARTIAL WEST SIDE ELEVATION

SCALE: 1/4" = 1'-0" 1



SOUTH SIDE ELEVATION

SCALE: 1/4" = 1'-0" 4



PARTIAL EAST ELEVATION

SCALE: 1/4" = 1'-0" 2



CITY OF COSTA MESA

ATTACHMENT 4

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

April 10, 2014

Rick Wallace
30100 Town Center Drive, Suite 301
Laguna Niguel, CA 92677

**RE: ZONING APPLICATION ZA-14-06
MINOR CONDITIONAL USE PERMIT TO CONSTRUCT AN OVERSIZE
GARAGE AND SECOND STORY GAME ROOM
2175 PLACENTIA AVENUE, COSTA MESA**

Dear Mr. Wallace:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on April 17, 2014, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Chelsea Crager, at (714) 754-5609, or at chelsea.crager@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description
 Findings
 Conditions of Approval, Code Requirements, and Special District
 Requirements
 Approved Conceptual Plans

cc: Engineering
 Fire Protection Analyst
 Building Safety Division

PROJECT DESCRIPTION

Location

The subject property (2175 Placentia Avenue) is located on the northwest corner of Placentia Avenue and Governor Street in an R1 (Single Family Residential) zone. The lot is 8,276 square feet and is improved with an existing one-story single family residence and one covered carport that takes access from Placentia Avenue. The subject property is surrounded by similar properties also zoned R1 to the north, south, and west. Across Placentia Avenue to the east are R2-MD (Multiple Family Residential Medium Density) zoned properties.

Proposed Project

The applicant proposes to construct a 928 square foot detached garage (700 square foot maximum allowed) with a second story game room at the interior side of the property, setback 5 feet from the left side property line and 40 feet from the rear property line. The proposed garage will take access from Governor Street, the front of the property. The garage will provide four covered parking spaces (two tandem) and a laundry area. The 753 square foot, second story, game room will contain a powder room and a 193 square foot deck on the south side of the structure facing Governor Street.

A minor conditional use permit is required for the excess garage area; all other development standards are to be satisfied.

ANALYSIS

The oversized garage will provide four covered parking spaces for the residence. The garage, though oversized, meets all required setback and building separation requirements. A land use restriction will be required for the game room to ensure it is not utilized as a second unit on the property.

The proposed garage and second story game room, when developed in conjunction with the proposed remodel of the home, will provide safer access for vehicles parking on the property. The existing carport be replaced by a master bedroom suite addition and the driveway on Placentia Avenue, a primary street, will be removed. The property will instead take access from Governor Street, a neighborhood street.

The proposed garage, as conditioned, is consistent with the Zoning Code and the City's General Plan because the proposed oversized garage should not adversely impact the surrounding uses. The proposed structure is consistent with the City's General Plan and Residential Development Standards. Specifically, with the recommended conditions of approval and the code requirements, the use will be consistent with surrounding uses,

as specified in Objectives CD-7A.1 and CD-7A.2 and of the General Plan Community Design Element.

FINDINGS

A. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:

1. The proposed use is compatible with developments in the same general area, specifically setback and building separation requirements are met.
2. Granting the minor conditional use permit will not be detrimental to the health, safety and general welfare of the public or other properties or improvements within the immediate vicinity because the new structure will have to comply with all requirements of the California Building Code and garage access will be from Governor Street (a neighborhood street) instead of Placentia Avenue (designated a primary street on the City's Master Plan of Highways).
3. Granting the minor conditional use permit will not allow a use, density or intensity that is not in accordance with the General Plan designation for the property since the garage is a permitted subordinate structure to the existing residence.

B. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:

1. There will be a compatible and harmonious relationship between the proposed building and the site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood. Specifically, residential development standards, with the exception of the excess size, are met.
2. Safety and compatibility of the design of buildings, parking area, landscaping, luminaries, and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation have been considered and will be improved by the new garage taking access from Governor Street instead of Placentia Avenue.
3. The structure complies with performance standards described elsewhere in this Zoning Code. Specifically with the exception of the size of the garage, all development standards are met.
4. The structure is consistent with the General Plan, specifically Community Design Element Objective CD-7A.1 and CD-7A.2.
5. This zoning application is for a project-specific case and is not to be construed to

be setting a precedent for future development.

- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15303, Class 3(e), New Construction, of the CEQA Guidelines.
- D. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CONDITIONS OF APPROVAL

- Plng.
- 1. The project shall be limited to the type of building as described in this staff report and in the attached plans. Any change in the use, size, or design shall require review by the Planning Division and may require an amendment to the minor conditional use Permit.
 - 2. A minimum 20 foot by 20 foot clear inside dimension shall be provided for the required two-car garage. The proposed garage shall be used only for non-habitable purposes.
 - 3. The conditions of approval, code requirements, and special district requirements of ZA-14-06 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
 - 4. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to occupancy permit. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
 - 5. All on-site utility services shall be installed underground or with the ability to be underground in the future.
 - 6. All new and existing construction shall be architecturally compatible with regard to building materials, style, colors, etc. with the existing structure. Plans submitted for plan check shall indicate how this will be accomplished.
 - 7. No modification(s) of the approved building elevations including, but not limited to, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process such as a minor design review or a variance, or in the requirement to modify the construction to reflect the approved plans.
 - 8. A land use restriction, executed by and between the applicant and the City of Costa Mesa, shall be recorded prior to the issuance of building permits. This land use restriction shall inform future property owners that the garage and second story game room may not be used as a second unit on the property. Applicant shall submit to the Planning Division a copy of the legal

description for the property, and either a lot book report or current title report identifying the current legal property owner so that the document may be prepared.

9. Deteriorated fences along the north and west property lines shall be replaced.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. Approval of the planning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by obtaining building permits for the authorized construction and initiates construction. If the applicant is unable to obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the planning application.
 2. All construction-related activity shall be limited to between the hours of 7 a.m. and 7 p.m., Monday through Friday, and 9 a.m. to 6 p.m. Saturday. Construction is prohibited on Sundays and federal holidays. Exceptions may be made for activities that will not generate noise audible from off-site, such as painting and other quiet interior work.
 3. Any new mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division. All roof-mounted equipment is prohibited.
 4. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation vault, wall cabinet, or wall box shall be installed under the direction of the Planning Division.
 5. The driveway on Placentia Avenue leading to the existing carport and approach shall be removed and replaced with landscaping.
- Bldg.
6. Comply with the requirements of the 2013 California Building Code, 2013 California Residential Code, 2013 California Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
 7. Submit grading plans, an erosion control study, and a hydrology study. A precise grading plan shall not be required if any of the following are met:

COLGAN, JULIE**ATTACHMENT 5 -**

From: Elinor Courvoisier <couvymom@gmail.com>
Sent: Wednesday, April 09, 2014 11:16 AM
To: PLANNING COMMISSION
Subject: 2175 Placentia

This email is in response to the Official Public Notice regarding construction of a detached two-story, four-car garage over 700 sq.ft. at 2175 Placentia Avenue.

As a property owner at 804 Congress Street, this addition concerns me. I cannot understand any positive value to our neighborhood. There are no multiple story residences in this section of the neighborhood so this two-story structure would change the footprint of the area. Although the idea of a garage to pull cars off the streets would be positive, (there are a high volume of cars on these side streets due in large part to the high density on the other side of Placentia and lack of adequate parking available for those residences) there is also a huge concern that the garage and/or second story would eventually be turned into illegal housing adding to the density of people and vehicles in the area. This is already a concern on the street where I live.

Thank you for your consideration of our neighborhood. This might not be the fanciest or most expensive part of Costa Mesa to showcase, but it is our neighborhood and we love it. We want it to be a positive, welcoming place for residents for a long time to come.

Elinor Courvoisier
804 Congress Street

From: Chris Fewel <chrisfewel@gmail.com>
Sent: Monday, May 12, 2014 10:39 AM
To: jimfitzeco@gmail.com
Cc: PLANNING COMMISSION; 'Mary Fewel'
Subject: ZA-14-06; 2175 Placentia Avenue

Hi Jim,

This project is before you this evening and I wanted to weigh in as it has several of my neighbors quite concerned. Their concern stems primarily from the fear that this enormous structure will end up being converted to a rental unit. I know that the applicant is saying that they won't do this, but perhaps there is sufficient reason to add to any approved variance a mandatory inspection by the city every five years to make sure it remains a garage?

But my concern is for the next door neighbor. This structure will be built five feet from their property line! It seems to me that Staff has arbitrarily identified Governor Street as the front of this property. By doing so, they are able to ascribe a five foot setback to the western side of the site by labeling it a side yard. When I was a Planning Commissioner, the front of the property was always identified as the side of the residence with the front door. In this case, the front door is on Placentia Avenue. Therefore, a 20' setback is required on the west side of the site, which of course would not allow for the construction of this garage. If the obvious infringement on the neighbor isn't enough to disallow the construction of this garage, then the incorrect labeling of the front and rear sides of this property should be sufficient reason to deny this request.

Thank you for your consideration.

Chris

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[Life without God is like an unsharpened pencil, it has no point.](#)