



PLANNING COMMISSION AGENDA REPORT

MEETING DATE: MAY 12, 2014

ITEM NUMBER: PH-3

SUBJECT: PLANNING APPLICATION PA-14-01 AND TENTATIVE TRACT MAP NO. 17709 FOR A 37-UNIT RESIDENTIAL DEVELOPMENT AT 573 – 591 VICTORIA STREET

DATE: MAY 1, 2014

FROM: PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

PRESENTATION BY: ANTONIO GARDEA, SENIOR PLANNER

FOR FURTHER INFORMATION CONTACT: ANTONIO GARDEA (714) 754-5296
antonio.gardea@costamesaca.gov

DESCRIPTION

The proposed project is a request to construct a 37-unit condominium development on a 2.28-acre site comprised of three existing lots located on the south side of Victoria Street at the intersection with Maple Street. The project is located within the Mesa West Residential Ownership Urban Plan area and includes the following:

- ***Planning Application PA-14-01 - Master Plan*** to construct 37 three-story, detached residential units with the following deviations from the R2-MD Development Standards and the Residential Design Guidelines:
 1. Second story rear yard setback requirement: 20 feet required, 10 proposed;
 2. Distance between buildings: ten feet required, eight feet proposed;
 3. Minimum required open space: 40 percent required, 36 percent provided; and
 4. Bulk/Massing - maximum second and third floor ratio to first floor area: 100 percent maximum allowed, 111 and 125 percent proposed for second and third floor respectively.

Tentative Tract Map No. 17709 to subdivide the property for condominium purposes.

APPLICANT

The applicant is Don Lamm (Diamond Star Associates, Inc.), authorized agent for the property owners Harmony Way, Inc.

RECOMMENDATION

Staff recommends that the Planning Commission:

1. Find that the project is exempt from further CEQA review per section 15332 – Infill Development; and
2. Approve the project by adoption of the attached resolution approving Master Plan application PA-14-01 and Tentative Tract Map 17709 to allow development of a 37-unit detached condominium development with deviations from the required rear yard second story setback, building separation, open space, and building bulk/massing.

BACKGROUND

Project Site/Environs

The 2.28-acre project site consists of three parcels and is currently developed with 27 single-story apartment units. The property is located within the Mesa West Residential Ownership Urban Plan area. The site abuts residential uses to the east, west, and south. The surrounding properties are all zoned R2-MD and developed at various densities:

Location	Address	Density - Dwelling Units per Acre
West	597 Victoria Street	4
	605 Victoria Street	18
East	565 Victoria Street	7
South	592 Hamilton Street	8
	584 Hamilton Street	10
	580-584 Hamilton Street	20
	570 Hamilton Street	11
North	2153 Victoria Street	16

A City park (Ketchum-Libolt Park) is north of the project site across Victoria Street at 2150 Maple Street.

Urban Master Plan Screening

On December 3, 2013, the preliminary master plan of the project was reviewed by the City Council. The City Council had concerns with the provision of tandem parking spaces for the eight units facing Victoria Street and the setback from Victoria Street. The inclusion of roof decks was suggested to add open space for the units. The plans were revised after the screening request and roof top decks were added to the units.

ANALYSIS

Project Description

The applicant is proposing to construct a 37-unit residential condominium development. The property is zoned R2-MD with a maximum development potential of 27 units (12 dwelling units per acre). However, the site is located within the Mesa West Residential Ownership Urban Plan that allows a maximum density of up to 20 units per acre for sites of one acre or more.

Mesa West Residential Ownership Urban Plan

Under the provisions of the Urban Plans, the Planning Commission may consider deviations from the development standards for projects in the Urban Plan areas. The

applicant is requesting the following deviations from the City's residential development standards and residential design guidelines:

- Minimum setback for the second and third stories from the rear property line;
- Minimum distance between buildings;
- Minimum required open space; and,
- Maximum percentage of second and third floor to first floor area.

The project improves the site with new ownership units and meets the main objectives of the urban plans to promote development by allowing flexible development standards.

Site Layout

The proposed project combines three parcels into one project site at the T-intersection of Victoria Street and Maple Street. The main entrance to the site is designed to line up with Maple Street intersection to the north. In general, the project is designed around a central private driveway that serves the majority of the units. A common open space designed as a tot lot aligns with the central entryway and provides a visual focal point for the site. The units at the center of the site are connected by pedestrian pathways that lead to the tot lot. There is a driveway spur that serves three of the units in the center and a set of unassigned parking spaces which are offset, but visible, from main entryway.

Parking

A minimum of 129 parking spaces are required at a rate of three spaces for two bedroom units and four spaces for three bedroom units. A total of 129 parking spaces are provided: 82 total garage spaces (including eight tandem spaces) and 47 open parking spaces. All of the units are spaced apart to accommodate an open parking space between each building. Unassigned parking spaces are provided at the center of the site as well as at the corners of the rectangular-shaped driveway that loops within the site. The proposed tandem parking spaces are plotted for the units facing Victoria Street. The driveway is designed to provide emergency vehicle access, per the Fire Department requirements, as well as access for trash pickup.

Setbacks

The buildings are set back 20 feet from the front property line abutting Victoria Street and ten feet minimum around the perimeter of the site (five feet side setback is required). The eight units facing Victoria Street have entrances oriented toward the street and take direct pedestrian access from Victoria Street. The buildings along the perimeter of the site are set back ten feet from the side and rear property lines and take access from the main drive. The majority of these units have entryways that face the central driveway that are offset slightly from the garages. Since the minimum rear setback is 20 feet for two story units, approval of a deviation from the rear setback requirement is requested.

Deviations from Second Story Rear Setback

The development standards require a minimum 20-foot setback for the second story from the rear property line. Because the maximum building height is two-stories (27 feet), the Zoning Code is silent any further setback requirement for a third story. The subject property abuts apartment complexes immediately to the south. The apartments are all setback approximately 20 feet from the property line and are both single-story and two-story buildings. An existing row of mature trees are located along the south property line, to serve as a privacy screen, with the exception of the easterly and westerly corner of the site. These corners are comprised of side yards and parking areas where additional trees could be planted. Two of the units (lots 10 and 14) include two small windows facing the south on the second and third levels. Also, two units include balconies facing south, which may result in some temporary reduction in privacy for adjacent apartment units. As a condition of approval, the applicant will be required to plant additional trees in the yard areas of lots 9, 10 and 15 and the in the planter area adjacent to the four parking spaces (between units #9 and 10 and units #14 and 15) to address potential privacy concerns.

Deviation for Distance between Buildings

Several of the buildings are closer than the minimum required building separation of ten feet because of second and third floor cantilevers. The site plan indicates that there are ten instances where the space between the units is reduced from ten feet minimum to eight feet. For example, even though the ground level shows a separation of 12 feet between units 11 and 12, the second and third floors are only eight feet apart. Because the second floor cantilevers out two feet, the space is reduced on the upper levels by four feet. The Applicant has proposed a site layout that takes into consideration the placement of the units such that balconies and windows are off set and do not face one another.

Deviation from Required Open Space

Per the Zoning Code, a minimum of 40 percent of the lot area is required to be provided as open space with a minimum of 400 square feet of private open space for each unit. The project would require approval of a deviation from the open space requirement since the ground level open space is deficient by 4 percent. With inclusion of the balconies and roof decks as permitted under the Urban Plan, the total open space is 46 percent of the lot area.

Private courtyards are provided for all of the units either on the rear or side of the buildings. The units at the center of the site have courtyards that wrap around the front and side of the buildings. For the units along the perimeter of the site, the setback area along the side and rear property lines serve as private yards. The area of the courtyards range from 80 square feet to 700 square feet.

All of the units include second story balconies and roof decks. The balconies range in size from 84 square feet to 120 square feet in area. The units on smaller lots have the larger

roof decks to compensate for the smaller private courtyards. The roof decks range from 160 square feet to 300 square feet in area.

Floor Plans

Four different plans are proposed consisting of 19 two bedroom units and 18 three bedroom units. The living areas range from 1,660 to 1,850 square feet. The eight units that face Victoria Street are designed with a three-car garage: two side by side spaces and one tandem space. The remainder of the units include a two-car garage. Each unit has an adjacent, open parking space. The garages are designed with an alcove for storage of trash bins. A condition of approval is included that requires the redesign of the Plan 4 storage area to be large enough to accommodate three bins as recently mandated by the Costa Mesa Sanitation District. The proposed project includes the following plan models:

Unit Type	No. of units	Unit Size	Number of Bedrooms
Plan 1	8	1,660 SF	3 bedrooms
Plan 2	12	1,715 SF	2 bedrooms and family room
Plan 3	7	1,740 SF	2 bedrooms and family room
Plan 4	10	1,850 SF	3 bedrooms and family room

Elevations

The contemporary design of the units incorporates a variety of high-quality building materials. The three-story structures are designed with standing seam metal roofs with exposed rafters, vertically oriented windows and doors, brick veneer, stucco, horizontal lap siding exterior finishes, and metal railings. The individual structures incorporate offsets and second floor balconies that are recessed into the building. The proposed changes in materials, and modulated facades which break up the elevations both horizontally and vertically. The shade and shadow study provided by the applicant shows some shadows cast on the adjacent residences when the sun is at the lowest point on the horizon. However, the majority of the shadows are cast within the project site and onto the street because the project layout and its location on the south side of Victoria Street.

*Deviation from Residential Design Guidelines for Bulk/Massing -
Maximum Percentage of First Floor to Second/Third Floor*

The proposed units exceed the 100 percent limit of second-floor to first-floor ratio as recommended in the City’s Residential Design Guidelines. The second floors range from 108 to 111 percent of the first floor and the third floors range from 110 to 125 percent of the first floor. However, the floor plan modulation and use of a variety of building materials for the exterior finishes create visually interesting elevations with intervening positive and negative space. The second and third level cantilevers are subtle and do not appear massive in relation to the ground floor.

Tentative Tract Map

The tentative tract map for condominium purposes would allow the individual sale of each unit. The map complies with City Code and the State Subdivision Map Act. The individual lot sizes vary from a minimum of 1,219 square feet, to a maximum of 2,605 square feet. The common lot is 35,895 square feet and consists of the private driveway, unassigned parking spaces, walkways, front setback along Victoria Street and the central common open space.

The Urban Plan encourages owner-occupied housing by allowing an increase in density for consolidating multiple lots into sites greater than one acre and use of flexible development standards. This proposal meets the intent of the urban plans because it consolidates three separate properties that are currently developed with small rental units at the maximum density allowed by the underlying zoning. The new detached condominiums provide ownership opportunities in an area that is predominantly renter-occupied and promotes economic vitality through investment and redevelopment of the project site.

GENERAL PLAN CONFORMANCE

Subject to conditions, the design and density of the proposed project are in conformance with the General Plan. The proposed development is comprised of 37 residential condominium units at a density of 16 dwelling units per acre, consistent with the Mesa West Residential Ownership Urban Plan.

The specific General Plan objectives with which the proposed project complies are as follows:

- *Land Use Objective LU-1A.4:* Strongly encourage the development of low-density residential uses and owner-occupied housing where feasible to improve the balance between rental and ownership housing opportunities.
- *Land Use Objective LU-2A.7:* Allow creation of parcels without street frontage if sufficient easements are provided for planned developments or condominium developments.
- *Land Use Objective LU-2A.8:* Encourage increased private market investment in declining or deteriorating neighborhoods.

The project would replace a rental apartment complexes with detached ownership units that would enhance the appearance and value the site and its surroundings. The project provides new housing opportunities at a level no greater than can be supported by the existing infrastructure. The central access to the site is integrated with the existing intersections of Maple and Victoria Street. In addition, the proposal will provide the required parking space in place of an existing single-story apartments with limited off-street parking.

The design of the units meets the intent of the City's Residential Development Standards and Design Guidelines. Off-set forms provide a visual transition between the three levels and create both horizontal and vertical relief to the wall planes. The elevations include articulations, projections, and varied building materials. The units along Victoria Street have entrances facing the street that enhances the streetscape.

Further Analysis

Approval of the requested deviations is supported for the following reasons:

Second Story and Third Story Rear Yard Setback. With conditions of approval for installation of additional landscape screening, the reduced rear yard setback would not adversely affect the neighboring properties. There is an existing row of mature trees that separates the site from the properties to the south; the additional trees will fill in the gaps at the west and east corner of the site.

Building Separation. The buildings meet the minimum 10-foot separation on the ground floor; however, the second and third-floors are encroaching two feet into this setback. The building separation on the ground floor provides enough space for a standard parking space and adequate access, light, and air between units. In addition, the units include limited openings on the side elevations.

Open Space. The project provides 36 percent open space on the ground level and 46 percent overall open space including the second floor balconies and roof decks. To offset the shortfall on the ground level, all units are provided with balconies and roof decks. Combined with the private courtyards at the ground level, these upper level open spaces satisfy the 400 square foot requirement for individual lot open space. The private (fenced) court yards of each unit are considered part of the total open space.

Bulk/Massing. The overall architectural design promotes excellence and compatibility with the surrounding neighborhood. The three-story structures are modern in design with contemporary accents and finishes. The proposed units exceed the 100% ratio of second-floor and third floor to first-floor, recommended in the City's Residential Design Guidelines. However, the elevations incorporate modulated floor plans with horizontal and vertical articulation and changes of building materials. The units include second story balconies that are recessed into the building plane that creates horizontal visual break. The structures are contemporary in design, incorporate various building materials, and include offsets to provide visual interest and divide the elevation mass. Therefore, approval of this deviation supports the contemporary architecture with its vertically oriented character.

The proposed Tentative Tract Map is consistent with subdivision requirements. The proposed property is physically suitable to accommodate the proposed subdivision. Engineering staff has confirmed that there are no interferences with the City's or other utility agencies' right-of-way areas and/or easements within the tract.

ENVIRONMENTAL DETERMINATION

The project is Categorically Exempt under California Environmental Quality Act Guidelines Section 15332 for In-fill Development Projects. The project is consistent with the General Plan designation and with all applicable General Plan policies as well as the zoning designation, including the Specific Plan designation as within the Mesa West Residential Ownership Urban Plan and applicable regulations. The project is proposed at a density of 16 dwelling units per acre with allowances for deviations from the Zoning Code rules. The Urban Plan allows a maximum density of 20 dwelling units per acre and permits the use of flexible standards for project sites that consist of multiple, consolidated parcels with an area of one acre or more. The site is 2.28 acres in size and is located on the Westside of Costa Mesa. The site is surrounded by multiple-family residential uses and has no value as habitat for endangered, rare or threatened species. The project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

Traffic/Trip Generation

The trip generation analysis was prepared by Linscott, Law & Greenspan, Engineers (March 24, 2014). The traffic generation assessment uses a trip rate for single-family detached housing for the 37 units. The assessment indicates that the proposed use would generate 172 more daily trips, with 14 peak hour trips in the morning and 20 peak hour trips in the evening, than the existing 27 apartments. Comparing the project against the maximum density allowed per the Urban Plan and General Plan, 86 fewer daily trips (seven less peak hour trips in the morning and nine less peak hour trips in the evening) would be generated by the project. Hence, the project would not generate trips beyond that evaluated in the current General Plan build out and would not exceed General Plan trip budgets. The analysis concludes that the intersections and roadways in the area are not expected to be impacted by the change in trips and no further traffic impact analysis is necessary.

CONCLUSION

Approval of the Master Plan will allow development of a 37-unit condominium development. The project satisfies the required findings for the requested deviations and is deemed to be a high-quality development, therefore it is consistent with the intent of the General Plan, Zoning Code, and Mesa West Residential Ownership Urban Plan.

ALTERNATIVES

The Planning Commission has the following alternatives:

1. Continue the project to a later Planning Commission meeting to allow time for further analysis or project alternatives.
2. Direct staff to prepare a resolution for denial of the project.


ANTONIO GARDEA
Senior Planner


JERRY GUARRAGINO
Interim Assistant Director of
Development Services

Attachments:

1. Draft Planning Commission Resolution and Exhibits
2. Vicinity Map
3. General Plan and Zoning Map
4. Project Plans/Elevations/Landscape Plan
5. Tentative Tract Map 17709
6. Department of Public Services / Engineering Division Conditions of Approval Letter for Tentative Tract Map 17709 (March 23, 2014)

Distribution: Director of Economic & Development Services/Deputy CEO
Senior Deputy City Attorney
Public Services Director
City Engineer
Transportation Services Manager
Fire Protection Analyst
Staff (6)
File (2)

Tom Y. Lee
Harmony Way, Inc./Harmony Capital, LLC
1807-A South San Gabriel Blvd.
San Gabriel, CA 91776

Donald D. Lamm, AICP
Diamond Star Associates, Inc.
4100 MacArthur Boulevard, Suite 310
Newport Beach, CA 92660

RESOLUTION NO. PC-14-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING PLANNING APPLICATION PA-14-01 AND TENTATIVE TRACT MAP 17709 LOCATED AT 573-591 VICTORIA STREET

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Don Lamm, as the authorized agent on behalf of the property owner, Harmony Way, Inc., requesting approval of the following:

1) **Planning Application PA-14-01** - Master Plan to construct a 37-unit condominium development, including deviations from the required rear yard second story setback, building separation, open space, and building bulk/massing (maximum of 100 percent ratio of second and third story gross floor area to first floor gross floor area).

2) **Tentative Parcel Map No. 17709** to subdivide a 2.28-acre parcel for condominium purposes.

WHEREAS, a duly noticed public hearing held by the Planning Commission on May 12, 2014 with all persons having the opportunity to speak for and against the proposal;

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit "A," and subject to the conditions of approval contained within Exhibit "B," the Planning Commission hereby **APPROVES** Planning Application PA-14-01 and Tentative Tract Map 17709.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-14-01 and Tentative Tract Map 17709 and upon applicant's compliance with each and all of the conditions in Exhibit "B", and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

PASSED AND ADOPTED this 12th day of May, 2014.

Jim Fitzpatrick, Chair
Chair, Costa Mesa Planning Commission

EXHIBIT "A"

FINDINGS

- A. The information presented in the administrative record substantially meets the required conditions of Costa Mesa Municipal Code Section 13-29(g)(5) in that:

Required Finding: The Master Plan meets the broader goals of the General Plan, any applicable specific plan, and the Zoning Code by exhibiting excellence in design, site planning, integration of uses and structures, and protection of the integrity of neighboring development.

Response: The project combines three parcels currently developed as apartment complexes and replaces the single-story rental units with limited off-street parking, with a high-quality, detached ownership units to improve the balance between rental and ownership opportunities. The project is a condominium development with a central driveway loop with ingress and egress provided at the intersection of Maple and Victoria Streets that provides access to all of the units. The proposed project is an example of private market investment that enhances the site and its surroundings. In accordance with the Mesa West Residential Ownership Urban Plan, the site is greater than one acre that allows a density of up to 20 dwelling units per acre. The project provides new housing opportunities at a density of 16 units per acre, which can be supported by the existing infrastructure.

- B. The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(14) in that:

Required Finding: The project complies with the City of Costa Mesa Zoning Code and meets the purpose and intent of the Residential Design Guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.

Response: The 37-unit condominium development includes deviations from the Zoning Code minimum required rear yard second story setback, minimum building separation, and minimum amount of open space. The project also includes a deviation from the building bulk/massing requirements of the Residential Design Guidelines. With approval of these deviations in accordance with the Mesa West Residential Ownership Urban Plan, the design of the units meets the intent of the City's Residential Development Standards and Design Guidelines and promotes design excellence with consideration given to site planning and building orientation, overall open space, landscaping and architectural design. The community is experiencing a transition with a number of new projects in the vicinity of similar architectural design. The units along Victoria Street have entrances facing the

street that enhances the streetscape. The project incorporates varied, high-quality building materials on the building elevations which include a both horizontal and vertical modulation. Off-set forms provide a visual transition between the three levels and create both horizontal and vertical relief to the wall planes. The elevations include articulations, projections, and varied building materials. The project includes a variety of floor plans that are thoughtfully placed throughout the site with consideration for window placement. Sufficient landscaping and open space is provided for each individual lot per the Zoning Code requirements.

Required Finding: The visual prominence associated with the construction of three-story homes in a predominately one-story neighborhood has been reduced through appropriate transitions between the first and second floors and the provision of second floor offsets to avoid long unarticulated two-story walls.

Response: The neighborhood is developed with both single-story and two-story buildings. The elevations of the proposed residences include a variety of materials to highlight the vertical offsets and horizontal floor to floor transitions.

Required Finding: The proposed development plan and subdivision meets the broader goals of the General Plan, and the Zoning Code by exhibiting excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development.

Response: The proposed project provides ownership opportunities for a neighborhood in transition. The project exhibits site planning excellence with inclusion of common open space that serves as a focal point of the project.

- C. The proposed tentative tract map complies with Costa Mesa Municipal Code Section 13-29(g)(13) because:

Required Finding: The creation of the subdivision and related improvements is consistent with the General Plan and the Zoning Code.

Response: The creation of the subdivision is consistent with General Plan Land Use Element in that the project complies with Objectives 1A.4, 2A.7, and 2A.8 by developing owner-occupied housing to improve the balance between rental and ownership housing opportunities, the project provides sufficient easements as a condominium developments, and encourages increased private market investment in declining or deteriorating neighborhoods.

Required Finding: The proposed use of the subdivision is compatible with the General Plan.

Response: The project density is 6 units per acre, consistent with the Objectives of the General Plan and the site's inclusion in the Mesa West Residential Ownership Urban Plan that allows a maximum density of 20 units per acre.

Required Finding: The subject property is physically suitable to accommodate the subdivision in terms of type, design, and density of development, and will not result in substantial environmental damage nor public health problems, based on compliance with the Zoning Code and General Plan, and consideration of appropriate environmental information.

Response: The proposed project is exempt from the provisions of the California Environmental Quality Act under Section 15332, for In-fill Development Projects.

Required Finding: The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code Section 66473.1.

Response: The proposed project has a majority of the buildings that are oriented in an east-west direction to take advantage of passive solar heating as well as passive ventilation from ocean breezes. The inclusion of a combination of medium and large size trees will also help provide shade to the residences.

Required Finding: The subdivision and development of the property will not unreasonably interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.

Response: As conditioned, the proposed project does not interfere with the public right of way.

Required Finding: The discharge of sewage from this subdivision into the public sewer system will not violate the requirements of the California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000 of the Water Code).

Response: The applicant will be required to comply with all regulations set forth by the Costa Mesa Sanitation District as well as the Mesa Water District.

- D. The project is exempt from the provisions of the California Environmental Quality Act under Section 15332 for In-fill Development Projects.

The project is consistent with the General Plan designation and with all applicable General Plan policies as well as the zoning designation, including the Specific Plan designation as within the Mesa West Residential Ownership Urban Plan and applicable regulations. The project is proposed at a density of 16 dwelling units per acre with allowances for deviations from the Zoning Code rules. The Urban Plan allows a maximum density of 20 dwelling units per acre and permits the use of flexible standards for project sites that consist of multiple, consolidated parcels with an area of one acre or more. The site is 2.28 acres in size and is located within the Westside of Costa Mesa. The site is surrounded by multiple-family residential uses

and has no value as habitat for endangered, rare or threatened species. The project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

EXHIBIT "B"

CONDITIONS OF APPROVAL

- Plng.
1. The expiration of Planning Application PA-14-01 shall coincide with the expiration of the approval of the Tentative Tract Map 17709 which is valid for two years. An extension request is needed to extend the expiration for each additional year after the initial two-year period.
 2. The conditions of approval for PA-14-01 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
 3. The Tentative Tract Map shall be processed as a subdivision for condominium purposes.
 4. A decorative six-foot high perimeter block wall shall be constructed around the perimeter of the site prior to issuance of certificates of occupancy unless otherwise approved by the Development Services Director. Where walls on adjacent properties already exist, the applicant shall work with the adjacent property owner(s) to prevent side-by-side walls with gaps in between them and/or provide adequate privacy screening by trees and landscaping.
 5. The interior fences or walls between the homes shall be a minimum of six feet in height.
 6. The open, unassigned parking spaces shall be clearly marked as guest parking spaces. Signage will be posted to indicate that these spaces are available to all visitors. The parking spaces next to units 1, 21, and 22 shall be marked as unassigned, guest parking spaces.
 7. The end parking stalls adjacent to Lot # 22 shall be provided with a two-foot clearance from the building.
 8. The storage area for Floor Plan #4 shall be redesigned to be large enough to accommodate three bins as recently mandated by the Costa Mesa Sanitation District.
 9. Prior to issuance of building permits, a final landscape plan indicating the landscape palette and the design/material of paved areas shall be submitted for review and approval by the Planning Division.
 10. The applicant shall plant a minimum of four, 24-inch box, *Tristania conferta* (Brisbane box) trees in the private yard areas of Lots 9, 10 and 15 and the parking spaces adjacent to units 9 & 10 and 14 & 15 prior to final inspection or issuance of certificates of occupancy.
 11. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
 12. No modification(s) of the approved building elevations including, but not limited to, change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning

Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process or a variance, or in the requirement to modify the construction to reflect the approved plans.

13. The exterior roof drain scuppers and drain downspouts shall be painted to match the building exterior(s). This condition shall be completed under the direction of the Planning Division. No exterior roof access ladders are permitted.
14. Prior to issuance of grading permits, developer shall submit for review and approval a Construction Management Plan. This plan features methods to minimize disruption to the neighboring residential uses to the fullest extent that is reasonable and practicable. The plan shall include construction parking and vehicle access and specifying staging areas and delivery and hauling truck routes. The plan should mitigate disruption to residents during construction. The truck route plan shall preclude truck routes through residential areas and major truck traffic during peak hours. The total truck trips to the site shall not exceed 200 trucks per day (i.e., 100 truck trips to the site plus 100 truck trips from the site) unless approved by the Development Services Director or Transportation Services Manager.
15. The subject property's ultimate finished grade level may not be filled/raised in excess of 30 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site storm water flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. Such alternatives may include subsurface tie-in to public storm water facilities, subsurface drainage collection systems and/or sumps with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties.
16. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
17. To avoid an alley-like appearance, the private street shall not be developed with a center concrete swale. The private street shall be complemented by stamped concrete or pervious pavers.
18. Prior to issuance of building permits, the applicant shall provide the Conditions, Covenants, and Restrictions (CC&Rs) to the Development Services Director and City Attorney's office for review. The CC&Rs must

be in a form and substance acceptable to, and shall be approved by the Development Services Director and City Attorney's office.

A. The CC&Rs shall contain provisions requiring that the HOA homeowner's association (HOA) effectively manage parking and contract with a towing service to enforce the parking regulations.

B. The CC&Rs shall also contain provisions related to night-time lighting and active use of the common areas (if applicable). These provisions shall prohibit amplified noise, loud parties/gatherings, night-time lighting other than for security purposes, or any other activities that may be disruptive to the quiet enjoyment of neighboring properties after sunset.

C. The CC&Rs shall also contain provisions related to use, preservation and maintenance of the common drive aisle and open space areas in perpetuity by the homeowner's association.

D. The CC&Rs shall contain restrictions requiring residents to park vehicles in garage spaces provide for each unit, be that a one, two or three car garage. Storage of other items may occur only to the extent that vehicles may still be parked within the require garage spaces.

E. Any subsequent revisions to the CC&Rs related to these provisions must be reviewed and approved by the City Attorney's office and the Development Services Director before they become effective.

19. The CC&Rs shall be recorded prior to issuance of certificates of occupancy.
20. Prior to issuance of building permits, the applicant shall provide proof of recordation of Tract Map 17709.
21. Prior to the issuance of building permits, the applicant shall submit a Lighting Plan and Photometric Study for the approval of the City's Development Services Department.
22. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
23. Prior to release of any utilities, the applicant shall provide proof of establishment of a Homeowners Association.
24. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of, or which are in any way related to, the applicant's project, or any approvals granted by City related to the applicant's project. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of

suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section. City shall have the right to choose its own legal counsel to represent the City's interests, and applicant shall indemnify City for all such costs incurred by City.

- Trans. 25. The applicant shall modify the existing traffic signal to accommodate the project's primary ingress and egress location along Victoria Street and shall align with Maple Avenue. Plans shall be submitted for review and approval to the Public Services Department prior to issuance of a building permit.
- Utilities 26. Prior to the issuance of a connection permit, the applicant shall pay the applicable water connection fees.

CODE REQUIREMENTS (PA-14-01, TTM 17709)

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
 2. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
 3. Prior to issuance of building permits, applicant shall contact the US Postal Service with regard to location and design of mail delivery facilities. Such facilities shall be shown on the site plan, landscape plan, and/or floor plan.
 4. Two (2) sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
 5. Two (2) sets of landscape and irrigation plans, approved by the Planning Division, shall be attached to two of the final building plan sets.
 6. All on-site utility services shall be installed underground.
 7. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
 8. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
 9. If present and/or projected exterior noise exceeds 60 CNEL, California Noise Insulation Standards, Title 25, California Code of Regulations require a maximum interior noise level of 45 CNEL for residential structures. If required interior noise levels are achieved by requiring that windows be unopenable or closed, the design for the structure must also specify the means that will be employed to provide ventilation, and cooling if necessary, to provide a habitable interior environment.
- Bldg.
10. Comply with the requirements of the 2013 California Building Code,

2013 California Residential Code, 2013 California Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted, California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards, and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Areas of alteration and additions shall comply with 2013 California Green Building Standards Code section 5.303.2 and 5.303.2

11. The applicant shall submit grading plans, an erosion control plan and a hydrology study. A precise grading plan shall not be required if any of the following are met:
 - 1- An excavation which does not exceed 50 CY on any one site and which is less than two feet in vertical depth, or which does not create a cut slope greater than 1 ½:1 (excluding foundation area).
 - 2- A fill less than one foot in depth placed on natural grade with a slope flatter than 5:1, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
 - 3- A fill less than three feet in depth, not intended to support structures, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
12. The applicant shall submit a soils report for this project. Soil's Report recommendations shall be blueprinted on both the architectural and grading plans. For an existing slopes or when new slopes are proposed the Soils report shall address how existing slope or the new slope will be maintained to avoid any future failure.
13. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus two percent. 2013 California Building Code CRC 403.1.7.3.
14. The lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of six inches within the first ten feet. CRC R401.3
15. Projections, including eaves, shall be one-hour fire resistive construction, heavy timber or of noncombustible material if they project into the five foot setback area from the property line. They may project a maximum of 12 inches beyond the three foot setback. CRC Tables R302.1(1) and R302.1(2).
- Eng. 16. Comply with the requirements contained in the letter prepared by the City Engineer dated May 23, 2014 (attached).

- Fire 17. Prior to the issuance of a Building Permit, the City of Costa Mesa Fire Department shall review and approve the project design features to assess compliance with the California Building Code and California Fire Code. Fire staff shall examine the projected demands of the proposed Project and make recommendations to ensure that adequate personnel/resources will be available to meet projected demand. Recommendations of the study shall be implemented to the satisfaction of the Fire Department to ensure that emergency response impacts are minimized to below a level of significance.
- Sani. 18. Effective, January 1, 2015, all CMSD residents will have three carts. The 64-gallon containers are approximately four square feet in area. Therefore, an area of at least 12 square feet shall be designated for trash bin storage.
19. The applicant shall submit a trash pick-up route subject to review and approval of the Costa Mesa Sanitation District (CMSD). The route shall facilitate cart pick-up on the right hand side of the truck. The bins shall be placed side-by-side approximately 1 foot apart and at least 3 feet from any obstruction. If we CMSD cannot safely service this property, dumpster service shall be required.
20. The applicant shall submit plans for review and approval by the Mesa Water District.

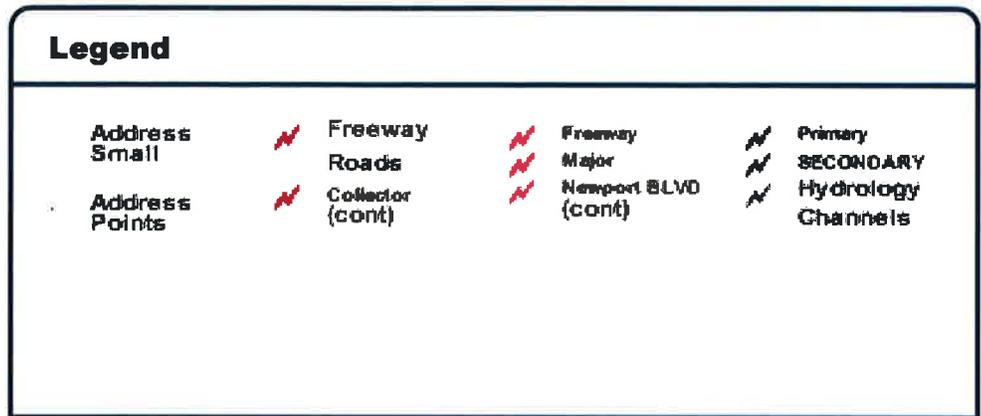
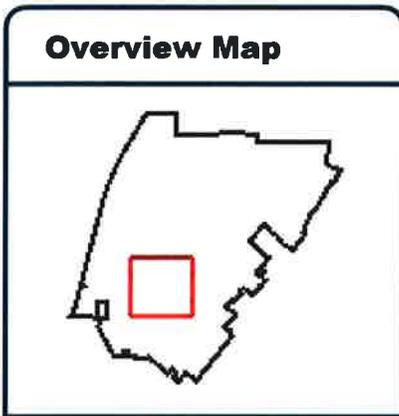
SPECIAL DISTRICT REQUIREMENTS (PA-14-01, TTM 17709)

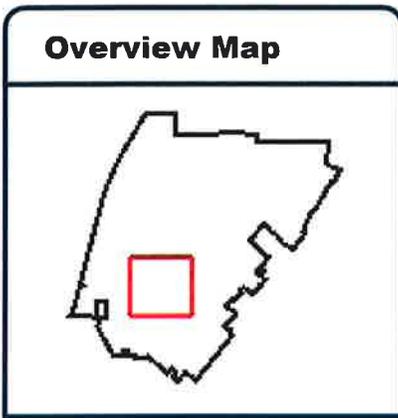
The requirements of the following special districts are hereby forwarded to the applicant:

- Sani. 1. Applicant will be required to construct sewers to serve this project, at his own expense, meeting the approval of the Costa Mesa Sanitary District.
2. County Sanitation District fees, fixture fees, inspection fees, and sewer permit are required prior to installation of sewer. To receive credit for buildings to be demolished, call (714) 754-5307.
3. Applicant shall submit a plan showing sewer improvements that meets the District Engineer's approval to the Building Division as part of the plans submitted for plan check.
4. The applicant is required to contact the Costa Mesa Sanitary District at (714) 754-5307 to arrange final sign-off prior to certificate of occupancy being released.
5. Unless an off-site trash hauler is being used, applicant shall contact the Costa Mesa Sanitary District at (714) 754-5043 to pay trash collection program fees and arrange for service for all new residences. Residences using bin or dumpster services are exempt from this requirement.
6. Applicant shall contact Costa Mesa Sanitary District at (949) 654-8400 for

any additional district requirements.

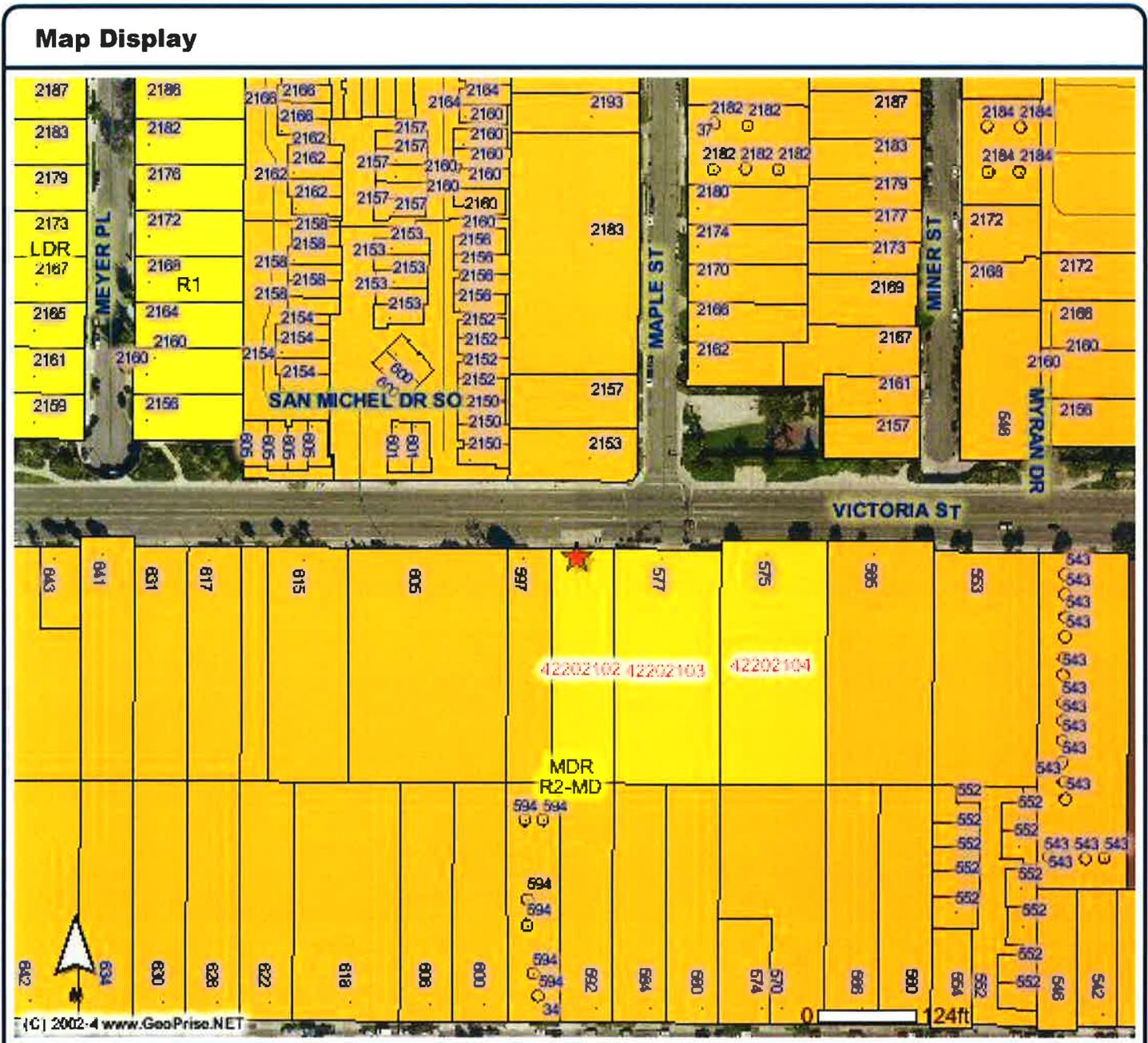
- AQMD 7. Applicant shall contact the Air Quality Management District (AQMD) at (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.
- School 8. Pay applicable Newport Mesa Unified School District fees to the Building Division prior is issuance of building permits.
- State 9. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.





Legend

Address Small	Roads	SECONDARY	Parcel Lines
Address Points	Collector	Hydrology	City Boundary
Freeway	Freeway	Channels	Water Ways
	Major	Street Names	Zoning (cont)
	Newport BLVD	Street Centerlines	
	Primary (cont)		



PROJECT SUMMARY

OWNER: HARMONY CAPITAL, LLC
1807-A SO SAN GABRIEL BLVD
SAN GABRIEL CA, 91776

SITE ADDRESS: 573-591 VICTORIA STREET

EXISTING ZONING: MESA WEST RESIDENTIAL OWNERSHIP
URBAN OVERLAY ZONE
R2-MD - MULTIPLE FAMILY RESIDENTIAL
(MEDIUM DENSITY)

PROPOSED UNITS: 37 DETACHED HOMES
LOT AREA: 99,128 S F (2.275 ACRES)
DENSITY: 16.26 UNITS PER ACRE
BUILDING HEIGHT: 3 STORIES

SITE SUMMARY:

SITE AREA: 99,128 S F
BUILDING FOOTPRINTS: 28,168 S F (28.41%)
DRIVEWAY: 28,417 S F (28.67%)
OPEN GUEST STALLS: 7,191 S F (7.25%)
OPEN SPACE AT GRADE: 35,352 S F (35.66%)

OPEN SPACE AT GRADE: 35,352 S F (35.66% AT GRADE)
BALCONIES: 3,720 S F (3.75% 2ND FLOOR OPEN SPACE)
ROOF DECKS: 6,380 S F (6.43% 2ND FLOOR OPEN SPACE)
TOTAL OPEN SPACE: 45,452 S F (45.85% AT GRADE PLUS BALCONIES)

PLAN SUMMARY:

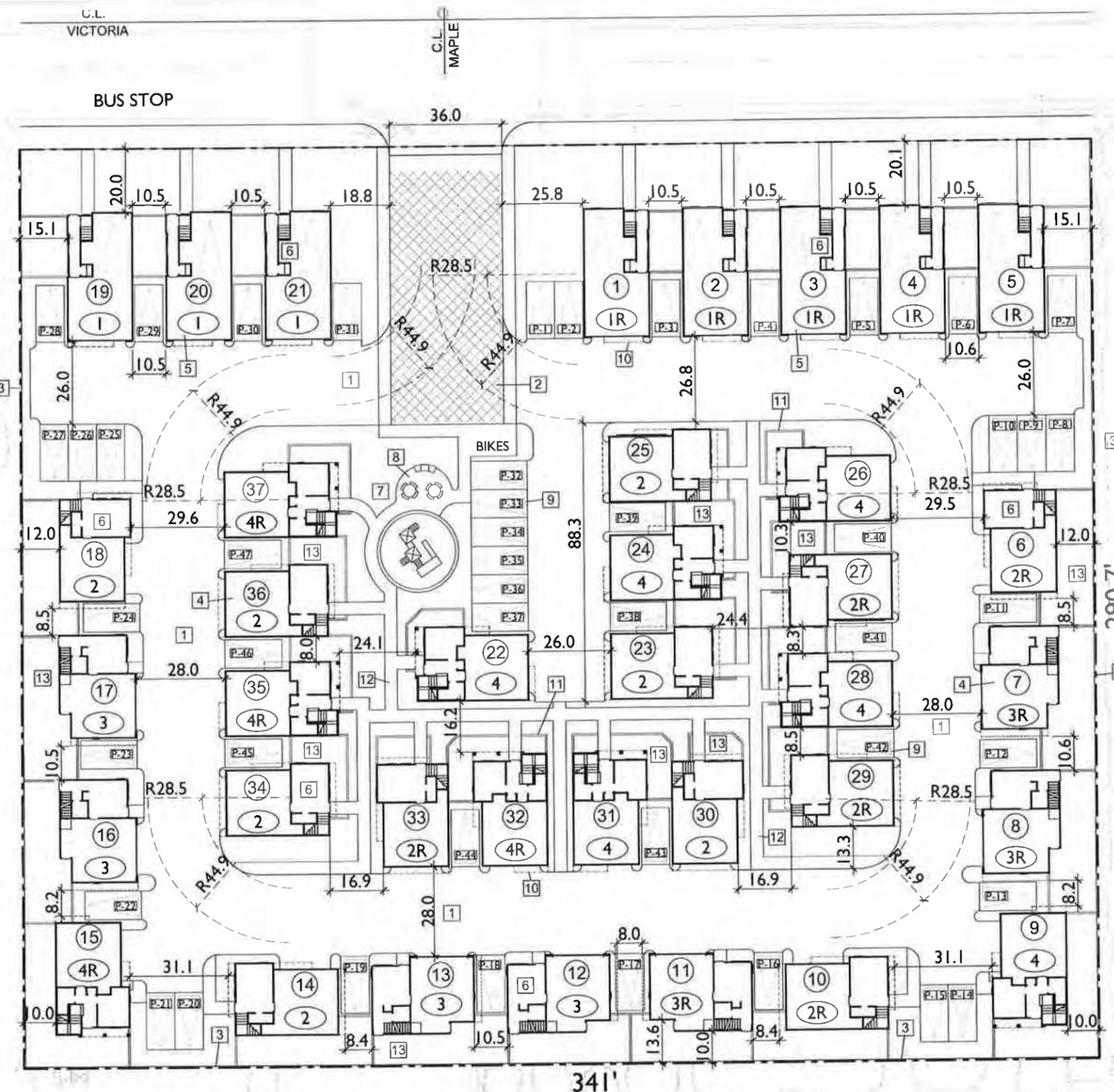
PLAN	BD/2.5 BA	UNITS TOTAL
PLAN 1	3 BD/2.5 BA	8 UNITS TOTAL
TOTAL LIVABLE AREA		1,660 S F
GARAGE		715 S F
BALCONY		105 S F
ROOF DECK		209 S F
PLAN 2	2 BD/2.5 BA	12 UNITS TOTAL
TOTAL LIVABLE AREA		1,715 S F
GARAGE		420 S F
BALCONY		64 S F
ROOF DECK		247 S F
PLAN 3	2 BD/2.5 BA	7 UNITS TOTAL
TOTAL LIVABLE AREA		1,740 S F
GARAGE		420 S F
BALCONY		96 S F
ROOF DECK		300 S F
PLAN 4	3 BD/2.5 BA	10 UNITS TOTAL
TOTAL LIVABLE AREA		1,850 S F
GARAGE		420 S F
BALCONY		120 S F
ROOF DECK		160 S F

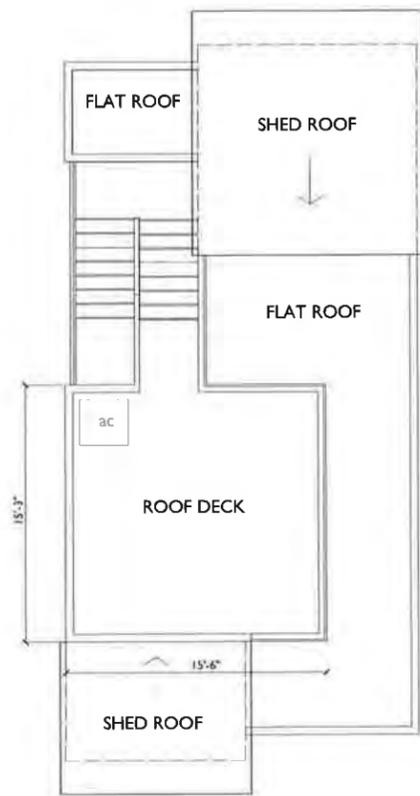
PARKING SUMMARY:

82 COVERED GARAGE STALLS
47 OPEN PARKING STALLS
129 TOTAL STALLS PROVIDED

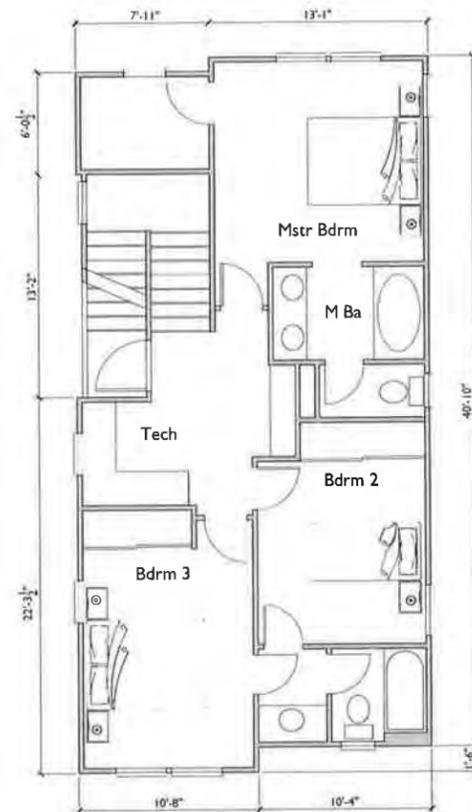
SITE PLAN NOTES:

- 1 FIRE LANE
- 2 DECORATIVE INTERLOCKING PAVERS
- 3 6' HIGH SPLIT FACE BLOCK WALL
- 4 2 CAR GARAGE WITH 16' WIDE DOOR
- 5 3 CAR GARAGE WITH 16' WIDE DOOR
- 6 3 STORY DWELLING, TYP
- 7 COMMON LANDSCAPE AREA WITH TOT LOT
- 8 BARBEQUE PATIO
- 9 9' x 18' PARKING STALL, TYP
- 10 LINE OF 2ND FLOOR ABOVE
- 11 36" HIGH COURTYARD WALL
- 12 CONCRETE WALKWAY
- 13 PRIVATE COURTYARD





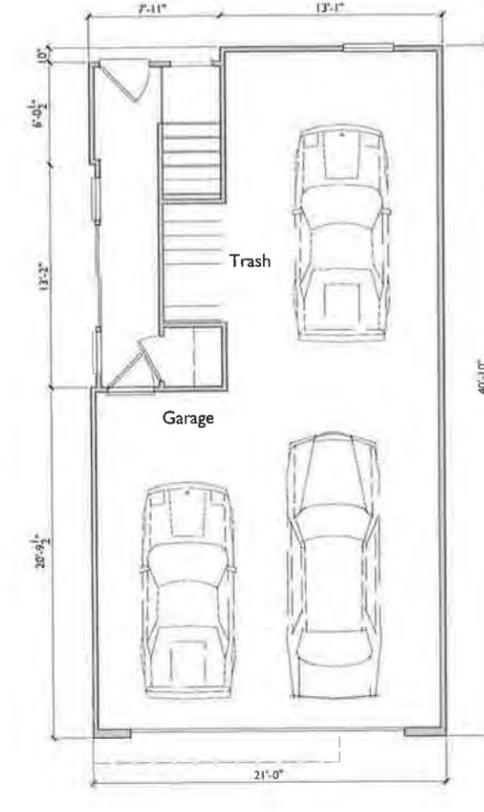
Roof Deck



Third Floor Plan



Second Floor Plan



First Floor Plan

Plan I - 3 BDRM	
First Floor	120 s.f.
Second Floor:	765 s.f.
Third Floor:	775 s.f.
Total Livable	1,660 s.f.
Garage	715 s.f.
Balcony	105 s.f.
Roof Deck	209 s.f.

30

CONCEPTUAL FLOOR PLAN - PLAN I



RIGHT ELEVATION



REAR ELEVATION

MATERIAL SCHEDULE	
1	STANDING SEAM METAL ROOFING
2	2x6 RESAWN WOOD FASCIA
3	4x RAFTER TAILS
4	EXTERIOR STUCCO
5	STUCCO REGLET
6	HARDIE PLANK HORIZONTAL LAP SIDING
7	BRICK VENEER
8	METAL RAILING
9	2x TRIM @ WINDOW TYP.
10	STUCCO EYEBROW



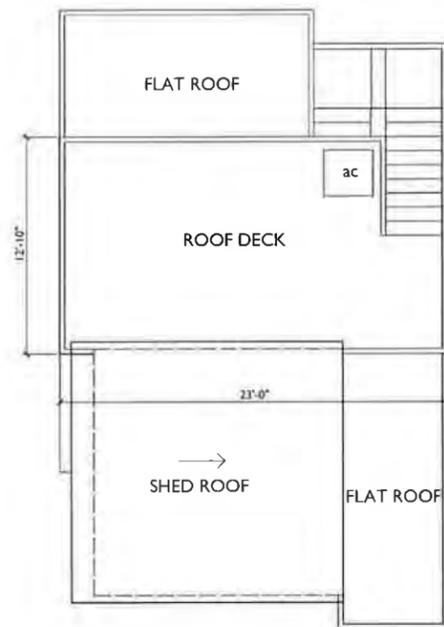
LEFT ELEVATION



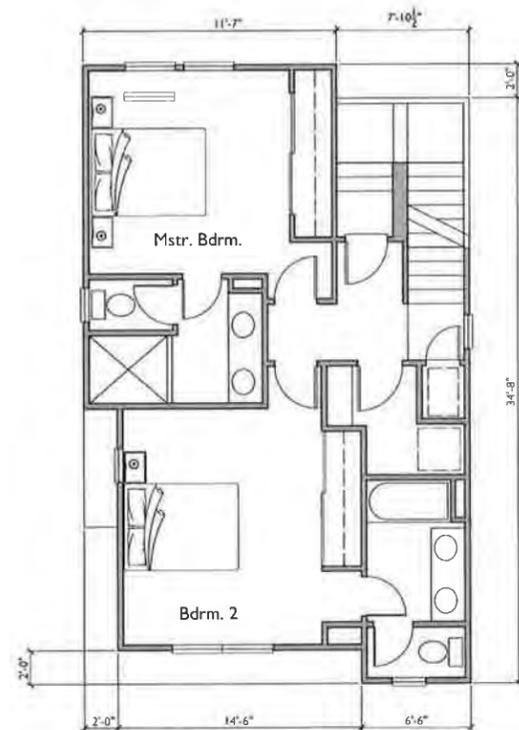
FRONT ELEVATION

31

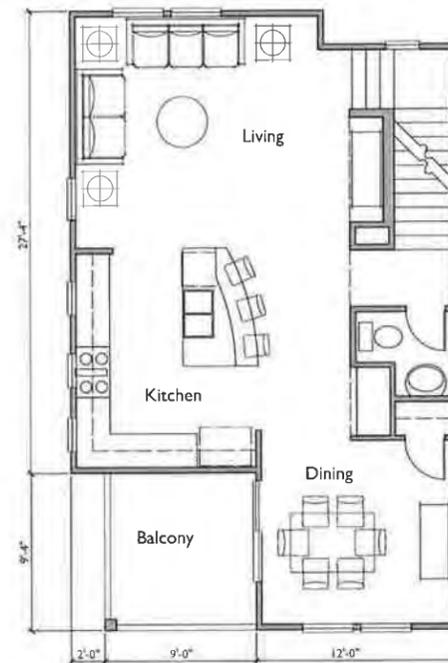
PLAN I - ELEVATIONS



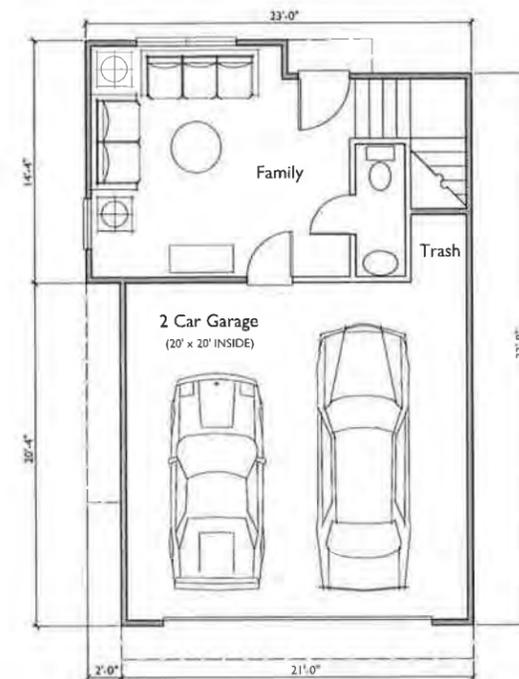
Roof Deck



Third Floor Plan



Second Floor Plan



First Floor Plan

Plan 2 - 2 BD	
First Floor	250 s.f.
Second Floor:	725 s.f.
Third Floor:	740 s.f.
Total Livable	1,715 s.f.
Garage	420 s.f.
Balcony	84 s.f.
Roof Deck	247 s.f.

3 2

CONCEPTUAL FLOOR PLAN - PLAN 2



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

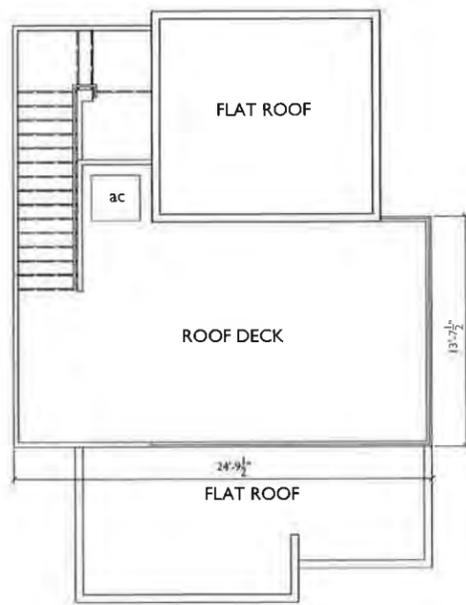


FRONT ELEVATION

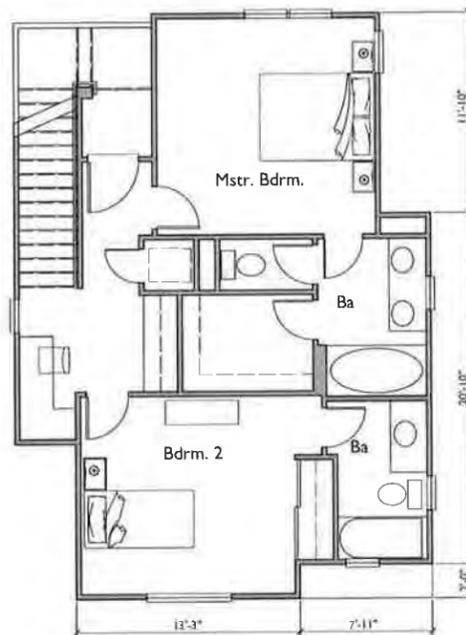
MATERIAL SCHEDULE	
1	STANDING SEAM METAL ROOFING
2	2x6 RESAWN WOOD FASCIA
3	4x RAFTER TAILS
4	EXTERIOR STUCCO
5	STUCCO REGLET
6	HARDIE PLANK HORIZONTAL LAP SIDING
7	BRICK VENEER
8	METAL RAILING
9	2x TRIM @ WINDOW TYP.
10	STUCCO EYEBROW

33

PLAN 2 - ELEVATIONS



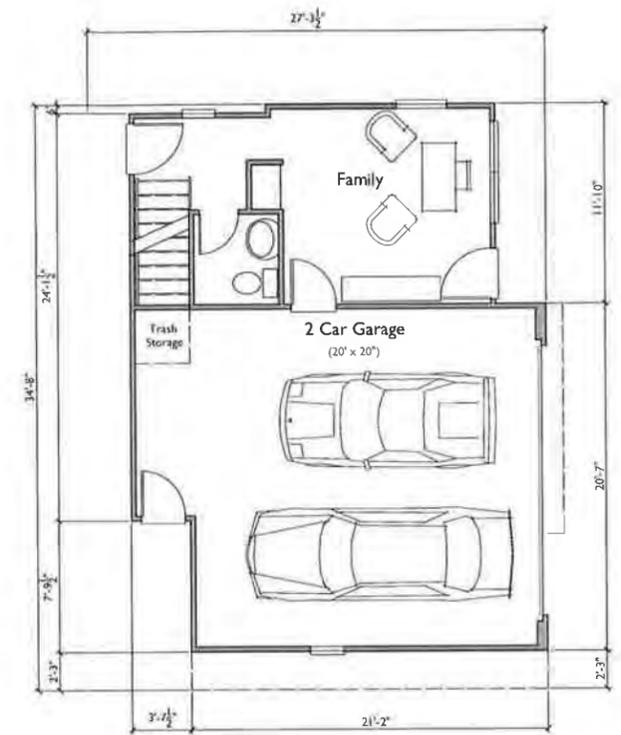
Roof Deck



Third Floor Plan



Second Floor Plan



First Floor Plan

PLAN 3 - 2 BD	
First Floor	232 s.f.
Second Floor	723 s.f.
Third Floor	785 s.f.
Total Livable	1,740 s.f.
Garage	475 s.f.
Balcony	96 s.f.
Roof Deck	300 s.f.



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION

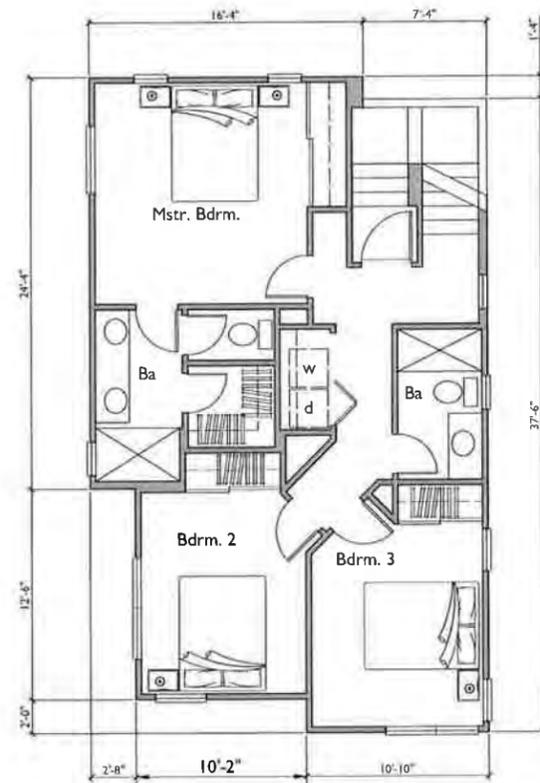
MATERIAL SCHEDULE	
1	STANDING SEAM METAL ROOFING
2	2x6 RESAWN WOOD FASCIA
3	4x RAFTER TAILS
4	EXTERIOR STUCCO
5	STUCCO REGLET
6	HARDIE PLANK HORIZONTAL LAP SIDING
7	BRICK VENEER
8	METAL RAILING
9	2x TRIM @ WINDOW TYP.
10	STUCCO EYEBROW

35

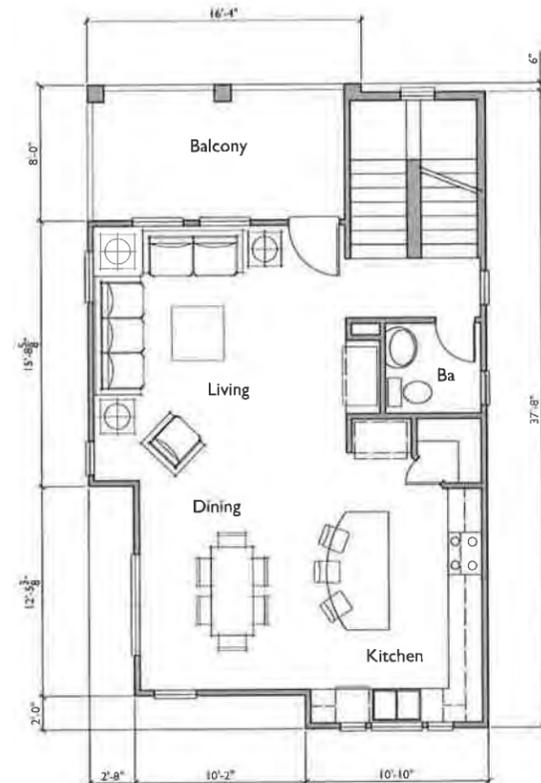
PLAN 3 - ELEVATIONS



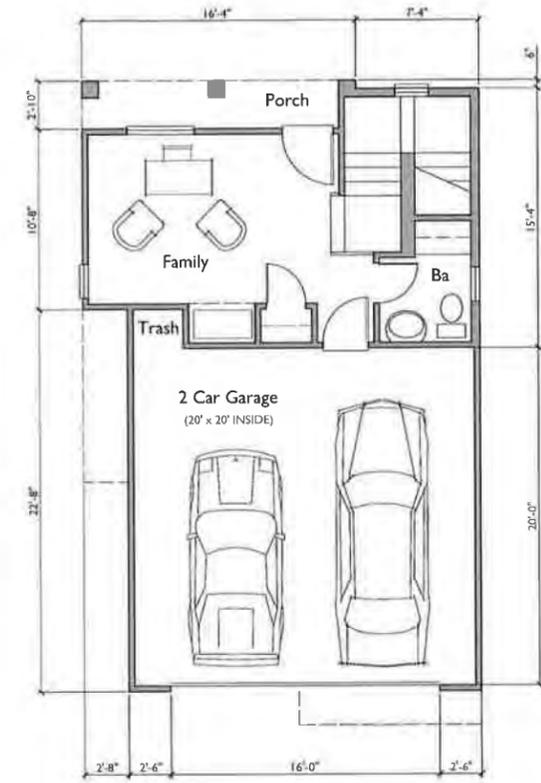
Roof Deck



Third Floor Plan



Second Floor Plan



First Floor Plan

PLAN 4 - 3 BD	
First Floor	271 s.f.
Second Floor	716 s.f.
Third Floor	863 s.f.
Total Livable	1,850 s.f.
Garage	420 s.f.
Balcony	120 s.f.
Roof Deck	160 s.f.

36

CONCEPTUAL FLOOR PLAN- PLAN 4



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION

MATERIAL SCHEDULE	
1	STANDING SEAM METAL ROOFING
2	2x6 RESAWN WOOD FASCIA
3	4x RAFTER TAILS
4	EXTERIOR STUCCO
5	STUCCO REGLET
6	HARDIE PLANK HORIZONTAL LAP SIDING
7	BRICK VENEER
8	METAL RAILING
9	2x TRIM @ WINDOW TYP.
10	STUCCO EYEBROW

37

PLAN 4 - ELEVATIONS



PLAN 3



PLAN 4



PLAN 2



PLAN 1

38

PERSPECTIVES



DECEMBER 21 - 10 AM



JUNE 21 - 10 AM



DECEMBER 21 - 2 PM



JUNE 21 - 2 PM



Planting Palette

Symbol	Botanical Name	Common Name
TREES		
	<i>Arbutus unedo</i>	Strawberry Tree
	<i>Olea europaea</i> 'Swan Hill'	Fruitless olive
	<i>Tristania conferta</i>	Brisbane Box
	<i>Cupressus sempervirens</i>	Italian Cypress
	<i>Cupressus</i> 'Tiny Tower'	Tiny Tower Cypress
	<i>Prunus caroliniana</i>	Carolina Cherry
SHRUBS		
	Agave species	Agave
	<i>Anigostanthus flavidus</i>	Kangaroo Paw
	<i>Carissa macrocarpa</i> 'Green Carpet'	Dwarf Natal Plum
	<i>Dodonaea viscosa</i> 'Purpurea'	Hopsed bush
	<i>Festuca</i> s. 'Californica'	Blue Fescue
	<i>Gaura lindheimeri</i>	Gaura
	<i>Grewia coffra</i>	Lavender Starflower
	<i>Hesperaloe parviflora</i>	Red Yucca
	<i>Lantana montevidensis</i>	Trailing Lantana
	<i>Phormium</i> species	New Zealand Flax
	<i>Rhamnus californica</i>	Coffeeberry
	<i>Rosmarinus</i> s. 'Huntington Carpet'	Creeping Rosemary
	<i>Rosmarinus</i> s. 'Marjorca Pink'	Upright Rosemary
	<i>Salvia greggii</i> 'Flame'	Autumn Sage
	<i>Salvia leucantha</i>	Mexican Sage Bush
VINES		
	<i>Clytostoma callisteaoides</i>	Violet Trumpet Vine
	<i>Distictus buccinatoria</i>	Blood Red Trumpet Vine
GROUND COVER		
	<i>Baccharis pilularis</i> 'Twin Peaks'	Coyote Bush
	<i>Ceanothus gloriosus</i> 'Point Reyes'	Wild Lilac
	<i>Ceanothus</i> g. h. 'Yankee Point'	Wild Lilac
	<i>Verbena peruviana</i>	Verbena
	Marathon II Or Turf Substitute	Turf-type tall fescue

- NOTES:
- ALL ASPECTS OF LANDSCAPE DESIGN SHALL COMPLY WITH CITY OF COSTA MESA MUNICIPAL CODES CHAPTER VII, LANDSCAPING STANDARDS.
 - ALL UTILITY VAULTS, METERS AND TRASH ENCLOSURES SHALL BE SCREENED WITH SHRUB AND/OR VINE PLANTINGS.
 - ALL LANDSCAPE AREAS SHALL BE EQUIPPED WITH AUTOMATIC IRRIGATION SYSTEM.
 - ALL LANDSCAPE AREAS SHALL BE PERMANENTLY MAINTAINED ON A REGULAR BASIS.
 - LANDSCAPE INSTALLATION SHALL COMPLY WITH CITY OF COSTA MESA DESIGN GUIDELINES, CODES AND REGULATIONS.

CONCEPTUAL LANDSCAPE PLAN
MAPLE CROSSING
 COSTA MESA, CALIFORNIA

40

SHEET 1 OF 1
 DATE: 01-24-14



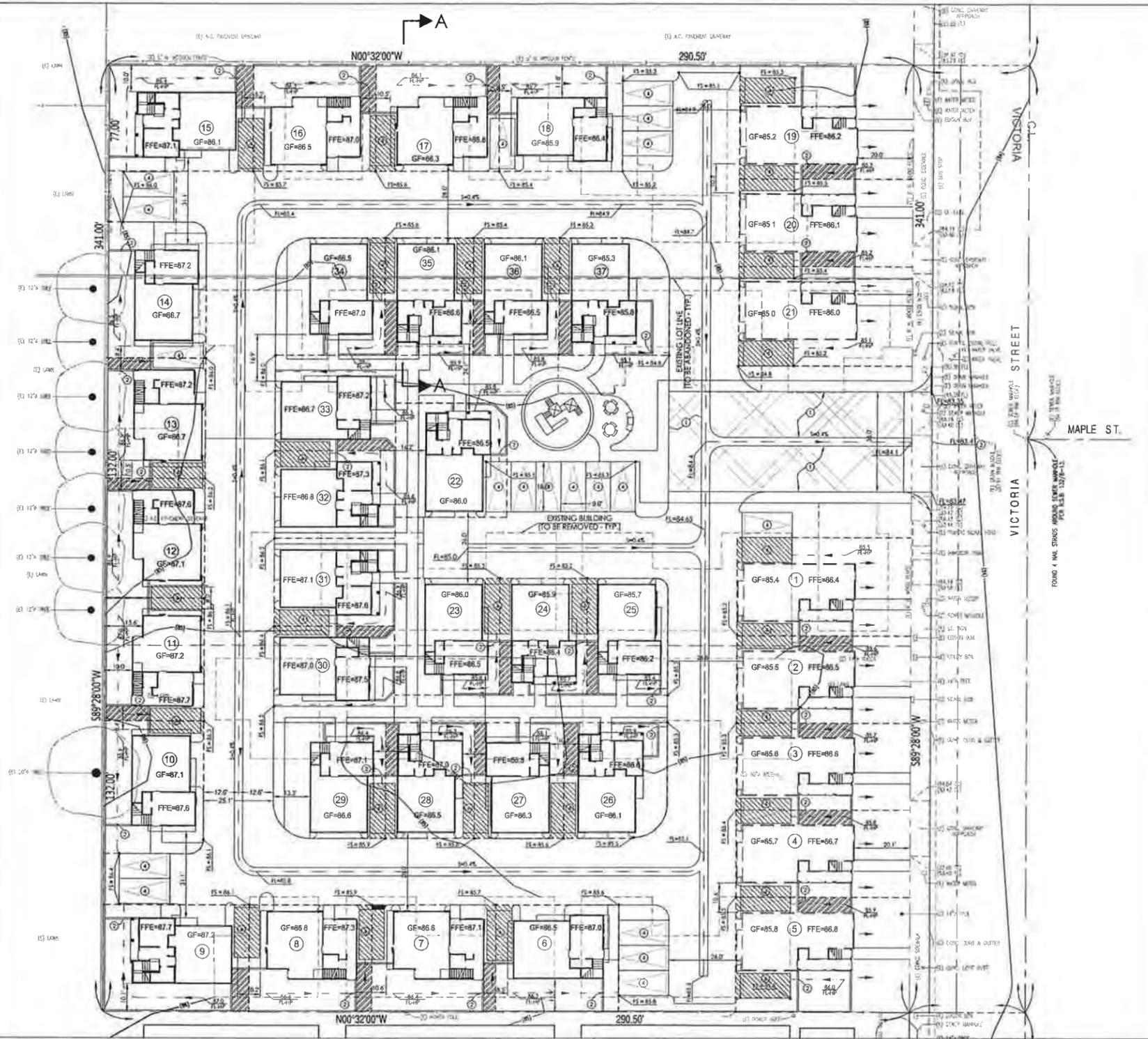
conceptual design & planning company
 3195-C Airport Loop Dr., Studio One, Costa Mesa, CA 92626
 T: 949.399.0870 F: 949.399.0882 www.cdpcinc.com
 6659 Moro Road, Alhambra, CA 91822
 T: 805.456.3395 F: 805.456.3704



CDPC JOB#: 14011

TENTATIVE TRACT MAP AND PRELIMINARY GRADING PLAN
 TTM No. 17709
 573-591 VICTORIA STREET
 A.P.N. Nos. 422-021-02, 422-021-03 AND 422-021-04

ATTACHMENT 5



- SITE PLAN NOTES**
- CONSTRUCT INTERLOCKING CONCRETE PAVERS
 - REMOVE BLOCK FROM WALL TO ALLOW SWALE DRAINAGE
 - CONSTRUCT DRIVEWAY APPROACH PER CITY OF COSTA MESA STANDARDS
 - CONSTRUCT 9' X 18' GUEST PARKING STALL
- COMMON AREA MAINTENANCE TO BE PROVIDED BY COMMUNITY HOMEOWNERS ASSOCIATION (HOA).

PROPOSED LAND USE
 SINGLE-FAMILY HOMES
 NUMBER OF PROPOSED LOTS
 THIRTY-EIGHT (38)

No.	AREA (SF)
1	2,232
2	1,976
3	1,976
4	1,976
5	2,605
6	1,711
7	1,711
8	1,711
9	2,005
10	1,694
11	1,569
12	1,529
13	1,538
14	1,729
15	2,002
16	1,709
17	1,715
18	1,714
19	2,580
20	1,979
21	2,245
22	1,839
23	1,592
24	1,328
25	1,219
26	1,534
27	1,347
28	1,338
29	1,558
30	1,550
31	1,377
32	1,377
33	1,496
34	1,534
35	1,346
36	1,311
37	1,819
A	59,895

GROSS ACREAGE - 2.28 ACRES (99,125 SF)

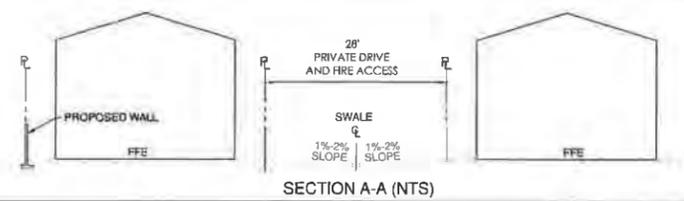


VICINITY MAP

LEGEND

FFE FINISHED FLOOR ELEVATION	PROPOSED HOA MAINTENANCE EASEMENT
GFF GARAGE FINISHED FLOOR	PROPOSED EXCLUSIVE USE EASEMENT
TC TOP OF CURB	PROPOSED PERVIOUS PAVERS
FL FLOWLINE	
TW TOP OF WALL	
FF FINISH FLOOR	
PA PLANTING AREA	
FS FINISH SURFACE	
FG FINISH GRADE	
MIN MINIMUM	
H HIGH	
BW BACK OF WALK	
x 76.52 SPOT ELEVATION	

--- EXISTING PROPERTY LINE (TO BE REMOVED)
 --- EXISTING PROPERTY LINE (TO REMAIN)
 - - - PROPOSED PROPERTY LINE
 - - - PROPOSED DRAINAGE SWALE
 --- CONTOUR LINE



LEGAL DESCRIPTION

THAT PORTION OF LOT 34 OF FAIRVIEW FARMS, IN THE COSTA MESA COUNTY WATER DISTRICT, COSTA MESA SANITARY DISTRICT, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8, PAGE 71 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH THAT PORTION VICTORIA STREET ADJOINING SAID LOT ON THE NORTH, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF THE CENTER LINE OF VICTORIA STREET WITH THE NORTHERLY EXTENSION OF THE WESTERLY LINE OF SAID LOT 34, AND RUNNING THENCE SOUTHERLY ALONG SAID EXTENSION, AND THE WESTERLY LINE OF SAID LOT, 332.5 FEET MORE OR LESS, TO THE SOUTH LINE OF THE NORTH HALF OF SAID LOT 34; THENCE EASTERLY ALONG THE SOUTH LINE OF THE NORTH HALF OF SAID LOT, 132 FEET; THENCE NORTHERLY PARALLEL WITH THE WESTERLY LINE OF SAID LOT AND THE NORTHERLY EXTENSION THEREOF, 332.5 FEET MORE OR LESS TO THE CENTER LINE OF VICTORIA STREET; THENCE WESTERLY ALONG THE CENTER LINE, 132 FEET TO THE POINT OF BEGINNING

EXCEPTING THEREFROM THE WEST 55 FEET THEREOF.

ALSO INCLUDING:

THE WEST 132 FEET OF THE EAST 528 FEET OF THE NORTH HALF OF LOT 34, FAIRVIEW FARMS, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 8, PAGE 71, OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

ALSO INCLUDING:

THE EASTERLY 132 FEET OF THE WESTERLY 396 FEET OF THE NORTH ONE-HALF OF LOT 34 OF FAIRVIEW FARMS, AS PER MAP RECORDED IN BOOK 8, PAGE 71 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

SITE ADDRESS:
 573-591 VICTORIA STREET
 COSTA MESA, CA
 APN 422-021-02,
 422-021-03 AND
 422-021-04

SURROUNDING LAND USE
 NORTH: RESIDENTIAL
 EAST: RESIDENTIAL
 SOUTH: RESIDENTIAL
 WEST: RESIDENTIAL
 THERE ARE NO ADJOINING SUBDIVISIONS

OWNER:
 HARMONY WAY INC.
 2075 PLACENTIA AVENUE
 COSTA MESA, CA 92627

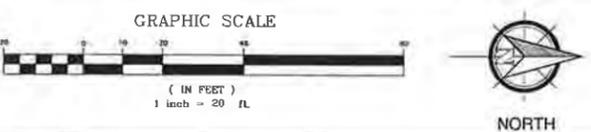
AUTHORIZED AGENT:
 DIAMOND STAR ASSOCIATES, INC.
 4100 MACARTHUR BLVD., SUITE 310
 NEWPORT BEACH, CA 92660

PLANS PREPARED BY:
 HAMILTON LAND DEVELOPMENT, INC.
 2147 IRIS PLACE
 COSTA MESA, CA 92627
 (O) 949.791.8401

ACREAGE
 2.28 ACRES (99,125 SF) GROSS
 2.28 ACRES (99,125 SF) NET

EXISTING WATERCOURSES:
 NONE

FLOODING POTENTIAL
 FEMA FLOODPLAIN MAP No. 08059C0268J SHOWS NO FLOOD HAZARD ON THIS SITE



- GENERAL NOTES:**
- ALL EXISTING STRUCTURES, PAVEMENT AND TREES ON-SITE TO BE REMOVED
 - BLANKET EASEMENT FOR UTILITY AND PUBLIC ACCESS PURPOSES WILL BE PROVIDED OVER ROADWAYS (LOT A)
 - FINAL MAP SHALL PROVIDE FOR EASEMENT AREAS
 - STORM DRAIN SYSTEM TO BE DESIGNED ON FINAL IMPROVEMENT PLANS
 - BLANKET EASEMENT FOR HOA COMMON AREA MAINTENANCE TO BE PROVIDED OVER ROADWAYS (LOT A), PARKING STALLS, WALKWAYS AND NON-PRIVATE LANDSCAPE AREAS.

BENCHMARK:
 NAVD 88 (FT) 65.059
 YEAR LEVELED 2005

DESIGNATION: CM-55-92
PAGE/GRID: 888J-2
CITY/LOCATION: COSTA MESA

DESCRIPTION:
 DESCRIBED BY OCS 2001-FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "CM-55-92" SET IN THE NORTHWEST CORNER OF A 16FT. BY 5FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED ALONG THE SOUTH SIDE OF VICTORIA STREET, BETWEEN MAPLE STREET TO THE EAST AND MEYER PLACE TO THE WEST, 39FT. SOUTHERLY OF THE CENTERLINE OF VICTORIA STREET. MONUMENT IS SET LEVEL WITH SIDEWALK.



FOR PLANNED RESIDENTIAL DEVELOPMENT PURPOSES

SUBMITTAL DATE: JANUARY, 2014

TENTATIVE TRACT MAP AND PRELIMINARY GRADING PLAN
 TTM No. 17709
 573-591 VICTORIA STREET
 A.P.N. Nos. 422-021-02, 422-021-03 AND 422-021-04

COSTA MESA
 COUNTY OF ORANGE, CALIFORNIA USA

PLAN CHECK NO. 1
 TRACKING NO.
 SHEET 1 OF 1



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

FROM THE DEPARTMENT OF PUBLIC SERVICES/ENGINEERING DIVISION

April 23, 2014

Costa Mesa Planning Commission
 City of Costa Mesa
 77 Fair Drive
 Costa Mesa, CA 92626

SUBJECT: Tract No. 17709
 LOCATION: 573-591 Victoria Street

Dear Commissioners:

Tentative Tract Map No. 17709, as furnished by the Planning Division for review by the Public Services Department consists of a subdivision to construct a 37-unit, three-story, detached, small lot, single-family residential development. Tentative Tract Map No. 17709 meets with the approval of the Public Services Department, subject to the following conditions:

1. The Tract shall be developed in full compliance with the State Map Act and the City of Costa Mesa Municipal Code (C.C.M.M.C.), except as authorized by the Costa Mesa City Council and/or Planning Commission. The attention of the Subdivider and his engineer is directed to Sections 13-208 through 13-261 inclusive, of the Municipal Code.
2. The Subdivider shall conduct soil investigations and provide the results to the City of Costa Mesa Engineering and Building Divisions pursuant to Ordinance 97-11.
3. Two copies of the Final Tract Map shall be submitted to the Engineering Division for checking. The map check fee shall be paid per C.C.M.M.C. Section 13-231.
4. A current copy of the title search shall be submitted to the Engineering Division with the first submittal of the Final Tract Map.
5. Dedicate an ingress/egress easement to the City for emergency and public security vehicles purposes only. Maintenance of the easement shall be the sole responsibility of a Homeowners Association formed to conform to Section 13-41 (e) of the C.C.M.M.C.
6. Vehicular and pedestrian access rights to Victoria Street shall be released and relinquished to the City of Costa Mesa except at approved access locations.
7. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb and sidewalk.

8. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then reconstruct driveway approach per City of Costa Mesa Standards as shown on the Offsite Plan to comply with American Disability Act. Location and dimensions are subject to the approval of the Transportation Services Manager.
9. The Subdivider shall submit a cash deposit of \$980 for street sweeping at the time of issuance of a Construction Access permit. The full amount of the deposit shall be maintained on a monthly basis prior to and during construction until completion of the project.
10. Fulfill the drainage fee ordinance requirements prior to the approval of the Tract Map.
11. The Subdivider's engineers shall furnish the Engineering Division a storm runoff study showing existing and proposed facilities and the method of draining this area and tributary areas without exceeding the capacity of any street or drainage facility on-site or off-site. This study is to be furnished with the first submittal of the Final Tract Map. Cross lot drainage shall not occur.
12. Ownership and maintenance of the private on-site drainage facilities and parkway culverts and other common areas shall be transferred by the owner to the Homeowner Association to be formed pursuant to C.C.M.M.C. Section 13-41 (e) and said association shall indemnify and hold harmless the City for any liability arising out of or in any way associated with the connection of the private drainage system with the City's drainage system and shall execute and deliver to the City the standard (indemnity) Hold Harmless Agreement required for such conditions prior to issuance of permits.
13. Sewer improvements shall meet the approval of the Costa Mesa Sanitary District; call (949) 631-1731 for information.
14. Water system improvements shall meet the approval of Mesa Consolidated Water District; call (949) 631-1200 for information.
15. Dedicate easements as needed for public utilities.
16. Prior to recordation of a Final Tract Map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor in a manner described in Subarticle 12, Section 7-9-337 of the Orange County Subdivision Code.
17. Prior to recordation of a Final Tract Map, the surveyor/engineer preparing the map shall submit to the County Surveyor a digital-graphics file of said map in a manner described in Subarticle 12, Section 7-9-337 of the Orange County Subdivision Code.
18. Survey monuments shall be preserved and referenced before construction and replaced after construction, pursuant to Section 8771 of the Business and Profession Code.
19. The elevations shown on all plans shall be on Orange County benchmark datum.
20. Prior to recordation of a Final Tract Map, submit required cash deposit or surety bond to guarantee monumentation. The deposit amount is to be determined by the City Engineer.

21. Prior to occupancy on the Tract, the surveyor/engineer shall submit to the City Engineer a digital-graphics file, a reproducible mylar of the recorded Tract Map, an approved off-site plan and nine copies of the recorded Tract Map.

Sincerely,

A handwritten signature in black ink, appearing to read 'Fariba Fazeli', written in a cursive style.

Fariba Fazeli, P. E.
Interim City Engineer

(Engr. 2014/Planning Commission Tract 17709).

LEE, MEL

Subject: FW: Public Hearing regarding Application PA-14-01& TT-17790

From: harmerann@netscape.net [mailto:harmerann@netscape.net]

Sent: Saturday, May 03, 2014 9:56 PM

To: PLANNING COMMISSION

Subject: Public Hearing regarding Application PA-14-01& TT-17790

This is a case of closing the barn door after the horse and all his relatives have left. The development is nearly completed, and almost sold out. What is the point of discussing it now? Are we to believe that, should there be strenuous objections, you will actually require the development to be torn down? Who's zooming who?

Very truly yours,
Ann Harmer
Annoyed Citizen

May 7, 2014

Application Number: PA-14-01 & TT-17709
Site Address: 573-591 Victoria Street

Good Morning:

I am the manager of O.K. Bonner LLC, owner of the adjacent property on the southeast side of the subject development. I would like to comment for the record on how the design deviations from the zoning code would adversely affect the property and the residents therein.

- e) Second story rear yard setback requirement: 20 feet required, 10 proposed;
- f) Distance between buildings, minimum ten feet required, minimum eight feet proposed;
- g) Open space on site reduced from 40% to 36%;
- h) Bulk/Massing from 100% to 102% for second and third floors.

The area was developed for multifamily and is a very popular rental area. O.K. Bonner LLC and its predecessors originally developed these units and are very familiar with the issues at this location since 1960. The proposed buildings and the requested changes from the design standards will adversely impact the 5 family residents of 565 Victoria by shadowing their units and reduction in lack of privacy and use. We would further anticipate that a new property line fence be a condition of approval prior to framing of the new units to protect these residents' security.

Further reducing the building spacing and open space will put even more pressure on parking in the area, which is a problem. There is no street parking available, so it is possible that overflow may end up on adjacent parcels.

While a new project would be nice for the area; shoving 10 pounds of sand in a five pound bag is not. We would urge the commission to maintain the current Residential designs and Zoning code guidelines for this project.

We would appreciate a copy of this letter to be placed in each commissioner's packet in advance of the May 12, 2014 hearing date.

Very truly yours,



Donald R. Lawrenz, Manager
O.K. Bonner LLC

ARMSTRONG, GARY

From: Linda K. <therapy456@aol.com>
Sent: Monday, May 12, 2014 1:35 AM
To: PLANNING COMMISSION
Subject: Please don't allow any exceptions to the Zoning Code on 573 Victoria

From:
Linda Kraemer
2182 Maple, #104
Costa Mesa, California, 92627

I am upset there are 37 units going in on a street in which there is already a traffic problem and parking is scarce.

We don't need to allow more exceptions for builders. Thirty-Seven units are too many.

Thank You for your time,

Linda Kraemer