



PLANNING COMMISSION

AGENDA REPORT

MEETING DATE: SEPTEMBER 22, 2014

ITEM NUMBER: PH-3

SUBJECT: PLANNING APPLICATION PA-14-21 AND TENTATIVE TRACT MAP NO. 17762 FOR A 18-UNIT RESIDENTIAL DEVELOPMENT AT 650 HAMILTON STREET

DATE: SEPTEMBER 11, 2014

FROM: PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

PRESENTATION BY: MEL LEE, SENIOR PLANNER

FOR FURTHER INFORMATION CONTACT: MEL LEE, AICP (714) 754-5611
mel.lee@costamesaca.gov

DESCRIPTION

The proposed project involves:

- 1) Design Review to construct an 18-unit, two-story, detached residential common interest development on a vacant 2.05 acre site.
- 2) Administrative adjustment from rear yard setback (20 feet required, 12 feet and 15 feet proposed).
- 3) Tentative Tract Map for the subdivision of the property for ownership units in accordance with the common interest development subdivision standards.

APPLICANT

The applicant and property owner is SCEL Properties, LLC.

RECOMMENDATION

Staff recommends that the Planning Commission:

1. Adopt Planning Commission resolution approving the project, subject to conditions.

PLANNING APPLICATION SUMMARY

Location: 650 Hamilton Street Application: PA-14-21 and TT-17762

Request: 18 detached 2-story residential common interest development

SUBJECT PROPERTY:

SURROUNDING PROPERTY:

Zone: <u>R2-MD</u>	North: <u>R2-MD, multiple- family residences</u>
General Plan: <u>MDR (Med. Den. Res.)</u>	South: <u>(Across Hamilton St.) I&R, elementary school</u>
Lot Dimensions: <u>292 FT X 297 FT</u>	East: <u>R2-MD, private school</u>
Lot Area: <u>2.05 Acres (89,298 SF)</u>	West: <u>R2-MD, multiple-family residences</u>
Existing Development: <u>Vacant Lot</u>	

DEVELOPMENT STANDARD COMPARISON

<u>Development Standard</u>	<u>Required/Allowed</u>	<u>Proposed/Provided</u>
Lot Size:		
Lot Width	100 FT	300 FT
Lot Area	12,000 SF	2.05 Acres (89,298 SF)
Density/Intensity:		
DU's/ Acre (Residential)	1 du/3,630 SF (13 DU's/Acre) Maximum 24 units	1 du/4,961 SF (9 DU's/Acre) Proposed 18 units
Min./Avg. Lot Sizes	3,000 SF Min./3,500 SF Avg.	3,362 SF Min./3,802 SF Avg.
Building Coverage (Development Lot)		
Buildings	NA	24,354 SF (27%)
Paving	NA	25,258 SF (28%)
Open Space (Total Site)	35,719 SF (40%)	39,686 SF (45%)
TOTAL	NA	89,298 SF (100%)
Private Open Space	400 SF Min. 15 FT Min. Dim.	796+ SF 15 FT Min. Dim.
Building Height	2 Stories/27 FT	2 Stories/23 FT
Chimney Height	2 FT Above Max. Bldg. Ht.	NA
Distance Between Main Buildings	10 FT	10 FT
Setbacks		
Front	20 FT (Buildings) 10 FT (Landscaping)	20 FT 15 FT
Side (left/right)	5 FT/5 FT	15 FT/15 FT
Rear	10 FT (1 Story) 20 FT (2 Story)	12 FT (1)
Parking		
Covered	36	36
Open	36	36
Guest	NA	8
TOTAL	72 Spaces	80 Spaces
Interior garage dimension	20 FT	21 FT
(1) Administrative Adjustment requested for four units along the rear property line. NA = Not Applicable or No Requirement		
CEQA Status	15332, In-Fill Development	
Final Action	Planning Commission	

BACKGROUND

Project Site/Environs

The 2.05 acre (net area) project site contained a church that has been demolished and is currently vacant. The site is a rectangular-shaped parcel located on the at north side of Hamilton Street, east of Pomona Avenue. The property is zoned R2-MD and has a Medium Density Residential (MDR) General Plan land use designation. The site abuts multiple-family residences to the north and west, a private school to the east, and an elementary school (across Hamilton Street) to the south.

ANALYSIS

Project Description

The applicant is proposing to construct an 18-unit, two-story, detached residential common interest development with a density of 9 dwelling units per acre. Within the R2-MD zone, the property has a maximum development potential of 24 units (13 dwelling units per acre). The project will be subdivided to allow individual sale of the units in accordance with the residential common interest development standards.

The unit types are summarized in the following table:

<i>Unit Size (Not Including Garage)</i>	<i>1,643 Sq. Ft.</i>	<i>1,988 Sq. Ft.</i>
<i>Total No. of Units</i>	<i>14</i>	<i>4</i>
<i>No. Bedrooms and Baths</i>	<i>3 Bed, 2.5 Bath</i>	<i>3 Bed, 2.5 Bath</i>
<i>No. of Stories</i>	<i>2</i>	<i>2</i>
<i>No. Of Garage Spaces</i>	<i>2</i>	<i>2</i>
<i>No. Of Open Spaces (In Driveway)</i>	<i>2</i>	<i>2</i>

Although the structures are similar in footprint and layout, the proposed elevations include a variety of colors, materials and finishes reflecting the following treatments/themes: Spanish, Prairie, Craftsman, Colonial, and French Normandy. The second floor-to-first floor ratios comply with the City’s Residential Design Guidelines (100% allowed; 55% to 61% proposed). Second floor windows will be required to be offset to minimize direct views onto adjacent residential windows, and the elevations visible from Hamilton Street will have additional exterior elevation treatments as recommended in the City’s Residential Design Guidelines.

Site Layout

The site is an interior parcel fronting Hamilton Street. Vehicle access to the site is provided from two drive approached along Hamilton Street. A 25-foot wide private street is a “horseshoe” layout providing vehicular access to all the units, as well as access for emergency and trash pickup vehicles to the entire site. In addition to the parking provided for the units, 8 guest parking spaces are proposed towards the rear of the site; the total

number of on-site parking spaces exceeds that required by code (72 spaces required; 80 spaces proposed).

Setbacks

The proposed project satisfies all required building setbacks along the street frontage and the side yards. The side yard setbacks are a minimum 15 feet, which exceeds the minimum 5 feet required by code. The landscape setback visible along Hamilton Street is 15 feet, which provides adequate space for specimen trees and a substantial landscape buffer from the public right-of-way.

The applicant is requesting an administrative adjustment from the R2-MD zoning requirements for rear yard setback for second story structures. The Zoning Code requires a minimum 20-foot building setback for two-story structures on the rear; the proposed development will provide approximately 12 feet to 15 feet for the 4 units along the rear of the property.

Open Space

The common interest development standards require a minimum of 40 percent open space; 45 percent is proposed for the project. The project also exceeds the minimum 400 square feet and minimum 15-foot dimension for the private open space (i.e., yard areas) for each unit. The units are separated by 10 feet, allowing ample private side yards for storage of trash receptacles.

Although the submitted plans include an active common recreational area along the frontage of the project (a bocce ball court), due to the large private yards areas proposed for each unit, a condition of approval has been incorporated requiring that this be replaced with shrubs and groundcover. Because this area also functions as a filtration basin, the planting of trees on top of the filtration basin would not be possible.

Tentative Tract Map

The tentative tract map proposed is for a condominium subdivision with 18 numbered lots to accommodate the units and 4 lettered lots to accommodate the common landscape area and private street. All common areas including the driveway and parking spaces will be commonly used and maintained by a homeowners association.

Administrative Adjustment

The Zoning Code defines an administrative adjustment as a discretionary entitlement which permits limited deviation from the strict application of the development standards contained in Code, based on specified findings. An administrative adjustment allows a maximum of 40 percent relief from the rear setback requirement for the second floor (20-foot rear setback required; 12-foot and 15-foot rear setbacks proposed). The requested deviation affects four proposed residences located along the rear (northerly) property line of the development site.

Code Section 13-29(g)(1) requires any of the following findings for administrative adjustments:

1. Because of special circumstances applicable to the property, the strict application of development standards deprives the property of privileges enjoyed by others in the vicinity.
2. The deviation shall not constitute a grant of special privileges inconsistent with other properties in the vicinity.
3. The granting of the deviation will not allow a use, density, or intensity which is not in accordance with the general plan designation for the property.

Staff recommends Planning Commission approval, based on the following discussion and the facts and findings included in the draft resolution. Conditions of approval have been incorporated into the attached draft resolution.

- The requested 12-foot rear setback is considered minor given the size and location of the lot. While the property is topographically flat and rectangular in shape, the 2.05-acre size is somewhat unique in that lots located along the north side of Hamilton, between Pomona Avenue and Harbor Boulevard, are typically less than an acre. The lot size provides an in-fill development opportunity for a new single-family detached community with private open spaces.

Additionally, the intent of the second floor setback requirement is to promote appropriate building massing and privacy in context with the neighborhood. In this case, 4 of the proposed 18 residences require a deviation from the setback requirement. These residences are located along the rear property line of the development site, primarily adjacent to the parking areas of neighboring multi-family residential complexes. There are no direct views from proposed second story windows into the existing neighboring structures.

- The deviation authorized does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the property is situated. One of the multiple-family residential properties abutting the project site to the rear contains two-story structures setback closer than the 12-foot and 15-foot setbacks proposed by the project. The strict application of development standards deprives such property of privileges enjoyed by others in the vicinity under identical zoning classifications.
- The proposed project is consistent with the General Plan/Zoning Code with regard to use, density and intensity. The General Plan Land Use designation allows residential development of up to 13 dwelling units/acre on this site; the proposed project is 9 dwelling units/acre and complies with all other applicable provisions of the Zoning Code for residential common interest developments. Therefore, the granting of the deviation will not allow a use, density, or intensity which is not in accordance with the general plan designation and any applicable specific plan for the property. Additionally, the project will add ownership housing to the City's housing stock. This is consistent with Land Use Element Policy LU-1A.4 to strongly encourage the development of ownership housing to improve the imbalance between renter- and owner-occupied housing in the City.

GENERAL PLAN CONFORMANCE

Subject to conditions, the design of the proposed project is in conformance with the General Plan. The proposed development is comprised of 18 detached condominium units at a density of 9 dwelling units per acre, consistent with the R2-MD zone.

The specific General Plan objectives with which the proposed project complies are as follows:

- *Land Use Objective LU-1A.4:* Strongly encourage the development of low-density residential uses and owner-occupied housing where feasible to improve the balance between rental and ownership housing opportunities.
- *Land Use Objective LU-2A.8:* Encourage increased private market investment in declining or deteriorating neighborhoods.

The project would replace a vacant parcel with detached ownership units that would enhance the appearance and value of the site and its surroundings. The project provides new housing opportunities at a level no greater than can be supported by the existing infrastructure. In addition, the proposal will provide on-site parking spaces that exceeds current parking standards.

ENVIRONMENTAL DETERMINATION

The project is exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15332 for In-Fill Development. This project site is less than five acres (2.05 acres total) and the development is in compliance with the City's General Plan and zoning designation. The project also complies with the requirements for inclusion under this exemption because:

- The project is consistent with the applicable General Plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- The proposed development occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses.
- The project site has no value as a habitat for endangered, rare, or threatened species.
- Approval of the project would not result in any significant effects related to traffic, noise, air quality, or water quality.
- The site can be adequately served by all required utilities and public services.

LEGAL REVIEW

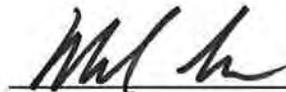
The City Attorney has reviewed the proposed resolution and it has been approved as to the form by the City Attorney's Office.

ALTERNATIVES

1. Approve the project with modifications. The Planning Commission may suggest specific changes that are necessary to alleviate concerns. If any of the additional requested changes are substantial, the item should be continued to a future meeting to allow a redesign or additional analysis. In the event of significant modifications to the proposal, should the Planning Commission choose to do so, staff will return with a revised resolution incorporating new findings and/or conditions.
2. Deny the project. If the Planning Commission believes that there are insufficient facts to support the findings for approval, Planning Commission must deny the application and provide facts in support of denial to be included in the attached draft resolution for denial. If the project were denied, the applicant could not submit substantially the same type of application for six months.

CONCLUSION

The General Plan density allows 24 units on the site; the applicant is not proposing the maximum build out potential of the lot. Approval of the project will allow development of an 18-unit detached residential condominium interest development. The project satisfies the required findings for the requested deviation and is deemed to be a high-quality development, therefore it is consistent with the intent of the General Plan and Zoning Code.



MEL LEE, AICP
Principal Planner



CLAIRE FLYNN, AICP
Assistant Director of Development
Services

- Attachments:
1. Draft Planning Commission Resolution and Exhibits
 2. Applicant's Project Description
 3. Vicinity and Zoning Map
 4. Project Plans/Elevations/Perspectives

Distribution:

- Director of Economic & Development Services/Deputy CEO
- Assistant Development Services Director
- Senior Deputy City Attorney
- Public Services Director
- City Engineer
- Transportation Services Manager
- Fire Protection Analyst
- Staff (6)
- File (2)

SCEL Properties

Attn: Susan McDowell
620 Newport Center Drive, 12th Floor
Newport Beach, CA 92660

**ATTACHMENT 1
DRAFT PLANNING COMMISSION
RESOLUTION AND EXHIBITS**

RESOLUTION NO. PC-14-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING PLANNING APPLICATION PA-14-21 AND TENTATIVE TRACT MAP TT-17762 FOR PROPERTY LOCATED AT 650 HAMILTON STREET

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by SCEL Properties, LLC, the property owner, requesting approval of the following:

- 1) Design Review to construct an 18-unit, two-story, detached residential common interest development on a vacant 2.05 acre site.
- 2) Administrative adjustment from rear yard setback (20 feet required, 12 feet and 15 feet proposed).
- 3) Tentative Tract Map for the subdivision of the property for ownership units in accordance with the common interest development subdivision standards.

WHEREAS, a duly noticed public hearing was held by the Planning Commission on September 22, 2014 with all persons having the opportunity to speak for and against the proposal;

WHEREAS, the project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt from CEQA under Section 15332 for In-Fill Development;

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, and subject to the conditions of approval contained in Exhibit B, the Planning Commission hereby **APPROVES** Planning Application PA-14-21 and Tentative Tract Map 17762.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-14-21 and Tentative Tract Map 17762 and upon the applicant's compliance with each and all of the conditions in Exhibit B, and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or

revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

BE IT FURTHER RESOLVED that if any section, division, sentence, clause, phrase or portion of this resolution, or the documents in the record in support of this resolution, are for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

PASSED AND ADOPTED this 22nd day of September, 2014.

Jim Fitzpatrick, Chair
Chair, Costa Mesa Planning Commission

EXHIBIT A

FINDINGS

- A The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(14) in that:

Finding: The project complies with the City of Costa Mesa Zoning Code and meets the purpose and intent of the Residential Design Guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.

Facts in Support of Findings: The architectural design of the development meets the intent of the City's Residential Development Standards and Design Guidelines and promotes design excellence with consideration given to site planning and building orientation, overall open space, landscaping and architectural design. The second floor-to-first floor ratios comply with the City's Residential Design Guidelines (100% allowed; 55% to 61% proposed). Second floor windows will be required to be offset to minimize direct views onto adjacent residential windows, and the elevations visible from Hamilton Street will have additional exterior elevation treatments as recommended in the City's Residential Design Guidelines.

Finding: The visual prominence associated with the construction of two-story homes in a predominately one-story neighborhood has been reduced through appropriate transitions between the first and second floors and the provision of second floor offsets to avoid long unarticulated two-story walls.

Facts in Support of Findings: The proposed two-story structures are in keeping with the rest of the neighborhood which is developed with two-story buildings. The elevations of the proposed residences include a variety of materials to highlight the vertical offsets and horizontal floor to floor transitions.

Finding: The proposed development plan and subdivision meets the broader goals of the General Plan, and the Zoning Code by exhibiting excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development.

Facts in Support of Findings: The proposed project provides ownership opportunities for detached units in place of a vacant in-fill parcel. The project exhibits site planning excellence by providing private open spaces for all units and adequate separation between the homes and the abutting structures.

- B. The proposed tentative tract map complies with Costa Mesa Municipal Code

Section 13-29(g)(13) because:

Finding: The creation of the subdivision and related improvements is consistent with the General Plan and the Zoning Code.

Facts in Support of Findings: The creation of the subdivision is consistent with General Plan Land Use Element in that the project complies with Objectives 1A.4, 2A.7, and 2A.8 by developing owner-occupied housing to improve the balance between rental and ownership housing opportunities, the project provides sufficient easements as a condominium developments, and encourages increased private market investment in declining or deteriorating neighborhoods.

Finding: The proposed use of the subdivision is compatible with the General Plan.

Facts in Support of Findings: The project density is 9 units per acre, which is lower than the allowable density standards and consistent with the Objectives of the General Plan and the site's Medium Density Residential land use designation that allows up to 13 units per acre.

Finding: The subject property is physically suitable to accommodate the subdivision in terms of type, design, and density of development, and will not result in substantial environmental damage nor public health problems, based on compliance with the Zoning Code and General Plan, and consideration of appropriate environmental information.

Facts in Support of Findings: The proposed project is exempt from the provisions of the California Environmental Quality Act under Section 15332, for In-fill Development Projects.

Finding: The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code Section 66473.1.

Facts in Support of Findings: The proposed buildings include openings in an east-west direction to take advantage of passive solar heating as well as passive ventilation from ocean breezes. The inclusion of a combination of medium and large size trees will also help provide shade to the residences.

Finding: The subdivision and development of the property will not unreasonably interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.

Facts in Support of Findings: As conditioned, the proposed project does not interfere with the public right of way. The proposed dedications along Randolph Avenue will significantly improve the right-of-way for vehicular and pedestrian traffic.

Finding: The discharge of sewage from this subdivision into the public sewer

system will not violate the requirements of the California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000 of the Water Code).

Facts in Support of Findings: The applicant will be required to comply with all regulations set forth by the Costa Mesa Sanitation District as well as the Mesa Water District.

- C. The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(1) in that:

Finding: Because of special circumstances applicable to the property, the strict application of development standards deprives such property or privileges enjoyed by others in the vicinity under identical zoning classifications.

- **Facts in Support of Findings:** While the property is topographically flat and rectangular in shape, the 2.05-acre size is somewhat unique in that lots located along the north side of Hamilton, between Pomona Avenue and Harbor Boulevard, are typically less than an acre. The lot size provides an in-fill development opportunity for a new single-family detached community with private open spaces. Additionally, these residences are located along the rear property line of the development site, primarily adjacent to the parking areas of neighboring multi-family residential complexes. There are no direct views from proposed second story windows into the existing neighboring structures.

Finding: The deviation granted shall be subject to such conditions as will assure that the deviation authorized shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the property is situated.

Facts in Support of Findings: One of the multiple-family residential properties abutting the project site to the rear contains two-story structures setback closer than the 12 and 15 feet proposed by the project. The strict application of development standards deprives such property of privileges enjoyed by others in the vicinity under identical zoning classifications.

Finding: The granting of the deviation will not allow a use, density, or intensity which is not in accordance with the general plan designation and any applicable specific plan for the property.

Facts in Support of Findings: The General Plan Land Use designation allows residential development of up to 13 du's/acre on this site; the proposed project is 9 du's/acre and complies with all other applicable provisions of the Zoning Code for residential common interest developments. Therefore, the granting of the deviation will not allow a use, density, or intensity which is not in accordance with the general plan designation and any applicable specific plan for the property.

- D. The project is exempt from the provisions of the California Environmental Quality

Act (CEQA) under Section 15332 for In-Fill Development. This project site is less than five acres (2.05 acres total) and the development is in compliance with the City's General Plan and zoning designation. The project also complies with the requirements for inclusion under this exemption because:

- The project is consistent with the applicable General Plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
 - The proposed development occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses.
 - The project site has no value as a habitat for endangered, rare, or threatened species.
 - Approval of the project would not result in any significant effects related to traffic, noise, air quality, or water quality.
 - The site can be adequately served by all required utilities and public services.
- E. The project is exempt from Chapter XII, Article 3 Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

EXHIBIT B

CONDITIONS OF APPROVAL

- Plng.
1. The expiration of Planning Application PA-14-21 shall coincide with the expiration of the approval of the Tentative Tract Map 17762 which is valid for two years. An extension request is needed to extend the expiration for each additional year after the initial two-year period.
 2. The conditions of approval for PA-14-21 and TT-17762 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
 3. The Tentative Tract Map shall be processed as a condominium map consistent with Section 13-41 of the Zoning Code.
 4. A decorative 7-foot high perimeter block wall shall be constructed around the perimeter of the site prior to issuance of certificates of occupancy unless otherwise approved by the Development Services Director. Where walls on adjacent properties already exist, the applicant shall work with the adjacent property owner(s) to prevent side-by-side walls with gaps in between them and/or provide adequate privacy screening by trees and landscaping.
 5. The interior fences or walls between the homes shall be a minimum of six feet in height.
 6. The open, unassigned parking spaces shall be clearly marked as guest parking spaces. Signage will be posted to indicate that these spaces are available to all visitors.
 7. Prior to issuance of building permits, a final landscape plan indicating the landscape palette and the design/material of paved areas shall be submitted for review and approval by the Planning Division.
 8. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
 9. No modification(s) of the approved building elevations including, but not limited to, change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process or a variance, or in the requirement to modify the construction to reflect the approved plans.
 10. Prior to issuance of grading permits, developer shall submit for review and approval a Construction Management Plan. This plan features methods to minimize disruption to the neighboring residential uses to the fullest extent that is reasonable and practicable. The plan shall include construction parking and vehicle access and specifying staging areas and delivery and hauling truck routes. The plan should mitigate disruption to residents during construction. The truck route plan shall

preclude truck routes through residential areas and major truck traffic during peak hours. The total truck trips to the site shall not exceed 200 trucks per day (i.e., 100 truck trips to the site plus 100 truck trips from the site) unless approved by the Development Services Director or Transportation Services Manager.

11. The subject property's ultimate finished grade level may not be filled/raised in excess of 36 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site storm water flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. Such alternatives may include subsurface tie-in to public storm water facilities, subsurface drainage collection systems and/or sumps with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties.
12. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
13. To avoid an alley-like appearance, the private street shall not be developed with a center concrete swale. The private street shall be complemented by stamped concrete or pervious pavers.
14. Prior to issuance of building permits, the applicant shall provide the Conditions, Covenants, and Restrictions (CC&Rs) to the Development Services Director and City Attorney's office for review. The CC&Rs must be in a form and substance acceptable to, and shall be approved by the Development Services Director and City Attorney's office.
 - a. The CC&Rs shall contain provisions requiring that the HOA homeowner's association (HOA) effectively manage parking and contract with a towing service to enforce the parking regulations and shall contain restrictions prohibiting parking in the driveway and in front of garage doors.
 - b. The CC&Rs shall also contain provisions related to night-time lighting and active use of the common areas. These provisions shall prohibit amplified noise, loud parties/gatherings, night-time lighting after 9:00 PM other than for security purposes, or any other activities that may be disruptive to the quiet enjoyment of neighboring properties after 9:00 PM.
 - c. The CC&Rs shall also contain provisions related to preservation and maintenance of the common lot and common open space areas in perpetuity by the homeowner's association. The CC&Rs shall also contain the buyer's notice (described in Condition below) as an

exhibit.

- d. The CC&Rs shall contain a notice that all open parking spaces shall be unassigned and available for visitors.
 - e. The CC&R's shall contain restrictions requiring residents to park vehicles in garage spaces provided for each unit. Storage of other items may occur only to the extent that vehicles may still be parked within the required garage at the number for which the garage was originally designed and to allow for inspections by the association to verify compliance with this condition.
 - f. Any subsequent revisions to the CC&Rs related to these provisions must be reviewed and approved by the City Attorney's office and the Development Services Director before they become effective.
- 15. The CC&Rs shall be recorded prior to issuance of certificates of occupancy.
 - 16. Prior to issuance of building permits, the applicant shall provide proof of recordation of Tract Map 17762.
 - 17. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
 - 18. Prior to release of any utilities, the applicant shall provide proof of establishment of a maintenance or homeowners association.
 - 19. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of, or which are in any way related to, the applicant's project, or any approvals granted by City related to the applicant's project. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section. City shall have the right to choose its own legal counsel to represent the City's interests, and applicant shall indemnify City for all such costs incurred by City.
 - 20. Although the submitted plans include an active common recreational area along the frontage of the project (a bocce ball court), due to the large private yards areas proposed for each unit, this area shall be replaced with

shrubs and groundcover.

- Eng. 21. Comply with the requirements contained in the letter prepared by the City Engineer (Exhibit C).
22. Maintain the public right-of-way in a "wet-down" condition to prevent excessive dust and promptly remove any spillage from the public right-of-way by sweeping or sprinkling.

CODE REQUIREMENTS

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng. 1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
2. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
3. Prior to issuance of building permits, applicant shall contact the US Postal Service with regard to location and design of mail delivery facilities. Such facilities shall be shown on the site plan, landscape plan, and/or floor plan.
4. Pay Park fee prior to building permit issuance or certificate of occupancy. Applicable fee shall be that fee in effect at the time the subdivision application is filed with the City.
5. A minimum 20-foot by 20-foot clear interior dimension shall be provided for all garages.
6. Minimum garage door width shall be 16 feet.
7. All garages shall be provided with automatic garage door openers.
8. Hours of construction shall comply with Section 13-279, Title 13, of the Costa Mesa Municipal Code.
9. Two (2) sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
10. Two (2) sets of landscape and irrigation plans, approved by the Planning Division, shall be attached to two of the final building plan sets.
11. All on-site utility services shall be installed underground.

12. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
13. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
- Bldg. 14. Comply with the requirements of the 2013 California Building Code, 2013 California Residential Code, 2013 California Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted, California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards, and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Areas of alteration and additions shall comply with 2013 California Green Building Standards Code section 5.303.2 and 5.303.2
15. Submit precise grading plans, an erosion control plan, and a hydrology study.
16. Submit a soils report for this project. Soil's report recommendations shall be blueprinted on both the architectural and grading plans. For existing slopes or when new slopes are proposed, the soils report shall address how existing or new slopes will be maintained to avoid erosion or future failure.
17. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus 2 percent. 2013 California Building Code CRC 403.1.7.3.
18. Lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of six inches within the first 10 feet. CRC R401.3.
19. Projections, including eaves, shall be one-hour fire resistive construction, heavy timber or noncombustible material if they project into the 5-foot setback area from the property line. They may project a maximum of 12 inches beyond the 3-foot setback. CRC Tables R302.1(1) and R302.1(2).
- Trans. 20. Construct all proposed driveway approaches to comply with city standards.
21. Close unused drive approaches, or portion of, with full height curb and gutter that comply with city standards.
- Fire 22. Prior to the issuance of a Building Permit, the City of Costa Mesa Fire Department shall review and approve the project design features to

assess compliance with the California Building Code and California Fire Code. Fire staff shall examine the projected demands of the proposed Project and make recommendations to ensure that adequate personnel/resources will be available to meet projected demand. Recommendations of the study shall be implemented to the satisfaction of the Fire Department to ensure that emergency response impacts are minimized to below a level of significance.

- Street Trees 23. Protect existing street trees in place. Note that removal of exiting trees within the public right-of-way shall not be permitted without approval from the Parks and Recreation Commission, and compliance with any applicable requirements or conditions as determined by the Parks and Recreation Commission.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- Sani. 1. Applicant will be required to construct sewers to serve this project, at his own expense, meeting the approval of the Costa Mesa Sanitary District.
2. County Sanitation District fees, fixture fees, inspection fees, and sewer permit are required prior to installation of sewer.
3. Applicant shall submit a plan showing sewer improvements that meets the District Engineer's approval to the Building Division as part of the plans submitted for plan check.
4. The applicant is required to contact the Costa Mesa Sanitary District at (714) 754-5307 to arrange final sign-off prior to certificate of occupancy being released.
5. Unless an off-site trash hauler is being used, applicant shall contact the Costa Mesa Sanitary District at (714) 754-5043 to pay trash collection program fees and arrange for service for all new residences. Residences using bin or dumpster services are exempt from this requirement.
6. Applicant shall contact Costa Mesa Sanitary District at (949) 654-8400 for any additional district requirements.
- AQMD 7. Applicant shall contact the Air Quality Management District (AQMD) at (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.
- Water 8. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District.
- School 9. Pay applicable Newport Mesa Unified School District fees to the Building Division prior is issuance of building permits.
- State 10. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on

the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

FROM THE DEPARTMENT OF PUBLIC SERVICES/ENGINEERING DIVISION

September 10, 2014

Costa Mesa Planning Commission
 City of Costa Mesa
 77 Fair Drive
 Costa Mesa, California 92626

SUBJECT: Tract No. 17762
LOCATION: 650 Hamilton Street

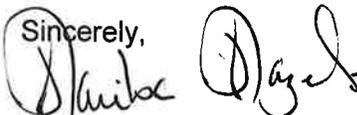
Dear Commissioners:

Tentative Tract Map No. 17762, as furnished by the Planning Division for review by the Public Services Department consists of a subdivision to construct an 18-unit, two-story, detached, small lot, single-family residential development. Tentative Tract Map No. 17762 meets with the approval of the Public Services Department, subject to the following conditions:

1. The Tract shall be developed in full compliance with the State Map Act and the City of Costa Mesa Municipal Code (C.C.M.M.C.), except as authorized by the Costa Mesa City Council and/or Planning Commission. The attention of the Subdivider and his engineer is directed to Sections 13-208 through 13-261 inclusive, of the Municipal Code.
2. The Subdivider shall conduct soil investigations and provide the results to the City of Costa Mesa Engineering and Building Divisions pursuant to Ordinance 97-11.
3. Two copies of the Final Tract Map shall be submitted to the Engineering Division for checking. The map check fee shall be paid per C.C.M.M.C. Section 13-231.
4. A current copy of the title search shall be submitted to the Engineering Division with the first submittal of the Final Tract Map.
5. Dedicate an ingress/egress easement to the City for emergency and public security vehicles purposes only. Maintenance of the easement shall be the sole responsibility of a Homeowners Association formed to conform to Section 13-41 (e) of the C.C.M.M.C.
6. Vehicular and pedestrian access rights to Hamilton Street shall be released and relinquished to the City of Costa Mesa except at approved access locations.
7. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb and sidewalk.

8. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct driveway approaches per City of Costa Mesa Standards as shown on the Offsite Plan to comply with the Americans with Disabilities Act (ADA). Location and dimensions are subject to the approval of the Transportation Services Manager.
9. Applicant/Developer is hereby advised that no removal of trees from the public right-of-way will be permitted without specific approval from the Parks and Recreation Commission and compliance with mitigation measures as determined by the Commission to relocate the trees and/or to compensate the City for the loss of trees from the public right-of-way. Conditions of the Commission must be incorporated onto the plans prior to plan approval. The approval process may take up to three months, therefore, the applicant/developer is advised to identify all trees affected by the proposed project and make timely application to the Parks and Recreation Commission to avoid possible delays.
10. The Subdivider shall submit a cash deposit of \$980 for street sweeping at the time of issuance of a Construction Access permit. The full amount of the deposit shall be maintained on a monthly basis prior to and during construction until completion of the project.
11. Fulfill City of Costa Mesa Drainage Ordinance No. 06-19 requirements prior to Approval of Final Map.
12. The Subdivider's engineers shall furnish the Engineering Division a storm runoff study showing existing and proposed facilities and the method of draining this area and tributary areas without exceeding the capacity of any street or drainage facility on-site or off-site. This study is to be furnished with the first submittal of the Final Tract Map. Cross lot drainage shall not occur.
13. The Subdivider's engineers shall furnish to the Engineering Division a storm drain plan showing the extension of the existing storm drain main line on Hamilton Street; and obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct the new storm drain line.
14. In order to comply with the 2003 DAMP, the proposed Project shall prepare a Water Quality Management Plan (WQMP) conforming to the Current National Pollution Discharge Elimination System (NPDES) and the Model WQMP, prepared by a Licensed Civil Engineer or Environmental Engineer, which shall be submitted to the Department of Public Works for review and approval.
 - A WQMP (Priority or Non-Priority) shall be maintained and updated as needed to satisfy the requirements of the adopted NPDES program. The plan shall ensure that the existing water quality measures for all improved phases of the project are adhered to.
 - Location of BMPs shall not be within the public right-of-way.
15. Ownership and maintenance of the private on-site drainage facilities and parkway culverts and other common areas shall be transferred by the owner to the Homeowner Association to be formed pursuant to C.C.M.M.C. Section 13-41 (e) and said association shall indemnify and hold harmless the City for any liability arising out of or in any way associated with the connection of the private drainage system with the City's drainage system and shall execute and deliver to the City the standard (indemnity) Hold Harmless Agreement required for such conditions prior to issuance of permits.
16. Sewer improvements shall meet the approval of the Costa Mesa Sanitary District; call (949) 631-1731 for information.

17. Water system improvements shall meet the approval of Mesa Consolidated Water District; call (949) 631-1200 for information.
18. Dedicate easements as needed for public utilities.
19. Prior to recordation of a Final Tract Map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor in a manner described in Subarticle 12, Section 7-9-337 of the Orange County Subdivision Code.
20. Prior to recordation of a Final Tract Map, the surveyor/engineer preparing the map shall submit to the County Surveyor a digital-graphics file of said map in a manner described in Subarticle 12, Section 7-9-337 of the Orange County Subdivision Code.
21. Survey monuments shall be preserved and referenced before construction and replaced after construction, pursuant to Section 8771 of the Business and Profession Code.
22. The elevations shown on all plans shall be on Orange County benchmark datum.
23. Prior to recordation of a Final Tract Map, submit required cash deposit or surety bond to guarantee monumentation. The deposit amount is to be determined by the City Engineer.
24. Prior to occupancy on the Tract, the surveyor/engineer shall submit to the City Engineer a digital-graphics file, a reproducible mylar of the recorded Tract Map, an approved off-site plan and nine copies of the recorded Tract Map.

Sincerely,

Fariba Fazeli, P. E.
City Engineer

(Engr. 2014/Planning Commission Tract 17762).

RESOLUTION NO. PC-14-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA DENYING PLANNING APPLICATION PA-14-21 AND TENTATIVE TRACT MAP TT-17762 FOR PROPERTY LOCATED AT 650 HAMILTON STREET

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by SCEL Properties, LLC, the property owner, requesting approval of the following:

- 1) Design Review to construct an 18-unit, two-story, detached residential common interest development on a vacant 2.05 acre site.
- 2) Administrative adjustment from rear yard setback (20 feet required, 12 feet and 15 feet proposed).
- 3) Tentative Tract Map for the subdivision of the property for ownership units in accordance with the common interest development subdivision standards.

WHEREAS, a duly noticed public hearing was held by the Planning Commission on September 22, 2014 with all persons having the opportunity to speak for and against the proposal;

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, the Planning Commission hereby **DENIES** Planning Application PA-14-21 and Tentative Tract Map TT-17762.

PASSED AND ADOPTED this 22nd day of September, 2014.

Jim Fitzpatrick, Chair
Chair, Costa Mesa Planning
Commission

EXHIBIT A

FINDINGS (DENIAL)

- A. The proposed project does not comply with Costa Mesa Municipal Code Section 13-29(e) because:
1. A compatible and harmonious relationship does not exist between the proposed use and existing buildings, site development, and uses on surrounding properties.
 2. The proposed project does not comply with the performance standards as prescribed in the Zoning Code.
 3. The proposed project is not consistent with the General Plan or Zoning Code.
- B. The proposed project does not comply with Costa Mesa Municipal Code Section Code Section 13-29(g)(1) because:
1. There are no special circumstances applicable to the property. The strict application of development standards does not deprive the property of privileges enjoyed by others in the vicinity.
 2. The deviations constitute a grant of special privileges inconsistent with other properties in the vicinity.
 3. The granting of the deviation will allow a use, density, or intensity which is not in accordance with the general plan designation for the property.
- C. The information presented does not comply with Costa Mesa Municipal Code Section 13-29(14) in that the project does not meet the purpose and intent of the Residential Design Guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.
- D. The subdivision of the property for residential condominiums is not consistent with the City's General Plan and Zoning Code.
- E. The Costa Mesa Planning Commission has denied Planning Application PA-14-21 and Tentative Tract Map TT-17762. Pursuant to Public Resources Code Section 21080(b)(5) and CEQA Guidelines Section 15270(a) CEQA does not apply to this project because it has been rejected and will not be carried out.
- F. The project is exempt from Chapter IX, Article 11, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

ATTACHMENT 2
APPLICANT'S PROJECT DESCRIPTION

**SCEL PROPERTIES LLC
620 NEWPORT CENTER DRIVE
12TH FLOOR
NEWPORT BEACH, CA 92660**

**Applicant Letter – Description of Project
TENTATIVE PARCEL MAP, DESIGN REVIEW/VARIANCE &
COMMON INTEREST DEVELOPMENT APPLICATION
TM 17762
650 HAMILTON STREET
COSTA MESA, CA
5/15/2014**

PROJECT DESCRIPTION

Applicant / Owner:	SCEL Properties, LLC
Property Location:	650 Hamilton Street
Legal Description:	A Portion of South Half of Lot 38 Tract No. 9, Miscellaneous Maps Book 9 Page 9
Assessor's Parcel No:	422-211-29
Zoning Classification:	R2-MD (Multiple-Family Residential District)
Site Area:	2.12 AC - Gross before dedications
Demolished Structures:	Church Facility approx 6,340 SF; Pre-School Facility approx 7,324 SF

Proposed Project:

The Applicant proposes to subdivide the existing property into a Common Interest Development ("CID") with a Tract Map and to redevelop the site with new construction of eighteen (18) detached 2-story single family residences ranging from 1,643 SF to 1,988 SF with attached 2-car garages. In addition to the 18 numbered lots, four lettered lots (common lots) are proposed. A variance is requested to reduce the minimum rear setback to 11.5 FT for two lots and to 15 FT for two lots. The existing structures were demolished under separated permit.

The individual lots will be maintained privately by the homeowner. They are described as follows:

Lot 1:

Proposed Lot Area:	3,482 sf (gross)
New Residence:	1,643 sf – 3 Bedroom 2.5 bath, 2-Car attached garage, two-story wood frame construction in the Spanish style elevation

Lot 2:

Proposed Lot Dimension:	3,481 sf (gross)
New Residence:	1,643 sf – 3 Bedroom 2.5 bath, 2-Car attached garage, two-story wood frame construction in the Craftsman style elevation

Lot 3:

Proposed Lot Area:	3,481 sf (gross)
New Residence:	1,643 sf – 3 Bedroom 2.5 bath, 2-Car attached garage, two-story wood frame construction in the Colonial style elevation

Lot 4:

Proposed Lot Dimension: 4,029 sf (gross)
New Residence: 1,643 sf – 3 Bedroom 2.5 bath, 2-Car attached garage, two-story wood frame construction in the Prairie style elevation

Lot 5:

Proposed Lot Area: 4,737 sf (gross)
New Residence: 1,643 sf – 3 Bedroom 2.5 bath, 2-Car attached garage, two-story wood frame construction in the French Normandy style elevation

Lot 6:

Proposed Lot Dimension: 3,456 sf (gross)
New Residence: 1,643 sf – 3 Bedroom 2.5 bath, 2-Car attached garage, two-story wood frame construction in the Craftsman style elevation

Lot 7:

Proposed Lot Area: 3,519 sf (gross)
New Residence: 1,643 sf – 3 Bedroom 2.5 bath, 2-Car attached garage, two-story wood frame construction in the Spanish style elevation

Lot 8:

Proposed Lot Dimension: 4,929 sf (gross)
New Residence: 1,643 sf – 3 Bedroom 2.5 bath, 2-Car attached garage, two-story wood frame construction in the Colonial style elevation

Lot 9:

Proposed Lot Area: 4,482 sf (gross)
New Residence: 1,643 sf – 3 Bedroom 2.5 bath, 2-Car attached garage, two-story wood frame construction in the Craftsman style elevation

Lot 10:

Proposed Lot Dimension: 4,184 sf (gross)
New Residence: 1,988 sf – 4 Bedroom 3 bath, 2-Car attached garage, two-story wood frame construction in the Spanish style elevation

Lot 11:

Proposed Lot Area: 3,497 sf (gross)
New Residence: 1,643 sf – 3 Bedroom 2.5 bath, 2-Car attached garage, two-story wood frame construction in the French Normandy style elevation

Lot 12:

Proposed Lot Dimension: 3,498 sf (gross)
New Residence: 1,643 sf – 3 Bedroom 2.5 bath, 2-Car attached garage, two-story wood frame construction in the Craftsman style elevation

Lot 13:

Proposed Lot Area: 3,365 sf (gross)
New Residence: 1,643 sf – 3 Bedroom 2.5 bath, 2-Car attached garage, two-story wood frame construction in the Spanish style elevation

Lot 14:

Proposed Lot Dimension: 3,363 sf (gross)
New Residence: 1,643 sf – 3 Bedroom 2.5 bath, 2-Car attached garage, two-story wood frame construction in the Prairie style elevation

Lot 15:

Proposed Lot Area: 3,362 sf (gross)
New Residence: 1,643 sf – 3 Bedroom 2.5 bath, 2-Car attached garage, two-story wood frame construction in the French Normandy style elevation

Lot 16:

Proposed Lot Dimension: 3,894 sf (gross)
New Residence: 1,988 sf – 4 Bedroom 3 bath, 2-Car attached garage, two-story wood frame construction in the Spanish style elevation

Lot 17:

Proposed Lot Area: 3,835 sf (gross)
New Residence: 1,988 sf – 4 Bedroom 3 bath, 2-Car attached garage, two-story wood frame construction in the Prairie style elevation

Lot 18:

Proposed Lot Dimension: 3,843 sf (gross)
New Residence: 1,988 sf – 4 Bedroom 3 bath, 2-Car attached garage, two-story wood frame construction in the Craftsman style elevation

Common Area Lots:

The project contains four common area lots. These include three landscape lots and a street lot. These will be maintained by a Homeowner's Association ("HOA"). They are described as follows:

Lot A:

Proposed Lot Area: 17,244
Purpose: Private Street and Parking Area
Maintenance: Homeowners Association

Lot B:

Proposed Lot Area: 884
Purpose: Landscape Lot
Maintenance: Homeowners Association

Lot C:

Proposed Lot Area: 1,827
Purpose: Landscape Lot
Maintenance: Homeowners Association

Lot D:

Proposed Lot Area: 887
Purpose: Landscape Lot
Maintenance: Homeowners Association

Utilities: The proposed project will have a Homeowners Association to maintain the common area lots, as well as the on-site infiltration basin. The water and sewer systems will be public utilities. An easement in favor of Mesa Consolidated Water District will be granted on the proposed Final Map, and an easement in favor of Costa Mesa Sanitary District will be granted on the proposed Final Map.

Architectural Treatment: Each of the plan types will have a variety of elevational styles. These include Spanish, Prairie, Craftsman, Colonial and French Normandy. Within each of these elevation styles, there are five color schemes to choose from. Furthermore, the community will feature enhanced siding, stack brick veneer or stack stone veneer, window surrounds, vertical siding gables, concrete flat or low "S" tile roof materials and shutters. All of these numerous colors and features will combine to make an aesthetically pleasing and varied, yet compatible, community.

Parking: Each attached garage will accommodate two vehicles, encouraging onsite enclosed parking. Each lot has two open parking spaces in the driveway. There is no street parking on this private street (Lot A).

650 Hamilton St.
 Costa Mesa, CA

ZONING CONFORMANCE
Common Interest Development
 Underlying Zoning: R2-MD

Standard	Required	Proposed	Comment (ex, Conforms to Code)
Individual Dwelling Unit Minimum Lot Area	3,000 SF	Lot 1 – 3,482 SF Lot 2 – 3,481 SF Lot 3 – 3,481 SF Lot 4 – 4,029 SF Lot 5 – 4,737 SF Lot 6 – 3,456 SF Lot 7 – 3,519 SF Lot 8 – 4,929 SF Lot 9 – 4,482 SF Lot 10 – 4,184 SF Lot 11 – 3,497 SF Lot 12 – 3,498 SF Lot 13 – 3,365 SF Lot 14 – 3,363 SF Lot 15 – 3,362 SF Lot 16 – 3,894 SF Lot 17 – 3,835 SF Lot 18 – 3,843 SF	Conforms to Code Conforms to Code

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Standard	Required	Proposed	Comment (ex, Conforms to Code)
Common Lot Required	Minimum 10 ft from street setback to be landscaped	Lot A – Private Street (17,244 SF) Lot B – 15 ft (884 SF) Lot C – 15 ft (1,827 SF) Lot D – 15 ft (887 SF)	NA Conforms to Code Conforms to Code Conforms to Code
Max Number of Stories & Building Height	2 stories/27 ft	1,988 SF home – 2 story/22’5” 1,643 SF home – 2 story/22’5”	Conforms to Code Conforms to Code
Attics	No heat, cooling, outlets & windows (dormers only)	Lots 1-18 – To Code	Conforms to Code
Maximum Density (gross ac)	Same as underlying zoning: R3 - 1 dwelling unit per 3,000 SF	Site area total – 2 acres Dwelling units – 18 total	Conforms to Code
Minimum Open Space Development Lot:	40% of total lot area	Lots 1 -18 – 47% - 62% Lots B,C,D – 100% Total development – 45% (with street included)	Conforms to Code Conforms to Code Conforms to Code
Distance between Buildings	10 ft min 6 ft min b/t main & accessory bldgs	10 ft min between all structures	Conforms to Code
Driveway Width	10 ft min	14 – 16 ft	Conforms to Code
Driveway Length	10 ft min	20 ft min	Conforms to Code
Storage	NA	NA	NA
Mechanical equipment, excluding antennas & flush-mounted solar panels	Roof-top location is prohibited	To Code (no mechanical equipment on roof)	
Front Setback Development Lot:	20 ft	20 ft	Conforms to Code

Standard	Required	Proposed	Comment (ex, Conforms to Code)
Side Setback (interior) Development Lot:	5 ft	15 ft min	Conforms to Code
Rear (NOT abutting a publically dedicated alley) Development Lot: Setback Rear Yard Coverage	20 ft for 2-story Does Not Apply	11.5 - 15 ft NA	Variance Request NA
Projections Roof or Eaves Overhang Open Stairways Chimneys Fireplaces	2.5 ft in setback 2.5 ft in setback 2 ft above max ht 2 ft in setback	Lots 1-18 Structures: 1 ft	Conforms to Code
Parking (Off-Street) Garage Parking Spaces	2 Spaces (per unit)	Lots 1-18: 2 spaces each (36 total)	Conforms to Code
Open Parking Spaces	2 Spaces (per unit)	Lots 1-18: Driveway -2 spaces each Lot A: Parking stalls - 8 spaces (44 total)	Conforms to Code
Total Parking Spaces	4 Spaces (per unit)	Total 80 spaces	Conforms to Code
Auto Roll-up Door	Required w/remote	Lots 1-18 - Provided	Conforms to Code
Location Covered/Park	Reasonable Distance	Attached Garages & driveways provided	Conforms to Code
Landscaping Detailed Plan	Detailed landscape plan to be approved prior to building permits	Will follow requirement	
Fences & Walls	Must conform to City Standards	Will follow requirement	

Variance:

A variance is requested to reduce the minimum rear setback to 11.5 FT for two lots and to 15 FT for two lots. The two lots with 11.5 FT rear setback have a side setback of 40 FT. The two lots with 15 FT rear setback are comparable to the other lots with average lot rear yards setbacks of 13.5 FT to 15.5 FT. The development rear setback affords similar development side setbacks to adjacent interiors. The development will be enclosed with perimeter walls.

Residential Guidelines Conformance (quantifiable items):

- 2nd Story to 1st Story Percentage - The first floor of the residences including the attached garage provides the second floor reduction coverage ratio that ranges from approximately 55% to 61% (depending on plan type) thereby exceeding the 80% zoning requirement.

Additional Aspects of the Proposed Project:

- All new service utilities will be underground. An existing utility pole along the east property line will remain since it services adjacent neighbors.
- Interior existing walls on the east, north, and west property lines will be preserved to the extent they are structurally sound.
- Water conserving landscaping materials will be used in the community. An underground infiltration basin will be incorporated into Lot C to comply with water quality standards, as well as to provide a visually pleasing buffer to Hamilton Street.
- The new residences will comply or exceed 2010 CAL Green and Title 24 Energy requirements, providing exterior and plumbing walls 2" x 6" frame construction, R19 wall and floor insulation & R30 ceiling insulation, tank-less water heating, dual pane low E glass, fire sprinklers along with other features.
- Precision construction techniques unique to RSI eliminate or reduce 95% of new construction waste –exceeding 50% mandate of recyclable materials from this job site.
- Precision construction techniques unique to RSI substantially reduce build time, job site activities, noise and fugitive dust materials substantially reducing trips and carbon emissions associated with a similar job site and construction activities.

- Contact information for Project Engineer and Authorized Agent are listed below:

Engineer:

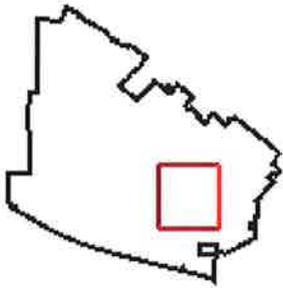
Matt Kunkle
Project Manager / Associate
HALL & FOREMAN, INC
17782 17th St, Suite 200, Tustin, CA 92780-1947
T: 714.665.4562
Email: mkunkle@hfinc.com

Applicant's Representative:

Susan McDowell
Project Consultant
RSI Homes
620 Newport Center Drive 12th Floor
Newport Beach, CA 92660
949.270.3634
smcdowell@rsihc.com

**ATTACHMENT 3
VICINITY AND ZONING MAP**

Overview Map



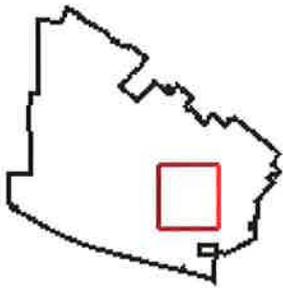
Legend

- Hydrology
- Channels
- Street Names
- Parcel Lines
- City Boundary
- Ortho 2010 Level 2
- Ortho 2008 Level 2
- Ortho 2006 Level 2
- Ortho Photography

Map Display



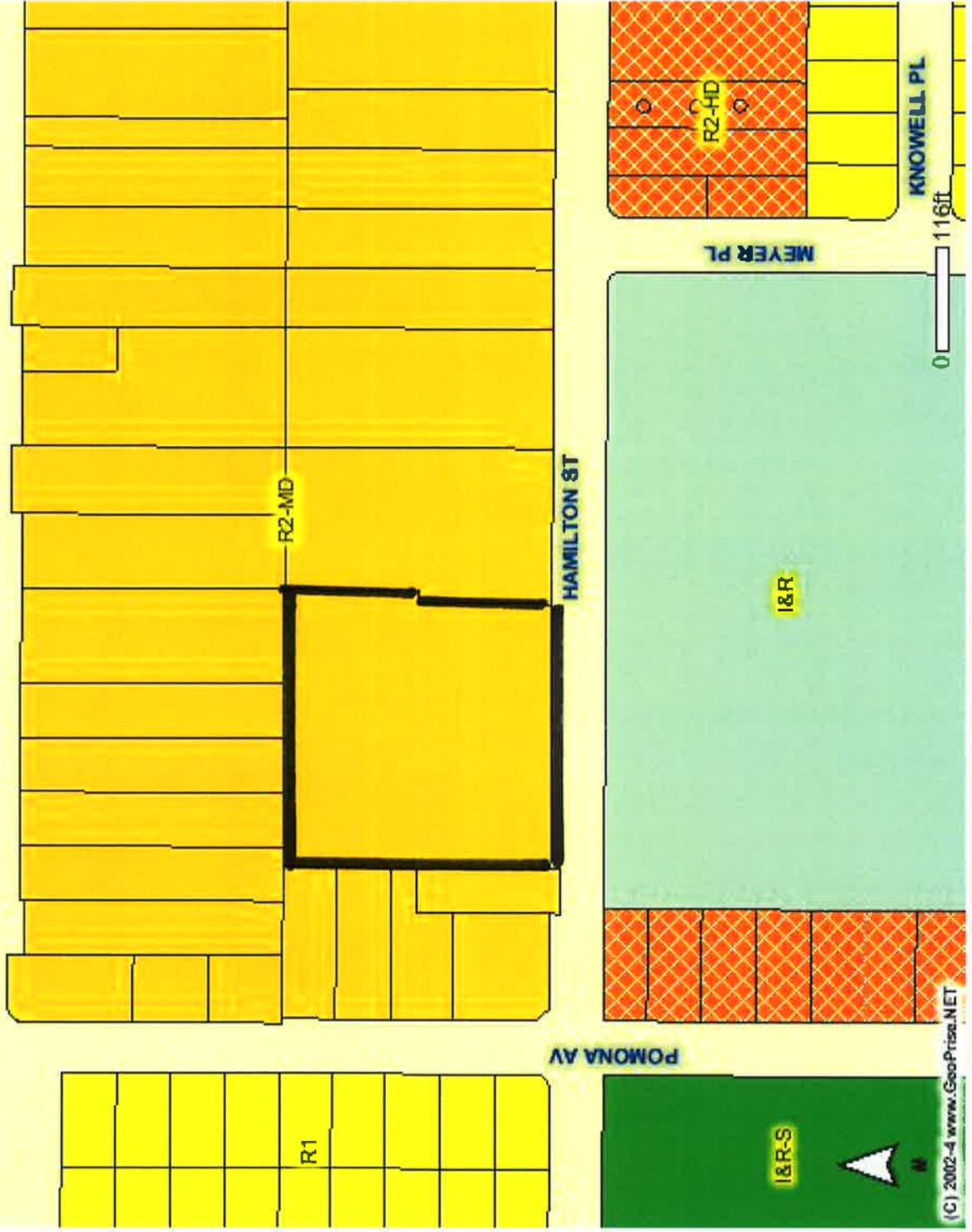
Overview Map



Legend

- | | | |
|-------------------|------------|---------------|
| Hydrology Channel | Water Ways | Zoning |
| Street Names | AP | C1 |
| Parcel Lines | C1-S | C2 |
| City Boundary | CL | I&R |
| | I&R-S | MG |
| | WP | (cont) |

Map Display



(C) 2002-4 www.GeoPrise.NET

**ATTACHMENT 4
PROJECT PLANS, ELEVATIONS, AND
PERSPECTIVES**

SITE PLAN

650 HAMILTON STREET

COSTA MESA, CALIFORNIA
COUNTY OF ORANGE
STATE OF CALIFORNIA

PROJECT DESCRIPTION

DESCRIPTION		
2-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE		
FLOOR PLAN:	1643	1988
FIRST FLOOR	840 SF	1,020 SF
SECOND FLOOR	803 SF	968 SF
TOTAL LIVING AREA	1,643 SF	1,988 SF
GARAGE	473 SF	473 SF
PORCH	152 SF	168 SF

DEVELOPMENT STANDARDS

DESCRIPTION	PROVIDED
BUILDING SETBACKS:	
FRONT	8' MIN.
SIDE	5' MIN.
SIDE (STREET)	5' MIN.
REAR	12' MIN.
PARKING SPACES:	
	2 GARAGED
	2 OPEN

AREA SUMMARY

LOT NO.	AREA (SQ. FT.)	LANDSCAPE AREA (SQ. FT.)	LANDSCAPE PERCENTAGE	DRIVEWAY AREA (SQ. FT.)	DRIVEWAY PERCENTAGE
1	3,482	1,701	49 %	317	9 %
2	3,481	1,700	49 %	317	9 %
3	3,481	1,852	53 %	317	9 %
4	4,029	2,002	50 %	562	14 %
5	4,737	2,945	62 %	480	10 %
6	3,456	1,675	48 %	317	9 %
7	3,519	1,738	49 %	317	9 %
8	4,929	3,007	61 %	614	12 %
9	4,482	2,324	51 %	693	15 %
10	4,184	2,207	53 %	317	8 %
11	3,497	1,868	53 %	317	9 %
12	3,498	1,717	49 %	317	9 %
13	3,365	1,584	47 %	317	9 %
14	3,363	1,582	47 %	317	9 %
15	3,362	1,733	52 %	317	9 %
16	3,894	1,857	48 %	317	8 %
17	3,835	1,858	48 %	317	8 %
18	3,843	1,866	49 %	317	8 %
A	17,244	874	5 %	16,370	95 %
B	884	884	100 %	-	-
C	1,827	1,827	100 %	-	-
D	887	887	100 %	-	-
TOTAL	89,220	39,686	45 %	6,787	8 %

LEGAL DESCRIPTION:

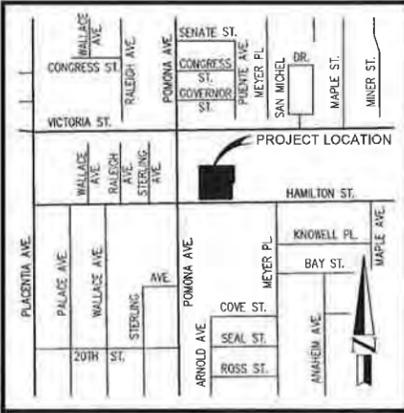
APN: 422-211-29
A PORTION OF SOUTH HALF OF LOT 38 TRACT NO. 9,
MISCELLANEOUS MAPS BOOK 9 PAGE 9.

GENERAL NOTES

- EXISTING LAND USE: COMMERCIAL (CHURCH)
- PROPOSED LAND USE: RESIDENTIAL
- EXISTING ADJACENT LAND USES:
NORTH: EXISTING RESIDENTIAL
SOUTH: HAMILTON STREET
EAST: EXISTING SCHOOL
WEST: EXISTING RESIDENTIAL
- EXISTING/PROPOSED ZONING: R2-MD
- NOT IN FLOOD ZONE (ZONE X)
- NO PARKING ALLOWED ALONG PROPOSED PRIVATE ROAD UNLESS NOTED OTHERWISE
- DEVELOPMENT WILL NOT BE A GATED COMMUNITY
- ALL DRIVEWAYS SHALL BE STANDARD CONCRETE DRIVEWAYS
- ENHANCED ENTRY WITH COLORED STAMPED CONCRETE

VICINITY MAP

NOT TO SCALE

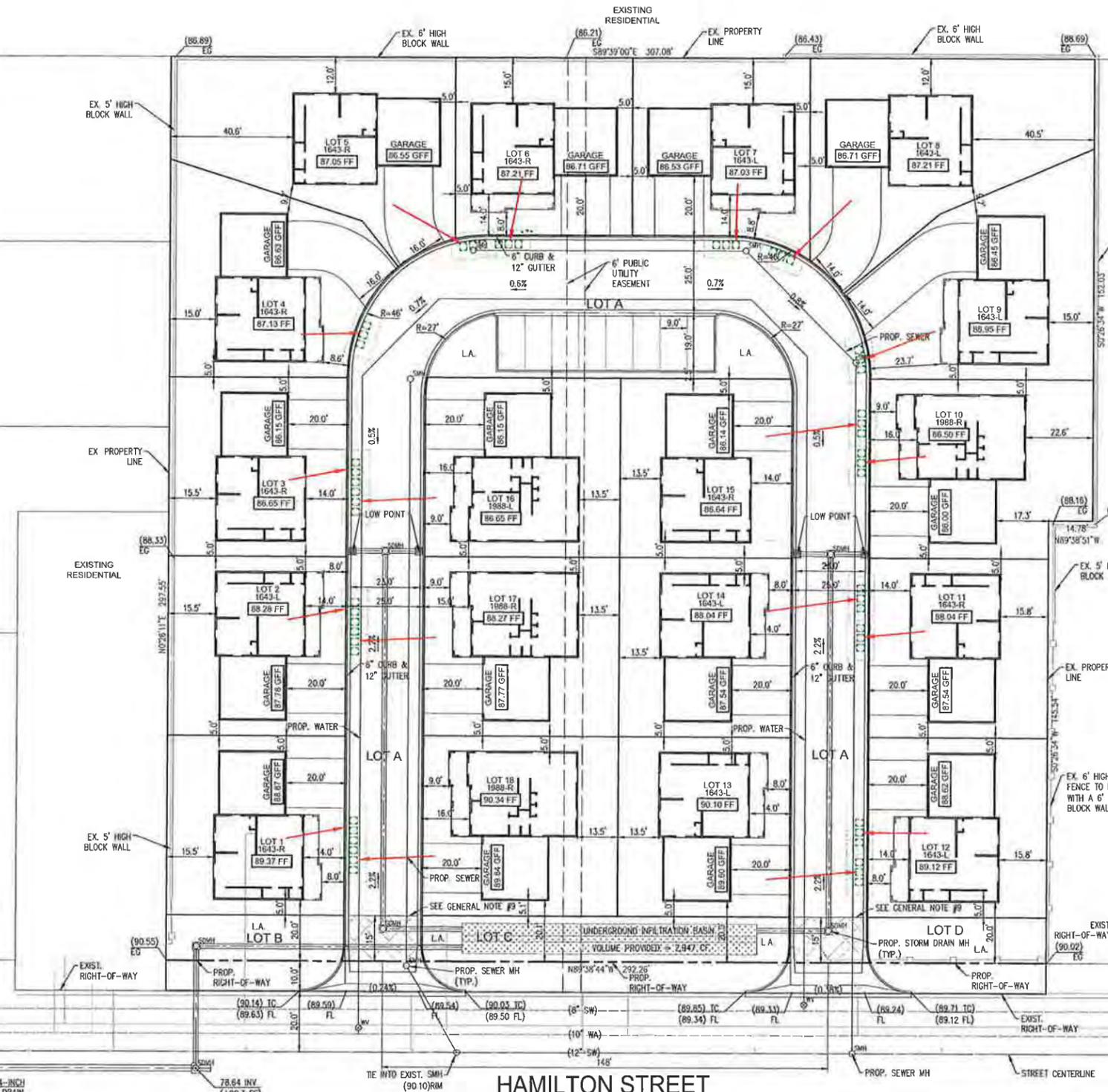
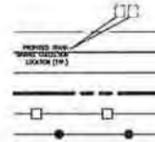


POMONA AVENUE

LEGEND OF ABBREVIATIONS AND SYMBOLS

AC	ASPHALT CONCRETE
ADJ.	ADJACENT
BLDG	BUILDING
BW	BACK OF WALK
CONC	CONCRETE
DF	DEPENDENT FOOTING
DRY	DRIVEWAY
EG	EXISTING GRADE
EX	EXISTING
FF	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FL	FLOWLINE
FS	FINISH SURFACE
FSA	FINISH SURFACE - ASPHALT
FSC	FINISH SURFACE - CONCRETE
GFF	GARAGE FINISH FLOOR
GL	GARAGE LIP
HP	HIGH POINT
L.A.	LANDSCAPE AREA
PAD	PAD ELEVATION
PP	POWER POLE
PROP.	PROPOSED
TC	TOP OF CURB
TG	TOP OF GRATE
TYP	TYPICAL
WV	WATER VALVE

STREET CENTERLINE
PROPOSED LOT LINE
EXISTING LOT LINE
RIGHT-OF-WAY
6' HIGH VINYL FENCE
3.5' HIGH VINYL PICKET



HAMILTON STREET

BENCHMARK:

DESCRIBED BY OCS 2001 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "CM-55-92", SET IN THE NORTHWEST CORNER OF A 16FT. BY 5FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED ALONG THE SOUTH SIDE OF VICTORIA STREET, BETWEEN MAPLE STREET TO THE EAST AND MEYER PLACE TO THE WEST, 39FT. SOUTHERLY OF THE CENTERLINE OF VICTORIA STREET. MONUMENT IS SET LEVEL WITH SIDEWALK.
ELEV: 85.08' (NAVD 88)

BASIS OF BEARING:

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING BETWEEN ORANGE COUNTY SURVEYOR'S HORIZONTAL CONTROL STATION GPS 6207R1 AND STATION GPS 6203R2 BEING NORTH 89°38'44" WEST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

OWNER:

SCEL PROPERTIES LLC
620 NEWPORT CENTER DRIVE, 12TH FLOOR
NEWPORT BEACH, CA 92660
PHONE: (949) 720-1116
FAX: (949) 720-1164

NO.	DESCRIPTION	DATE	BY



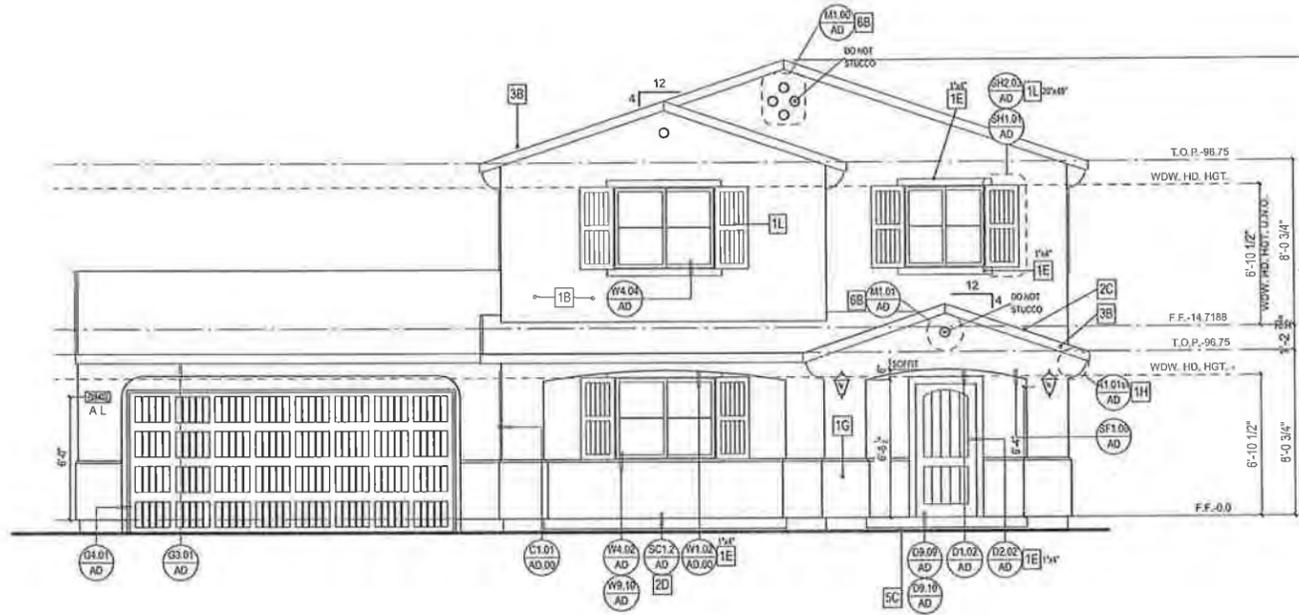
Hall & Foreman, Inc.
Engineering • Planning • Surveying
17782 17TH ST, SUITE 200 • TUSTIN, CA 92780-1947 • 714-665-4500
PREPARED UNDER THE SUPERVISION OF:
JOHN C. HOGAN, R.C.E. 26229

DRAWN BY: JMA
DESIGNED BY: JMA
CHECKED BY: MK
DATE: 07/22/2014

CITY OF COSTA MESA
(TENTATIVE TRACT MAP NO. 17762)
SITE PLAN
650 HAMILTON STREET
COSTA MESA, CALIFORNIA
DATE: 07-21-2014
SCALE: AS NOTED
PROJECT NO.: 130244-0011
SHEET NO.: 1 OF 1

Drawing Name: S:\30244\Draw\130244-0011\Consistive\Site\07_130244-0011\Site.dwg
Last Saved: Aug 29, 2014 2:58:08 PM
Tab: Paper

ATTIC VENTILATION REQUIREMENTS	
ATTIC AREA '1' =	861 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (861 SQ. FT.) / 300 = 2.87 SQ. FT. X 144 =	413 SQ. IN.
50% OF REQUIRED VENTILATION =	207 SQ. IN.
UPPER VENTILATION PROVIDED:	
(2) "C&J" #LV1424 GABLE END VENTS AT 119 SQ. IN. =	238 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	238 SQ. IN.
LOWER VENTILATION PROVIDED:	
(64) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	320 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	320 SQ. IN.
TOTAL VENTILATION PROVIDED:	558 SQ. IN.
ATTIC AREA '2' =	
ATTIC AREA '2' =	131 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (131 SQ. FT.) / 150 = 0.87 SQ. FT. X 144 =	125 SQ. IN.
VENTILATION PROVIDED:	
(23) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	115 SQ. IN.
TOTAL VENTILATION PROVIDED:	115 SQ. IN.
ATTIC AREA '3' GARAGE =	
ATTIC AREA '3' GARAGE =	473 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (473 SQ. FT.) / 150 = 3.15 SQ. FT. X 144 =	454 SQ. IN.
50% OF REQUIRED VENTILATION =	227 SQ. IN.
UPPER VENTILATION PROVIDED:	
(2) "C&J" #LV1424 GABLE END VENTS AT 119 SQ. IN. =	238 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	238 SQ. IN.
LOWER VENTILATION PROVIDED:	
(42) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	210 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	210 SQ. IN.
TOTAL VENTILATION PROVIDED:	448 SQ. IN.
ATTIC AREA '4' PATIO =	
ATTIC AREA '4' PATIO =	200 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (200 SQ. FT.) / 150 = 1.33 SQ. FT. X 144 =	192 SQ. IN.
VENTILATION PROVIDED:	
(22) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	110 SQ. IN.
TOTAL VENTILATION PROVIDED:	110 SQ. IN.



FRONT ELEVATION "SPANISH WAINSCOT"

SCALE: 1/4" = 1'-0"

ROOF PLAN - GENERAL NOTES

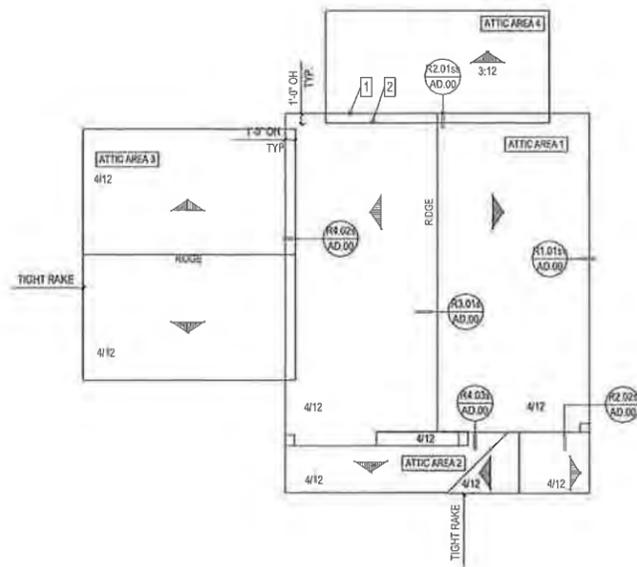
- ROOF MATERIAL - CLASS 'A' CONCRETE ROOFING TILE I.C.C. REPORT NO. ESR-1647 - OR APPROVED EQUAL OVER 30# ROOFING FELT (PROVIDE (2) LAYERS OF 30# ROOFING FELT ON LOWER ROOFS) - INSTALL PER MANUFACTURER'S INSTRUCTIONS - ROOF TILE NOT TO EXCEED 10 LBS. PER SQUARE FOOT
- ROOF TILE NAILING SHALL BE PER THE MANUFACTURER'S SPECIFICATIONS WITH THE FOLLOWING MINIMUM REQUIREMENTS:
 - 1" GA. CORROSION RESISTANT NAILS WITH MINIMUM 3/4" PENETRATION INTO SHEATHING PER C.R.C. SECTION 905.3.8 AND IN ACCORDANCE WITH C.R.C. TABLE 905.3.7
 - HEADS OF ALL TILE SHALL BE NAILED
 - THE NOSES OF ALL LEAVE COURSE TILES SHALL BE FASTENED WITH APPROVED CLIPS
 - ALL TILES SHALL BE NAILED WITH A MINIMUM OF TWO (2) NAILS
 - THE NOSES OF ALL RIDGE, HIP AND RAKE TILES SHALL BE SET IN A BEAD OF APPROVED ROOFER'S MASTIC
- PROVIDE MINIMUM 26 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF-TO-WALL CONDITIONS
- PROVIDE DIVERTERS AS REQUIRED
- PROVIDE CROSS VENTILATION AT ALL ENCLOSED ATTIC SPACES - THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED IN ACCORDANCE WITH C.R.C. SECTION 906.2
- PROVIDE A MINIMUM 22"x30" ACCESS OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH 30" MINIMUM HEAD CLEARANCE - PROVIDE A 12"x12" OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH LESS THAN 30" HEAD CLEARANCE FOR VENTILATION
- NET FREE AIR VALUES FOR VENTS USED IN OUR VENTILATION CALCULATIONS ARE BASED ON AUGUST, 2007 VALUES PROVIDED BY "C & J METAL PRODUCTS INC." AT WWW.C.METAL.COM & BY "YHAGINS, INC." AT WWW.YHAGINVENT.COM THESE VALUES ARE SUBJECT TO CHANGE WITHOUT NOTIFICATION AND MUST BE VERIFIED BY INSTALLER AT TIME OF INSTALLATION - APPROVED EQUAL PRODUCTS MUST PROVIDE THE NET FREE AIR VENTILATION TOTALS REQUIRED BY THE CALCULATIONS PROVIDED ON THESE ARCHITECTURAL DRAWINGS
- ALL ROOF, WALL AND EAVE VENTS SHALL BE SCREENED WITH CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4" MAXIMUM MESH OPENINGS

ROOF PLAN - KEYNOTES & SYMBOLS

- SYMBOL OF REFERENCES
- EDGE OF ROOF
 - EDGE OF BUILDING BELOW
 - CHIMNEY
 - CORROSION RESISTANT METAL CRICKET
 - CORROSION RESISTANT METAL SADDLE FLASHING AT CHIMNEY
- INDICATES DIRECTION OF ROOF PITCH
- INDICATES HALF-ROUND LOUVERED DORMER VENT - "C & J METAL PRODUCTS INC." OR APPROVED EQUIV.
- INDICATES "YHAGINS" CLOAKED TILE VENT @ 95 S.I. NET FREE VENTILATING AREA EACH OR APPROVED EQUAL

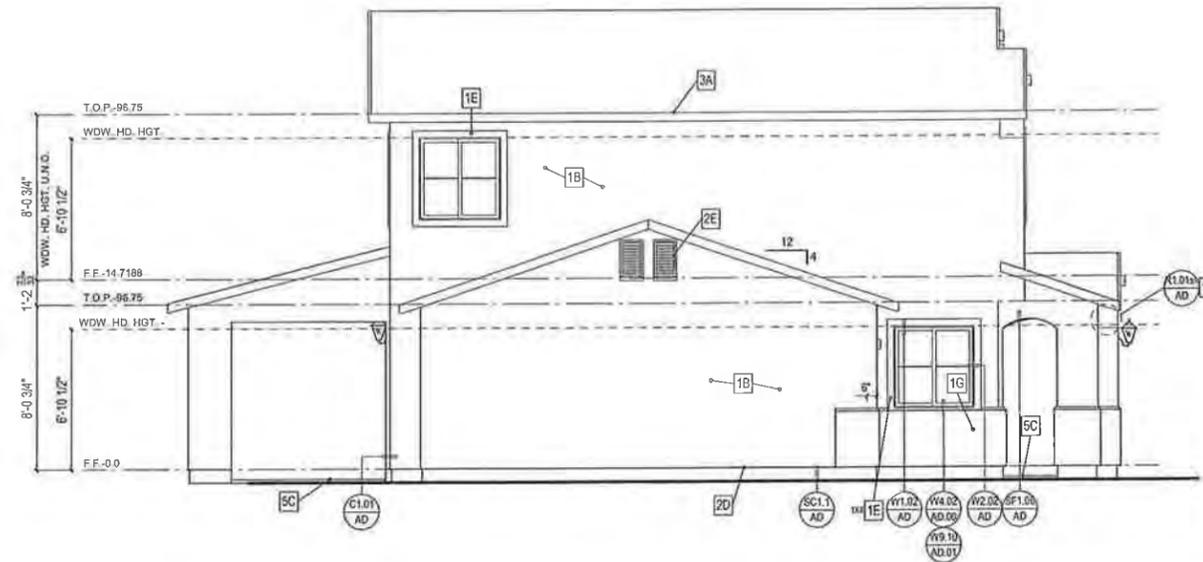
ROOF PLAN & ELEVATION - KEYED NOTES

- ELEV
- EXTERIOR PLASTER - THREE COAT STUCCO SYSTEM
 - STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM TRIM
 - STUCCO-FINISHED PROJECTED WAINSCOT
 - STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM CORBEL
 - MIRATEC SHUTTER - SEE ELEVATION FOR SIZE
 - CORROSION RESISTANT METAL FLASHING AT ROOF TO WALL
 - CORROSION RESISTANT METAL WEEP SCREED
 - CORROSION RESISTANT METAL LOUVERED GABLE END VENT
 - 2x6 WOOD FASCIA U.N.O.
 - 2x6 WOOD BARGE BOARD U.N.O.
 - CONCRETE STOOP/PORCH - REFER TO SLAB EDGE PLAN FOR SIZE
 - FALSE CLAY PIPE VENT
- ROOF
- EDGE OF ROOF
 - EDGE OF BUILDING BELOW



ROOF PLAN "SPANISH WAINSCOT"

ROOF PITCH: 4:12 U.N.O.
ROOF MATERIAL: CONCRETE 'S' TILE
SCALE: 1/8" = 1'-0"



LEFT ELEVATION "SPANISH WAINSCOT"

SCALE: 1/4" = 1'-0"

RSI Construction Inc.
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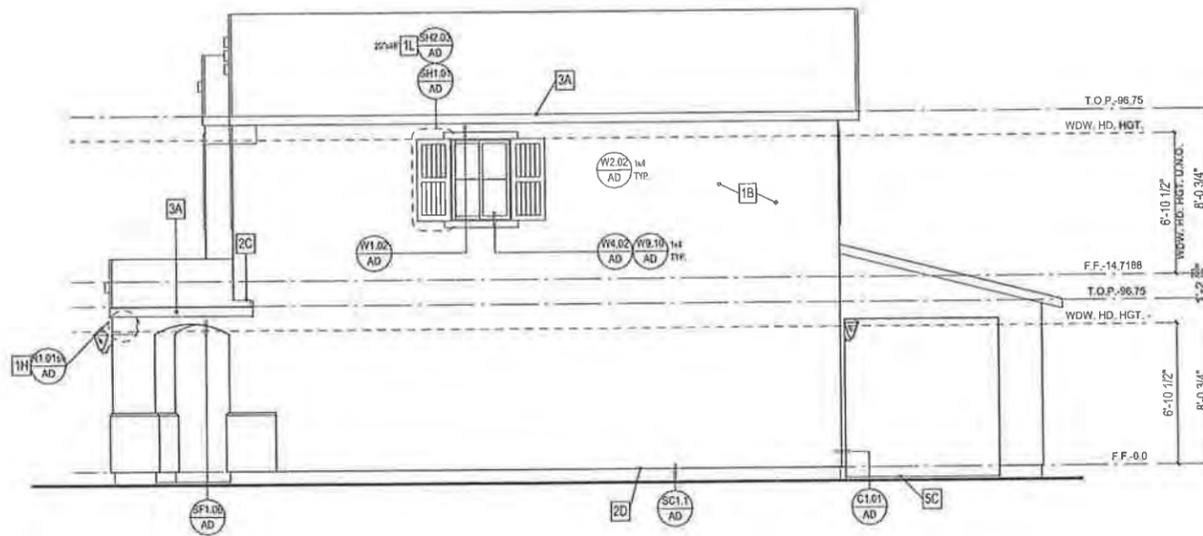
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REVISION	DATE

Submission Date

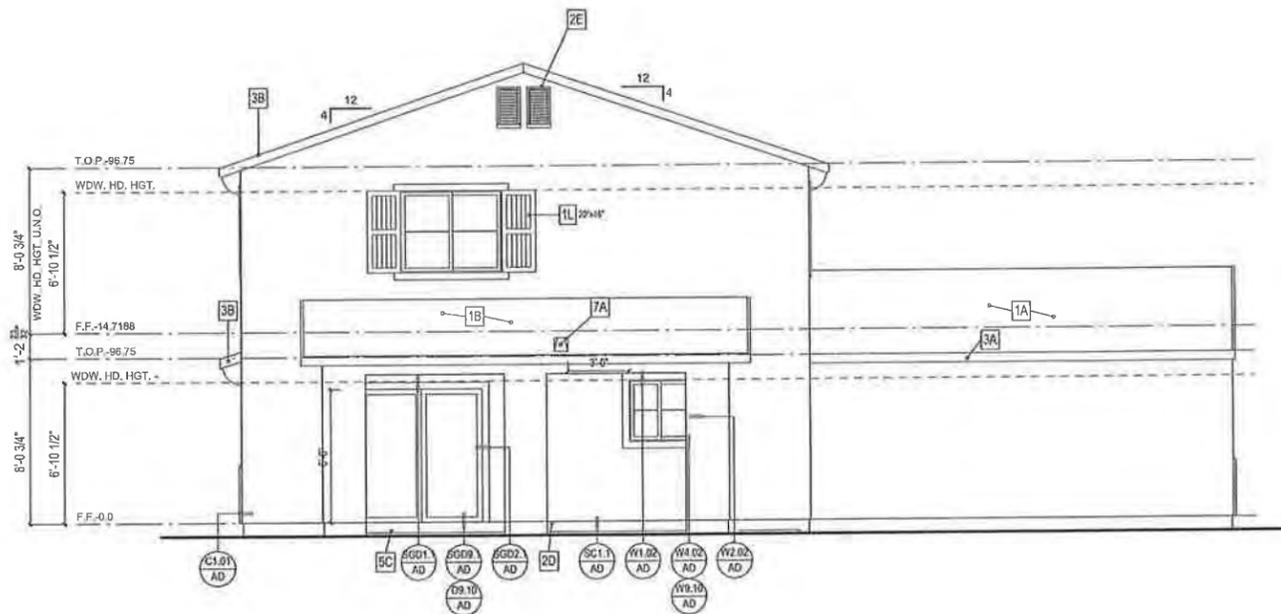
Project #	11020
Garage	ATTACHED/LH
Plan #	1643
Sheet #	A-1.03
Print Date	08/21/2014

EXT. ELEVATIONS & ROOF PLAN



RIGHT ELEVATION "SPANISH WAINSCOT"

SCALE: 1/4" = 1'-0"



REAR ELEVATION "SPANISH WAINSCOT"

SCALE: 1/4" = 1'-0"

ELEVATION - KEYED NOTES

ELEV

- 1A ROOFING MATERIAL - SEE ROOF PLAN
- 1B EXTERIOR PLASTER - THREE COAT STUCCO SYSTEM
- 1H STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM CORBEL
- 1L MIRATEC SHUTTER - SEE ELEVATION FOR SIZE
- 2C CORROSION RESISTANT METAL FLASHING AT ROOF TO WALL
- 2D CORROSION RESISTANT METAL WEEP SCREED
- 2E CORROSION RESISTANT METAL LOUVERED GABLE END VENT
- 3A 2x6 WOOD FASCIA U.N.O.
- 3B 2x6 WOOD BARGE BOARD U.N.O.
- 3C CONCRETE STOOP/PORCH - REFER TO SLAB EDGE PLAN FOR SIZE
- TA HOOD VENT

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Website: www.klcarch.com

REVISION	DATE

Submission Date

Project #	11020
Garage ATTACHED/LH	
Plan #	1643
Sheet #	A-1.04
Print Date	08/21/2014

EXT. ELEVATIONS

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PLY-GEM WINDOWS:			
PRODUCT	CPD#	U-FACTOR	SHGC
BLDR/CNTR 400 SERIES SLIDER	PWG-M-124-01135-00002	0.3	0.2
PRO 960S SLIDING PATIO DOOR	PWG-M-144-00347-00001	0.31	0.21

NOTE: ALL FENESTRATIONS MUST HAVE BOTH TEMPORARY AND PERMANENT LABLES.

FINISH NOTES:

- A. A MINIMUM OF ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT SHALL BE APPLIED OVER STUDS OF ALL EXTERIOR WALLS. SPECIFY THAT TWO LAYERS OF GRADE D OR 60 MINUTE GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.
- B. A MINIMUM 0.019" (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT OR PLASTIC WEEP SCREED LOCATED BELOW FOUNDATION PLATE LINE AND 4" ABOVE GRADE ON ALL EXTERIOR STUD WALLS OR 2" ABOVE PAVED AREAS.

PIPE INSULATION NOTES:

- A. FIRST 5' OF HOT AND COLD WATER PIPES CLOSEST TO WATER HEATER TANK TO HAVE 1" INSULATION PER STD. TABLE 150-B.
- B. COOLING SYSTEM REFRIGERANT SUCTION PIPING TO HAVE 3/4" INSULATION PER STD. TABLE 150-B.
- C. PIPE INSULATION IS PROTECTED FROM DAMAGE, INCLUDING THAT DUE TO SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE, AND WIND.
- D. PIPE INSULATION FOR REFRIGERANT SUCTION LINES INCLUDE A VAPOR RETARDANT OR IS ENCLOSED ENTIRELY IN CONDITIONED SPACE.

NFRC U-FACTOR AND SHGC VALUES:

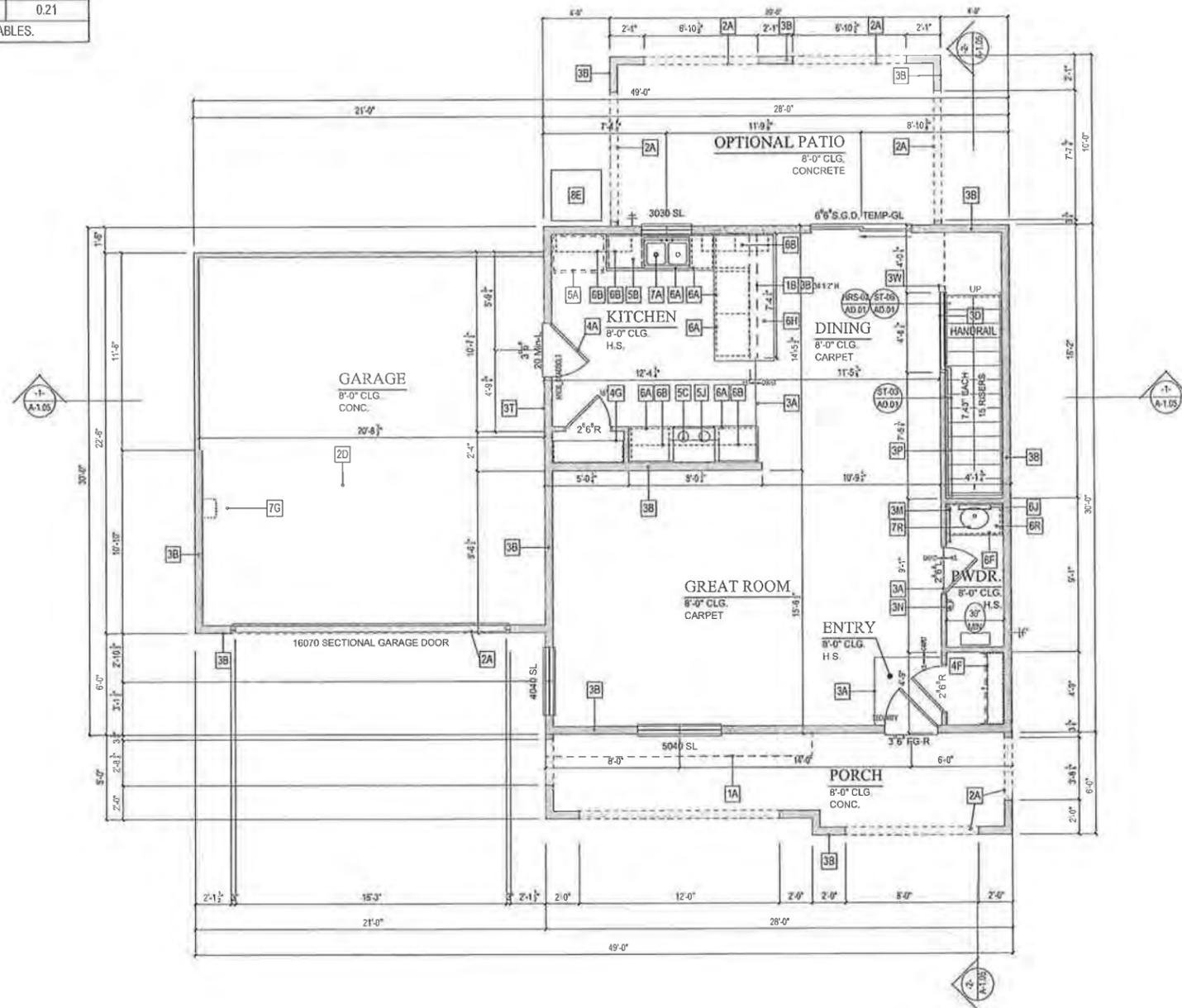
ALL WINDOWS AND GLASS DOORS WILL HAVE NON-METAL FRAMES WITH A WEIGHTED AVERAGE NFRC U-FACTOR OF .36 OR LESS AND A WEIGHTED AVERAGE SHGC OF .33 OR LESS WITH LOW-E GLASS

GLAZING NOTES:

- A. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.
- B. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED ETC) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES. MULTI-PANE ASSEMBLIES SHALL BE IDENTIFIED PER CRC R308.1.
- C. GLAZING IN SWINGING, SLIDING AND BIFOLD DOORS 9 SQUARE FEET OR LESS SHALL BE A MIN. CATEGORY CLASSIFICATION OF I AND II WHEN MORE THAN 9 SQUARE FEET OR SLIDING
- D. GLAZING OVER 9 SQUARE FEET IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL BE SATETY GLAZED.

EMERGENCY EGRESS NOTES:

- A. MIN. NET CLEAR OPENING OF 5.7 SQFT
- B. MIN. 5 SQFT FOR GRADE-FLOOR OPENINGS SEE DEFINITION OF "GRADE FLOOR OPENING"
- C. MIN. NET CLEAR OPENING WIDTH OF 20"
- D. MIN NET CLEAR HEIGHT OF 24"
- E. SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.



FIRST FLOOR PLAN "SPANISH WAINSCOT"

SCALE: 1/4" = 1'-0"

46

FLOOR PLAN - KEYED NOTES

- FP
- 1A LINE OF FLOORWALL ABOVE
 - 1B LINE OF FLOORWALL BELOW
 - 2A LINE OF EXTERIOR SOFFIT - SEE ELEVATIONS
 - 2D CONCRETE GARAGE SLAB - SLOPE A MINIMUM OF 2"
 - 3A LINE OF FLOOR MATERIAL CHANGE
 - 3B 2x6 STUD WALL FRAMING
 - 3D STAIR RAILING (36" HIGH ABOVE STAIR TREAD NOSING) W/ BALUSTERS SPACED AT 3 99" MAX CLEAR - SEE DETAIL - ST-06
 - 3M TOWEL BAR - PROVIDE 2x BACKING AT 54" TO CENTER
 - 3N TOILET PAPER HOLDER - PROVIDE 2x BACKING AT 24" TO CENTER
 - 3P +36 HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL - ST-03
 - 3T MINIMUM (1) LAYER 1/2" TYPE X GYPSUM BOARD AT ALL GARAGE TO HOUSE WALL, DRYWALL TO EXTEND FROM FINISHED FLOOR TO BOTTOM OF ROOF SHEATHING. PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE PROTECTED (SUCH AS THOSE FOR VENTS, PIPES, DUCTS, CABLES, AND WIRES) WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION (CRC R302.5)
 - 3W WOOD POST ANCHORED WITH (2) 1/2" DIA WOOD LAG SCREWS TO STAIR WALLS - SEE DETAIL - HRS-02
 - 4A 1 3/4" THICK SOLID CORE TIGHT-FITTING SELF-CLOSING 20 MINUTE RATED DOOR
 - 4F ROD AND SHELF
 - 4G SHELVING UNIT
 - 5A 39" CLEAR REFRIGERATOR SPACE WITH RECESSED COLD WATER BIBB FOR ICE MAKER
 - 5B 24" BUILT-IN DISHWASHER
 - 5C 30" SLIDE-IN RANGE LIGHT AND EXHAUST FAN ABOVE
 - 5J MICROWAVE HOOD VENT TO BE VENTED AT THE BACK WALL (RUN THROUGH FLOOR SYSTEM - IN JOIST BAY) VENT MUST BE AT MIN 3' FROM ALL WINDOWS
 - 6A LOWER CABINETRY
 - 6B UPPER CABINETRY
 - 6F VANITY CABINETRY
 - 6H EATING BAR
 - 6J SURFACE MOUNT (MIRROR-FACED) MEDICINE CABINET
 - 6R PREMIUM COUNTERTOP
 - 7A 33" DOUBLE SINK WITH GARBAGE DISPOSAL
 - 7G TANKLESS GAS WATER HEATER - INSTALL PER MANUFACTURES REQUIREMENTS MANUFACTURER'S INSTRUCTIONS IN COMPLIANCE WITH C M C CHAPTERS 3 & 7 AND C P C CHAPTER 5.
 - 7R CHINA UNDERMOUNT BOWL
 - 8E AIR CONDITIONING CONDENSER UNIT SECURELY FASTENED TO CONCRETE OR FIBERGLASS PAD (REFER TO TRACT MAP FOR LOCATION)

SQUARE FOOTAGE CHART	
CONDITIONED	
1st Floor	840 SF
2nd Floor	803 SF
TOTAL	1643 SF
UNCONDITIONED	
Garage	473 SF
Porch	352 SF

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REVISION	DATE

Submission Date

Project #	11020
Garage ATTACHED/LH	
Plan #	1643
Sheet #	A-1.01
Print Date	08/21/2014

FIRST FLOOR PLAN

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PLY-GEM WINDOWS:			
PRODUCT	CPD#	U-FACTOR	SHGC
BLDR/CNTR 400 SERIES SLIDER	PWG-M-124-01135-00002	0.3	0.2
PRO 960S SLIDING PATIO DOOR	PWG-M-144-00347-00001	0.31	0.21

NOTE: ALL FENESTRATIONS MUST HAVE BOTH TEMPORARY AND PERMANENT LABELS

FINISH NOTES:

- A. A MINIMUM OF ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT SHALL BE APPLIED OVER STUDS OF ALL EXTERIOR WALLS. SPECIFY THAT TWO LAYERS OF GRADE D OR 60 MINUTE GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.
- B. A MINIMUM 0.019" (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT OR PLASTIC WEEP SCREED LOCATED BELOW FOUNDATION PLATE LINE AND 4" ABOVE GRADE ON ALL EXTERIOR STUD WALLS OR 2" ABOVE PAVED AREAS.

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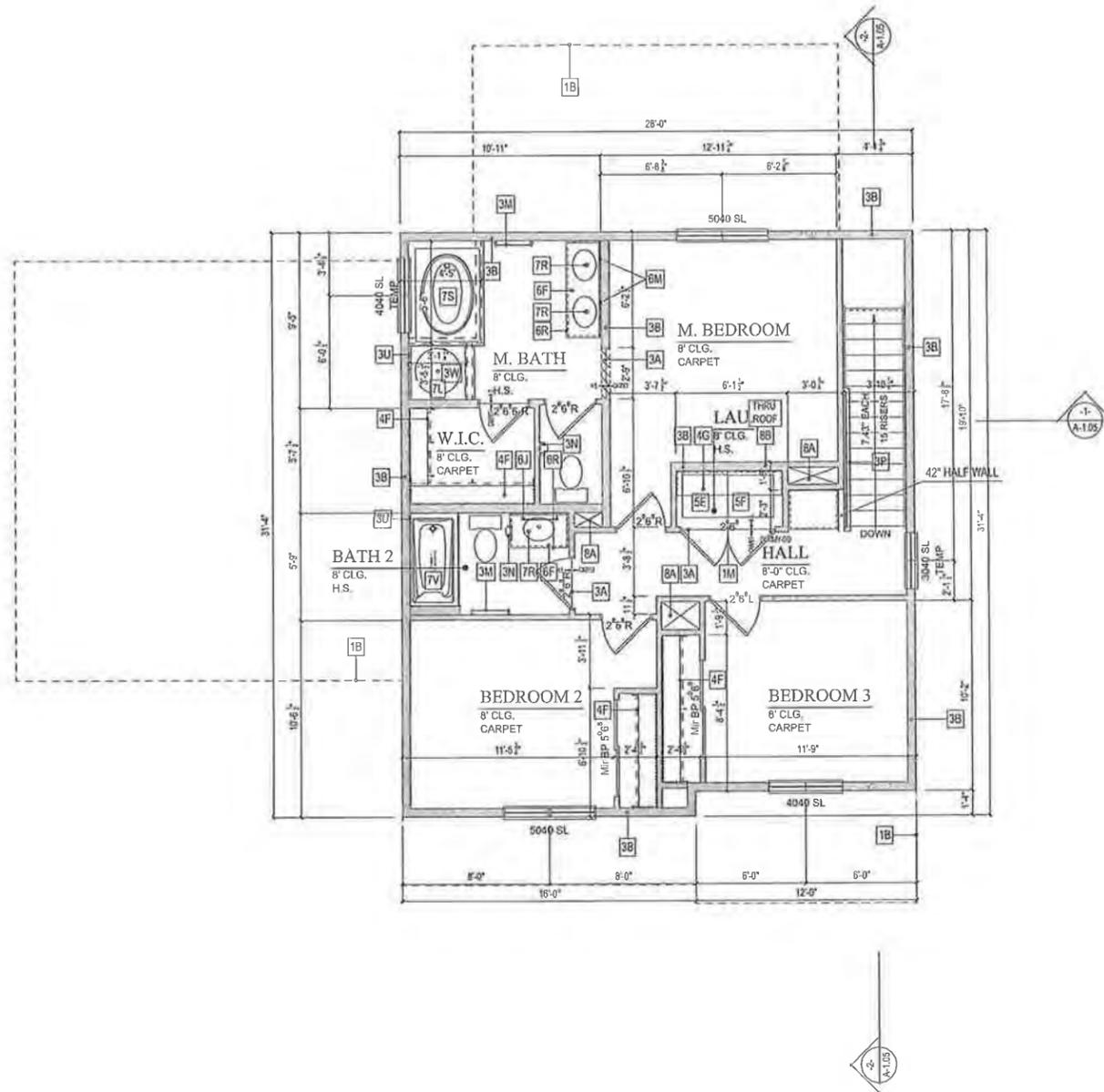
GLAZING NOTES:

- A. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.
- B. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED ETC) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES. MULTI-PANE ASSEMBLIES SHALL BE IDENTIFIED PER CRC R308.1.
- C. GLAZING IN SWINGING, SLIDING AND BIFOLD DOORS 9 SQUARE FEET OR LESS SHALL BE A MIN. CATEGORY CLASSIFICATION OF I AND II WHEN MORE THAN 9 SQUARE FEET OR SLIDING
- D. GLAZING OVER 9 SQUARE FEET IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL BE SATETY GLAZED.

EMERGENCY EGRESS NOTES:

- A. MIN. NET CLEAR OPENING OF 5.7 SQFT
- B. MIN. 5 SQFT FOR GRADE-FLOOR OPENINGS SEE DEFINITION OF "GRADE FLOOR OPENINGS"
- C. MIN. NET CLEAR OPENING WIDTH OF 20"
- D. MIN NET CLEAR HEIGHT OF 24"
- E. SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.

SECOND FLOOR PLAN "SPANISH WAINSCOT"



SCALE: 1/4" = 1'-0"

47

FLOOR PLAN - KEYED NOTES

- FP
- 1B LINE OF FLOORWALL BELOW
 - 1M 8" TALL x 14" WIDE VENT ABOVE DOOR.
 - 3A LINE OF FLOOR MATERIAL CHANGE
 - 3B 2x6 STUD WALL FRAMING
 - 3M TOWEL BAR - PROVIDE 2x BACKING AT 54" TO CENTER
 - 3N TOILET PAPER HOLDER - PROVIDE 2x BACKING AT 24" TO CENTER
 - 3P +36 HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL - ST-03
 - 3U DENSSHIELD OR APPROVED EQUIVALENT AROUND TUB/SHOWERS TO A MIN OF 72" ABOVE DRAIN
 - 3W Glazing in door an enclosures for hot tubs, whirlpools, saunas, steam rooms, bathrooms, showers less than 5 feet above the standing surface shall have a minimum category classification of II (CPSC 16 CFR 1201) [CRC TR30S 3 1 (1) & 30S 4(5)]
 - 4F ROD AND SHELF
 - 4G SHELVING UNIT
 - 5E CLOTHES WASHER SPACE - PROVIDE HOT & COLD WATER SUPPLY (RECESSED) & WASTE CONNECTIONS PROVIDE AN APPROVED "SMITTY" PAN WHEN WASHER IS LOCATED ON SECOND FLOOR
 - 5F CLOTHES DRYER SPACE - PROVIDE VENT TO OUTSIDE AIR
 - 6F VANITY CABINETRY
 - 6J SURFACE MOUNT (MIRROR-FACED) MEDICINE CABINET
 - 6M BEVELLED WALL MOUNT MIRROR
 - 6R PREMIUM COUNTERTOP
 - 7L HOT-MOPPED SHOWER PAN WITH 3" CURB, MUDSET TILE FLOOR, AND GRANITE SURROUND TO +84" A F F. PROVIDE TEMPERED GLASS ENCLOSURE AND DOOR POSITION SHOWER HEAD AT +76" A F F. DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN.
 - 7R CHINA UNDERMOUNT BOWL
 - 7S 60"x42" DROP IN TUB DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN
 - 7V 32"x60" TUB UNIT WITH RERFACE SURROUND - PROVIDE GLASS ENCLOSURE DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN.
 - 8A DUCT CHASE
 - 8B 4" DIAMETER DRYER VENT TO OUTSIDE AIR - MAXIMUM 14' LONG W/ (2) 90 DEG ELBOWS UNLESS APPROVED OTHERWISE

SQUARE FOOTAGE CHART	
CONDITIONED	
1st Floor	840 SF
2nd Floor	803 SF
TOTAL	1643 SF
UNCONDITIONED	
Garage	473 SF
Porch	352 SF

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REVISION	DATE

Submittal Date

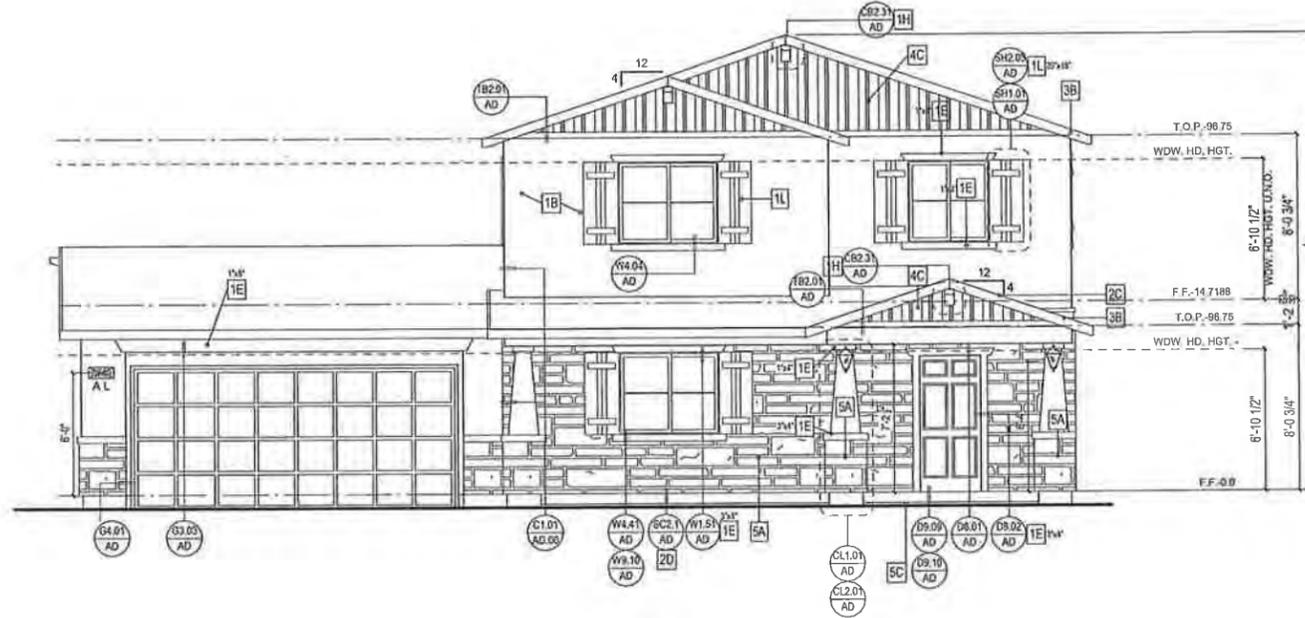
Project #	11023
Garage	ATTACHED/LH
Plan #	1643
Sheet #	A-1.02
Print Date	08/21/2014

SECOND FLOOR PLAN

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ATTIC VENTILATION REQUIREMENTS

ATTIC AREA '1' =	861 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (861 SQ. FT.) / 300 = 2.87 SQ. FT. X 144 =	413 SQ. IN.
50% OF REQUIRED VENTILATION =	207 SQ. IN.
UPPER VENTILATION PROVIDED:	
(2) "C.S." #LV1424 GABLE END VENTS AT 119 SQ. IN. =	238 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	238 SQ. IN.
LOWER VENTILATION PROVIDED:	
(64) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	320 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	320 SQ. IN.
TOTAL VENTILATION PROVIDED:	558 SQ. IN.
ATTIC AREA '2' =	131 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (131 SQ. FT.) / 150 = 0.87 SQ. FT. X 144 =	125 SQ. IN.
VENTILATION PROVIDED:	
(23) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	115 SQ. IN.
TOTAL VENTILATION PROVIDED:	115 SQ. IN.
ATTIC AREA '3' GARAGE =	473 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (473 SQ. FT.) / 150 = 3.15 SQ. FT. X 144 =	454 SQ. IN.
50% OF REQUIRED VENTILATION =	227 SQ. IN.
UPPER VENTILATION PROVIDED:	
(2) "C.S." #LV1424 GABLE END VENTS AT 119 SQ. IN. =	238 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	238 SQ. IN.
LOWER VENTILATION PROVIDED:	
(42) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	210 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	210 SQ. IN.
TOTAL VENTILATION PROVIDED:	448 SQ. IN.
ATTIC AREA '4' PATIO =	200 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (200 SQ. FT.) / 150 = 1.33 SQ. FT. X 144 =	192 SQ. IN.
VENTILATION PROVIDED:	
(22) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	110 SQ. IN.
TOTAL VENTILATION PROVIDED:	110 SQ. IN.



FRONT ELEVATION "CRAFTSMAN FULL STONE" SCALE: 1/4" = 1'-0"

ROOF PLAN - GENERAL NOTES

- ROOF MATERIAL - CLASS 'A' CONCRETE ROOFING TILE I.C.C. REPORT NO. ESR-1647 - OR APPROVED EQUAL OVER 30# ROOFING FELT (PROVIDE (2) LAYERS OF 30# ROOFING FELT ON LOWER ROOFS) - INSTALL PER MANUFACTURER'S INSTRUCTIONS - ROOF TILE NOT TO EXCEED 10 LBS. PER SQUARE FOOT
- ROOF TILE NAILING SHALL BE PER THE MANUFACTURER'S SPECIFICATIONS WITH THE FOLLOWING MINIMUM REQUIREMENTS:
 - 11 GA. CORROSION RESISTANT NAILS WITH MINIMUM 3/4" PENETRATION INTO SHEATHING PER C.R.C. SECTION 905.3.9 AND IN ACCORDANCE WITH C.R.C. TABLE 905.3.7
 - HEADS OF ALL TILE SHALL BE NAILED
 - THE NOSES OF ALL EAVE COURSE TILES SHALL BE FASTENED WITH APPROVED CLIPS
 - ALL TILES SHALL BE NAILED WITH A MINIMUM OF TWO (2) NAILS
 - THE NOSES OF ALL RIDGE, HIP AND RAKE TILES SHALL BE SET IN A BEAD OF APPROVED ROOFER'S MASTIC
- PROVIDE MINIMUM 26 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF-TO-WALL CONDITIONS
- PROVIDE DIVERTERS AS REQUIRED
- PROVIDE CROSS VENTILATION AT ALL ENCLOSED ATTIC SPACES - THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED IN ACCORDANCE WITH C.R.C. SECTION 909.2
- PROVIDE A MINIMUM 22"x30" ACCESS OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH 30" MINIMUM HEAD CLEARANCE - PROVIDE A 12"x12" OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH LESS THAN 30" HEAD CLEARANCE FOR VENTILATION
- NET FREE AIR VALUES FOR VENTS USED IN OUR VENTILATION CALCULATIONS ARE BASED ON AUGUST, 2007 VALUES PROVIDED BY "S & J METAL PRODUCTS INC." AT WWW.SJMETALS.COM & BY "D'HAEGHE, INC." AT WWW.DHAEGHEVENT.COM THESE VALUES ARE SUBJECT TO CHANGE WITHOUT NOTIFICATION AND MUST BE VERIFIED BY INSTALLER AT TIME OF INSTALLATION - APPROVED EQUAL PRODUCTS MUST PROVIDE THE NET FREE AIR VENTILATION TOTALS REQUIRED BY THE CALCULATIONS PROVIDED ON THESE ARCHITECTURAL DRAWINGS
- ALL ROOF, WALL AND EAVE VENTS SHALL BE SCREENED WITH CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4" MAXIMUM MESH OPENINGS

ROOF PLAN - KEYNOTES & SYMBOLS

- SYMBOL OF REFERENCES
- EDGE OF ROOF
 - EDGE OF BUILDING BELOW
 - CHIMNEY
 - CORROSION RESISTANT METAL CRICKET
 - CORROSION RESISTANT METAL SADDLE FLASHING AT CHIMNEY
- INDICATES DIRECTION OF ROOF PITCH
- INDICATES HALF-ROUND LOUVERED DORMER VENT - "S & J METAL PRODUCTS INC." OR APPROVED EQUAL
- INDICATES "D'HAEGHE'S" CLOAKED TILE VENT @ 95 S.I. NET FREE VENTILATING AREA EACH OR APPROVED EQUAL

ROOF PLAN & ELEVATION - KEYED NOTES

- ELEV
- EXTERIOR PLASTER - THREE COAT STUCCO SYSTEM
 - STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM TRIM
 - STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM CORBEL
 - MIRATEC SHUTTER - SEE ELEVATION FOR SIZE
 - CORROSION RESISTANT METAL FLASHING AT ROOF TO WALL
 - CORROSION RESISTANT METAL WEEP SCREED
 - CORROSION RESISTANT METAL LOUVERED GABLE END VENT
 - 2x6 WOOD FASCIA U.N.O.
 - 2x6 WOOD BARGE BOARD U.N.O.
 - VINYL BOARD AND BATTEN - SEE ELEVATIONS
 - STONE VENEER ADHERED TO STUCCO - INSTALL PER MANUFACTURER'S INSTRUCTIONS
 - CONCRETE STOOP/PORCH - REFER TO SLAB EDGE PLAN FOR SIZE
- ROOF
- EDGE OF ROOF
 - EDGE OF BUILDING BELOW

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REVISION	DATE

Submission Date

Project #
11020

Garage
ATTACHED/LH

Plan #
1643

Sheet #
A-1.03

Print Date
08/21/2014

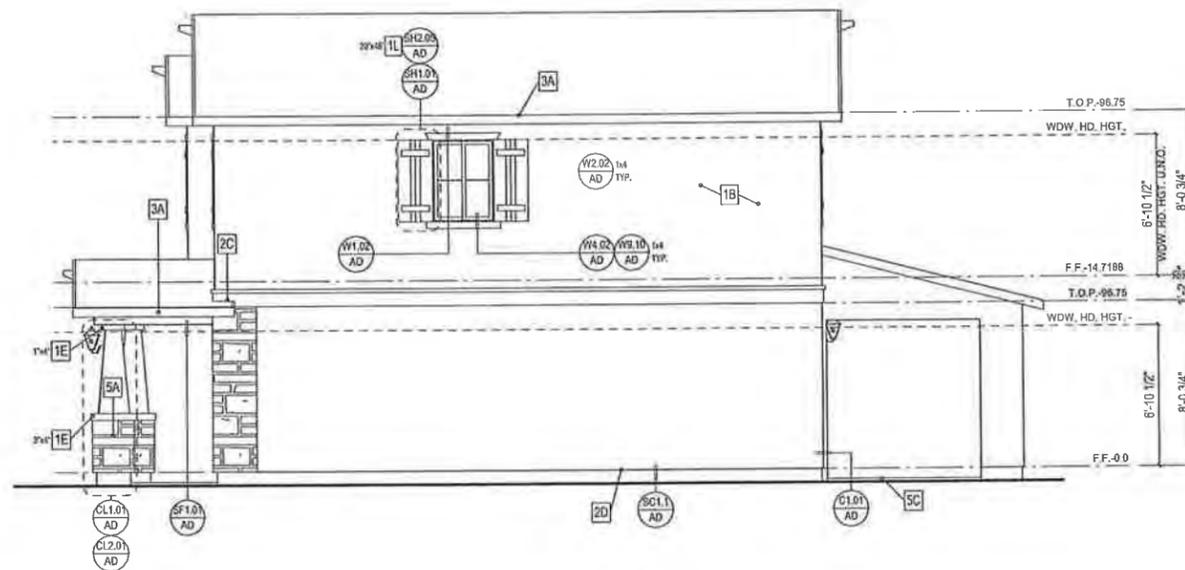
EXT. ELEVATIONS & ROOF PLAN

ROOF PLAN "CRAFTSMAN FULL STONE"

ROOF PITCH: 4:12 U.N.O.
 ROOF MATERIAL: FLAT CONCRETE TILE
 SCALE: 1/8" = 1'-0"

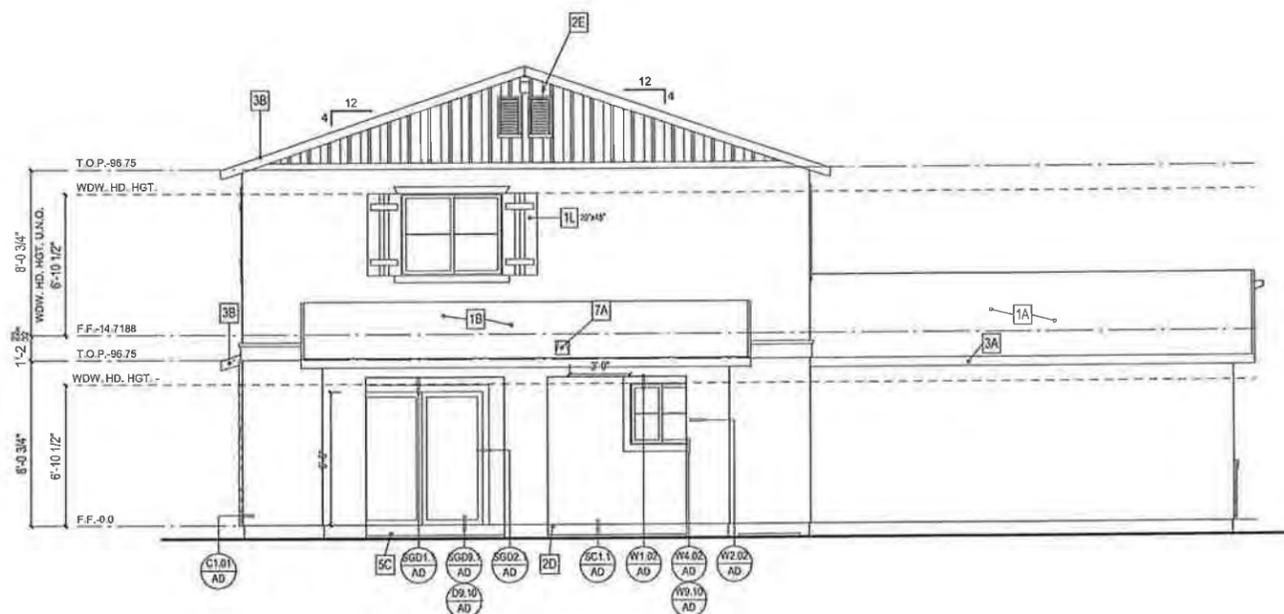
LEFT ELEVATION "CRAFTSMAN FULL STONE"

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION "CRAFTSMAN FULL STONE"

SCALE: 1/4" = 1'-0"



REAR ELEVATION "CRAFTSMAN FULL STONE"

SCALE: 1/4" = 1'-0"

ELEVATION - KEYED NOTES

ELEV

- 1A ROOFING MATERIAL - SEE ROOF PLAN
- 1B EXTERIOR PLASTER - THREE COAT STUCCO SYSTEM
- 1E STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM TRIM
- 1L MIRATEC SHUTTER - SEE ELEVATION FOR SIZE
- 2C CORROSION RESISTANT METAL FLASHING AT ROOF TO WALL
- 2D CORROSION RESISTANT METAL WEEP SCREEN
- 2E CORROSION RESISTANT METAL LOUVERED GABLE END VENT
- 3A 2x6 WOOD FASCIA U.N.O.
- 3B 2x6 WOOD BARGE BOARD U.N.O.
- 5A STONE VENEER ADHERED TO STUCCO - INSTALL PER MANUFACTURER'S INSTRUCTIONS
- 5C CONCRETE STOOP/PORCH - REFER TO SLAB EDGE PLAN FOR SIZE
- 7A HOOD VENT

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REVISION	DATE

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Project #
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1643
 Sheet #
A-1.04
 Print Date
08/21/2014

EXT. ELEVATIONS

PLY-GEM WINDOWS:			
PRODUCT	CPD#	U-FACTOR	SHGC
BLDR/CNTR 400 SERIES SLIDER	PWG-M-124-01135-00002	0.3	0.2
PRO 960S SLIDING PATIO DOOR	PWG-M-144-00347-00001	0.31	0.21

NOTE: ALL FENESTRATIONS MUST HAVE BOTH TEMPORARY AND PERMANENT LABELS.

FINISH NOTES:

A. A MINIMUM OF ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT SHALL BE APPLIED OVER STUDS OF ALL EXTERIOR WALLS. SPECIFY THAT TWO LAYERS OF GRADE D OR 60 MINUTE GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.

B. A MINIMUM 0.019" (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT OR PLASTIC WEEP SCREED LOCATED BELOW FOUNDATION PLATE LINE AND 4" ABOVE GRADE ON ALL EXTERIOR STUD WALLS OR 2" ABOVE PAVED AREAS.

PIPE INSULATION NOTES:

A. FIRST 5' OF HOT AND COLD WATER PIPES CLOSEST TO WATER HEATER TANK TO HAVE 1" INSULATION PER STD. TABLE 150-B.

B. COOLING SYSTEM REFRIDGERANT SUCTION PIPING TO HAVE 3/4" INSULATION PER STD. TABLE 150-B.

C. PIPE INSULATION IS PROTECTED FROM DAMAGE, INCLUDING THAT DUE TO SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE, AND WIND.

D. PIPE INSULATION FOR REFRIDGERANT SUCTION LINES INCLUDE A VAPOR RETARDANT OR IS ENCLOSED ENTIRELY IN CONDITIONED SPACE.

NFRC U-FACTOR AND SHGC VALUES:

ALL WINDOWS AND GLASS DOORS WILL HAVE NON-METAL FRAMES WITH A WEIGHTED AVERAGE NFRC U-FACTOR OF .36 OR LESS AND A WEIGHTED AVERAGE SHGC OF .33 OR LESS WITH LOW-E GLASS

GLAZING NOTES:

A. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.

B. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED ETC) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES. MULTI-PANE ASSEMBLIES SHALL BE IDENTIFIED PER CRC R308.1.

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EMERGENCY EGRESS NOTES:

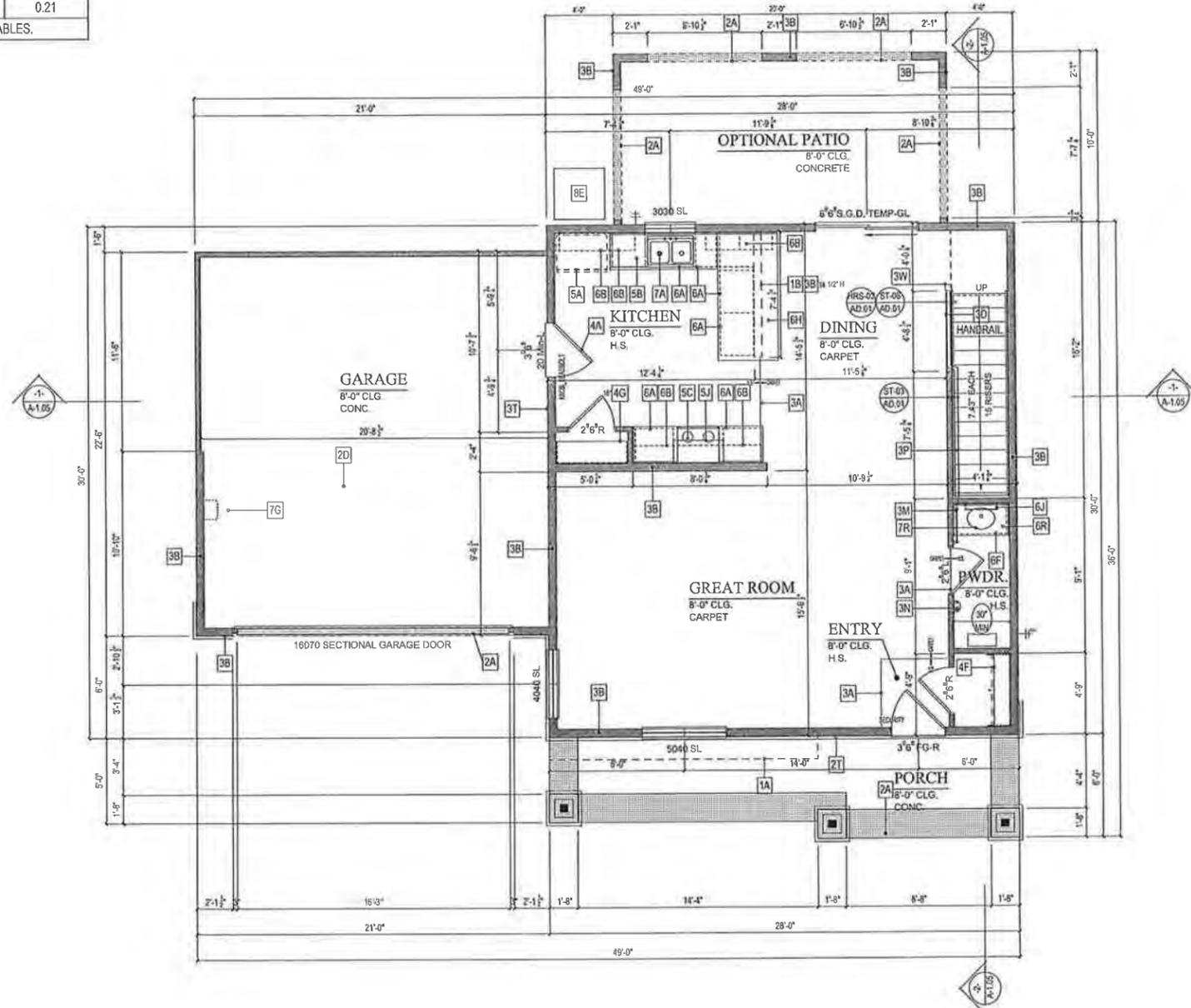
A. MIN. NET CLEAR OPENING OF 5.7 SQFT

B. MIN. 5 SQFT FOR GRADE-FLOOR OPENINGS SEE DEFINITION OF "GRADE FLOOR OPENING"

C. MIN. NET CLEAR OPENING WIDTH OF 20"

D. MIN NET CLEAR HEIGHT OF 24"

E. SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.



FIRST FLOOR PLAN "CRAFTSMAN FULL STONE" SCALE: 1/4" = 1'-0"

FLOOR PLAN - KEYED NOTES

- FP
- 1A LINE OF FLOORWALL ABOVE
- 1B LINE OF FLOORWALL BELOW
- 2A LINE OF EXTERIOR SOFFIT - SEE ELEVATIONS
- 2D CONCRETE GARAGE SLAB - SLOPE A MINIMUM OF 2"
- 2T STONE VENEER - INSTALL PER MANUFACTURES INSTRUCTIONS
- 3A LINE OF FLOOR MATERIAL CHANGE
- 3B 2x6 STUD WALL FRAMING
- 3D STAIR RAILING (36" HIGH ABOVE STAIR TREAD NOSING) W/ BALUSTERS SPACED AT 3 99" MAX. CLEAR - SEE DETAIL - ST-08
- 3M TOWEL BAR - PROVIDE 2x BACKING AT 54" TO CENTER
- 3N TOILET PAPER HOLDER - PROVIDE 2x BACKING AT 24" TO CENTER
- 3P +36 HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL - ST-03
- 3T MINIMUM (1) LAYER 1/2" TYPE X GYPSUM BOARD AT ALL GARAGE TO HOUSE WALL, DRYWALL TO EXTEND FROM FINISHED FLOOR TO BOTTOM OF ROOF SHEATHING. PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE PROTECTED (SUCH AS THOSE FOR VENTS, PIPES, DUCTS, CABLES, AND WIRES) WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION (CRC R302.5)
- 3W WOOD POST ANCHORED WITH (2) 1/2" DIA WOOD LAG SCREWS TO STAIR WALLS - SEE DETAIL - HRS-02
- 4A 1 3/4" THICK SOLID CORE TIGHT-FITTING SELF-CLOSING 20 MINUTE RATED DOOR
- 4F ROD AND SHELF
- 4G SHELVING UNIT
- 5A 39" CLEAR REFRIGERATOR SPACE WITH RECESSED COLD WATER BIBB FOR ICE MAKER
- 5B 24" BUILT-IN DISHWASHER
- 5C 30" SLIDE-IN RANGE LIGHT AND EXHAUST FAN ABOVE.
- 5J MICROWAVE HOOD VENT TO BE VENTED AT THE BACK WALL (RUN THROUGH FLOOR SYSTEM - IN JOIST BAY) VENT MUST BE AT MIN. 3' FROM ALL WINDOWS
- 6A LOWER CABINETRY
- 6B UPPER CABINETRY
- 6F VANITY CABINETRY
- 6H EATING BAR
- 6J SURFACE MOUNT (MIRROR-FACED) MEDICINE CABINET
- 6R PREMIUM COUNTERTOP
- 7A 33" DOUBLE SINK WITH GARBAGE DISPOSAL
- 7G TANKLESS GAS WATER HEATER - INSTALL PER MANUFACTURES REQUIREMENTS, MANUFACTURER'S INSTRUCTIONS IN COMPLIANCE WITH C M C CHAPTERS 3 & 7 AND C.P.C. CHAPTER 5
- 7R CHINA UNDERMOUNT BOWL
- 8E AIR CONDITIONING CONDENSER UNIT SECURELY FASTENED TO CONCRETE OR FIBERGLASS PAD (REFER TO TRACT MAP FOR LOCATION)

SQUARE FOOTAGE CHART	
CONDITIONED	
1st Floor	840 SF
2nd Floor	803 SF
TOTAL	1643 SF
UNCONDITIONED	
Garage	473 SF
Porch	352 SF

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Project # 11020
Garage ATTACHED/LH
Plan # 1643
Sheet # A-1.01
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FIRST FLOOR PLAN

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PLY-GEM WINDOWS:

PRODUCT	CPD#	U-FACTOR	SHGC
BLDR/CNTR 400 SERIES SLIDER	PWG-M-124-01135-00002	0.3	0.2
PRO 960S SLIDING PATIO DOOR	PWG-M-144-00347-00001	0.31	0.21

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FINISH NOTES:

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- B. A MINIMUM 0.019" (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT OR PLASTIC WEEP SCREED LOCATED BELOW FOUNDATION PLATE LINE AND 4" ABOVE GRADE ON ALL EXTERIOR STUD WALLS OR 2" ABOVE PAVED AREAS.

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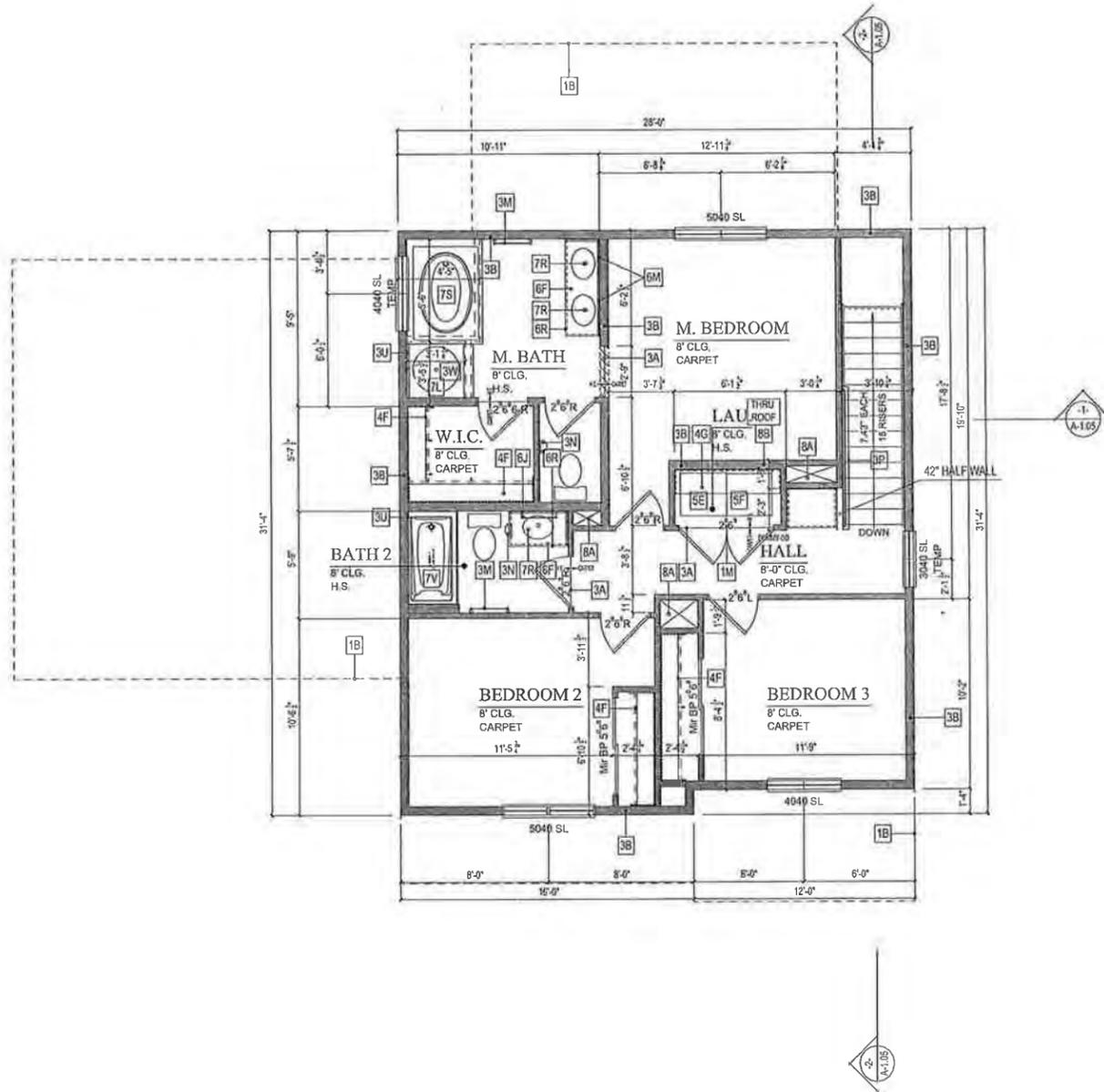
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- C. MIN. NET CLEAR OPENING WIDTH OF 20"
- D. MIN NET CLEAR HEIGHT OF 24"
- E. SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.

SECOND FLOOR PLAN "CRAFTSMAN FULL STONE"



SCALE: 1/4" = 1' - 0"

51

FLOOR PLAN - KEYED NOTES

- FP FLOOR PLAN
- 1B LINE OF FLOOR/WALL BELOW
- 1M 8" TALL x 14" WIDE VENT ABOVE DOOR
- 3A LINE OF FLOOR MATERIAL CHANGE
- 3B 2x6 STUD WALL FRAMING
- 3M TOWEL BAR - PROVIDE 2x BACKING AT 54" TO CENTER
- 3N TOILET PAPER HOLDER - PROVIDE 2x BACKING AT 24" TO CENTER
- 3P +36 HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL - ST-03
- 3U DENSSHIELD OR APPROVED EQUIVALENT AROUND TUB/SHOWERS TO A MIN. OF 72" ABOVE DRAIN
- 3W Glazing in door enclosures for hot tubs, whirlpools, saunas, steam rooms, bathrooms, showers less than 5 feet above the standing surface shall have a minimum category classification of II (CPSC 16 CFR 1201) [CRC TR30S 3.1 (1) & 30S 4(5)]
- 4F ROD AND SHELF
- 4G SHELVEING UNIT
- 5E CLOTHES WASHER SPACE - PROVIDE HOT & COLD WATER SUPPLY (RECESSED) & WASTE CONNECTIONS PROVIDE AN APPROVED "SMITTY" PAN WHEN WASHER IS LOCATED ON SECOND FLOOR
- 5F CLOTHES DRYER SPACE - PROVIDE VENT TO OUTSIDE AIR
- 6F VANITY CABINETRY
- 6J SURFACE MOUNT (MIRROR-FACED) MEDICINE CABINET
- 6M BEVELLED WALL MOUNT MIRROR
- 6R PREMIUM COUNTERTOP
- 7L HOT-MOPPED SHOWER PAN WITH 3" CURB, MUDSET TILE FLOOR, AND GRANITE SURROUND TO +84" A.F.F. PROVIDE TEMPERED GLASS ENCLOSURE AND DOOR. POSITION SHOWER HEAD AT +76" A.F.F. DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN.
- 7R CHINA UNDERMOUNT BOWL
- 7S 60"x42" DROP IN TUB DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN
- 7V 32"x60" TUB UNIT WITH RD SURFACE SURROUND - PROVIDE GLASS ENCLOSURE DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN.
- 8A DUCT CHASE
- 8B 4" DIAMETER DRYER VENT TO OUTSIDE AIR - MAXIMUM 14' LONG W/ (2) 90 DEG. ELBOWS UNLESS APPROVED OTHERWISE

SQUARE FOOTAGE CHART	
CONDITIONED	
1st Floor	840 SF
2nd Floor	803 SF
TOTAL	1643 SF
UNCONDITIONED	
Garage	473 SF
Porch	352 SF

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REVISION	DATE

Submission Date

Project #
11020
Garage
ATTACHED/LH
Plan #
1643
Sheet #
A-1.02
Print Date
08/21/2014

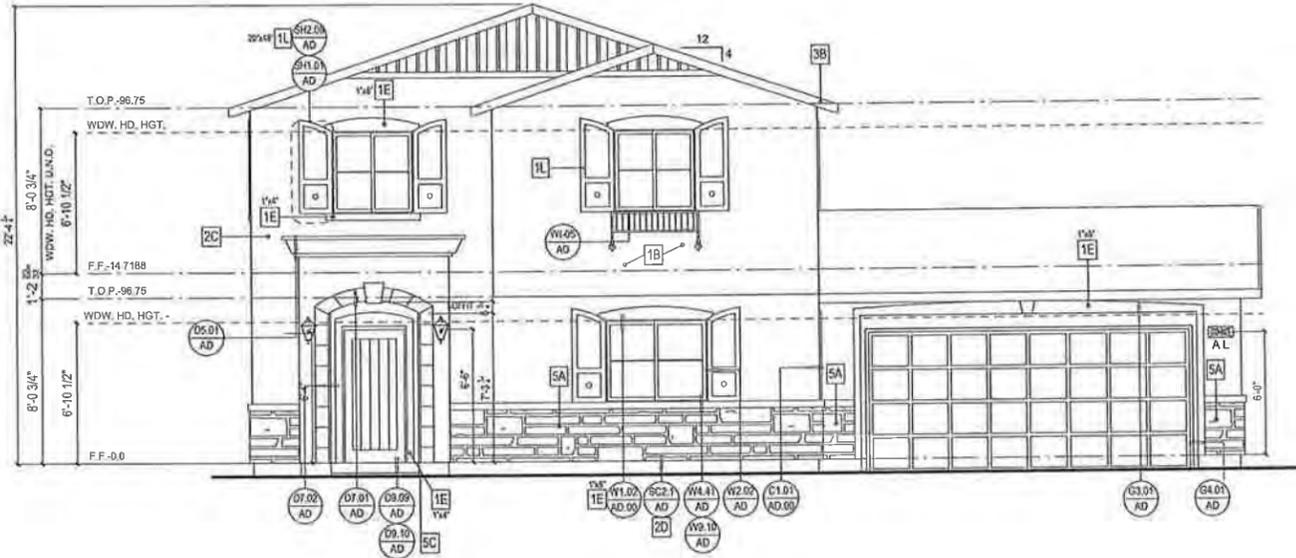
SECOND FLOOR PLAN

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ATTIC VENTILATION REQUIREMENTS

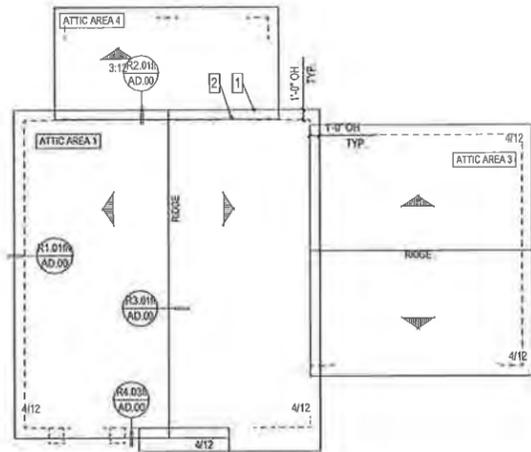
ATTIC AREA '1' =	861 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (861 SQ. FT.) / 300 = 2.87 SQ. FT. X 144 =	413 SQ. IN.
50% OF REQUIRED VENTILATION =	207 SQ. IN.
UPPER VENTILATION PROVIDED:	
(2) "C&J" #LV1424 GABLE END VENTS AT 119 SQ. IN. =	238 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	238 SQ. IN.
LOWER VENTILATION PROVIDED:	
(64) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	320 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	320 SQ. IN.
TOTAL VENTILATION PROVIDED:	558 SQ. IN.

ATTIC AREA '3' GARAGE =	473 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (473 SQ. FT.) / 150 = 3.15 SQ. FT. X 144 =	454 SQ. IN.
50% OF REQUIRED VENTILATION =	227 SQ. IN.
UPPER VENTILATION PROVIDED:	
(2) "C&J" #LV1424 GABLE END VENTS AT 119 SQ. IN. =	238 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	238 SQ. IN.
LOWER VENTILATION PROVIDED:	
(42) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	210 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	210 SQ. IN.
TOTAL VENTILATION PROVIDED:	448 SQ. IN.
ATTIC AREA '4' PATIO =	200 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (200 SQ. FT.) / 150 = 1.33 SQ. FT. X 144 =	192 SQ. IN.
VENTILATION PROVIDED:	
(27) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	110 SQ. IN.
TOTAL VENTILATION PROVIDED:	110 SQ. IN.



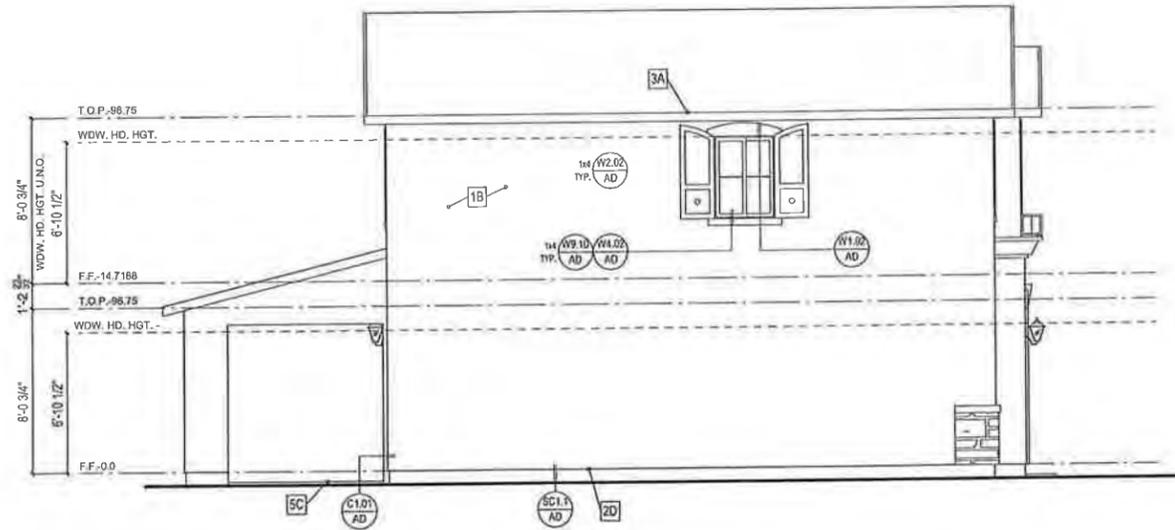
FRONT ELEVATION "FRENCH NORMANDY HALF STONE"

SCALE: 1/8" = 1'-0"



ROOF PLAN
"FRENCH NORMANDY HALF STONE"

ROOF PITCH: 4:12 U.N.O.
ROOF MATERIAL: FLAT CONCRETE TILE
SCALE: 1/8" = 1'-0"



LEFT ELEVATION "FRENCH NORMANDY HALF STONE"

SCALE: 1/8" = 1'-0"

ROOF PLAN - GENERAL NOTES

- ROOF MATERIAL - CLASS 'A' CONCRETE ROOFING TILE (C.R.C. REPORT NO. ESR-1647 - OR APPROVED EQUAL OVER 30# ROOFING FELT (PROVIDE (2) LAYERS OF 30# ROOFING FELT ON LOWER ROOFS) - INSTALL PER MANUFACTURER'S INSTRUCTIONS - ROOF TILE NOT TO EXCEED 10 LBS. PER SQUARE FOOT
- ROOF TILE NAILING SHALL BE PER THE MANUFACTURER'S SPECIFICATIONS WITH THE FOLLOWING MINIMUM REQUIREMENTS:
A. 11 GA. CORROSION RESISTANT NAILS WITH MINIMUM 3/4" PENETRATION INTO SHEATHING PER C.R.C. SECTION 905.3 AND IN ACCORDANCE WITH C.R.C. TABLE 905.3.1
B. HEADS OF ALL TILE SHALL BE NAILED
C. THE NOSES OF ALL EAVE COURSE TILES SHALL BE FASTENED WITH APPROVED CLIPS
D. ALL TILES SHALL BE NAILED WITH A MINIMUM OF TWO (2) NAILS
E. THE NOSES OF ALL RIDGE, HIP AND RAKE TILES SHALL BE SET IN A BEAD OF APPROVED ROOFER'S MASTIC
F. PROVIDE MINIMUM 26 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF-TO-WALL CONDITIONS
- PROVIDE DIVERTERS AS REQUIRED
- PROVIDE CROSS VENTILATION AT ALL ENCLOSED ATTIC SPACES - THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED IN ACCORDANCE WITH C.R.C. SECTION 808.2
- PROVIDE A MINIMUM 22"x30" ACCESS OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH 30" MINIMUM HEAD CLEARANCE - PROVIDE A 12"x12" OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH LESS THAN 30" HEAD CLEARANCE FOR VENTILATION
- NET FREE AIR VALUES FOR VENTS USED IN OUR VENTILATION CALCULATIONS ARE BASED ON AUGUST, 2007 VALUES PROVIDED BY "C & J METAL PRODUCTS INC." AT WWW.CJMETALS.COM & BY "OHAGIN'S, INC." AT WWW.OHAGINVENT.COM THESE VALUES ARE SUBJECT TO CHANGE WITHOUT NOTIFICATION AND MUST BE VERIFIED BY INSTALLER AT TIME OF INSTALLATION - APPROVED EQUAL PRODUCTS MUST PROVIDE THE NET FREE AIR VENTILATION TOTALS REQUIRED BY THE CALCULATIONS PROVIDED ON THESE ARCHITECTURAL DRAWINGS
- ALL ROOF, WALL AND EAVE VENTS SHALL BE SCREENED WITH CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4" MAXIMUM MESH OPENINGS

ROOF PLAN - KEYNOTES & SYMBOLS

- SYMBOL OF REFERENCES
- EDGE OF ROOF
 - EDGE OF BUILDING BELOW
 - CHIMNEY
 - CORROSION RESISTANT METAL CRICKET
 - CORROSION RESISTANT METAL SADDLE FLASHING AT CHIMNEY
- INDICATES DIRECTION OF ROOF PITCH
- INDICATES HALF-ROUND LOUVERED DORMER VENT - "C & J METAL PRODUCTS INC." OR APPROVED EQUAL
- INDICATES "OHAGIN'S" CLOAKED TILE VENT @ 95 S.I. NET FREE VENTILATING AREA EACH OR APPROVED EQUAL

ROOF PLAN & ELEVATION - KEYED NOTES

- ELEV
- EXTERIOR PLASTER - THREE COAT STUCCO SYSTEM
 - STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM TRIM
 - MIRATEC SHUTTER - SEE ELEVATION FOR SIZE
 - CORROSION RESISTANT METAL FLASHING AT ROOF TO WALL
 - CORROSION RESISTANT METAL WEEP SCREED
 - 2x6 WOOD FASCIA U.N.O.
 - 2x6 WOOD BARGE BOARD U.N.O.
 - STONE VENEER ADHERED TO STUCCO - INSTALL PER MANUFACTURER'S INSTRUCTIONS
 - CONCRETE STOOP/PORCH - REFER TO SLAB EDGE PLAN FOR SIZE
- ROOF
- EDGE OF ROOF
 - EDGE OF BUILDING BELOW

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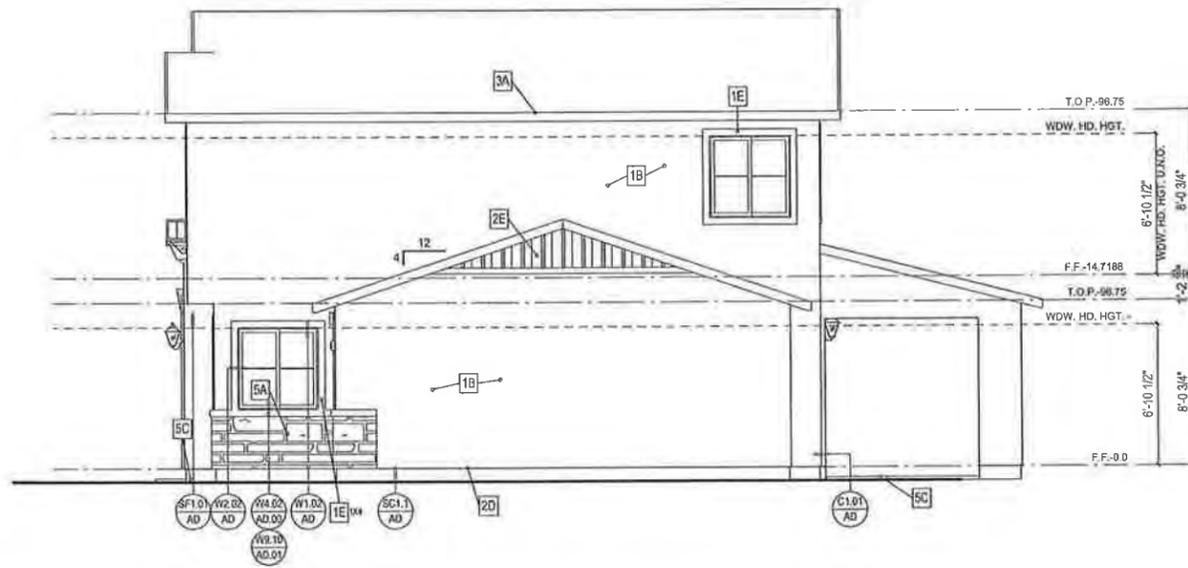
REVISION	DATE

Submission Date

Project #	11020
Garage	ATTACHED/RH
Plan #	1643
Sheet #	A-1.03
Print Date	08/21/2014

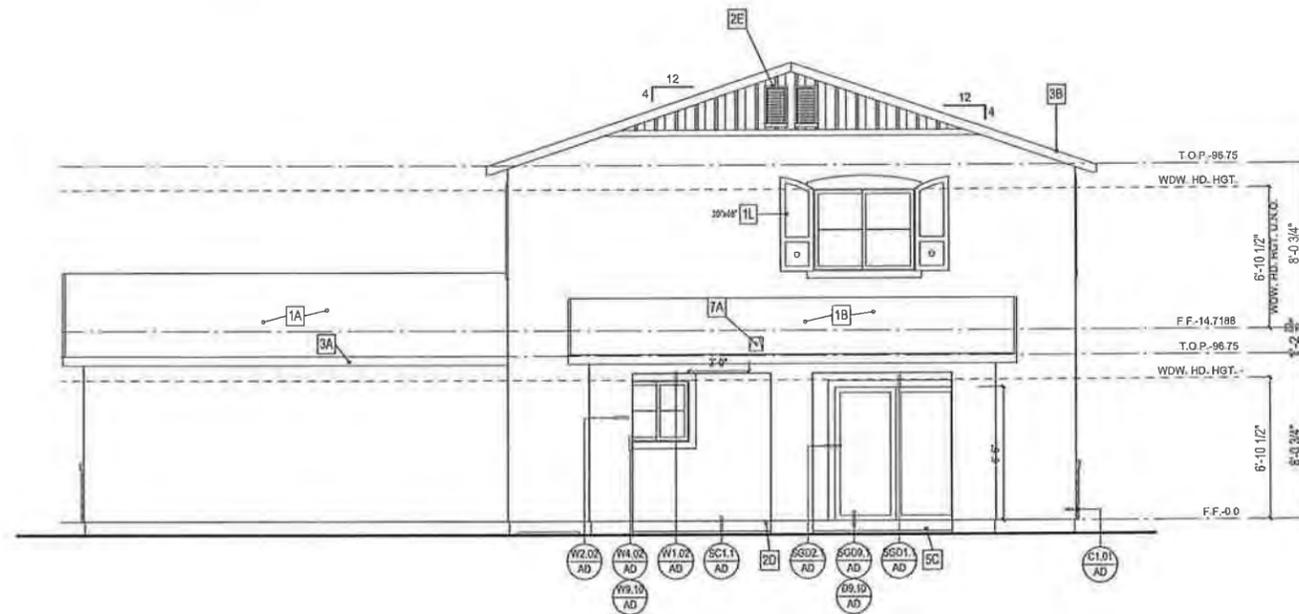
EXT. ELEVATIONS & ROOF PLAN

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RIGHT ELEVATION "FRENCH NORMANDY HALF STONE"

SCALE: 1/4" = 1' - 0"



REAR ELEVATION "FRENCH NORMANDY HALF STONE"

SCALE: 1/4" = 1' - 0"

ELEVATION - KEYED NOTES

ELEV

- 1A ROOFING MATERIAL - SEE ROOF PLAN
- 1B EXTERIOR PLASTER - THREE COAT STUCCO SYSTEM
- 1E STUCCO OVER EXPANDED POLYSTYRENE (E P S) FOAM TRIM
- 1L MIRATEC SHUTTER - SEE ELEVATION FOR SIZE
- 2D CORROSION RESISTANT METAL WEEPER SCREED
- 2E CORROSION RESISTANT METAL LOUVERED GABLE END VENT
- 3A 2x6 WOOD FASCIA U.N.O.
- 3B 2x6 WOOD BARGE BOARD U.N.O.
- 5A STONE VENEER ADHERED TO STUCCO - INSTALL PER MANUFACTURER'S INSTRUCTIONS
- 5C CONCRETE STOOP/PORCH - REFER TO SLAB EDGE PLAN FOR SIZE
- 7A HOOD VENT

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Print Date	08/21/2014

EXT. ELEVATIONS

PLY-GEM WINDOWS:			
PRODUCT	CPD#	U-FACTOR	SHGC
BLDR/CNTR 400 SERIES SLIDER	PWG-M-124-01135-00002	0.3	0.2
PRO 960S SLIDING PATIO DOOR	PWG-M-144-00347-00001	0.31	0.21

NOTE: ALL FENESTRATIONS MUST HAVE BOTH TEMPORARY AND PERMANENT LABELS.

FINISH NOTES:

- A. A MINIMUM OF ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT SHALL BE APPLIED OVER STUDS OF ALL EXTERIOR WALLS. SPECIFY THAT TWO LAYERS OF GRADE D OR 60 MINUTE GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.
- B. A MINIMUM 0.019" (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT OR PLASTIC WEEP SCREEN LOCATED BELOW FOUNDATION PLATE LINE AND 4" ABOVE GRADE ON ALL EXTERIOR STUD WALLS OR 2" ABOVE PAVED AREAS.

PIPE INSULATION NOTES:

- A. FIRST 5' OF HOT AND COLD WATER PIPES CLOSEST TO WATER HEATER TANK TO HAVE 1" INSULATION PER STD. TABLE 150-B.
- B. COOLING SYSTEM REFRIGERANT SUCTION PIPING TO HAVE 3/4" INSULATION PER STD. TABLE 150-B.
- C. PIPE INSULATION IS PROTECTED FROM DAMAGE, INCLUDING THAT DUE TO SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE, AND WIND.
- D. PIPE INSULATION FOR REFRIGERANT SUCTION LINES INCLUDE A VAPOR RETARDANT OR IS ENCLOSED ENTIRELY IN CONDITIONED SPACE.

NFRC U-FACTOR AND SHGC VALUES:

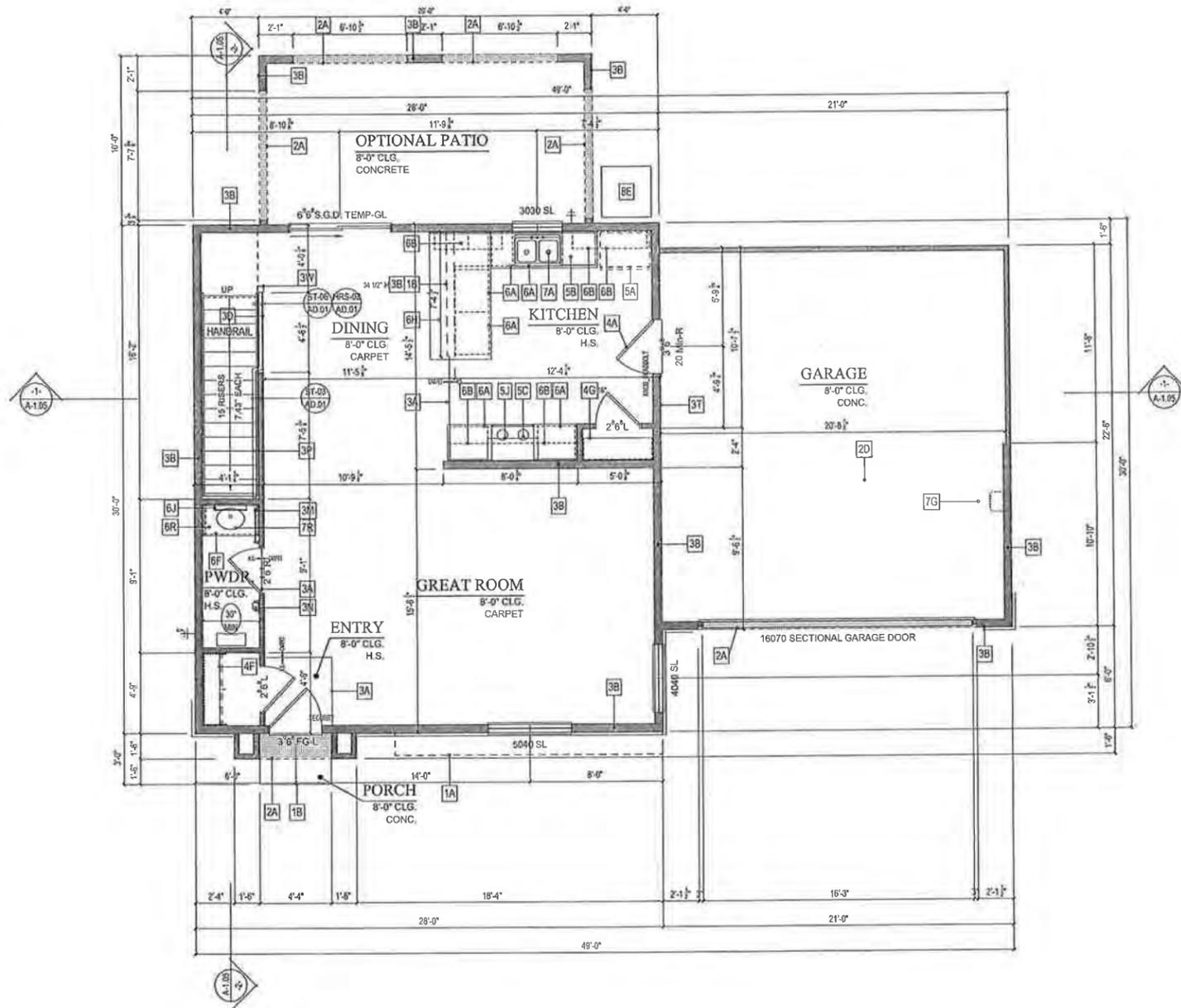
ALL WINDOWS AND GLASS DOORS WILL HAVE NON-METAL FRAMES WITH A WEIGHTED AVERAGE NFRC U-FACTOR OF .36 OR LESS AND A WEIGHTED AVERAGE SHGC OF .33 OR LESS WITH LOW-E GLASS

GLAZING NOTES:

- A. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.
- B. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED ETC) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES. MULTI-PANE ASSEMBLIES SHALL BE IDENTIFIED PER CRC R308.1.
- C. GLAZING IN SWINGING, SLIDING AND BIFOLD DOORS 9 SQUARE FEET OR LESS SHALL BE A MIN. CATEGORY CLASSIFICATION OF I AND II WHEN MORE THAN 9 SQUARE FEET OR SLIDING.
- D. GLAZING OVER 9 SQUARE FEET IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL BE SAFETY GLAZED.

EMERGENCY EGRESS NOTES:

- A. MIN. NET CLEAR OPENING OF 5.7 SQFT
- B. MIN. 5 SQFT FOR GRADE-FLOOR OPENINGS SEE DEFINITION OF "GRADE-FLOOR OPENING"
- C. MIN. NET CLEAR OPENING WIDTH OF 20"
- D. MIN NET CLEAR HEIGHT OF 24"
- E. SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.



FIRST FLOOR PLAN "FRENCH NORMANDY HALF STONE"

SCALE: 1/4" = 1'-0"

54

FLOOR PLAN - KEYED NOTES

- FP *****
- 1A LINE OF FLOORWALL ABOVE
- 1B LINE OF FLOORWALL BELOW
- 2A LINE OF EXTERIOR SOFFIT - SEE ELEVATIONS
- 2D CONCRETE GARAGE SLAB - SLOPE A MINIMUM OF 2"
- 3A LINE OF FLOOR MATERIAL CHANGE
- 3B 2x6 STUD WALL FRAMING
- 3D STAIR RAILING (36" HIGH ABOVE STAIR TREAD NOSING) W/ BALUSTERS SPACED AT 3.99" MAX. CLEAR - SEE DETAIL - ST-06
- 3M TOWEL BAR - PROVIDE 2x BACKING AT 54" TO CENTER
- 3N TOILET PAPER HOLDER - PROVIDE 2x BACKING AT 24" TO CENTER
- 3P +36 HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL - ST-03
- 3T MINIMUM (1) LAYER 1/2" TYPE X GYPSUM BOARD AT ALL GARAGE TO HOUSE WALL, DRYWALL TO EXTEND FROM FINISHED FLOOR TO BOTTOM OF ROOF SHEATHING. PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE PROTECTED (SUCH AS THOSE FOR VENTS, PIPES, DUCTS, CABLES, AND WIRES) WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION (CRC R302.5)
- 3W WOOD POST ANCHORED WITH (2) 1/2" DIA WOOD LAG SCREWS TO STAIR WALLS - SEE DETAIL - HRS-02
- 4A 1 3/4" THICK SOLID CORE TIGHT-FITTING SELF-CLOSING 20 MINUTE RATED DOOR
- 4F ROD AND SHELF
- 4G SHELVING UNIT
- 5A 39" CLEAR REFRIGERATOR SPACE WITH RECESSED COLD WATER BIBB FOR ICE MAKER
- 5B 24" BUILT-IN DISHWASHER
- 5C 30" SLIDE-IN RANGE LIGHT AND EXHAUST FAN ABOVE
- 5J MICROWAVE HOOD VENT TO BE VENTED AT THE BACK WALL (RUN THROUGH FLOOR SYSTEM - IN JOIST BAY) VENT MUST BE AT MIN. 3' FROM ALL WINDOWS.
- 6A LOWER CABINETRY
- 6B UPPER CABINETRY
- 6F VANITY CABINETRY
- 6H EATING BAR
- 6J SURFACE MOUNT (MIRROR-FACED) MEDICINE CABINET
- 6R PREMIUM COUNTERTOP
- 7A 33" DOUBLE SINK WITH GARBAGE DISPOSAL
- 7G TANKLESS GAS WATER HEATER - INSTALL PER MANUFACTURERS REQUIREMENTS. MANUFACTURER'S INSTRUCTIONS IN COMPLIANCE WITH C.M.C. CHAPTERS 3 & 7 AND C.P.C. CHAPTER 5.
- 7R CHINA UNDERMOUNT BOWL
- 8E AIR CONDITIONING CONDENSER UNIT SECURELY FASTENED TO CONCRETE OR FIBERGLASS PAD (REFER TO TRACT MAP FOR LOCATION)

SQUARE FOOTAGE CHART	
CONDITIONED	
1st Floor	840 SF
2nd Floor	803 SF
TOTAL	1643 SF
UNCONDITIONED	
Garage	473 SF
Porch	200 SF

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REVISION	DATE

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Garage	ATTACHED/RH
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FIRST FLOOR PLAN

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PLY-GEM WINDOWS:

PRODUCT	CPD#	U-FACTOR	SHGC
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PRO 960S SLIDING PATIO DOOR	PWG-M-144-00347-00001	0.31	0.21

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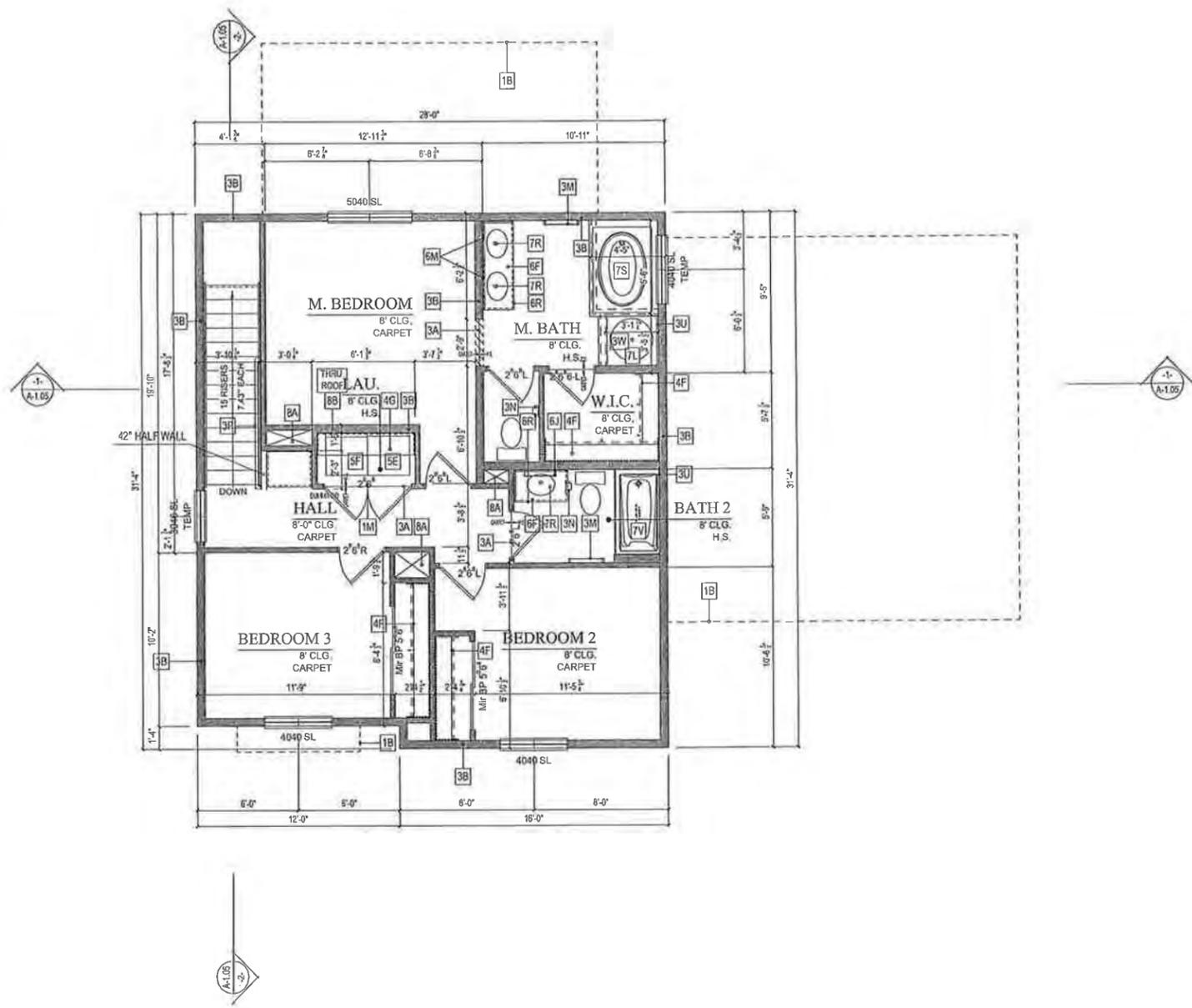
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SECOND FLOOR PLAN "FRENCH NORMANDY HALF STONE"

SCALE: 1/4" = 1'-0"

55

FLOOR PLAN - KEYED NOTES

- FP FLOOR PLAN
- 1B LINE OF FLOOR/WALL BELOW
- 1M 8" TALL x 14" WIDE VENT ABOVE DOOR.
- 3A LINE OF FLOOR MATERIAL CHANGE
- 3B 2x6 STUD WALL FRAMING
- 3M TOWEL BAR - PROVIDE 2x BACKING AT 54" TO CENTER
- 3N TOILET PAPER HOLDER - PROVIDE 2x BACKING AT 24" TO CENTER
- 3P +36 HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL - ST-03
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- 4G SHELVING UNIT
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- 7L HOT-MOPPED SHOWER PAN WITH 3" CURB, MUDSET TILE FLOOR, AND GRANITE SURROUND TO +84" A F F PROVIDE TEMPERED GLASS ENCLOSURE AND DOOR. POSITION SHOWER HEAD AT +76" A F F. DENNSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN.
- 7R CHINA UNDERMOUNT BOWL
- 7S 60"x42" DROP IN TUB DENNSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN
- 7V 32"x60" TUB UNIT W/HARD SURFACE SURROUND - PROVIDE GLASS ENCLOSURE. DENNSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN.
- 8A DUCT CHASE
- 8B 4" DIAMETER DRYER VENT TO OUTSIDE AIR - MAXIMUM 14' LONG W/ (2) 90 DEG. ELBOWS UNLESS APPROVED OTHERWISE

SQUARE FOOTAGE CHART	
CONDITIONED	
1st Floor	840 SF
2nd Floor	803 SF
TOTAL	1643 SF
UNCONDITIONED	
Garage	473 SF
Porch	260 SF

RSI Construction Inc.
620 Newport Center Drive, 6th Floor, Newport Beach, CA 92660
(949) 720-1118

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1360 Reynolds Ave. Suite #110 Irvine, Ca. 92614
Phone (949) 660-1587, Fax (949) 660-1589
Website: www.klarch.com

REVISION	DATE

Submittal Date

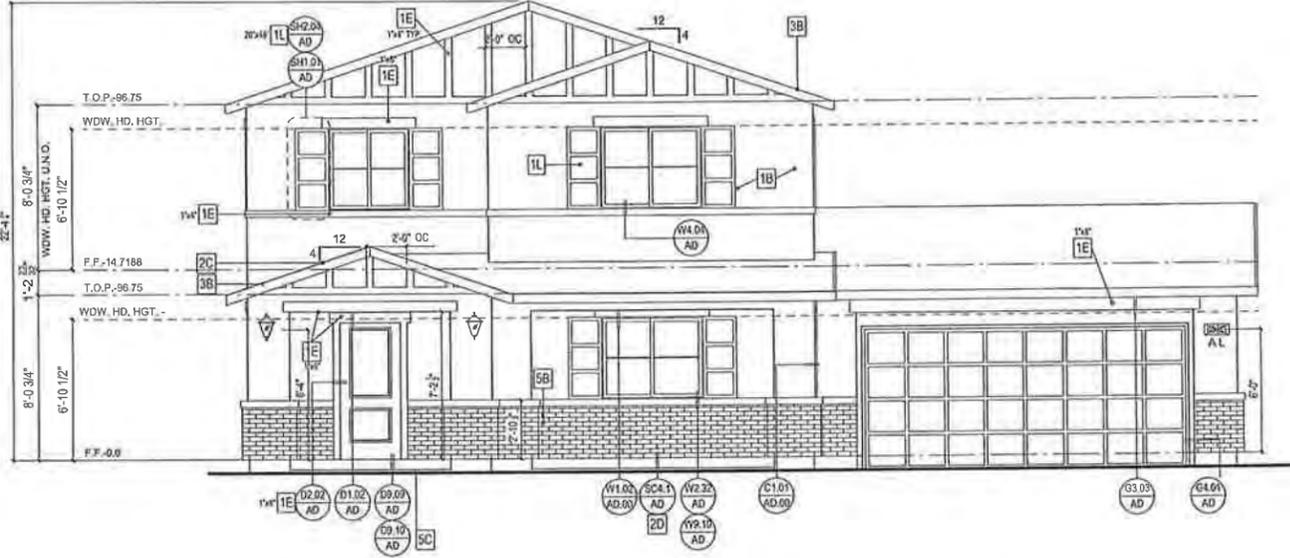
Project #	11029
Garage	ATTACHED/RH
Plan #	1643
Sheet #	A-1.02
Print Date	08/21/2014

SECOND FLOOR PLAN

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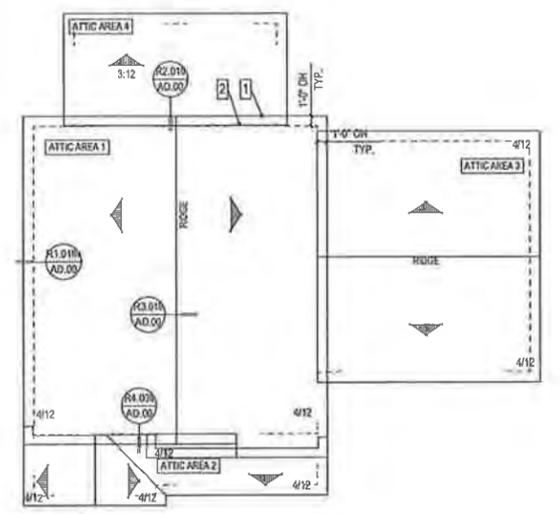
ATTIC VENTILATION REQUIREMENTS

ATTIC AREA "1" =	861 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (861 SQ. FT.) / 300 = 2.87 SQ. FT. X 144 =	413 SQ. IN.
50% OF REQUIRED VENTILATION =	207 SQ. IN.
UPPER VENTILATION PROVIDED:	
(2) "C&J" #LV1424 GABLE END VENTS AT 119 SQ. IN. =	238 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	238 SQ. IN.
LOWER VENTILATION PROVIDED:	
(64) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	320 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	320 SQ. IN.
TOTAL VENTILATION PROVIDED:	558 SQ. IN.
ATTIC AREA "2" =	131 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (131 SQ. FT.) / 150 = 0.87 SQ. FT. X 144 =	125 SQ. IN.
VENTILATION PROVIDED:	
(23) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	115 SQ. IN.
TOTAL VENTILATION PROVIDED:	115 SQ. IN.
ATTIC AREA "3 GARAGE" =	473 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (473 SQ. FT.) / 150 = 3.15 SQ. FT. X 144 =	454 SQ. IN.
50% OF REQUIRED VENTILATION =	227 SQ. IN.
UPPER VENTILATION PROVIDED:	
(2) "C&J" #LV1424 GABLE END VENTS AT 119 SQ. IN. =	238 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	238 SQ. IN.
LOWER VENTILATION PROVIDED:	
(42) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	210 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	210 SQ. IN.
TOTAL VENTILATION PROVIDED:	448 SQ. IN.
ATTIC AREA "4 PATIO" =	200 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (200 SQ. FT.) / 150 = 1.33 SQ. FT. X 144 =	192 SQ. IN.
VENTILATION PROVIDED:	
(22) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	110 SQ. IN.
TOTAL VENTILATION PROVIDED:	110 SQ. IN.



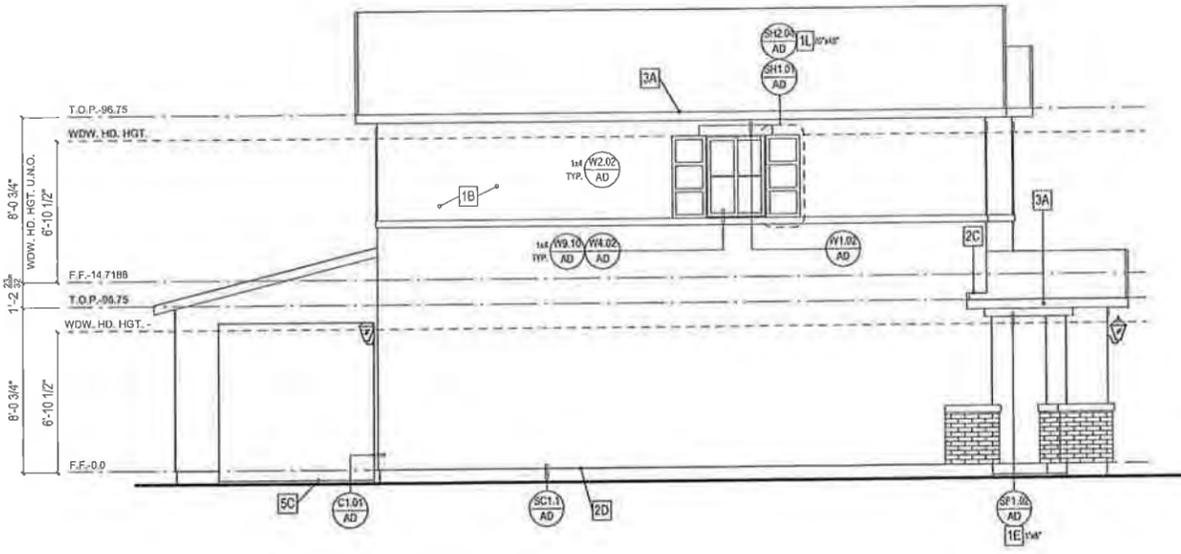
FRONT ELEVATION "PRARIE HALF BRICK"

SCALE: 1/8" = 1' - 0"



ROOF PLAN "PRARIE HALF BRICK"

ROOF PITCH: 4:12 U.N.O.
ROOF MATERIAL: FLAT CONCRETE TILE
SCALE: 1/8" = 1' - 0"



LEFT ELEVATION "PRARIE HALF BRICK"

SCALE: 1/8" = 1' - 0"

ROOF PLAN - GENERAL NOTES

- ROOF MATERIAL - CLASS "A" CONCRETE ROOFING TILE I.C.C. REPORT NO. ESR-1647 - OR APPROVED EQUAL OVER 30# ROOFING FELT (PROVIDE (2) LAYERS OF 30# ROOFING FELT ON LOWER ROOFS) - INSTALL PER MANUFACTURER'S INSTRUCTIONS - ROOF TILE NOT TO EXCEED 10 LBS. PER SQUARE FOOT
- ROOF TILE NAILING SHALL BE PER THE MANUFACTURER'S SPECIFICATIONS WITH THE FOLLOWING MINIMUM REQUIREMENTS:
 - 11 GA. CORROSION RESISTANT NAILS WITH MINIMUM 3/4" PENETRATION INTO SHEATHING PER C.R.C. SECTION 905.3.9 AND IN ACCORDANCE WITH C.R.C. TABLE 905.3.7
 - HEADS OF ALL TILE SHALL BE NAILED
 - THE NOSES OF ALL EAVE COURSE TILES SHALL BE FASTENED WITH APPROVED CLIPS
 - ALL TILES SHALL BE NAILED WITH A MINIMUM OF TWO (2) NAILS
 - THE NOSES OF ALL RIDGE, HIP AND RAKE TILES SHALL BE SET IN A BEAD OF APPROVED ROOFER'S MASTIC
- PROVIDE MINIMUM 26 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF-TO-WALL CONDITIONS
- PROVIDE DIVERTERS AS REQUIRED
- PROVIDE CROSS VENTILATION AT ALL ENCLOSED ATTIC SPACES - THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED IN ACCORDANCE WITH C.R.C. SECTION 606.2
- PROVIDE A MINIMUM 22"x30" ACCESS OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH 30" MINIMUM HEAD CLEARANCE - PROVIDE A 12"x12" OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH LESS THAN 30" HEAD CLEARANCE FOR VENTILATION
- NET FREE AIR VALUES FOR VENTS USED IN OUR VENTILATION CALCULATIONS ARE BASED ON AUGUST, 2007 VALUES PROVIDED BY "C & J METAL PRODUCTS INC." AT WWW.CMETAL.COM & BY "OHAGINS, INC." AT WWW.OHAGINSVENT.COM THESE VALUES ARE SUBJECT TO CHANGE WITHOUT NOTIFICATION AND MUST BE VERIFIED BY INSTALLER AT TIME OF INSTALLATION - APPROVED EQUAL PRODUCTS MUST PROVIDE THE NET FREE AIR VENTILATION TOTALS REQUIRED BY THE CALCULATIONS PROVIDED ON THESE ARCHITECTURAL DRAWINGS
- ALL ROOF, WALL AND EAVE VENTS SHALL BE SCREENED WITH CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4" MAXIMUM MESH OPENINGS

ROOF PLAN - KEYNOTES & SYMBOLS

- SYMBOL OF REFERENCES
- EDGE OF ROOF
 - EDGE OF BUILDING BELOW
 - CHIMNEY
 - CORROSION RESISTANT METAL CRICKET
 - CORROSION RESISTANT METAL SADDLE FLASHING AT CHIMNEY
- INDICATES DIRECTION OF ROOF PITCH
- INDICATES HALF-ROUND LOUVERED DORMER VENT - "C & J METAL PRODUCTS INC." OR APPROVED EQUAL
- INDICATES "OHAGINS" CLOAKED TILE VENT @ 95 S.I. NET FREE VENTILATING AREA EACH OR APPROVED EQUAL

ROOF PLAN & ELEVATION - KEYED NOTES

- ELEV
- EXTERIOR PLASTER - THREE COAT STUCCO SYSTEM
 - STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM TRIM
 - MIRATEC SHUTTER - SEE ELEVATION FOR SIZE
 - CORROSION RESISTANT METAL FLASHING AT ROOF TO WALL
 - CORROSION RESISTANT METAL WEEP SCREED
 - 2x6 WOOD FASCIA U.N.O.
 - 2x6 WOOD BARGE BOARD U.N.O.
 - THIN BRICK VENEER ADHERED TO STUCCO - INSTALL PER MANUFACTURER'S INSTRUCTIONS
 - CONCRETE STOOP/PORCH - REFER TO SLAB EDGE PLAN FOR SIZE
- ROOF
- EDGE OF ROOF
 - EDGE OF BUILDING BELOW

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REVISION	DATE

Submittal Date

EXT. ELEVATIONS & ROOF PLAN

Project # 11020
Garage ATTACHED/RH
Plan # 1643
Sheet # A-1.03
Print Date 08/21/2014

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BLDR/CNTR 400 SERIES SLIDER	PWG-M-124-01135-00002	0.3	0.2
PRO 960S SLIDING PATIO DOOR	PWG-M-144-00347-00001	0.31	0.21

NOTE: ALL FENESTRATIONS MUST HAVE BOTH TEMPORARY AND PERMANENT LABLES.

FINISH NOTES:

A. A MINIMUM OF ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT SHALL BE APPLIED OVER STUDS OF ALL EXTERIOR WALLS. SPECIFY THAT TWO LAYERS OF GRADE D OR 60 MINUTE GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.

B. A MINIMUM 0.019" (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT OR PLASTIC WEEP SCREED LOCATED BELOW FOUNDATION PLATE LINE AND 4" ABOVE GRADE ON ALL EXTERIOR STUD WALLS OR 2" ABOVE PAVED AREAS.

PIPE INSULATION NOTES:

A. FIRST 5" OF HOT AND COLD WATER PIPES CLOSEST TO WATER HEATER TANK TO HAVE 1" INSULATION PER STD. TABLE 150-B.

B. COOLING SYSTEM REFRIDGERANT SUCTION PIPING TO HAVE 3/4" INSULATION PER STD. TABLE 150-B.

C. PIPE INSULATION IS PROTECTED FROM DAMAGE, INCLUDING THAT DUE TO SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE, AND WIND.

D. PIPE INSULATION FOR REFRIDGERANT SUCTION LINES INCLUDE A VAPOR RETARDANT OR IS ENCLOSED ENTIRELY IN CONDITIONED SPACE.

NFRC U-FACTOR AND SHGC VALUES:

ALL WINDOWS AND GLASS DOORS WILL HAVE NON-METAL FRAMES WITH A WEIGHTED AVERAGE NFRC U-FACTOR OF .36 OR LESS AND A WEIGHTED AVERAGE SHGC OF .33 OR LESS WITH LOW-E GLASS

GLAZING NOTES:

A. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.

B. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED ETC) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES. MULTI-PANE ASSEMBLIES SHALL BE IDENTIFIED PER CRC R308.1.

C. GLAZING IN SWINGING, SLIDING AND BIFOLD DOORS 9 SQUARE FEET OR LESS SHALL BE A MIN. CATEGORY CLASSIFICATION OF I AND II WHEN MORE THAN 9 SQUARE FEET OR SLIDING.

D. GLAZING OVER 9 SQUARE FEET IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL BE SATETY GLAZED.

EMERGENCY EGRESS NOTES:

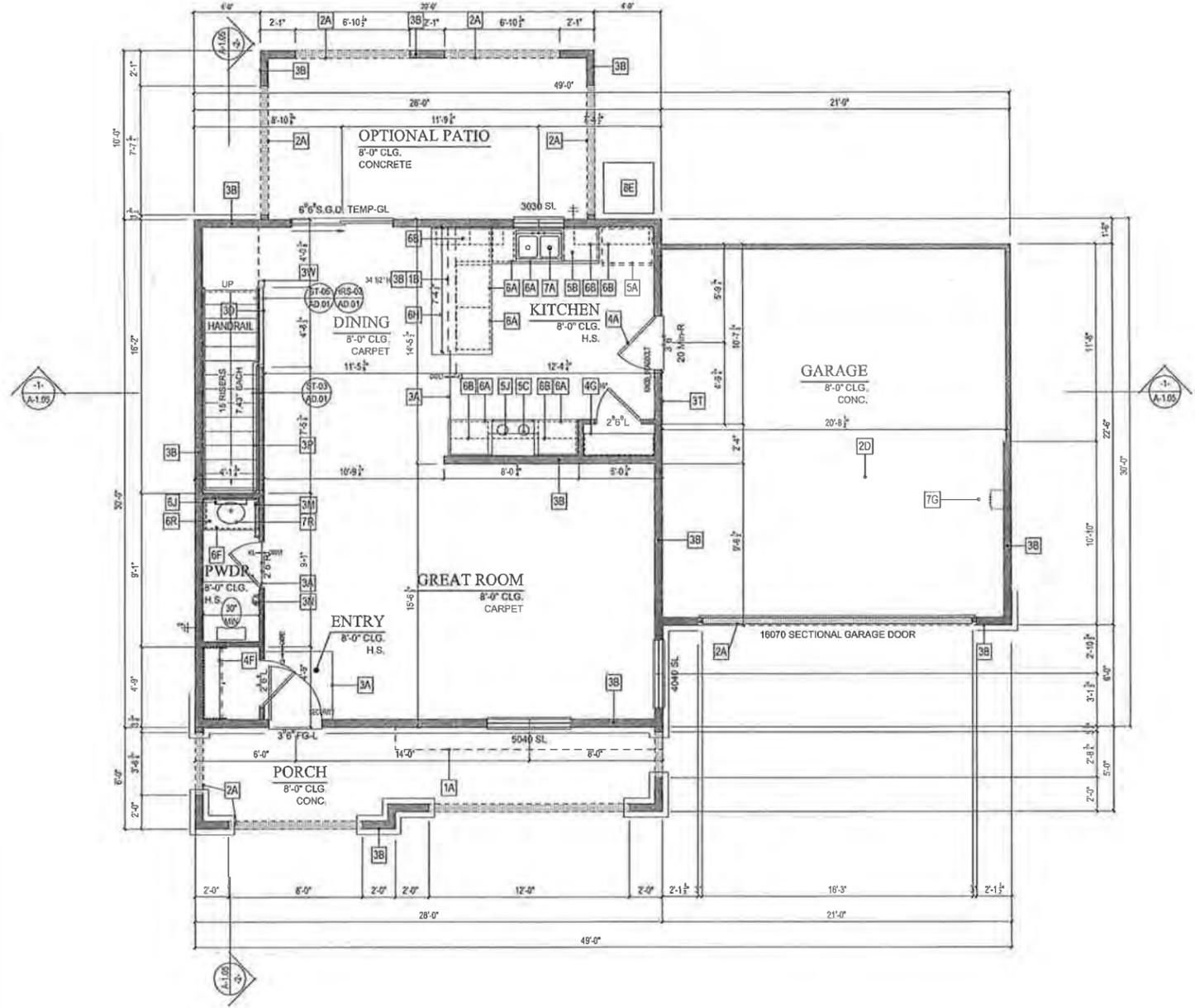
A. MIN. NET CLEAR OPENING OF 5.7 SQFT

B. MIN. 5 SQFT FOR GRADE-FLOOR OPENINGS SEE DEFINITION OF "GRADE FLOOR OPENING"

C. MIN. NET CLEAR OPENING WIDTH OF 20"

D. MIN NET CLEAR HEIGHT OF 24"

E. SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.



FIRST FLOOR PLAN "PRARIE HALF BRICK"

SCALE: 1/4" = 1' - 0"

58

FLOOR PLAN - KEYED NOTES

- FP
- 1A LINE OF FLOORWALL ABOVE
- 1B LINE OF FLOORWALL BELOW
- 2A LINE OF EXTERIOR SOFFIT - SEE ELEVATIONS
- 2D CONCRETE GARAGE SLAB - SLOPE A MINIMUM OF 2"
- 3A LINE OF FLOOR MATERIAL CHANGE
- 3B 2x6 STUD WALL FRAMING
- 3D STAIR RAILING (36" HIGH ABOVE STAIR TREAD NOSING) W/ BALUSTERS SPACED AT 3 9/16" MAX CLEAR - SEE DETAIL - ST-06
- 3M TOWEL BAR - PROVIDE 2x BACKING AT 54" TO CENTER
- 3N TOILET PAPER HOLDER - PROVIDE 2x BACKING AT 24" TO CENTER
- 3P 3/8" HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL - ST-03
- 3T MINIMUM (1) LAYER 1/2" TYPE X GYPSUM BOARD AT ALL GARAGE TO HOUSE WALL, DRYWALL TO EXTEND FROM FINISHED FLOOR TO BOTTOM OF ROOF SHEATHING PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE PROTECTED (SUCH AS THOSE FOR VENTS, PIPES, DUCTS, CABLES, AND WIRES) WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION (CRC R302.5)
- 3W WOOD POST ANCHORED WITH (2) 1/2" DIA WOOD LAG SCREWS TO STAIR WALLS - SEE DETAIL - HRS-02
- 4A 1 3/4" THICK SOLID CORE TIGHT-FITTING SELF-CLOSING 20 MINUTE RATED DOOR
- 4F ROD AND SHELF
- 4G SHELVING UNIT
- 5A 39" CLEAR REFRIGERATOR SPACE WITH RECESSED COLD WATER BIBB FOR ICE MAKER
- 5B 24" BUILT-IN DISHWASHER
- 5C 30" SLIDE-IN RANGE LIGHT AND EXHAUST FAN ABOVE.
- 5J MICROWAVE HOOD VENT TO BE VENTED AT THE BACK WALL (RUN THROUGH FLOOR SYSTEM - IN JOIST BAY) VENT MUST BE AT MIN. 3' FROM ALL WINDOWS.
- 6A LOWER CABINETRY
- 6B UPPER CABINETRY
- 6F VANITY CABINETRY
- 6H EATING BAR
- 6J SURFACE MOUNT (MIRROR-FACED) MEDICINE CABINET
- 6R PREMIUM COUNTERTOP
- 7A 33" DOUBLE SINK WITH GARBAGE DISPOSAL
- 7G TANKLESS GAS WATER HEATER - INSTALL PER MANUFACTURES REQUIREMENTS MANUFACTURER'S INSTRUCTIONS IN COMPLIANCE WITH C.M.C. CHAPTERS 3 & 7 AND C.P.C. CHAPTER 5
- 7R CHINA UNDERMOUNT BOWL
- 8E AIR CONDITIONING CONDENSER UNIT SECURELY FASTENED TO CONCRETE OR FIBERGLASS PAD (REFER TO TRACT MAP FOR LOCATION)

SQUARE FOOTAGE CHART	
CONDITIONED	
1st Floor	840 SF
2nd Floor	803 SF
TOTAL	1643 SF
UNCONDITIONED	
Garage	473 SF
Porch	352 SF

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REVISION	DATE

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Project #	11020
Garage	ATTACHED/RH
Plan #	1643
Sheet #	A-1.01
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FIRST FLOOR PLAN

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BLDR/CNTR 400 SERIES SLIDER	PWG-M-124-01135-00002	0.3	0.2
PRO 960S SLIDING PATIO DOOR	PWG-M-144-00347-00001	0.31	0.21

NOTE: ALL FENESTRATIONS MUST HAVE BOTH TEMPORARY AND PERMANENT LABELS.

FINISH NOTES:

- A. A MINIMUM OF ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT SHALL BE APPLIED OVER STUDS OF ALL EXTERIOR WALLS. SPECIFY THAT TWO LAYERS OF GRADE D OR 60 MINUTE GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.
- B. A MINIMUM 0.019" (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT OR PLASTIC WEEP SCREED LOCATED BELOW FOUNDATION PLATE LINE AND 4" ABOVE GRADE ON ALL EXTERIOR STUD WALLS OR 2" ABOVE PAVED AREAS.

PIPE INSULATION NOTES:

- A. FIRST 5' OF HOT AND COLD WATER PIPES CLOSEST TO WATER HEATER TANK TO HAVE 1" INSULATION PER STD. TABLE 150-B.
- B. COOLING SYSTEM REFRIGERANT SUCTION PIPING TO HAVE 3/4" INSULATION PER STD. TABLE 150-B.
- C. PIPE INSULATION IS PROTECTED FROM DAMAGE, INCLUDING THAT DUE TO SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE, AND WIND.
- D. PIPE INSULATION FOR REFRIGERANT SUCTION LINES INCLUDE A VAPOR RETARDANT OR IS ENCLOSED ENTIRELY IN CONDITIONED SPACE.

NFRC U-FACTOR AND SHGC VALUES:

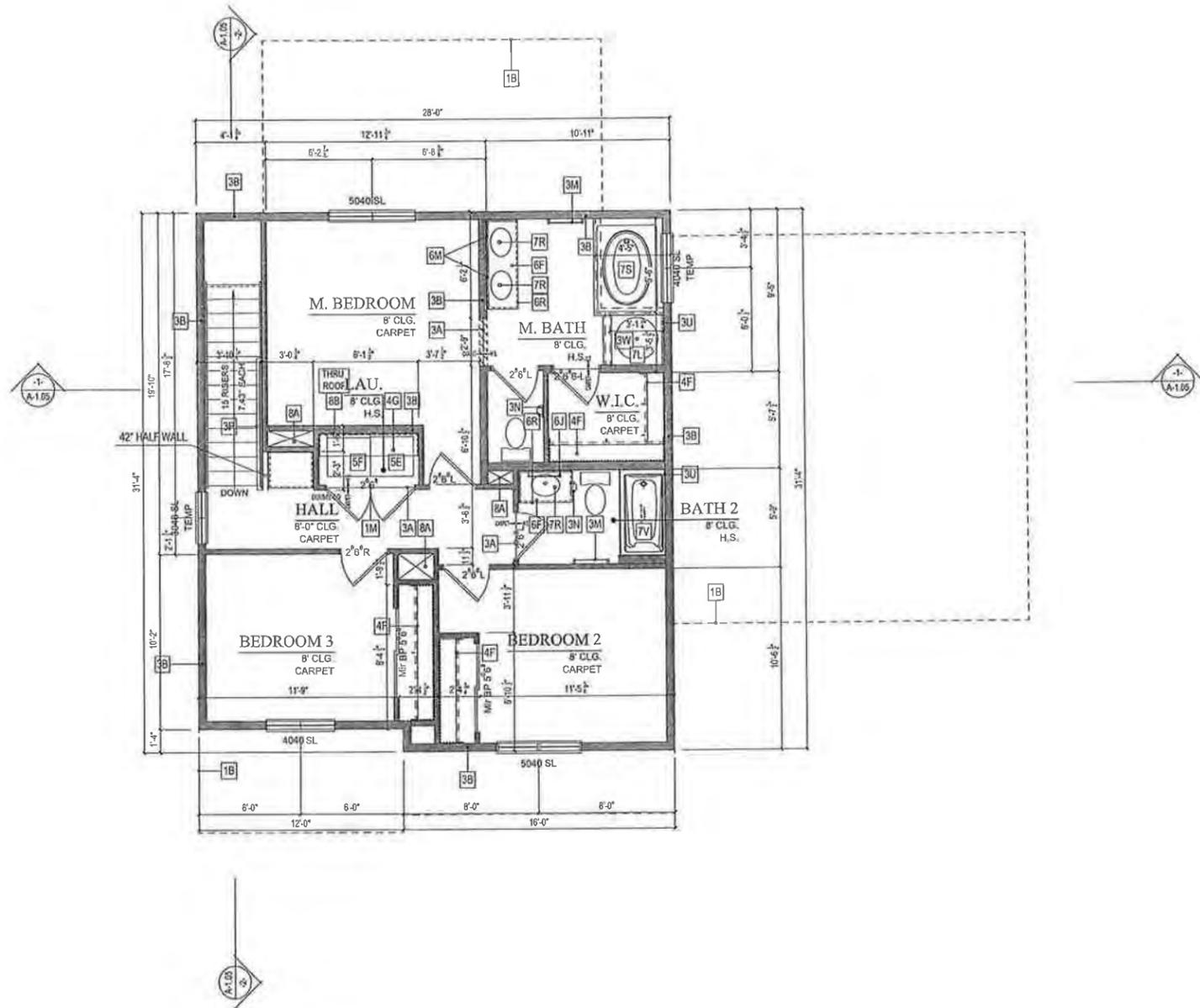
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GLAZING NOTES:

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EMERGENCY EGRESS NOTES:

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- B. MIN. 5 SQFT FOR GRADE-FLOOR OPENINGS SEE DEFINITION OF "GRADE FLOOR OPENING"
- C. MIN. NET CLEAR OPENING WIDTH OF 20"
- D. MIN NET CLEAR HEIGHT OF 24"
- E. SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.



SECOND FLOOR PLAN "PRARIE HALF BRICK"

SCALE: 1/4" = 1'-0"

59

FLOOR PLAN - KEYED NOTES

- FP FLOOR PLAN
- 1B LINE OF FLOOR/WALL BELOW
- 1M 8" TALL x 14" WIDE VENT ABOVE DOOR
- 3A LINE OF FLOOR MATERIAL CHANGE
- 3B 2x6 STUD WALL FRAMING
- 3M TOWEL BAR - PROVIDE 2x BACKING AT 54" TO CENTER
- 3N TOILET PAPER HOLDER - PROVIDE 2x BACKING AT 24" TO CENTER
- 3P +36 HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL - ST-03
- 3U DENSSHIELD OR APPROVED EQUIVALENT AROUND TUB/SHOWERS TO A MIN. OF 72" ABOVE DRAIN
- 3W Glazing in door enclosures for hot tubs, whirlpools, saunas, steam rooms, bathrooms, showers less than 5 feet above the standing surface shall have a minimum category classification of II (CFR 16 CFR 1201) (JCRC TR30S 3 1 (1) & 30S 4(5))
- 4F ROD AND SHELF
- 4G SHELVING UNIT
- 5E CLOTHES WASHER SPACE - PROVIDE HOT & COLD WATER SUPPLY (RECESSED) & WASTE CONNECTIONS PROVIDE AN APPROVED "SMITTY" PAN WHEN WASHER IS LOCATED ON SECOND FLOOR
- 5F CLOTHES DRYER SPACE - PROVIDE VENT TO OUTSIDE AIR
- 6F VANITY CABINETRY
- 6J SURFACE MOUNT (MIRROR-FACED) MEDICINE CABINET
- 6M BEVELLED WALL MOUNT MIRROR
- 6R PREMIUM COUNTERTOP
- 7L HOT-MOPPED SHOWER PAN WITH 3" CURB, MUDSET TILE FLOOR, AND GRANITE SURROUND TO +84" A F F. PROVIDE TEMPERED GLASS ENCLOSURE AND DOOR POSITION SHOWER HEAD AT +76" A F F. DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN
- 7R CHINA UNDERMOUNT BOWL
- 7S 60"x42" DROP IN TUB DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN
- 7V 32"x60" TUB UNIT W/HARD SURFACE SURROUND - PROVIDE GLASS ENCLOSURE, DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN
- 8A DUCT CHASE
- 8B 4" DIAMETER DRYER VENT TO OUTSIDE AIR - MAXIMUM 14' LONG W/ (2) 90 DEG ELBOWS UNLESS APPROVED OTHERWISE

SQUARE FOOTAGE CHART	
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1st Floor	840 SF
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Garage	ATTACHED/RH
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SECOND FLOOR PLAN

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PRO 960S SLIDING PATIO DOOR	PWG-M-144-00347-00001	0.31	0.21

NOTE: ALL FENESTRATIONS MUST HAVE BOTH TEMPORARY AND PERMANENT LABELS.

FINISH NOTES:

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- B. A MINIMUM 0.019" (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT OR PLASTIC WEEP SCREED LOCATED BELOW FOUNDATION PLATE LINE AND 4" ABOVE GRADE ON ALL EXTERIOR STUD WALLS OR 2" ABOVE PAVED AREAS.

PIPE INSULATION NOTES:

- A. FIRST 5' OF HOT AND COLD WATER PIPES CLOSEST TO WATER HEATER TANK TO HAVE 1" INSULATION PER STD. TABLE 150-B.
- B. COOLING SYSTEM REFRIDGERANT SUCTION PIPING TO HAVE 3/4" INSULATION PER STD. TABLE 150-B.
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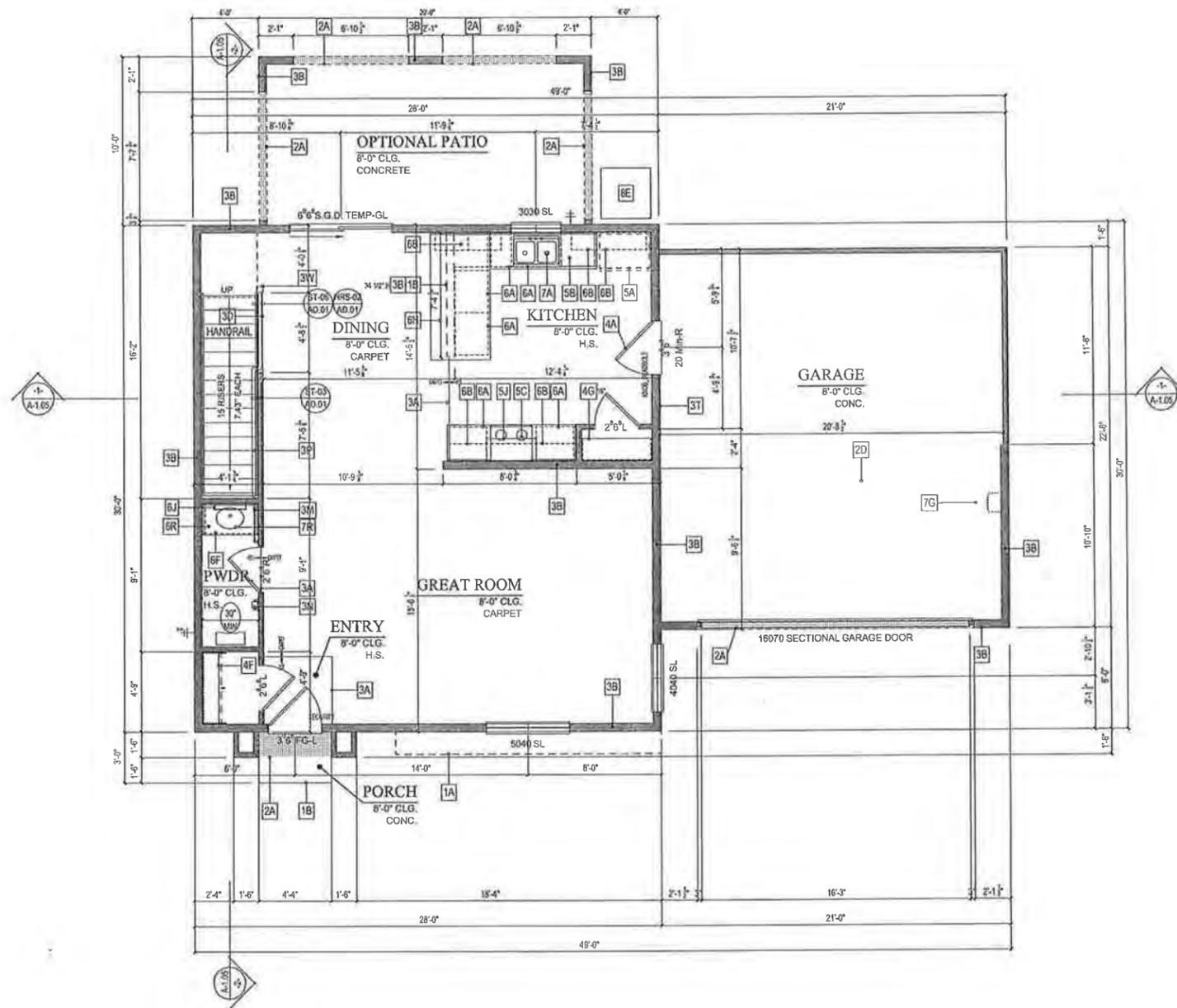
ALL WINDOWS AND GLASS DOORS WILL HAVE NON-METAL FRAMES WITH A WEIGHTED AVERAGE NFRC U-FACTOR OF .36 OR LESS AND A WEIGHTED AVERAGE SHGC OF .33 OR LESS WITH LOW-E GLASS

GLAZING NOTES:

- A. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.
- B. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED ETC) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES. MULTI-PANE ASSEMBLIES SHALL BE IDENTIFIED PER CRC R308.1.
- C. GLAZING IN SWINGING, SLIDING AND BIFOLD DOORS 9 SQUARE FEET OR LESS SHALL BE A MIN. CATEGORY CLASSIFICATION OF I AND II WHEN MORE THAN 9 SQUARE FEET OR SLIDING
- D. GLAZING OVER 9 SQUARE FEET IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL BE SATETY GLAZED.

EMERGENCY EGRESS NOTES:

- A. MIN. NET CLEAR OPENING OF 5.7 SQFT
- B. MIN. 5 SQFT FOR GRADE-FLOOR OPENINGS SEE DEFINITION OF "GRADE FLOOR OPENING"
- C. MIN. NET CLEAR OPENING WIDTH OF 20"
- D. MIN NET CLEAR HEIGHT OF 24"
- E. SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.



FIRST FLOOR PLAN "COLONIAL"

SCALE: 1/4" = 1' - 0"

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FLOOR PLAN - KEYED NOTES

- FP FLOOR PLAN
- 1A LINE OF FLOOR/WALL ABOVE
- 1B LINE OF FLOOR/WALL BELOW
- 2A LINE OF EXTERIOR SOFFIT - SEE ELEVATIONS
- 2D CONCRETE GARAGE SLAB - SLOPE A MINIMUM OF 2"
- 3A LINE OF FLOOR MATERIAL CHANGE
- 3B 2x6 STUD WALL FRAMING
- 3D STAIR RAILING (36" HIGH ABOVE STAIR TREAD NOSING) W/ BALUSTERS SPACED AT 3 9/16"
- 3E MAX CLEAR - SEE DETAIL - ST-08
- 3M TOWEL BAR - PROVIDE 2x BACKING AT 54" TO CENTER
- 3N TOILET PAPER HOLDER - PROVIDE 2x BACKING AT 24" TO CENTER
- 3P *36 HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL - ST-03
- 3T MINIMUM (1) LAYER 1/2" TYPE X GYPSUM BOARD AT ALL GARAGE TO HOUSE WALL, DRYWALL TO EXTEND FROM FINISHED FLOOR TO BOTTOM OF ROOF SHEATHING. PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE PROTECTED (SUCH AS THOSE FOR VENTS, PIPES, DUCTS, CABLES, AND WIRES) WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION (CRC R302.5)
- 3W WOOD POST ANCHORED WITH (2) 1/2" DIA WOOD LAG SCREWS TO STAIR WALLS - SEE DETAIL - HRS-02
- 4A 1 3/4" THICK SOLID CORE TIGHT-FITTING SELF-CLOSING 20 MINUTE RATED DOOR
- 4F ROD AND SHELF
- 4G SHELVING UNIT
- 5A 39" CLEAR REFRIGERATOR SPACE WITH RECESSED COLD WATER BIBB FOR ICE MAKER
- 5B 24" BUILT-IN DISHWASHER
- 5C 30" SLIDE-IN RANGE LIGHT AND EXHAUST FAN ABOVE
- 5J MICROWAVE HOOD VENT TO BE VENTED AT THE BACK WALL (RUN THROUGH FLOOR SYSTEM - IN JOIST BAY) VENT MUST BE AT MIN. 3' FROM ALL WINDOWS.
- 6A LOWER CABINETRY
- 6B UPPER CABINETRY
- 6F VANITY CABINETRY
- 6H EATING BAR
- 6J SURFACE MOUNT (MIRROR-FACED) MEDICINE CABINET
- 6R PREMIUM COUNTERTOP
- 7A 33" DOUBLE SINK WITH GARBAGE DISPOSAL
- 7G TANKLESS GAS WATER HEATER - INSTALL PER MANUFACTURES REQUIREMENTS. MANUFACTURER'S INSTRUCTIONS IN COMPLIANCE WITH C M C. CHAPTERS 3 & 7 AND C.P.C. CHAPTER 5.
- 7R CHINA UNDERMOUNT BOWL
- 8E AIR CONDITIONING CONDENSER UNIT SECURELY FASTENED TO CONCRETE OR FIBERGLASS PAD (REFER TO TRACT MAP FOR LOCATION)

SQUARE FOOTAGE CHART	
CONDITIONED	
1st Floor	840 SF
2nd Floor	803 SF
TOTAL	1643 SF
UNCONDITIONED	
Garage	473 SF
Porch	200 SF

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REVISION	DATE

Submittal Date

Project #	11020
Garage	ATTACHED/RH
Plan #	1643
Sheet #	A-1.01
Print Date	08/21/2014

FIRST FLOOR PLAN

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PLY-GEM WINDOWS:

PRODUCT	CPD#	U-FACTOR	SHGC
BDR/CNTR 400 SERIES SLIDER	PWG-M-124-01135-00002	0.3	0.2
PRO 960S SLIDING PATIO DOOR	PWG-M-144-00347-00001	0.31	0.21

NOTE: ALL FENESTRATIONS MUST HAVE BOTH TEMPORARY AND PERMANENT LABELS.

FINISH NOTES:

- A. A MINIMUM OF ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT SHALL BE APPLIED OVER STUDS OF ALL EXTERIOR WALLS. SPECIFY THAT TWO LAYERS OF GRADE D OR 60 MINUTE GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.
- B. A MINIMUM 0.019" (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT OR PLASTIC WEEP SCREED LOCATED BELOW FOUNDATION PLATE LINE AND 4" ABOVE GRADE ON ALL EXTERIOR STUD WALLS OR 2" ABOVE PAVED AREAS.

PIPE INSULATION NOTES:

- A. FIRST 5' OF HOT AND COLD WATER PIPES CLOSEST TO WATER HEATER TANK TO HAVE 1" INSULATION PER STD. TABLE 150-B.
- B. COOLING SYSTEM REFRIGERANT SUCTION PIPING TO HAVE 3/4" INSULATION PER STD. TABLE 150-B.
- C. PIPE INSULATION IS PROTECTED FROM DAMAGE, INCLUDING THAT DUE TO SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE, AND WIND.
- D. PIPE INSULATION FOR REFRIGERANT SUCTION LINES INCLUDE A VAPOR RETARDANT OR IS ENCLOSED ENTIRELY IN CONDITIONED SPACE.

NFRC U-FACTOR AND SHGC VALUES:

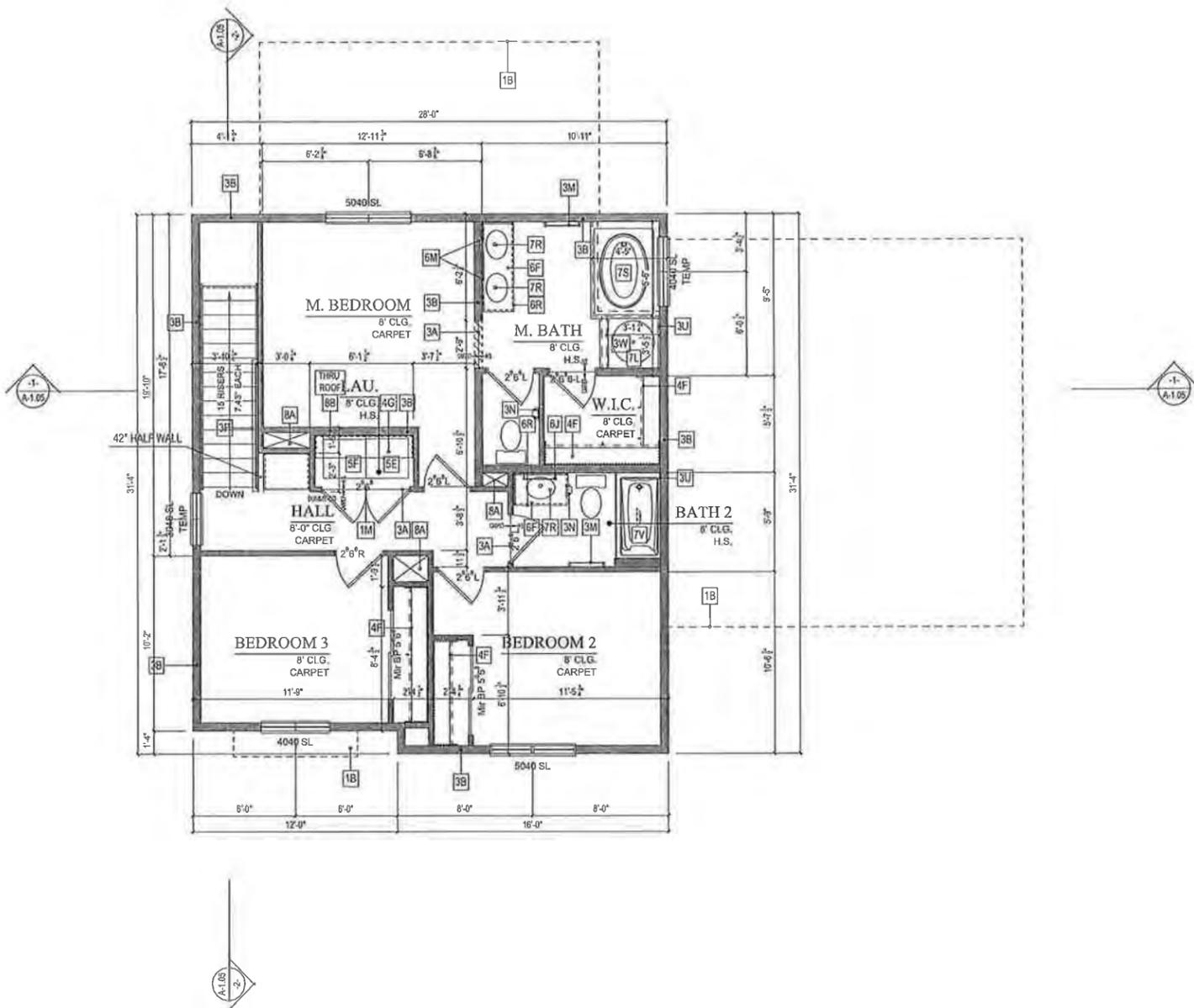
ALL WINDOWS AND GLASS DOORS WILL HAVE NON-METAL FRAMES WITH A WEIGHTED AVERAGE NFRC U-FACTOR OF .36 OR LESS AND A WEIGHTED AVERAGE SHGC OF .33 OR LESS WITH LOW-E GLASS

GLAZING NOTES:

- A. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.
- B. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED ETC) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES. MULTI-PANE ASSEMBLIES SHALL BE IDENTIFIED PER CRC R308.1.
- C. GLAZING IN SWINGING, SLIDING AND BIFOLD DOORS 9 SQUARE FEET OR LESS SHALL BE A MIN. CATEGORY CLASSIFICATION OF I AND II WHEN MORE THAN 9 SQUARE FEET OR SLIDING
- D. GLAZING OVER 9 SQUARE FEET IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL BE SAFETY GLAZED.

EMERGENCY EGRESS NOTES:

- A. MIN. NET CLEAR OPENING OF 5.7 SQFT
- B. MIN. 5 SQFT FOR GRADE-FLOOR OPENINGS SEE DEFINITION OF "GRADE FLOOR OPENINGS"
- C. MIN. NET CLEAR OPENING WIDTH OF 20"
- D. MIN NET CLEAR HEIGHT OF 24"
- E. SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.



SECOND FLOOR PLAN "COLONIAL"

SCALE: 1/4" = 1'-0"

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FLOOR PLAN - KEYED NOTES

- FP *****
- 1B LINE OF FLOORWALL BELOW
- 1M 8" TALL x 14" WIDE VENT ABOVE DOOR.
- 3A LINE OF FLOOR MATERIAL CHANGE
- 3B 2x6 STUD WALL FRAMING
- 3M TOWEL BAR - PROVIDE 2x BACKING AT 54" TO CENTER
- 3N TOILET PAPER HOLDER - PROVIDE 2x BACKING AT 24" TO CENTER
- 3P +36 HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL - ST-03
- 3U DENSSHIELD OR APPROVED EQUIVALENT AROUND TUB/SHOWERS TO A MIN. OF 72" ABOVE DRAIN
- 3W Glazing in door an enclosures for hot tubs, whirlpools, saunas, steam rooms, bathrooms, showers less than 5 feet above the standing surface shall have a minimum category classification of II (CPSC 16 CFR 1201). (CRC TR30S.3.1 (1) & 30S 4(5))
- 4F ROD AND SHELF
- 4G SHELVING UNIT
- 5E CLOTHES WASHER SPACE - PROVIDE HOT & COLD WATER SUPPLY (RECESSED) & WASTE CONNECTIONS PROVIDE AN APPROVED "SMITTY" PAN WHEN WASHER IS LOCATED ON SECOND FLOOR
- 5F CLOTHES DRYER SPACE - PROVIDE VENT TO OUTSIDE AIR
- 6F VANITY CABINETRY
- 6J SURFACE MOUNT (MIRROR-FACED) MEDICINE CABINET
- 6M BEVELLED WALL MOUNT MIRROR
- 6R PREMIUM COUNTERTOP
- 7L HOT-MOPPED SHOWER PAN WITH 3" CURB, MUDSET TILE FLOOR, AND GRANITE SURROUND TO +84" A F F. PROVIDE TEMPERED GLASS ENCLOSURE AND DOOR. POSITION SHOWER HEAD AT +76" A F F. DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN.
- 7R CHINA UNDERMOUNT BOWL
- 7S 60"x42" DROP IN TUB DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN.
- 7V 32"x60" TUB UNIT W/HARD SURFACE SURROUND - PROVIDE GLASS ENCLOSURE DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN
- 8A DUCT CHASE
- 8B 4" DIAMETER DRYER VENT TO OUTSIDE AIR - MAXIMUM 14' LONG W/ (2) 90 DEG. ELBOWS UNLESS APPROVED OTHERWISE

SQUARE FOOTAGE CHART	
CONDITIONED	
1st Floor	840 SF
2nd Floor	803 SF
TOTAL	1643 SF
UNCONDITIONED	
Garage	473 SF
Porch	200 SF

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REVISION	DATE

Submission Date

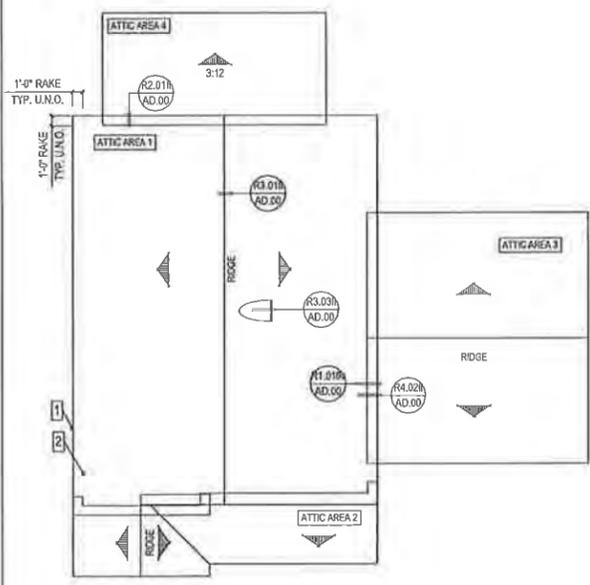
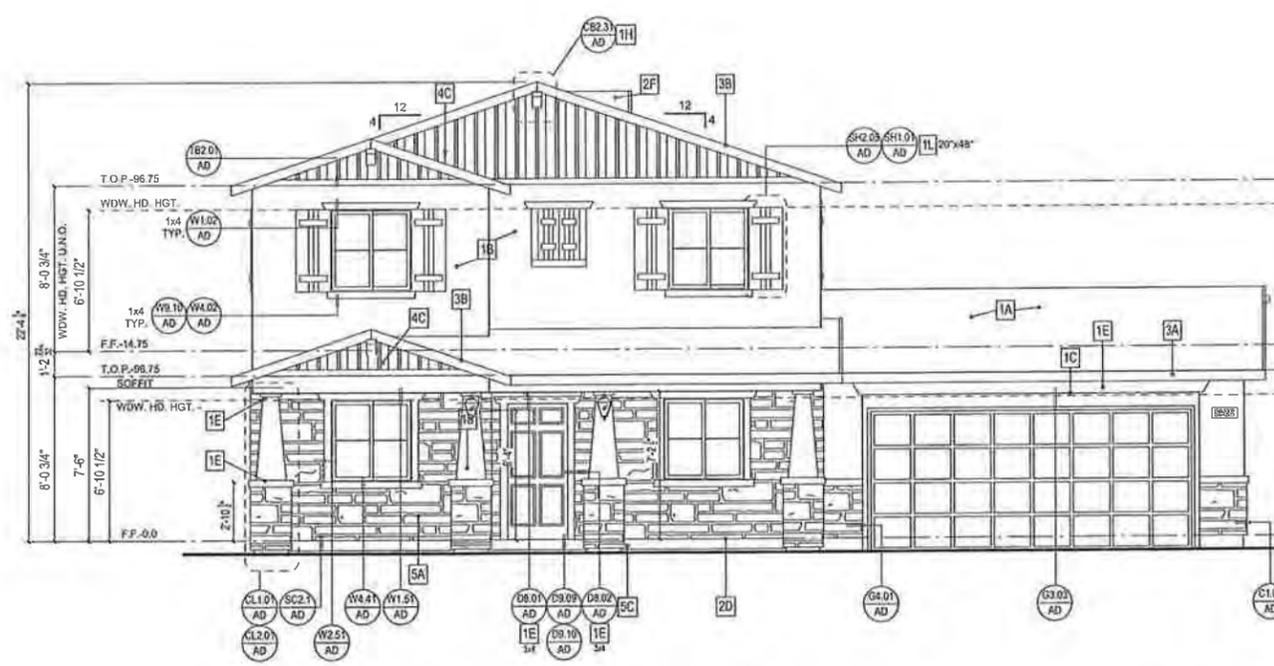
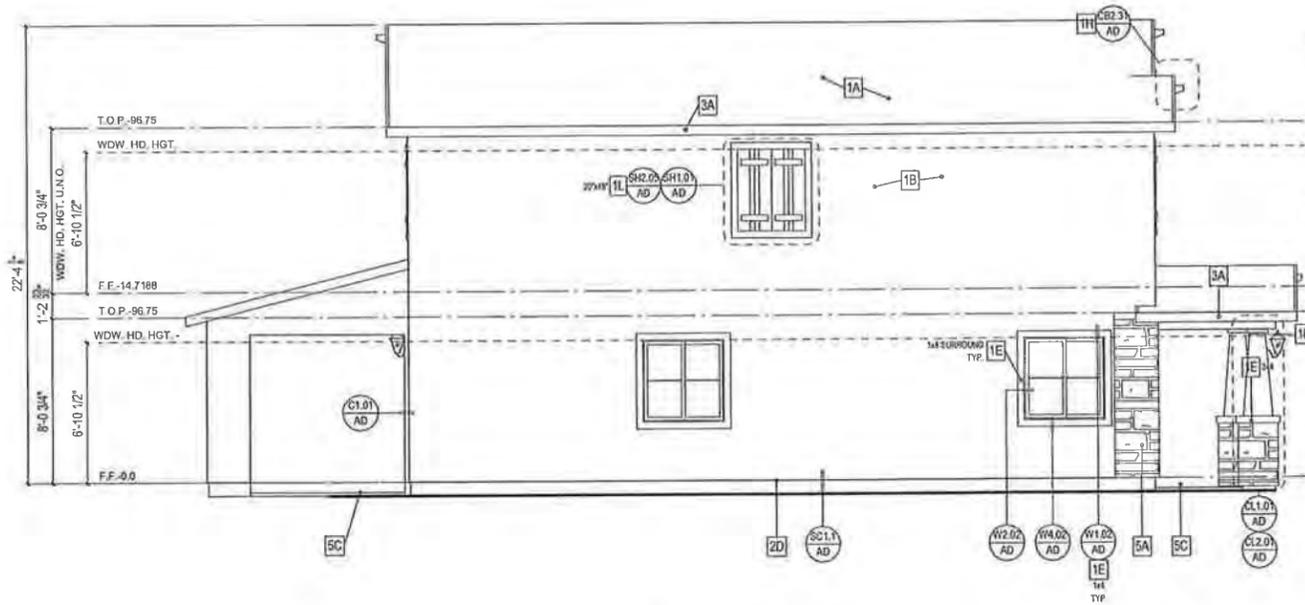
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 Garage ATTACHED/RH
 Plan # 1643
 Sheet # A-1.02
 Print Date 08/21/2014

SECOND FLOOR PLAN

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ATTIC VENTILATION REQUIREMENTS

ATTIC AREA '1' =	1020 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (1020 SQ. FT.) / 300 = 3.4 SQ. FT. X 144 =	490 SQ. IN.
50% OF REQUIRED VENTILATION =	245 SQ. IN.
UPPER VENTILATION PROVIDED:	
(2) "C&J" #LV1424 GABLE END VENTS AT 119 SQ. IN. =	238 SQ. IN.
(1) "C&J" #DM24S DORMER VENTS AT 99 SQ. IN. =	99 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	337 SQ. IN.
LOWER VENTILATION PROVIDED:	
(76) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	380 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	380 SQ. IN.
TOTAL VENTILATION PROVIDED:	717 SQ. IN.
ATTIC AREA '2' =	168 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (168 SQ. FT.) / 150 = 1.12 SQ. FT. X 144 =	161 SQ. IN.
LOWER VENTILATION PROVIDED:	
(23) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	115 SQ. IN.
TOTAL VENTILATION PROVIDED:	115 SQ. IN.
ATTIC AREA '3' GARAGE =	473 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (473 SQ. FT.) / 150 = 3.15 SQ. FT. X 144 =	454 SQ. IN.
50% OF REQUIRED VENTILATION =	227 SQ. IN.
UPPER VENTILATION PROVIDED:	
(2) "C&J" #LV1424 GABLE END VENTS AT 119 SQ. IN. =	238 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	238 SQ. IN.
LOWER VENTILATION PROVIDED:	
(42) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	210 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	210 SQ. IN.
TOTAL VENTILATION PROVIDED:	448 SQ. IN.
ATTIC AREA '4' PATIO =	200 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (200 SQ. FT.) / 150 = 1.33 SQ. FT. X 144 =	192 SQ. IN.
VENTILATION PROVIDED:	
(22) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	110 SQ. IN.
TOTAL VENTILATION PROVIDED:	110 SQ. IN.



ROOF PLAN - GENERAL NOTES

- ROOF MATERIAL - CLASS 'A' CONCRETE ROOFING TILE (C.C. REPORT NO. ESR-1647 - OR APPROVED EQUAL OVER 30# ROOFING FELT (PROVIDE (2) LAYERS OF 30# ROOFING FELT ON LOWER ROOFS) - INSTALL PER MANUFACTURER'S INSTRUCTIONS - ROOF TILE NOT TO EXCEED 10 LBS. PER SQUARE FOOT
- ROOF TILE NAILING SHALL BE PER THE MANUFACTURER'S SPECIFICATIONS WITH THE FOLLOWING MINIMUM REQUIREMENTS:
 - A - 11 GA. CORROSION RESISTANT NAILS WITH MINIMUM 3/4" PENETRATION INTO SHEATHING PER C.R.C. SECTION 905.3.6 AND IN ACCORDANCE WITH C.R.C. TABLE 905.3.7
 - B - HEADS OF ALL TILE SHALL BE NAILED
 - C - THE NOSES OF ALL EAVE COURSE TILES SHALL BE FASTENED WITH APPROVED CLIPS
 - D - ALL TILES SHALL BE NAILED WITH A MINIMUM OF TWO (2) NAILS
 - E - THE NOSES OF ALL RIDGE, HIP AND RAKE TILES SHALL BE SET IN A BEAD OF APPROVED ROOFER'S MASTIC
- PROVIDE MINIMUM 28 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF-TO-WALL CONDITIONS
- PROVIDE DIVERTERS AS REQUIRED
- PROVIDE CROSS VENTILATION AT ALL ENCLOSED ATTIC SPACES - THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED IN ACCORDANCE WITH C.R.C. SECTION 806.2
- PROVIDE A MINIMUM 22"x30" ACCESS OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH 30" MINIMUM HEAD CLEARANCE - PROVIDE A 12"x12" OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH LESS THAN 30" HEAD CLEARANCE FOR VENTILATION
- NET FREE AIR VALUES FOR VENTS USED IN OUR VENTILATION CALCULATIONS ARE BASED ON AUGUST, 2007 VALUES PROVIDED BY "C & J METAL PRODUCTS INC." AT WWW.C.METALS.COM & BY "CHAGINVS, INC." AT WWW.DHAGNVENT.COM THESE VALUES ARE SUBJECT TO CHANGE WITHOUT NOTIFICATION AND MUST BE VERIFIED BY INSTALLER AT TIME OF INSTALLATION. APPROVED EQUAL PRODUCTS MUST PROVIDE THE NET FREE AIR VENTILATION TOTALS REQUIRED BY THE CALCULATIONS PROVIDED ON THESE ARCHITECTURAL DRAWINGS
- ALL ROOF, WALL AND EAVE VENTS SHALL BE SCREENED WITH CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4" MAXIMUM MESH OPENINGS

ROOF PLAN - KEYNOTES & SYMBOLS

- SYMBOL OF REFERENCES
- 1 EDGE OF ROOF
 - 2 EDGE OF BUILDING BELOW
 - 3 CHIMNEY
 - 4 CORROSION RESISTANT METAL CRICKET
 - 5 CORROSION RESISTANT METAL SADDLE FLASHING AT CHIMNEY
- INDICATES DIRECTION OF ROOF PITCH
- INDICATES HALF-ROUND LOUVERED DORMER VENT - "C & J METAL PRODUCTS INC." OR APPROVED EQUAL
- INDICATES "O'HAGINS" CLOAKED TILE VENT @ 95 S.I. NET FREE VENTILATING AREA EACH OR APPROVED EQUAL

ROOF PLAN & ELEVATION - KEYED NOTES

- ELEV
- 1A ROOFING MATERIAL - SEE ROOF PLAN
 - 1B EXTERIOR PLASTER - THREE COAT STUCCO SYSTEM
 - 1C STUCCO OVER HIGH RIBBED METAL LATH AT SOFFIT/CEILING
 - 1E STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM TRIM
 - 1H STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM CORBEL
 - 1L MIRATEC SHUTTER - SEE ELEVATION FOR SIZE
 - 2D CORROSION RESISTANT METAL WEEP SCREE
 - 2F CORROSION RESISTANT METAL DORMER VENT
 - 3A 2x6 WOOD FASCIA U.N.O.
 - 3B 2x6 WOOD BARGE BOARD U.N.O.
 - 3C VINYL BOARD AND BATTEN - SEE ELEVATIONS
 - 5A STONE VENEER ADHERED TO STUCCO - INSTALL PER MANUFACTURER'S INSTRUCTIONS
 - 5C CONCRETE STOOP/PORCH - REFER TO SLAB EDGE PLAN FOR SIZE
- ROOF
- 1 EDGE OF ROOF
 - 2 EDGE OF BUILDING BELOW

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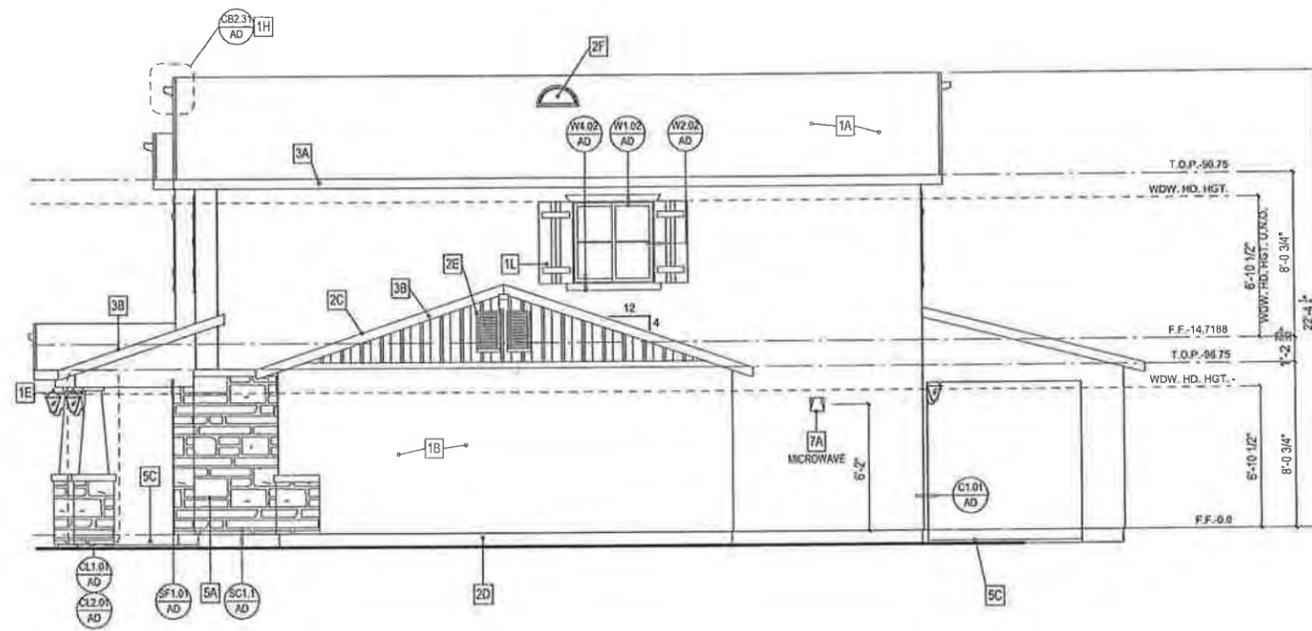
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Project #	11020
Garage ATTACHED/RH	
Plan #	1988
Sheet #	A-1.03
Print Date	08/12/2014

EXTERIOR ELEVATIONS & ROOF PLAN

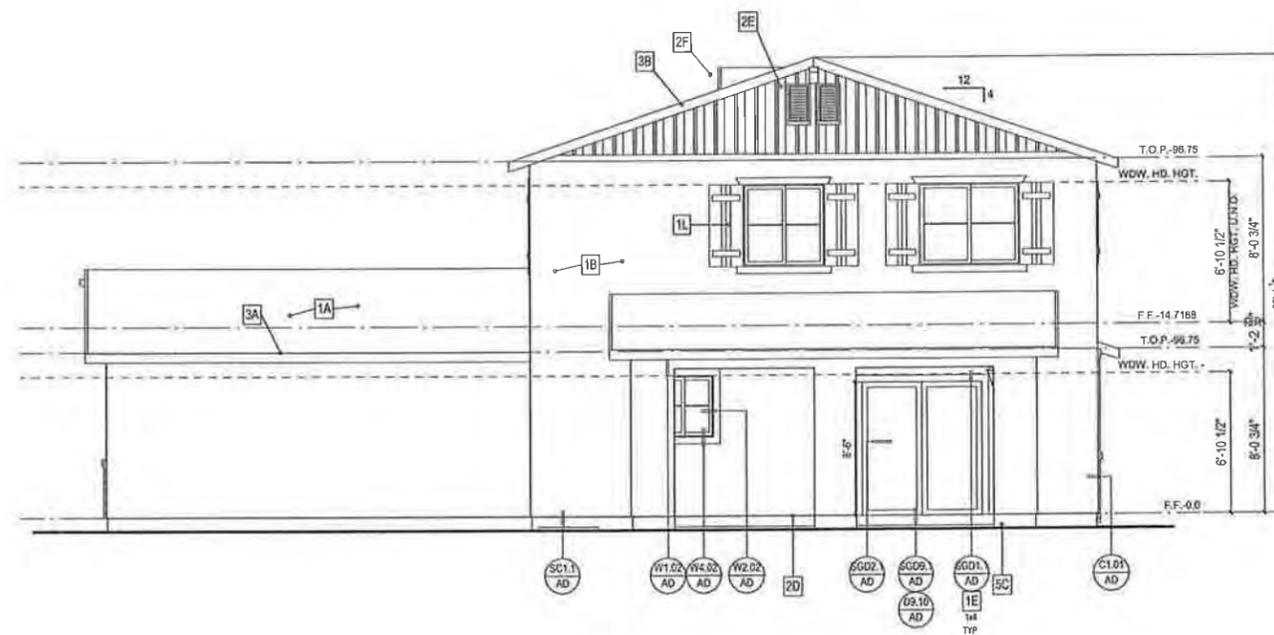
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RIGHT ELEVATION "CRAFTSMAN FULL STONE"

SCALE: 1/4" = 1' - 0"



REAR ELEVATION "CRAFTSMAN FULL STONE"

SCALE: 1/4" = 1' - 0"

ELEVATION - KEYED NOTES

ELEV

- 1A ROOFING MATERIAL - SEE ROOF PLAN
- 1B EXTERIOR PLASTER - THREE COAT STUCCO SYSTEM
- 1E STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM TRIM
- 1H STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM CORBEL
- 1L MIRATEC SHUTTER - SEE ELEVATION FOR SIZE
- 2C CORROSION RESISTANT METAL FLASHING AT ROOF TO WALL
- 2D CORROSION RESISTANT METAL WEEP SCREED
- 2E CORROSION RESISTANT METAL LOUVERED GABLE END VENT
- 2F CORROSION RESISTANT METAL DORMER VENT
- 3A 2x6 WOOD FASCIA U.N.O.
- 3B 2x6 WOOD BARGE BOARD U.N.O.
- 5A STONE VENEER ADHERED TO STUCCO - INSTALL PER MANUFACTURER'S INSTRUCTIONS
- 5C CONCRETE STOOP/PORCH - REFER TO SLAB EDGE PLAN FOR SIZE
- 7A HOOD VENT

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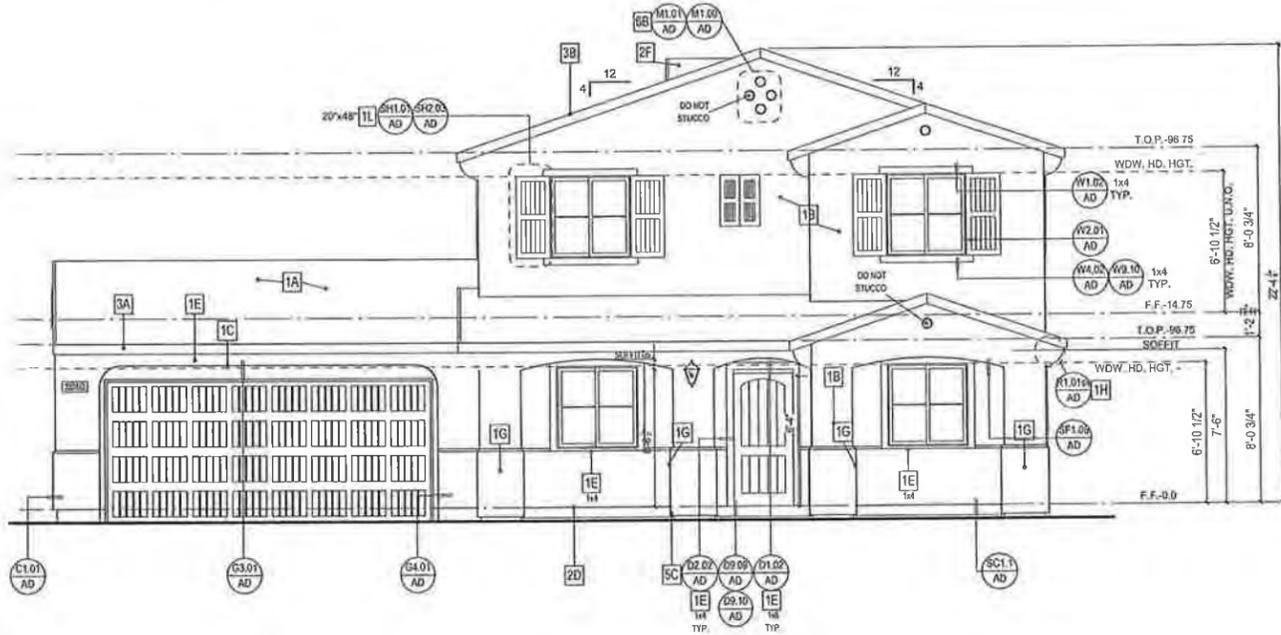
Project #	11020
Garage	ATTACHED/RH
Plan #	1988
Sheet #	A-1.04
Print Date	08/12/2014

EXTERIOR ELEVATIONS

65

ATTIC VENTILATION REQUIREMENTS

ATTIC AREA 1*	1020 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (1020 SQ. FT.) / 300 = 3.4 SQ. FT. X 144 =	490 SQ. IN.
50% OF REQUIRED VENTILATION =	245 SQ. IN.
UPPER VENTILATION PROVIDED:	
(2) "C&J" #LV1424 GABLE END VENTS AT 119 SQ. IN. =	238 SQ. IN.
(1) "C&J" #DM245 DORMER VENTS AT 99 SQ. IN. =	99 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	337 SQ. IN.
LOWER VENTILATION PROVIDED:	
(76) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	380 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	380 SQ. IN.
TOTAL VENTILATION PROVIDED:	717 SQ. IN.
ATTIC AREA 2*	168 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (168 SQ. FT.) / 150 = 1.12 SQ. FT. X 144 =	161 SQ. IN.
LOWER VENTILATION PROVIDED:	
(23) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	115 SQ. IN.
TOTAL VENTILATION PROVIDED:	115 SQ. IN.
ATTIC AREA 3* GARAGE	473 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (473 SQ. FT.) / 150 = 3.15 SQ. FT. X 144 =	454 SQ. IN.
50% OF REQUIRED VENTILATION =	204 SQ. IN.
UPPER VENTILATION PROVIDED:	
(2) "C&J" #LV1424 GABLE END VENTS AT 119 SQ. IN. =	238 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	238 SQ. IN.
LOWER VENTILATION PROVIDED:	
(42) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	210 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	210 SQ. IN.
TOTAL VENTILATION PROVIDED:	448 SQ. IN.
ATTIC AREA 4* PATIO	200 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (200 SQ. FT.) / 150 = 1.33 SQ. FT. X 144 =	192 SQ. IN.
VENTILATION PROVIDED:	
(22) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	110 SQ. IN.
TOTAL VENTILATION PROVIDED:	110 SQ. IN.



FRONT ELEVATION "SPANISH WAINSCOT"

SCALE: 1/4" = 1'-0"

ROOF PLAN - GENERAL NOTES

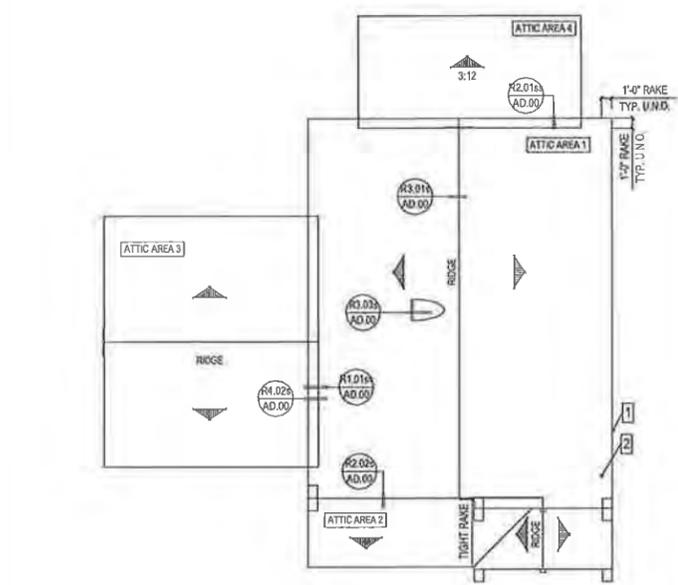
- ROOF MATERIAL - CLASS 'A' CONCRETE ROOFING TILE I.C.C. REPORT NO. ESR-1647 - OR APPROVED EQUAL OVER 30# ROOFING FELT (PROVIDE (2) LAYERS OF 30# ROOFING FELT ON LOWER ROOFS) - INSTALL PER MANUFACTURER'S INSTRUCTIONS - ROOF TILE NOT TO EXCEED 10 LBS. PER SQUARE FOOT
- ROOF TILE NAILING SHALL BE PER THE MANUFACTURER'S SPECIFICATIONS WITH THE FOLLOWING MINIMUM REQUIREMENTS:
 - 11 GA. CORROSION RESISTANT NAILS WITH MINIMUM 3/4" PENETRATION INTO SHEATHING PER C.R.C. SECTION 905.3.6 AND IN ACCORDANCE WITH C.R.C. TABLE 905.3.7
 - HEADS OF ALL TILE SHALL BE NAILED
 - THE NOSES OF ALL EAVE COURSE TILES SHALL BE FASTENED WITH APPROVED CLIPS
 - ALL TILES SHALL BE NAILED WITH A MINIMUM OF TWO (2) NAILS
 - THE NOSES OF ALL RIDGE, HIP AND RAKE TILES SHALL BE SET IN A BEAD OF APPROVED ROOFER'S MASTIC
- PROVIDE MINIMUM 26 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF-TO-WALL CONDITIONS
- PROVIDE DIVERTERS AS REQUIRED
- PROVIDE CROSS VENTILATION AT ALL ENCLOSED ATTIC SPACES - THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/50 OF THE AREA OF THE SPACE VENTILATED IN ACCORDANCE WITH C.R.C. SECTION 806.2
- PROVIDE A MINIMUM 22"x20" ACCESS OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH 30" MINIMUM HEAD CLEARANCE - PROVIDE A 12"x12" OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH LESS THAN 30" HEAD CLEARANCE FOR VENTILATION
- NET FREE AIR VALUES FOR VENTS USED IN OUR VENTILATION CALCULATIONS ARE BASED ON AUGUST, 2007 VALUES PROVIDED BY 'C & J METAL PRODUCTS INC.' AT WWW.CJMETALS.COM & BY 'O'HAGINS, INC.' AT WWW.OHAGINVENT.COM THESE VALUES ARE SUBJECT TO CHANGE WITHOUT NOTIFICATION AND MUST BE VERIFIED BY INSTALLER AT TIME OF INSTALLATION - APPROVED EQUAL PRODUCTS MUST PROVIDE THE NET FREE AIR VENTILATION TOTALS REQUIRED BY THE CALCULATIONS PROVIDED ON THESE ARCHITECTURAL DRAWINGS
- ALL ROOF, WALL AND EAVE VENTS SHALL BE SCREENED WITH CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4" MAXIMUM MESH OPENINGS

ROOF PLAN - KEYNOTES & SYMBOLS

- SYMBOL OF REFERENCES
- EDGE OF ROOF
 - EDGE OF BUILDING BELOW
 - CHIMNEY
 - CORROSION RESISTANT METAL CRICKET
 - CORROSION RESISTANT METAL SADDLE FLASHING AT CHIMNEY
- INDICATES DIRECTION OF ROOF PITCH
- INDICATES HALF-ROUND LOUVERED DORMER VENT - 'C & J METAL PRODUCTS INC.' OR APPROVED EQUAL
- INDICATES "O'HAGINS" CLOAKED TILE VENT @ 95 S.I. NET FREE VENTILATING AREA EACH OR APPROVED EQUAL

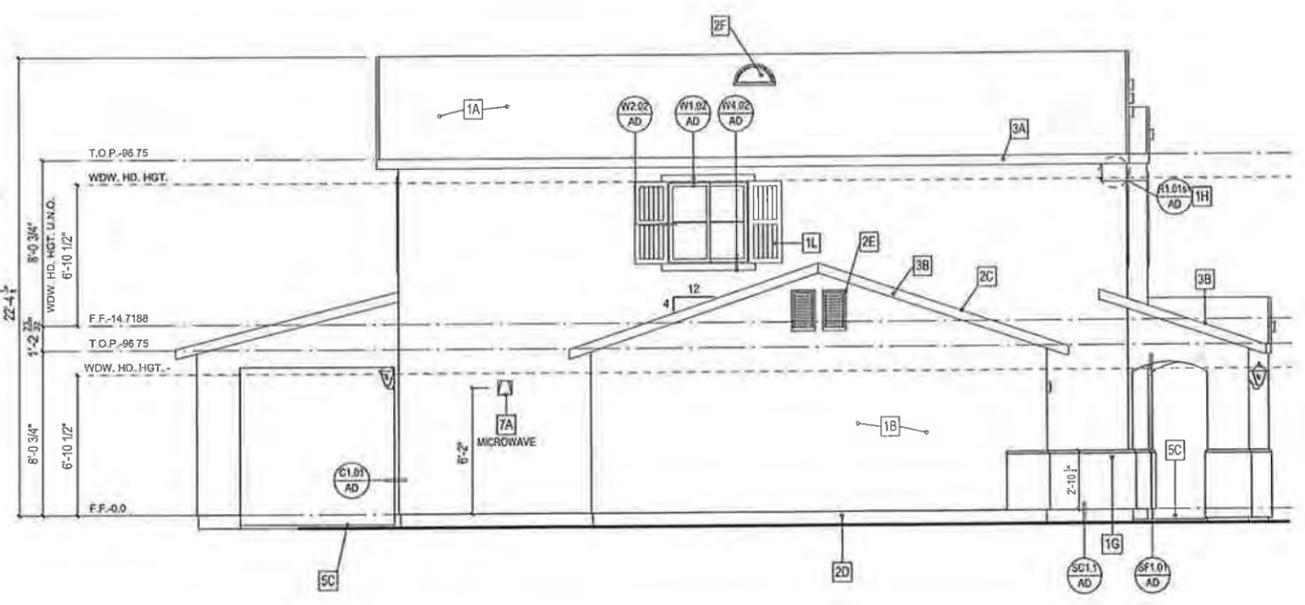
ROOF PLAN & ELEVATION - KEYED NOTES

- ELEV
- ROOFING MATERIAL - SEE ROOF PLAN
 - EXTERIOR PLASTER - THREE COAT STUCCO SYSTEM
 - STUCCO OVER HIGH RIBBED METAL LATH AT SOFFIT/CEILING
 - STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM TRIM
 - STUCCO-FINISHED PROJECTED WAINSCOT
 - STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM CORBEL
 - MIRATEC SHUTTER - SEE ELEVATION FOR SIZE
 - CORROSION RESISTANT METAL FLASHING AT ROOF TO WALL
 - CORROSION RESISTANT METAL WEEP SCREED
 - CORROSION RESISTANT METAL LOUVERED GABLE END VENT
 - CORROSION RESISTANT METAL DORMER VENT
 - 2x6 WOOD FASCIA U.N.D.
 - 2x6 WOOD BARGE BOARD U.N.D.
 - CONCRETE STOOP/PORCH - REFER TO SLAB EDGE PLAN FOR SIZE
 - FALSE CLAY PIPE VENT
 - HOOD VENT
- ROOF
- EDGE OF ROOF
 - EDGE OF BUILDING BELOW



ROOF PLAN "SPANISH WAINSCOT"

ROOF PITCH: 4:12 U.N.D.
ROOF MATERIAL: CONCRETE TILES
SCALE: 1/8" = 1'-0"



LEFT ELEVATION "SPANISH WAINSCOT"

SCALE: 1/4" = 1'-0"

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REVISION	DATE

Submittal Date

EXTERIOR ELEVATIONS & ROOF PLAN

Project #
11020

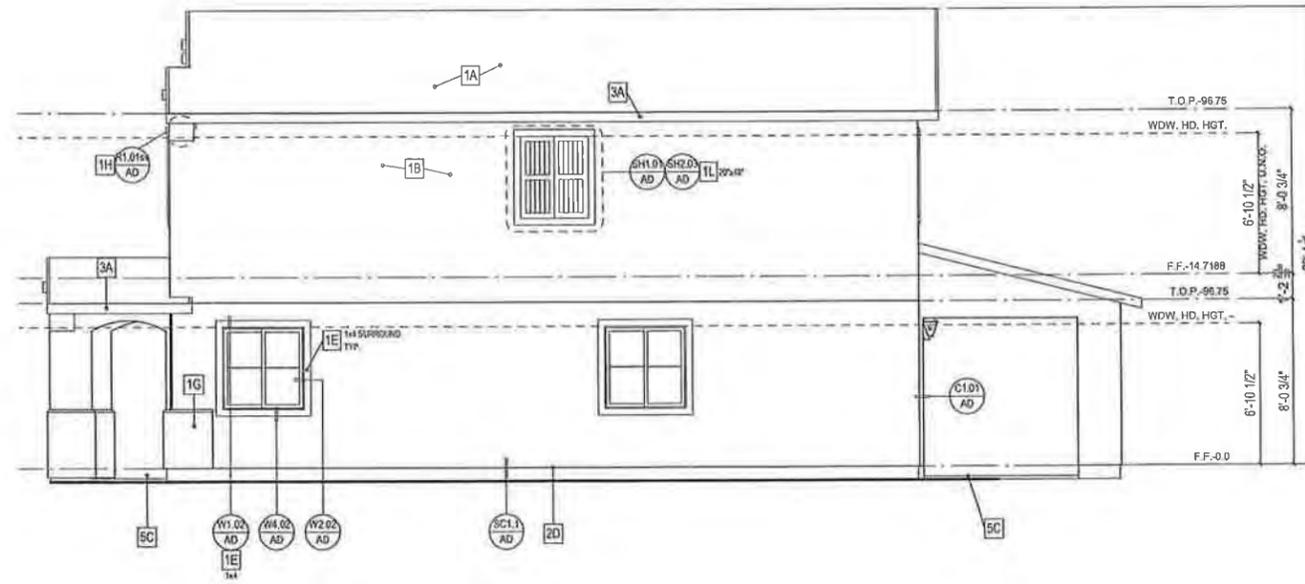
Garage
ATTACHED/LH

Plan #
1988

Sheet #
A-1.03

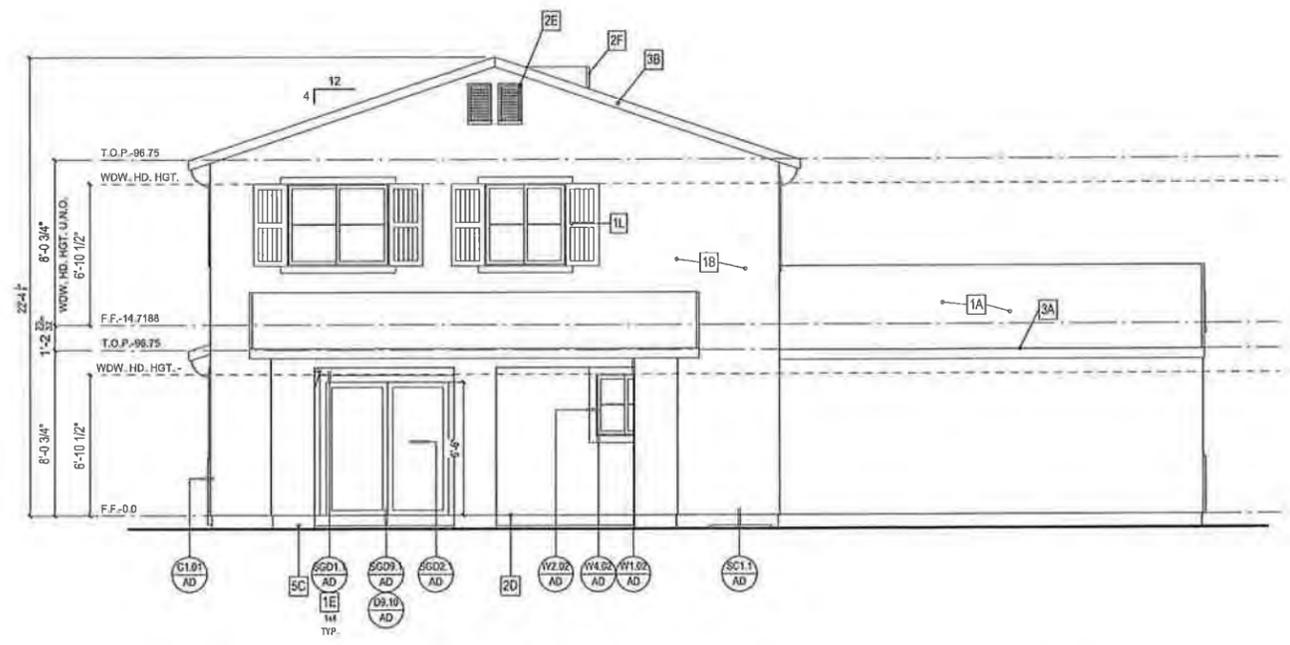
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RIGHT ELEVATION "SPANISH WAINSCOT"

SCALE: 1/4" = 1'-0"



REAR ELEVATION "SPANISH WAINSCOT"

SCALE: 1/4" = 1'-0"

ELEVATION - KEYED NOTES

- ELEV
- 1A ROOFING MATERIAL - SEE ROOF PLAN
 - 1B EXTERIOR PLASTER - THREE COAT STUCCO SYSTEM
 - 1E STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM TRIM
 - 1G STUCCO-FINISHED PROJECTED WAINSCOT
 - 1H STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM CORBEL
 - 1L MIRATEC SHUTTER - SEE ELEVATION FOR SIZE
 - 2D CORROSION RESISTANT METAL WEEP SCREED
 - 2E CORROSION RESISTANT METAL LOUVERED GABLE END VENT
 - 3A 2x8 WOOD FASCIA U.N.O.
 - 3B 2x8 WOOD BARGE BOARD U.N.O.
 - 5C CONCRETE STOOP/PORCH - REFER TO SLAB EDGE PLAN FOR SIZE

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REVISION	DATE

Submittal Date

Project #	11020
Garage	ATTACHED/LH
Plan #	1988
Sheet #	A-1.04
Print Date	09/10/2014

EXTERIOR ELEVATIONS

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PLY-GEM WINDOWS:

PRODUCT	CPD#	U-FACTOR	SHGC
BDR/CNTR 400 SERIES SLIDER	PWG-M-124-01135-00002	0.3	0.2
PRO 960S SLIDING PATIO DOOR	PWG-M-144-00347-00001	0.31	0.21

NOTE: ALL FENESTRATIONS MUST HAVE BOTH TEMPORARY AND PERMANENT LABLES.

FINISH NOTES:

- A. A MINIMUM OF ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT SHALL BE APPLIED OVER STUDS OF ALL EXTERIOR WALLS. SPECIFY THAT TWO LAYERS OF GRADE D OR 60 MINUTE GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.
- B. A MINIMUM 0.019" (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT OR PLASTIC WEEP SCREED LOCATED BELOW FOUNDATION PLATE LINE AND 4" ABOVE GRADE ON ALL EXTERIOR STUD WALLS OR 2" ABOVE PAVED AREAS.

PIPE INSULATION NOTES:

- A. FIRST 5' OF HOT AND COLD WATER PIPES CLOSEST TO WATER HEATER TANK TO HAVE 1" INSULATION PER STD. TABLE 150-B.
- B. COOLING SYSTEM REFRIDGERANT SUCTION PIPING TO HAVE 3/4" INSULATION PER STD. TABLE 150-B.
- C. PIPE INSULATION IS PROTECTED FROM DAMAGE, INCLUDING THAT DUE TO SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE, AND WIND.
- D. PIPE INSULATION FOR REFRIDGERANT SUCTION LINES INCLUDE A VAPOR RETARDANT OR IS ENCLOSED ENTIRELY IN CONDITIONED SPACE.

NFRC U-FACTOR AND SHGC VALUES:

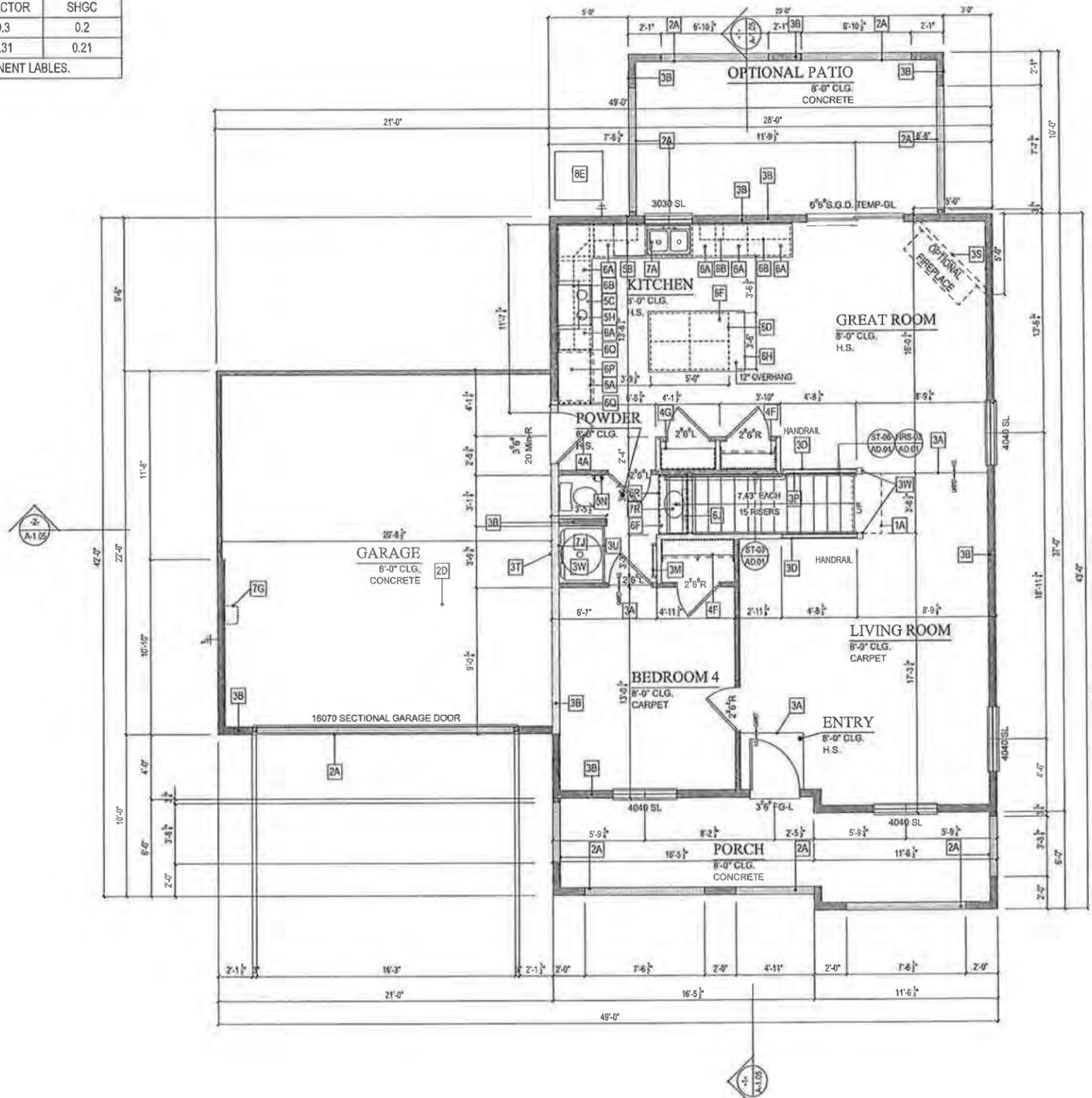
ALL WINDOWS AND GLASS DOORS WILL HAVE NON-METAL FRAMES WITH A WEIGHTED AVERAGE NFRC U-FACTOR OF .36 OR LESS AND A WEIGHTED AVERAGE SHGC OF .33 OR LESS WITH LOW-E GLASS

GLAZING NOTES:

- A. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.
- B. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED ETC) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES. MULTI-PANE ASSEMBLIES SHALL BE IDENTIFIED PER CRC R308.1.
- C. GLAZING IN SWINGING, SLIDING AND BIFOLD DOORS 9 SQUARE FEET OR LESS SHALL BE A MIN. CATEGORY CLASSIFICATION OF I AND II WHEN MORE THAN 9 SQUARE FEET OR SLIDING.
- D. GLAZING OVER 9 SQUARE FEET IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL BE SATETY GLAZED.

EMERGENCY EGRESS NOTES:

- A. MIN. NET CLEAR OPENING OF 5.7 SQFT
- B. MIN. 5 SQFT FOR GRADE-FLOOR OPENINGS SEE DEFINITION OF "GRADE FLOOR OPENING"
- C. MIN. NET CLEAR OPENING WIDTH OF 20"
- D. MIN NET CLEAR HEIGHT OF 24"
- E. SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.



FIRST FLOOR PLAN "SPANISH WAINSCOT"

SCALE: 1/4" = 1'-0"

FLOOR PLAN - KEYED NOTES

- FP FLOOR PLAN
- 1A LINE OF FLOOR/WALL ABOVE
- 2A LINE OF EXTERIOR SOFFIT - SEE ELEVATIONS
- 2D CONCRETE GARAGE SLAB - SLOPE A MINIMUM OF 2"
- 3A LINE OF FLOOR MATERIAL CHANGE
- 3B 2x6 STUD WALL FRAMING
- 3D STAIR RAILING (36" HIGH ABOVE STAIR TREAD NOSING) W/ BALUSTERS SPACED AT 3 9/16" MAX. CLEAR - SEE DETAIL - ST-05
- 3M TOWEL BAR - PROVIDE 2x BACKING AT 54" TO CENTER
- 3N TOILET PAPER HOLDER - PROVIDE 2x BACKING AT 24" TO CENTER
- 3P 3/8" HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL - ST-03
- 3S "HEATLATOR" HDV3630 NOVUS DIRECT VENT GAS APPLIANCE - ANSI Z21.88B-2008 - OR APPROVED EQUAL - INSTALL PER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH IT'S LISTING
- 3T MINIMUM (1) LAYER 1/2" TYPE X GYPSUM BOARD AT ALL GARAGE TO HOUSE WALL, DRYWALL TO EXTEND FROM FINISHED FLOOR TO BOTTOM OF ROOF SHEATHING. PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE PROTECTED (SUCH AS THOSE FOR VENTS, PIPES, DUCTS, CABLES, AND WIRES) WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION (CRC R302.5)
- 3U DENSSHIELD OR APPROVED EQUIVALENT AROUND TUB/SHOWERS TO A MIN. OF 72" ABOVE DRAIN.
- 3W WOOD POST ANCHORED WITH (2) 1/2" DIA WOOD LAG SCREWS TO STAIR WALLS - SEE DETAIL - HRS-02
- 4A 1 3/4" THICK SOLID CORE TIGHT-FITTING SELF-CLOSING 20 MINUTE RATED DOOR
- 4F ROD AND SHELF
- 4G SHELVING UNIT
- 5A 39" CLEAR REFRIGERATOR SPACE WITH RECESSED COLD WATER BIBB FOR ICE MAKER
- 5B 24" BUILT-IN DISHWASHER
- 5C 30" SLIDE-IN RANGE LIGHT AND EXHAUST FAN ABOVE.
- 5H MICROWAVE HOOD VENT VENTED DIRECTLY THROUGH WALL
- 6A LOWER CABINETRY
- 6B UPPER CABINETRY
- 6D ISLAND CABINETRY
- 6F VANITY CABINETRY
- 6H EATING BAR
- 6J SURFACE MOUNT (MIRROR-FACED) MEDICINE CABINET
- 6P UPPER DEEP CABINETRY
- 6Q DEEP TALL BASE FILLER
- 6R PREMIUM COUNTERTOP
- 7A 33" DOUBLE SINK WITH GARBAGE DISPOSAL
- 7G TANKLESS GAS WATER HEATER - INSTALL PER MANUFACTURER'S REQUIREMENTS. MANUFACTURER'S INSTRUCTIONS IN COMPLIANCE WITH C.M.C. CHAPTERS 3 & 7 AND C P C CHAPTER 5.
- 7J PRE-FORMED FIBERGLASS SHOWER UNIT - PROVIDE TEMPERED GLASS ENCLOSURE. DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN.
- 7R CHINA UNDERMOUNT BOWL
- 8E AIR CONDITIONING CONDENSER UNIT SECURELY FASTENED TO CONCRETE OR FIBERGLASS PAD (REFER TO TRACT MAP FOR LOCATION)

SQUARE FOOTAGE CHART	
CONDITIONED	
1st Floor	1020 SF
2nd Floor	968 SF
TOTAL	1988 SF
UNCONDITIONED	
Garage	473 SF
Porch	368 SF

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REVISION	DATE

Submittal Date

Project #
11020
Garage
ATTACHED/LH
Plan #
1988
Sheet #
A-1.01
Print Date
08/10/2014

FIRST FLOOR PLAN

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PLY-GEM WINDOWS:			
PRODUCT	CPD#	U-FACTOR	SHGC
BLDR/CNTR 400 SERIES SLIDER	PWG-M-124-01135-00002	0.3	0.2
PRO 960S SLIDING PATIO DOOR	PWG-M-144-00347-00001	0.31	0.21

NOTE: ALL FENESTRATIONS MUST HAVE BOTH TEMPORARY AND PERMANENT LABELS.

FINISH NOTES:

- A. A MINIMUM OF ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT SHALL BE APPLIED OVER STUDS OF ALL EXTERIOR WALLS. SPECIFY THAT TWO LAYERS OF GRADE D OR 60 MINUTE GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.
- B. A MINIMUM 0.019" (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT OR PLASTIC WEEP SCREED LOCATED BELOW FOUNDATION PLATE LINE AND 4" ABOVE GRADE ON ALL EXTERIOR STUD WALLS OR 2" ABOVE PAVED AREAS.

PIPE INSULATION NOTES:

- A. FIRST 5' OF HOT AND COLD WATER PIPES CLOSEST TO WATER HEATER TANK TO HAVE 1" INSULATION PER STD. TABLE 150-B.
- B. COOLING SYSTEM REFRIDGERANT SUCTION PIPING TO HAVE 3/4" INSULATION PER STD. TABLE 150-B.
- C. PIPE INSULATION IS PROTECTED FROM DAMAGE, INCLUDING THAT DUE TO SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE, AND WIND.
- D. PIPE INSULATION FOR REFRIDGERANT SUCTION LINES INCLUDE A VAPOR RETARDANT OR IS ENCLOSED ENTIRELY IN CONDITIONED SPACE.

NFRC U-FACTOR AND SHGC VALUES:

ALL WINDOWS AND GLASS DOORS WILL HAVE NON-METAL FRAMES WITH A WEIGHTED AVERAGE NFRC U-FACTOR OF .36 OR LESS AND A WEIGHTED AVERAGE SHGC OF .33 OR LESS WITH LOW-E GLASS

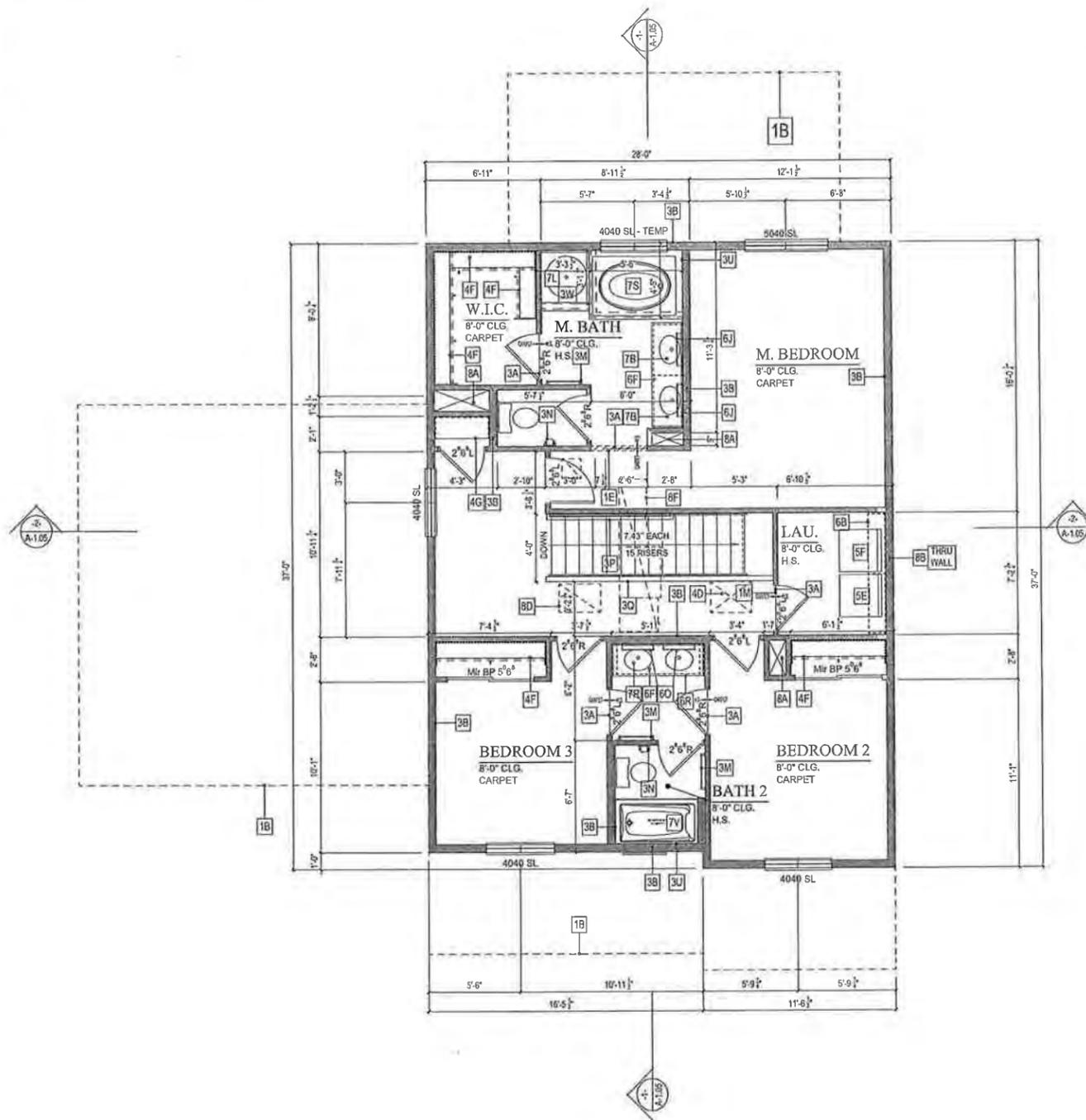
GLAZING NOTES:

- A. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.
- B. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED ETC) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES. MULTI-PANE ASSEMBLIES SHALL BE IDENTIFIED PER CRC R308.1.
- C. GLAZING IN SWINGING, SLIDING AND BIFOLD DOORS 9 SQUARE FEET OR LESS SHALL BE A MIN. CATEGORY CLASSIFICATION OF I AND II WHEN MORE THAN 9 SQUARE FEET OR SLIDING
- D. GLAZING OVER 9 SQUARE FEET IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL BE SATETY GLAZED.

EMERGENCY EGRESS NOTES:

- A. MIN. NET CLEAR OPENING OF 5.7 SQFT
- B. MIN. 5 SQFT FOR GRADE-FLOOR OPENINGS SEE DEFINITION OF "GRADE FLOOR OPENING"
- C. MIN. NET CLEAR OPENING WIDTH OF 20"
- D. MIN NET CLEAR HEIGHT OF 24"
- E. SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.

SECOND FLOOR PLAN "SPANISH WAINSCOT"



SCALE: 1/4" = 1'-0"

FLOOR PLAN - KEYED NOTES

- 1B LINE OF FLOOR/WALL BELOW
- 1E GYPSUM BOARD SOFFIT AT 7'-0"
- 1M 8" x 14" WIDE VENT ABOVE DOOR.
- 3A LINE OF FLOOR MATERIAL CHANGE
- 3B 2x6 STUD WALL FRAMING
- 3M TOWEL BAR - PROVIDE 2x BACKING AT 54" TO CENTER
- 3N TOILET PAPER HOLDER - PROVIDE 2x BACKING AT 24" TO CENTER
- 3P +36 HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL - ST-03
- 3Q +42" HIGH GYPSUM BOARD POLYWALL GUARDWALL
- 3U MINIMUM (1) LAYER 1/2" MOISTURE RESISTANT GYPSUM BOARD AROUND TUB/SHOWERS TO A MIN OF 72" ABOVE DRAIN
- 3W Glazing in door enclosures for hot tubs, whirlpools, saunas, steam rooms, bathrooms, showers less than 5 feet above the standing surface shall have a minimum category classification of II (CPSC 16 CFR 1201) (CRC TR30S 3.1 (1) & 30S 4(5))
- 4D APPROVED 22" X 30" ATTIC ACCESS REQUIRED BY C.B.C. SECTION 406.1.4 WITH MINIMUM 30" CLEAR HEADROOM ABOVE AND 24" WIDE WALKWAY
- 4F ROD AND SHELF
- 4G SHELVING UNIT
- 5E CLOTHES WASHER SPACE - PROVIDE HOT & COLD WATER SUPPLY (RECESSED) & WASTE CONNECTIONS PROVIDE AN APPROVED "SMITTY" PAN WHEN WASHER IS LOCATED ON SECOND FLOOR
- 5F CLOTHES DRYER SPACE - PROVIDE VENT TO OUTSIDE AIR
- 6B UPPER CABINETRY
- 6F VANITY CABINETRY
- 6J SURFACE MOUNT (MIRROR-FACED) MEDICINE CABINET
- 6K SURFACE MOUNT TRI-VIEW (MIRROR-FACED) MEDICINE CABINET
- 6R PREMIUM COUNTERTOP
- 7B CULTURED MARBLE TOP WITH INTEGRAL BOWL
- 7L HOT-MOPPED SHOWER PAN WITH 3" CURB, MUDSET TILE FLOOR, AND GRANITE SURROUND TO +84" A.F.F. PROVIDE TEMPERED GLASS ENCLOSURE AND DOOR. POSITION SHOWER HEAD AT +78" A.F.F. DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN
- 7R CHINA UNDERMOUNT BOWL
- 7S 60"x42" DROP IN TUB DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN.
- 7V 32"x80" TUB UNIT W/HARD SURFACE SURROUND - PROVIDE GLASS ENCLOSURE DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN.
- 8A DUCT CHASE
- 8B 4" DIAMETER DRYER VENT TO OUTSIDE AIR - MAXIMUM 14' LONG W/ (2) 90 DEG. ELBOWS UNLESS APPROVED OTHERWISE
- 8D RETURN AIR GRILLE
- 8F PAN UNDER FAU

SQUARE FOOTAGE CHART	
CONDITIONED	
1st Floor	1020 SF
2nd Floor	968 SF
TOTAL	1988 SF
UNCONDITIONED	
Garage	473 SF
Porch	368 SF

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Submittal Date

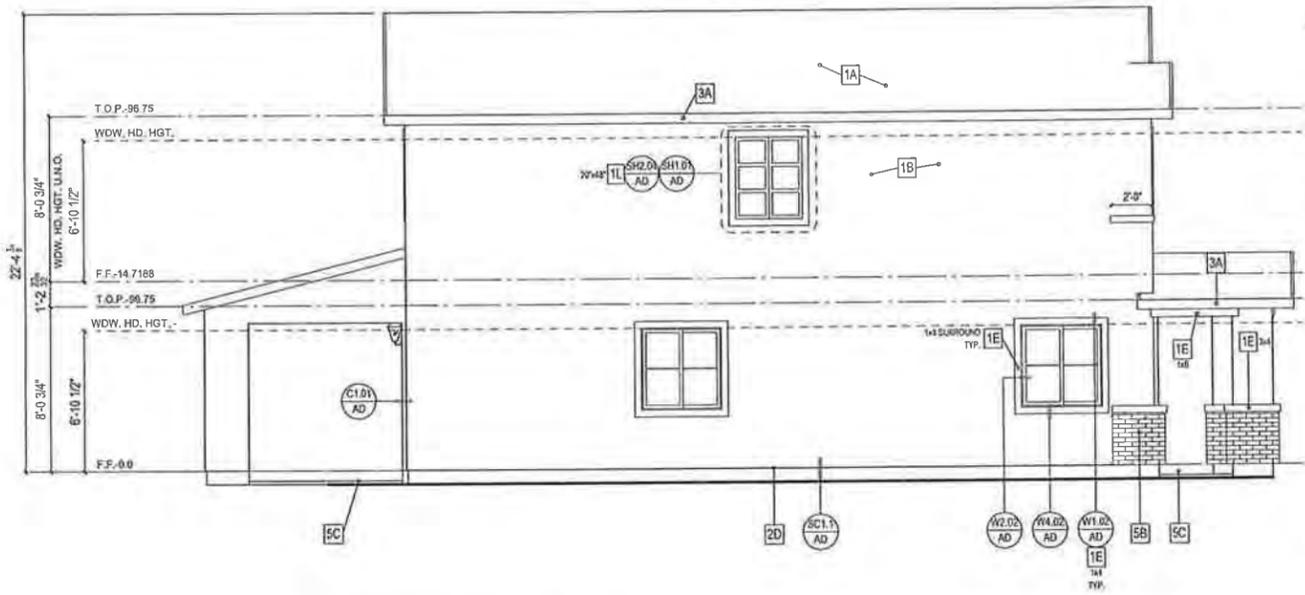
Project #	11023
Garage	ATTACHED/LH
Plan #	1988
Sheet #	A-1.02
Print Date	08/10/2014

SECOND FLOOR PLAN

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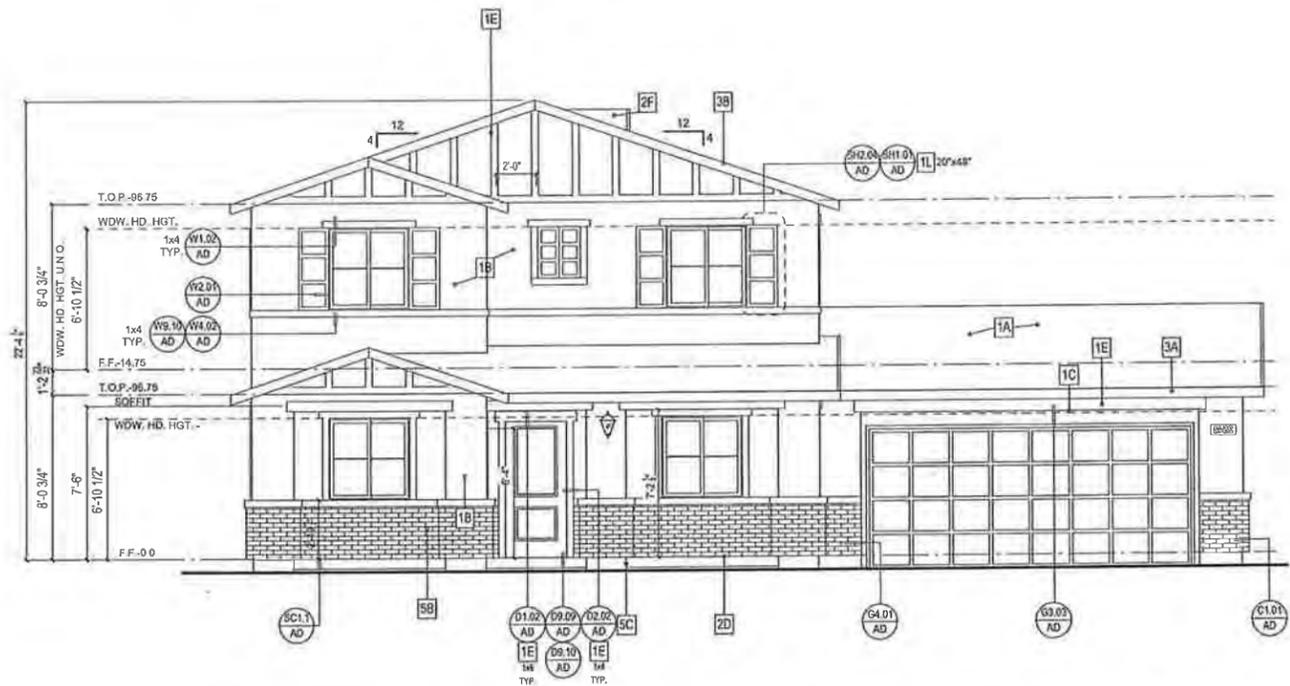
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ATTIC VENTILATION REQUIREMENTS	
ATTIC AREA 1' =	1020 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (1020 SQ. FT.) / 300 = 3.4 SQ. FT. X 144 =	490 SQ. IN.
50% OF REQUIRED VENTILATION =	245 SQ. IN.
UPPER VENTILATION PROVIDED:	
(2) "C&J" #LV1424 GABLE END VENTS AT 119 SQ. IN. =	238 SQ. IN.
(1) "C&J" #DM24S DORMER VENTS AT 99 SQ. IN. =	99 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	337 SQ. IN.
LOWER VENTILATION PROVIDED:	
(75) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	380 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	380 SQ. IN.
TOTAL VENTILATION PROVIDED:	717 SQ. IN.
ATTIC AREA 2' =	
REQUIRED VENTILATION AREA = ATTIC AREA (166 SQ. FT.) / 150 = 1.12 SQ. FT. X 144 =	161 SQ. IN.
LOWER VENTILATION PROVIDED:	
(23) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	115 SQ. IN.
TOTAL VENTILATION PROVIDED:	115 SQ. IN.
ATTIC AREA 3' GARAGE =	
REQUIRED VENTILATION AREA = ATTIC AREA (473 SQ. FT.) / 150 = 3.15 SQ. FT. X 144 =	454 SQ. IN.
50% OF REQUIRED VENTILATION =	227 SQ. IN.
UPPER VENTILATION PROVIDED:	
(2) "C&J" #LV1424 GABLE END VENTS AT 119 SQ. IN. =	238 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	238 SQ. IN.
LOWER VENTILATION PROVIDED:	
(42) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	210 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	210 SQ. IN.
TOTAL VENTILATION PROVIDED:	448 SQ. IN.
ATTIC AREA 4' PATIO =	
REQUIRED VENTILATION AREA = ATTIC AREA (200 SQ. FT.) / 150 = 1.33 SQ. FT. X 144 =	192 SQ. IN.
VENTILATION PROVIDED:	
(22) OF "VENTED CEDARMILL" AT 5 SQ. IN. PER LINEAL FT. =	110 SQ. IN.
TOTAL VENTILATION PROVIDED:	110 SQ. IN.



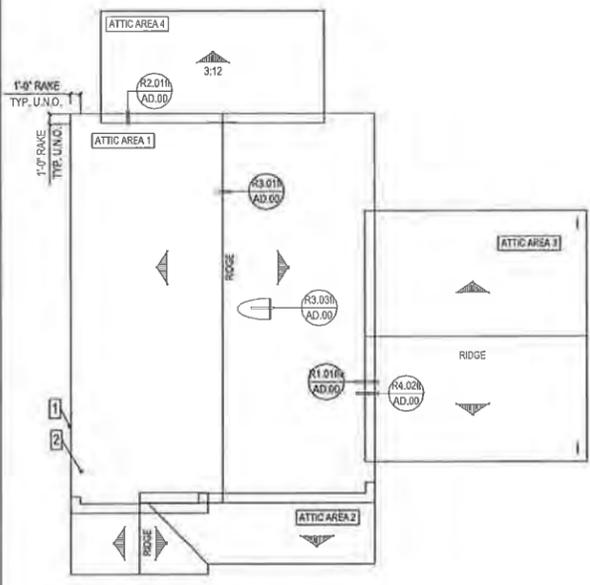
LEFT ELEVATION "PRARIE HALF BRICK"

SCALE: 1/4" = 1'-0"



FRONT ELEVATION "PRARIE HALF BRICK"

SCALE: 1/4" = 1'-0"



ROOF PLAN "PRARIE HALF BRICK"

ROOF PITCH: 4:12 U.N.O.
ROOF MATERIAL: FLAT CONCRETE TILE
SCALE: 1/8" = 1'-0"

ROOF PLAN - GENERAL NOTES

- ROOF MATERIAL - CLASS 'A' CONCRETE ROOFING TILE (C.C. REPORT NO. ESR-1647 - OR APPROVED EQUAL OVER 30# ROOFING FELT (PROVIDE (2) LAYERS OF 30# ROOFING FELT ON LOWER ROOFS) - INSTALL PER MANUFACTURER'S INSTRUCTIONS - ROOF TILE NOT TO EXCEED 10 LBS. PER SQUARE FOOT
- ROOF TILE MAKING SHALL BE PER THE MANUFACTURER'S SPECIFICATIONS WITH THE FOLLOWING MINIMUM REQUIREMENTS:
 - 11 GA. CORROSION RESISTANT NAILS WITH MINIMUM 3/4" PENETRATION INTO SHEATHING PER C.R.C. SECTION 905.3.8 AND IN ACCORDANCE WITH C.R.C. TABLE 605.3.7
 - HEADS OF ALL TILE SHALL BE NAILED
 - THE NOSES OF ALL EAVE COURSE TILES SHALL BE FASTENED WITH APPROVED CLIPS
 - ALL TILES SHALL BE NAILED WITH A MINIMUM OF TWO (2) NAILS
 - THE NOSES OF ALL RIDGE, HIP AND RAKE TILES SHALL BE SET IN A BEAD OF APPROVED ROOFER'S MASTIC
- PROVIDE MINIMUM 26 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF-TO-WALL CONDITIONS
- PROVIDE DIVERTERS AS REQUIRED
- PROVIDE CROSS VENTILATION AT ALL ENCLOSED ATTIC SPACES - THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/50 OF THE AREA OF THE SPACE VENTILATED IN ACCORDANCE WITH C.R.C. SECTION 806.2
- PROVIDE A MINIMUM 22"x30" ACCESS OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH 30" MINIMUM HEAD CLEARANCE - PROVIDE A 12"x12" OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH LESS THAN 30" HEAD CLEARANCE FOR VENTILATION
- NET FREE AIR VALUES FOR VENTS USED IN OUR VENTILATION CALCULATIONS ARE BASED ON AUGUST, 2007 VALUES PROVIDED BY "C & J METAL PRODUCTS INC." AT WWW.CMETALS.COM & BY "HAGINS, INC." AT WWW.HAGINVENT.COM THESE VALUES ARE SUBJECT TO CHANGE WITHOUT NOTICE AND MUST BE VERIFIED BY INSTALLER AT TIME OF INSTALLATION - APPROVED EQUAL PRODUCTS MUST PROVIDE THE NET FREE AIR VENTILATION TOTALS REQUIRED BY THE CALCULATIONS PROVIDED ON THESE ARCHITECTURAL DRAWINGS
- ALL ROOF, WALL AND EAVE VENTS SHALL BE SCREENED WITH CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4" MAXIMUM MESH OPENINGS

ROOF PLAN - KEYNOTES & SYMBOLS

- SYMBOL OF REFERENCES
- EDGE OF ROOF
 - EDGE OF BUILDING BELOW
 - CHIMNEY
 - CORROSION RESISTANT METAL CRICKET
 - CORROSION RESISTANT METAL SADDLE FLASHING AT CHIMNEY
- INDICATES DIRECTION OF ROOF PITCH
- INDICATES HALF-ROUND LOUVERED DORMER VENT - "C & J METAL PRODUCTS INC." OR APPROVED EQUAL
- INDICATES "HAGINS" CLEANED TILE VENT @ 95 S.I. NET FREE VENTILATING AREA EACH OR APPROVED EQUAL

ROOF PLAN & ELEVATION - KEYED NOTES

- ELEV
- 1A ROOFING MATERIAL - SEE ROOF PLAN
 - 1B EXTERIOR PLASTER - THREE COAT STUCCO SYSTEM
 - 1C STUCCO OVER HIGH RIBBED METAL LATH AT SOFFIT/CEILING
 - 1E STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM TRIM
 - 1L MIRATEC SHUTTER - SEE ELEVATION FOR SIZE
 - 2D CORROSION RESISTANT METAL WEEP SCREED
 - 2F CORROSION RESISTANT METAL DORMER VENT
 - 3A 2x6 WOOD FASCIA U.N.O.
 - 3B 2x6 WOOD BARGE BOARD U.N.O.
 - 3C THIN BRICK VENEER ADHERED TO STUCCO - INSTALL PER MANUFACTURER'S INSTRUCTIONS
 - 5C CONCRETE STOOP/PORCH - REFER TO SLAB EDGE PLAN FOR SIZE
- ROOF
- 1 EDGE OF ROOF
 - 2 EDGE OF BUILDING BELOW

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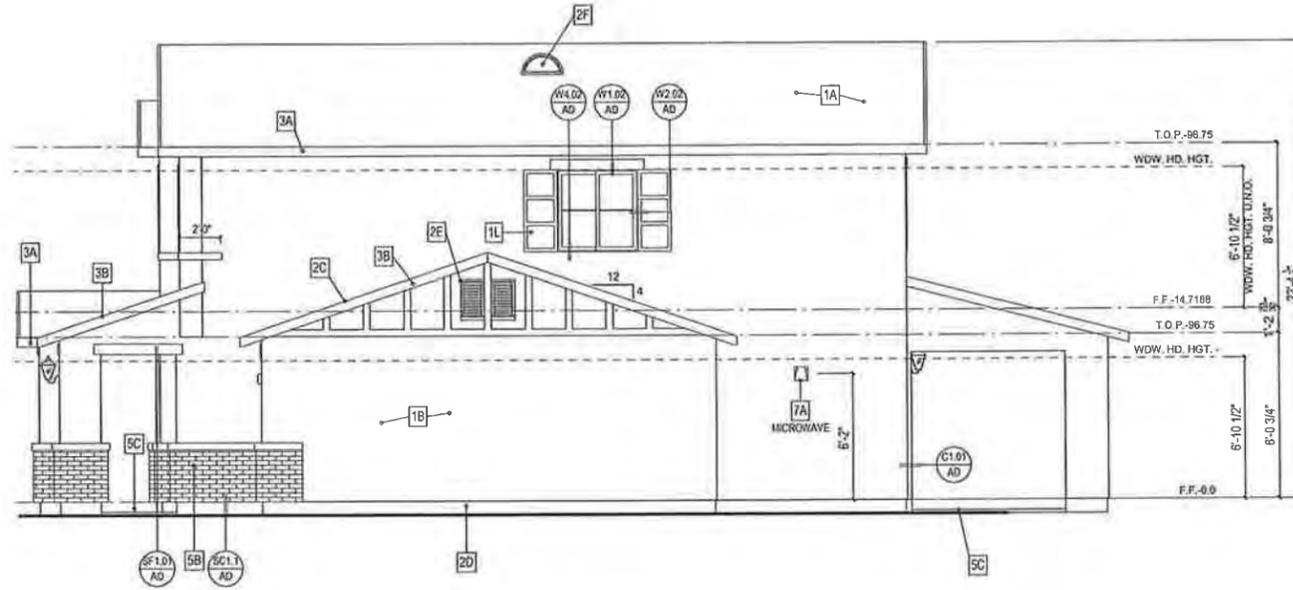
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Project #
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Garage
ATTACHED/RH
Plan #
1988
Sheet #
A-1.03
Print Date
08/12/2014

EXTERIOR ELEVATIONS & ROOF PLAN

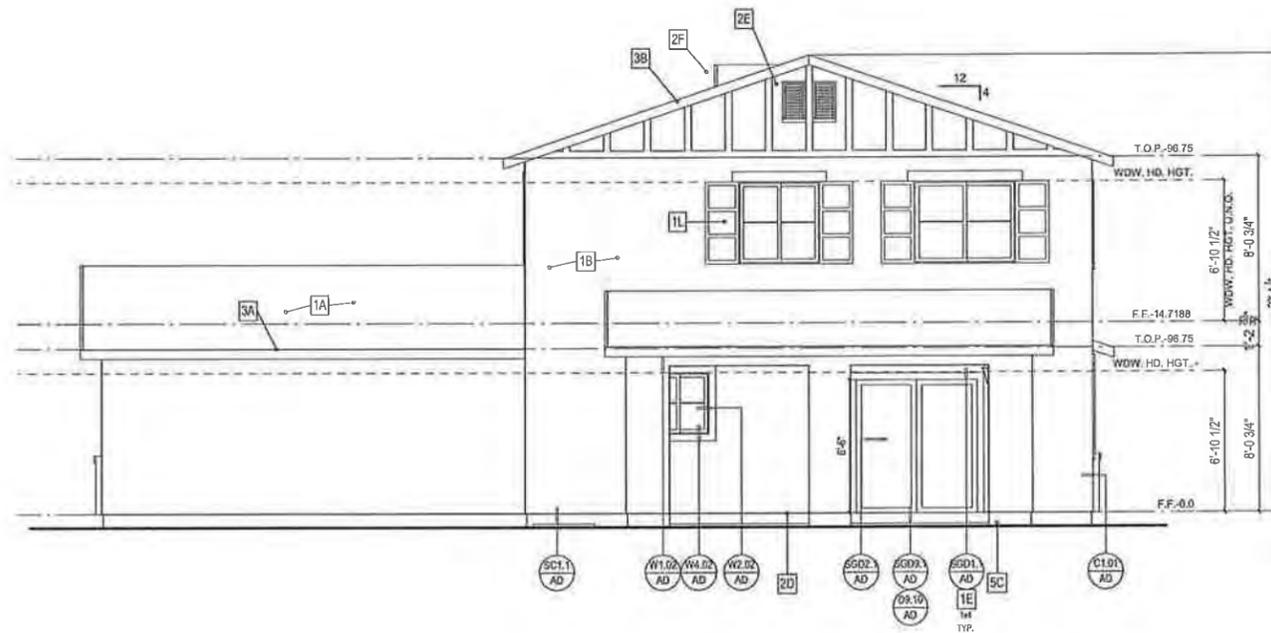
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RIGHT ELEVATION "PRARIE HALF BRICK"

SCALE: 1/4" = 1' - 0"



REAR ELEVATION "PRARIE HALF BRICK"

SCALE: 1/4" = 1' - 0"

ELEVATION - KEYED NOTES

ELEV

- 1A ROOFING MATERIAL - SEE ROOF PLAN
- 1B EXTERIOR PLASTER - THREE COAT STUCCO SYSTEM
- 1E STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM TRIM
- 1L MIRATEC SHUTTER - SEE ELEVATION FOR SIZE
- 2C CORROSION RESISTANT METAL FLASHING AT ROOF TO WALL
- 2D CORROSION RESISTANT METAL WEEP SCREEN
- 2E CORROSION RESISTANT METAL LOUVERED GABLE END VENT
- 2F CORROSION RESISTANT METAL DORMER VENT
- 3A 2x6 WOOD FASCIA U.N.O.
- 3B 2x6 WOOD BARGE BOARD U.N.O.
- 5B THIN BRICK VENEER ADHERED TO STUCCO - INSTALL PER MANUFACTURER'S INSTRUCTIONS
- 5C CONCRETE STOOP/PORCH - REFER TO SLAB EDGE PLAN FOR SIZE
- 7A HOOD VENT

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REVISION	DATE

Submittal Date

Project #	11000
Garage	ATTACHED/RH
Plan #	1988
Sheet #	A-1.04
Print Date	08/12/2014

EXTERIOR ELEVATIONS

PLY-GEM WINDOWS:			
PRODUCT	CPD#	U-FACTOR	SHGC
BLDR/CNTR 400 SERIES SLIDER	PWG-M-124-01135-00002	0.3	0.2
PRO 960S SLIDING PATIO DOOR	PWG-M-144-00347-00001	0.31	0.21

NOTE: ALL FENESTRATIONS MUST HAVE BOTH TEMPORARY AND PERMANENT LABELS.

FINISH NOTES:

- A. A MINIMUM OF ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT SHALL BE APPLIED OVER STUDS OF ALL EXTERIOR WALLS. SPECIFY THAT TWO LAYERS OF GRADE D OR 60 MINUTE GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.
- B. A MINIMUM 0.019" (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT OR PLASTIC WEEP SCREED LOCATED BELOW FOUNDATION PLATE LINE AND 4" ABOVE GRADE ON ALL EXTERIOR STUD WALLS OR 2" ABOVE PAVED AREAS.

PIPE INSULATION NOTES:

- A. FIRST 5' OF HOT AND COLD WATER PIPES CLOSEST TO WATER HEATER TANK TO HAVE 1" INSULATION PER STD. TABLE 150-B.
- B. COOLING SYSTEM REFRIGERANT SUCTION PIPING TO HAVE 3/4" INSULATION PER STD. TABLE 150-B.
- C. PIPE INSULATION IS PROTECTED FROM DAMAGE, INCLUDING THAT DUE TO SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE, AND WIND.
- D. PIPE INSULATION FOR REFRIGERANT SUCTION LINES INCLUDE A VAPOR RETARDANT OR IS ENCLOSED ENTIRELY IN CONDITIONED SPACE.

NFRC U-FACTOR AND SHGC VALUES:

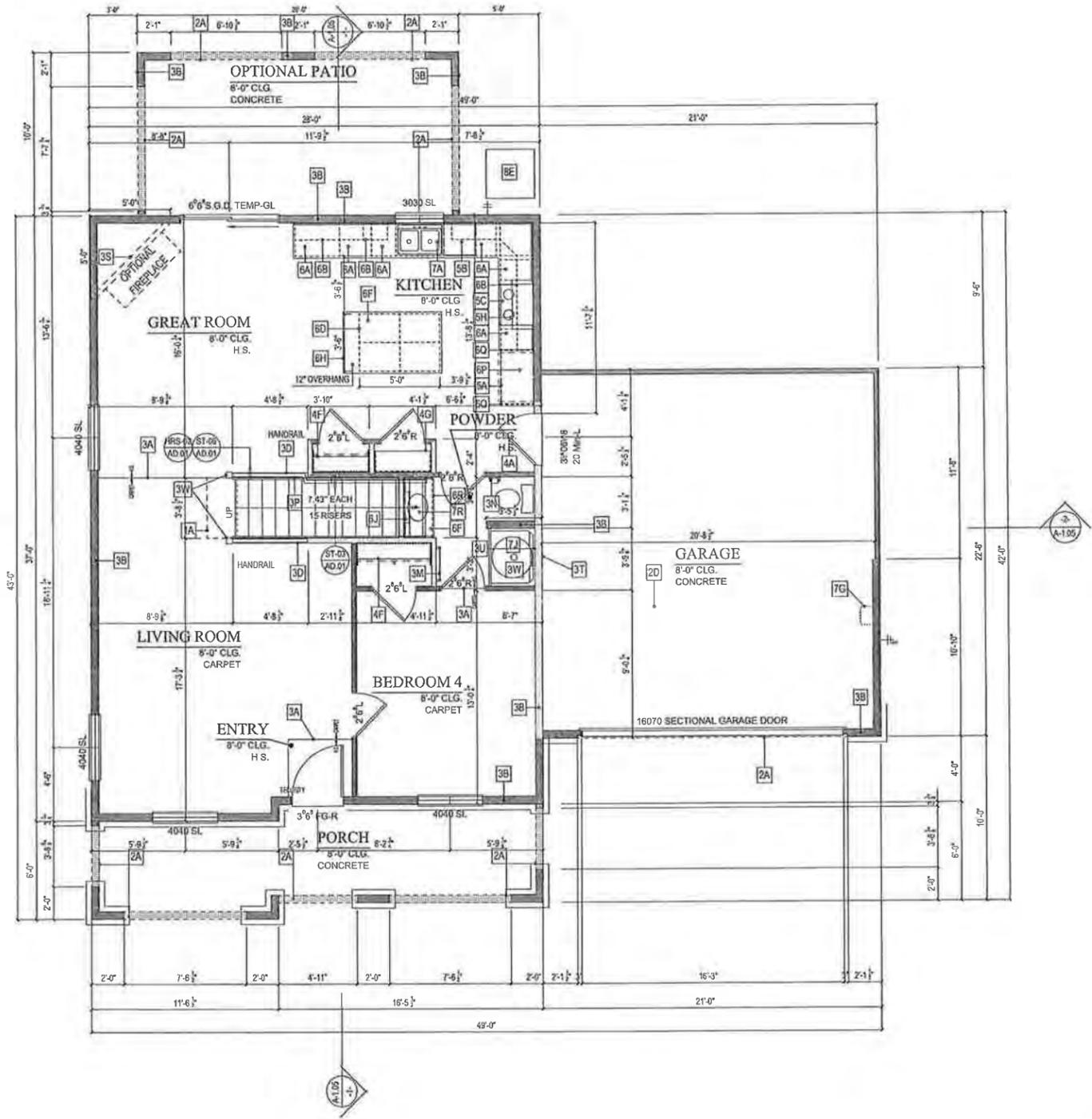
ALL WINDOWS AND GLASS DOORS WILL HAVE NON-METAL FRAMES WITH A WEIGHTED AVERAGE NFRC U-FACTOR OF .36 OR LESS AND A WEIGHTED AVERAGE SHGC OF .33 OR LESS WITH LOW-E GLASS

GLAZING NOTES:

- A. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.
- B. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED ETC) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES. MULTI-PANE ASSEMBLIES SHALL BE IDENTIFIED PER CRC R308.1.
- C. GLAZING IN SWINGING, SLIDING AND BIFOLD DOORS 9 SQUARE FEET OR LESS SHALL BE A MIN. CATEGORY CLASSIFICATION OF I AND II WHEN MORE THAN 9 SQUARE FEET OR SLIDING.
- D. GLAZING OVER 9 SQUARE FEET IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL BE SAFETY GLAZED.

EMERGENCY EGRESS NOTES:

- A. MIN. NET CLEAR OPENING OF 5.7 SQFT
- B. MIN. 5 SQFT FOR GRADE-FLOOR OPENINGS SEE DEFINITION OF "GRADE FLOOR OPENING"
- C. MIN. NET CLEAR OPENING WIDTH OF 20"
- D. MIN NET CLEAR HEIGHT OF 24"
- E. SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.



FIRST FLOOR PLAN "PRARIE HALF BRICK"

SCALE: 1/4" = 1' - 0"

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FLOOR PLAN - KEYED NOTES

- FP FLOOR PLAN
- 1A LINE OF FLOORWALL ABOVE
- 2A LINE OF EXTERIOR SOFFIT - SEE ELEVATIONS
- 2D CONCRETE GARAGE SLAB - SLOPE A MINIMUM OF 2"
- 3A LINE OF FLOOR MATERIAL CHANGE
- 3B 2x6 STUD WALL FRAMING
- 3D STAIR RAILING (36" HIGH ABOVE STAIR TREAD NOSING) W/ BALUSTERS SPACED AT 3 9/16" MAX. CLEAR - SEE DETAIL - ST-08
- 3M TOWEL BAR - PROVIDE 2x BACKING AT 54" TO CENTER
- 3N TOILET PAPER HOLDER - PROVIDE 2x BACKING AT 24" TO CENTER
- 3P #36 HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL - ST-03
- 3S "HEATILATOR" NDV3630 NOVUS DIRECT VENT GAS APPLIANCE - ANSI Z21 80b-2008 - OR APPROVED EQUAL - INSTALL PER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH ITS LISTING
- 3T MINIMUM (1) LAYER 1/2" TYPE X GYPSUM BOARD AT ALL GARAGE TO HOUSE WALL, DRYWALL TO EXTEND FROM FINISHED FLOOR TO BOTTOM OF ROOF SHEATHING. PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE PROTECTED (SUCH AS THOSE FOR VENTS, PIPES, DUCTS, CABLES, AND WIRES) WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION (CRC R302.5)
- 3U DENSSHIELD OR APPROVED EQUIVALENT AROUND TUB/SHOWERS TO A MIN. OF 72" ABOVE DRAIN
- 3W WOOD POST ANCHORED WITH (2) 1/2" DIA WOOD LAG SCREWS TO STAIR WALLS - SEE DETAIL - HRS-02
- 4A 1 3/4" THICK SOLID CORE TIGHT-FITTING SELF-CLOSING 20 MINUTE RATED DOOR
- 4F ROD AND SHELF
- 4G SHELVING UNIT
- 5A 39" CLEAR REFRIGERATOR SPACE WITH RECESSED COLD WATER BIBB FOR ICE MAKER
- 5B 24" BUILT-IN DISHWASHER
- 5C 30" SLIDE-IN RANGE LIGHT AND EXHAUST FAN ABOVE
- 5H MICROWAVE HOOD VENT VENTED DIRECTLY THROUGH WALL
- 6A LOWER CABINETRY
- 6B UPPER CABINETRY
- 6D ISLAND CABINETRY
- 6F VANITY CABINETRY
- 6H EATING BAR
- 6J SURFACE MOUNT (MIRROR-FACED) MEDICINE CABINET
- 6P UPPER DEEP CABINETRY
- 6Q DEEP TALL BASE FILLER
- 6R PREMIUM COUNTERTOP
- 7A 33" DOUBLE SINK WITH GARBAGE DISPOSAL
- 7G TANKLESS GAS WATER HEATER - INSTALL PER MANUFACTURER'S REQUIREMENTS. MANUFACTURER'S INSTRUCTIONS IN COMPLIANCE WITH C.M.C. CHAPTERS 3 & 7 AND C.P.C. CHAPTER 5
- 7J PRE-FORMED FIBERGLASS SHOWER UNIT - PROVIDE TEMPERED GLASS ENCLOSURE DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN.
- 7R CHINA UNDERMOUNT BOWL
- 8E AIR CONDITIONING CONDENSER UNIT SECURELY FASTENED TO CONCRETE OR FIBERGLASS PAD (REFER TO TRACT MAP FOR LOCATION)

SQUARE FOOTAGE CHART	
CONDITIONED	
1st Floor	1020 SF
2nd Floor	968 SF
TOTAL	1988 SF
UNCONDITIONED	
Garage	473 SF
Porch	368 SF
Patio	200 SF

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REVISION	DATE

Submittal Date

Project #	11020
Garage	ATTACHED/RH
Plan #	1988
Sheet #	A-1.01
Print Date	08/12/2014

FIRST FLOOR PLAN

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PLY-GEM WINDOWS:

PRODUCT	CPD#	U-FACTOR	SHGC
BLDR/CNTR 400 SERIES SLIDER	PWG-M-124-01135-00002	0.3	0.2
PRO 960S SLIDING PATIO DOOR	PWG-M-144-00347-00001	0.31	0.21

NOTE: ALL FENESTRATIONS MUST HAVE BOTH TEMPORARY AND PERMANENT LABLES.

FINISH NOTES:

- A. A MINIMUM OF ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT SHALL BE APPLIED OVER STUDS OF ALL EXTERIOR WALLS. SPECIFY THAT TWO LAYERS OF GRADE D OR 60 MINUTE GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.
- B. A MINIMUM 0.019" (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT OR PLASTIC WEEP SCREED LOCATED BELOW FOUNDATION PLATE LINE AND 4" ABOVE GRADE ON ALL EXTERIOR STUD WALLS OR 2" ABOVE PAVED AREAS.

PIPE INSULATION NOTES:

- A. FIRST 5' OF HOT AND COLD WATER PIPES CLOSEST TO WATER HEATER TANK TO HAVE 1" INSULATION PER STD. TABLE 150-B.
- B. COOLING SYSTEM REFRIGERANT SUCTION PIPING TO HAVE 3/4" INSULATION PER STD. TABLE 150-B.
- C. PIPE INSULATION IS PROTECTED FROM DAMAGE, INCLUDING THAT DUE TO SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE, AND WIND.
- D. PIPE INSULATION FOR REFRIGERANT SUCTION LINES INCLUDE A VAPOR RETARDANT OR IS ENCLOSED ENTIRELY IN CONDITIONED SPACE.

NFRC U-FACTOR AND SHGC VALUES:

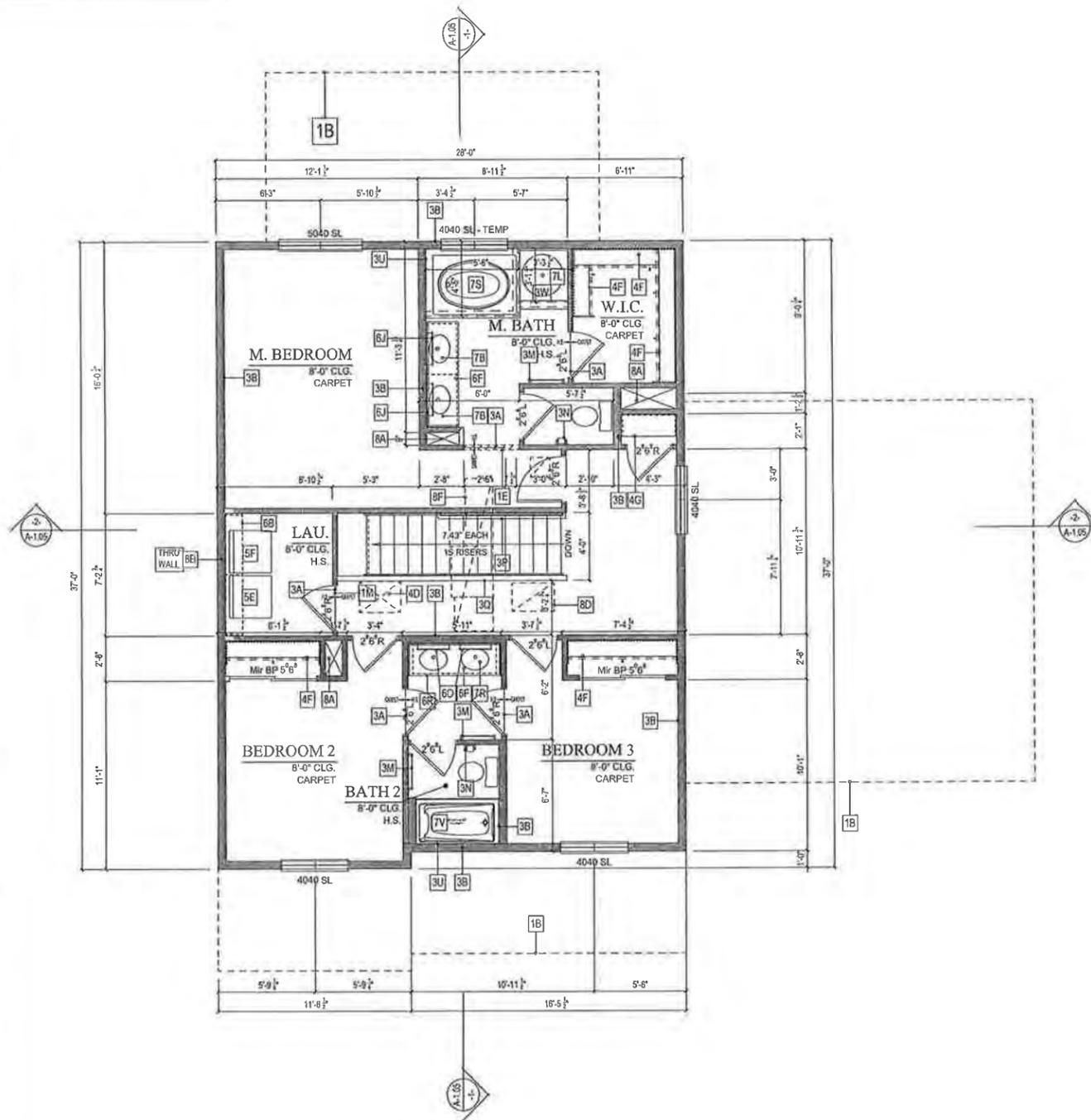
ALL WINDOWS AND GLASS DOORS WILL HAVE NON-METAL FRAMES WITH A WEIGHTED AVERAGE NFRC U-FACTOR OF .36 OR LESS AND A WEIGHTED AVERAGE SHGC OF .33 OR LESS WITH LOW-E GLASS

GLAZING NOTES:

- A. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.
- B. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED ETC) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES. MULTI-PANE ASSEMBLIES SHALL BE IDENTIFIED PER CRC R308.1.
- C. GLAZING IN SWINGING, SLIDING AND BIFOLD DOORS 9 SQUARE FEET OR LESS SHALL BE A MIN. CATEGORY CLASSIFICATION OF I AND II WHEN MORE THAN 9 SQUARE FEET OR SLIDING
- D. GLAZING OVER 9 SQUARE FEET IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL BE SAFETY GLAZED.

EMERGENCY EGRESS NOTES:

- A. MIN. NET CLEAR OPENING OF 5.7 SQFT
- B. MIN. 5 SQFT FOR GRADE-FLOOR OPENINGS SEE DEFINITION OF "GRADE FLOOR OPENING"
- C. MIN. NET CLEAR OPENING WIDTH OF 20"
- D. MIN NET CLEAR HEIGHT OF 24"
- E. SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.



SECOND FLOOR PLAN "PRARIE HALF BRICK"

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE CHART	
CONDITIONED	
1st Floor	1020 SF
2nd Floor	968 SF
TOTAL	1988 SF
UNCONDITIONED	
Garage	473 SF

75

FLOOR PLAN - KEYED NOTES

- FP
- 1B LINE OF FLOOR/WALL BELOW
- 1E GYPSUM BOARD SOFFIT AT 7'-0"
- 1M 8" x 14" WIDE VENT ABOVE DOOR.
- 3A LINE OF FLOOR MATERIAL CHANGE
- 3B 2x6 STUD WALL FRAMING
- 3M TOWEL BAR - PROVIDE 2x BACKING AT 54" TO CENTER
- 3N TOILET PAPER HOLDER - PROVIDE 2x BACKING AT 24" TO CENTER
- 3P +36 HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL - ST-03
- 3Q +42" HIGH GYPSUM BOARD PONYWALL/GUARDWALL
- 3U MINIMUM (1) LAYER 1/2" MOISTURE RESISTENT GYPSUM BOARD AROUND TUB/SHOWERS TO A MIN. OF 72" ABOVE DRAIN
- 3W Glazing in door enclosures for hot tubs, whirlpools, saunas, steam rooms, bathrooms, showers less than 5 feet above the standing surface shall have a minimum category classification of II (CPSC 16 CFR 1201), [CRC TR30S 3 1 (1) & 30S 4(5)]
- 4D APPROVED 22" X 30" ATTIC ACCESS REQUIRED BY C.B.C. SECTION 406.1.4 WITH MINIMUM 30" CLEAR HEADROOM ABOVE AND 24" WIDE WALKWAY
- 4F ROD AND SHELF
- 4G SHELVING UNIT
- 5E CLOTHES WASHER SPACE - PROVIDE HOT & COLD WATER SUPPLY (RECESSED) & WASTE CONNECTIONS PROVIDE AN APPROVED "SMITTY" PAN WHEN WASHER IS LOCATED ON SECOND FLOOR
- 5F CLOTHES DRYER SPACE - PROVIDE VENT TO OUTSIDE AIR
- 6B UPPER CABINETRY
- 6F VANITY CABINETRY
- 6J SURFACE MOUNT (MIRROR-FACED) MEDICINE CABINET
- 6O SURFACE MOUNT TRI-VIEW (MIRROR-FACED) MEDICINE CABINET
- 6R PREMIUM COUNTERTOP
- 7B CULTURED MARBLE TOP WITH INTEGRAL BOWL
- 7L HOT-MOPPED SHOWER PAN WITH 3" CURB, MUDSET TILE FLOOR, AND GRANITE SURROUND TO +84" A.F.F. PROVIDE TEMPERED GLASS ENCLOSURE AND DOOR. POSITION SHOWER HEAD AT +78" A.F.F. DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN
- 7R CHINA UNDERMOUNT BOWL
- 7S 60"x42" DROP IN TUB DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN
- 7V 32"x60" TUB UNIT WITH HARD SURFACE SURROUND - PROVIDE GLASS ENCLOSURE DENSSHIELD OR APPROVED EQUIVALENT TO EXTEND 72" ABOVE DRAIN
- 8A DUCT CHASE
- 8B 4" DIAMETER DRYER VENT TO OUTSIDE AIR - MAXIMUM 14' LONG W/ (2) 90 DEG. ELBOWS UNLESS APPROVED OTHERWISE
- 8D RETURN AIR GRILLE
- 8F PAN UNDER FAU

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REVISION	DATE

Submission Date

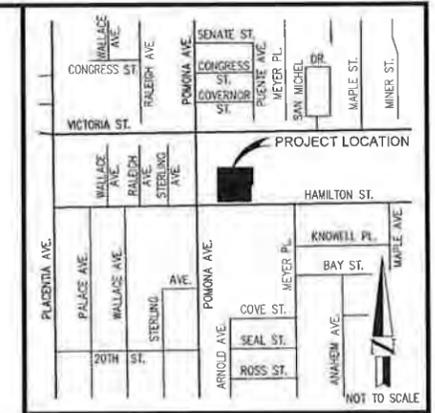
Project #	11020
Garage	ATTACHED/RH
Plan #	1988
Sheet #	A-1.02
Print Date	08/12/2014

SECOND FLOOR PLAN

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TENTATIVE TRACT MAP NO. 17762

IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA



VICINITY MAP
NOT TO SCALE

OWNER:
 SCEL PROPERTIES LLC
 620 NEWPORT CENTER DRIVE, 12TH FLOOR
 NEWPORT BEACH, CA 92660
 PHONE: (949) 720-1116
 FAX: (949) 720-1164

CIVIL ENGINEER:
 HALL & FOREMAN, INC.
 ATTN: MATT KUNKLE
 17782 17TH STREET, SUITE 200
 TUSTIN, CA 92780
 PHONE: (714) 665-4500 FAX: (714) 665-4501

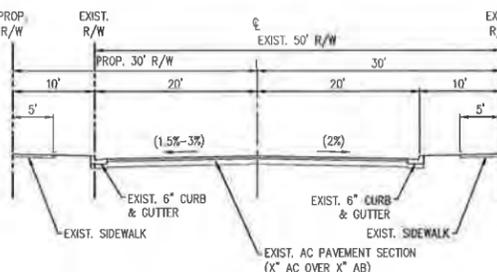
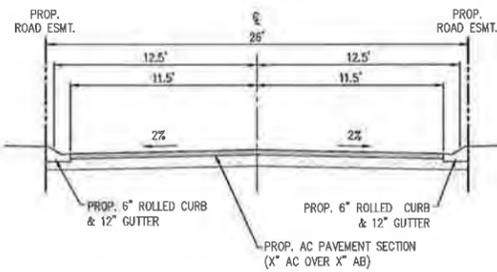
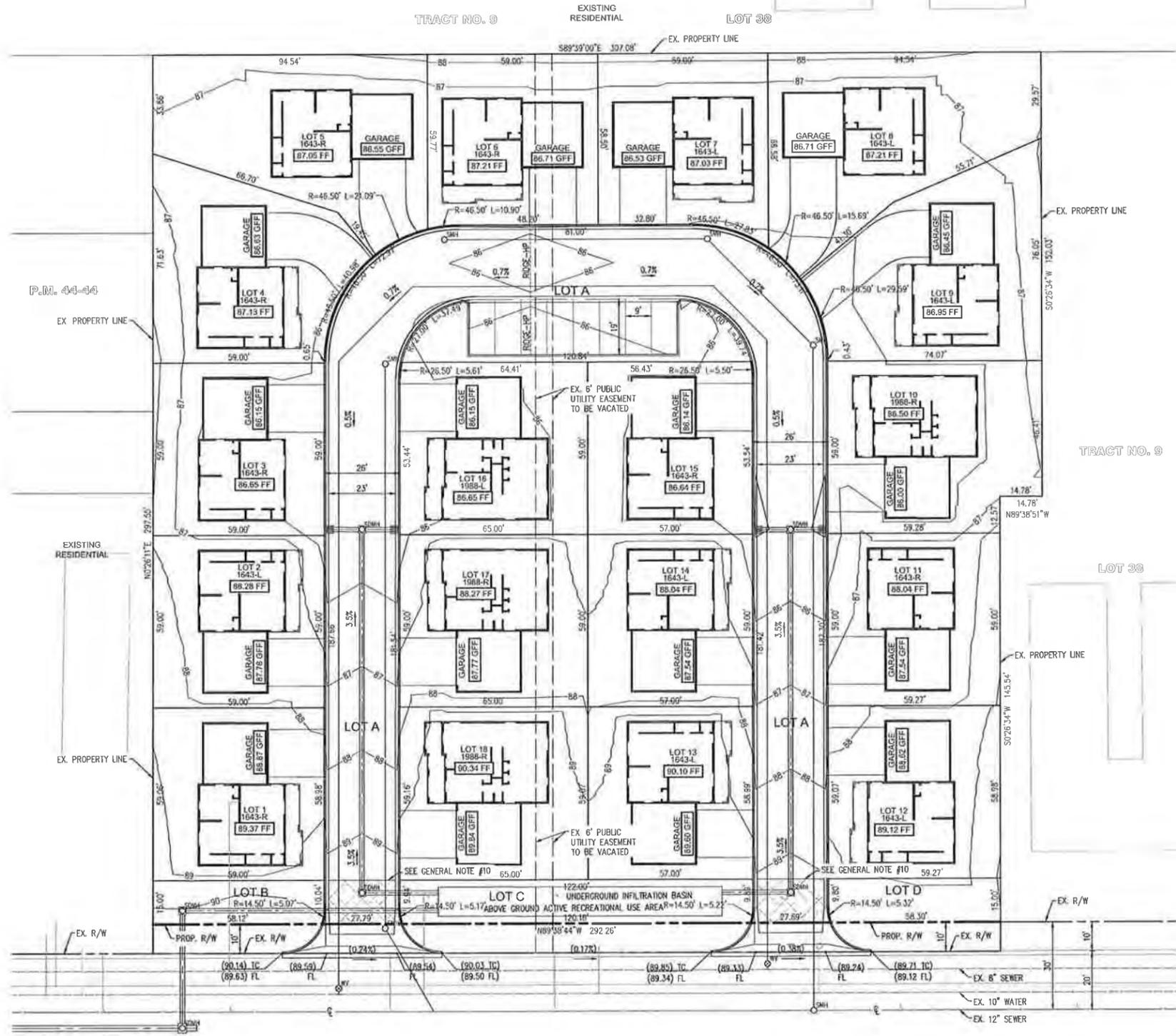
BASIS OF BEARING:
 THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING BETWEEN ORANGE COUNTY SURVEYOR'S HORIZONTAL CONTROL STATION GPS 6207R1 AND STATION GPS 6203R2 BEING NORTH 89°38'44" WEST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

LEGAL DESCRIPTION:
 APN: 422-211-29
 A PORTION OF SOUTH HALF OF LOT 38 TRACT NO. 9, MISCELLANEOUS MAPS BOOK 9 PAGE 9.

BENCHMARK:
 DESCRIBED BY OCS 2001 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "CM-55-92", SET IN THE NORTHWEST CORNER OF A 16FT. BY 5FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED ALONG THE SOUTH SIDE OF VICTORIA STREET, BETWEEN MAPLE STREET TO THE EAST AND MEYER PLACE TO THE WEST, 39FT. SOUTHERLY OF THE CENTERLINE OF VICTORIA STREET. MONUMENT IS SET LEVEL WITH SIDEWALK.
 ELEV: 85.06' (NAVD 88)

SITE AREA:
 GROSS AREA: 2.12 ACRES
 R/W DEDICATION: 0.07 ACRES
 NET AREA: 2.05 ACRES

- GENERAL NOTES**
- DATE OF PREPARATION: JULY 21, 2014
 - ADDRESS: 650 HAMILTON STREET
 - APN: 422-211-29
 - PER CITY OF COSTA MESA PLANNING DEPARTMENT, SUBJECT PROPERTY IS ZONED R2-MD
 - EXISTING LAND USE: COMMERCIAL (CHURCH)
 - PROPOSED LAND USE: RESIDENTIAL, SINGLE-FAMILY
 - SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD ZONE
 - THOSE EXISTING EASEMENTS OR PORTIONS OF EXISTING EASEMENTS AFFECTING THE PROPERTY WITHIN THE BOUNDARY OF THIS MAP WILL BE QUICLAIMED TO THE EXTENT NECESSARY TO ACCOMMODATE THE FUTURE LAND USE
 - ALL WALLS AND FENCING REQUIRE SEPARATE PERMITS
 - ENHANCED ENTRY WITH COLORED STAMPED CONCRETE



LEGEND OF ABBREVIATIONS AND SYMBOLS

- | | |
|------|---------------------------|
| AC | ASPHALT CONCRETE |
| ADJ | ADJACENT |
| BLDG | BUILDING |
| B/W | BACK OF WALK |
| CONC | CONCRETE |
| DF | DEEPEND FOOTING |
| DWY | DRIVEWAY |
| FG | EXISTING GRADE |
| EX | EXISTING |
| FF | FINISH FLOOR ELEVATION |
| FG | FINISH GRADE |
| FL | FLOWLINE |
| FS | FINISH SURFACE |
| FSA | FINISH SURFACE - ASPHALT |
| FSC | FINISH SURFACE - CONCRETE |
| GFF | GARAGE FINISH FLOOR |
| GL | GARAGE LIP |
| HP | HIGH POINT |
| PAD | PAD ELEVATION |
| PP | POWER POLE |
| PROP | PROPOSED |
| TC | TOP OF CURB |
| TG | TOP OF GRATE |
| TYP | TYPICAL |
| WV | WATER VALVE |



HAMILTON STREET

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OWNER:

SCEL PROPERTIES LLC
 620 NEWPORT CENTER DRIVE, 12TH FLOOR
 NEWPORT BEACH, CA 92660
 PHONE: (949) 720-1116
 FAX: (949) 720-1164

NO.	DESCRIPTION	DATE	BY

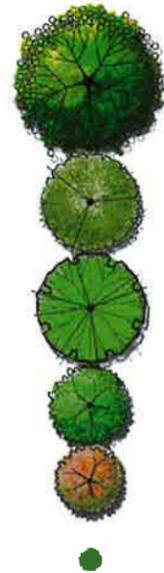


Hall & Foreman, Inc.
 Engineering • Planning • Surveying
 17782 17TH ST, SUITE 200 • TUSTIN, CA 92780-1947 • 714-665-4500
 PREPARED UNDER THE SUPERVISION OF:
 JOHN C. HODGSON R.C.E. 26229 DATE: 07/22/2014

CITY OF COSTA MESA		DATE: 07-21-2014
TENTATIVE TRACT MAP NO. 17762		SCALE: AS NOTED
650 HAMILTON STREET COSTA MESA, CALIFORNIA		PROJECT NO.: 130244-0011
APPROVED BY:	CITY ENGINEER	SHEET NO.: 1 OF 1

Drawing Name: S:\130244\Eng\130244-0011\Conceptual\Tentative Map\0130244-0011.tpm.dwg
 User: jcm Date: 7/22/2014 9:25am Size: 246488

PROPOSED TREES



KOELREUTERIA BIPINNATA 24" BOX
(CHINESE LANTERN TREE)

PLATANUS RACEMOSA 24" BOX
(CALIFORNIA SYCAMORE)

PISTACIA CHINENSIS 36" BOX
(CHINESE PISTACHE)

ARBUTUS MARINA 24" BOX
(STRAWBERRY TREE)
TRISTANIA CONFERTA 24" BOX
(VICTORIAN BOX TREE)

MELALEUCA QUINQUENERVIA 36" BOX
(CAJEPUT TREE)

PRUNUS CAROLINIANA (COMPACTA) 15GAL
(COMPACT CAROLINA CHERRY LAUREL)

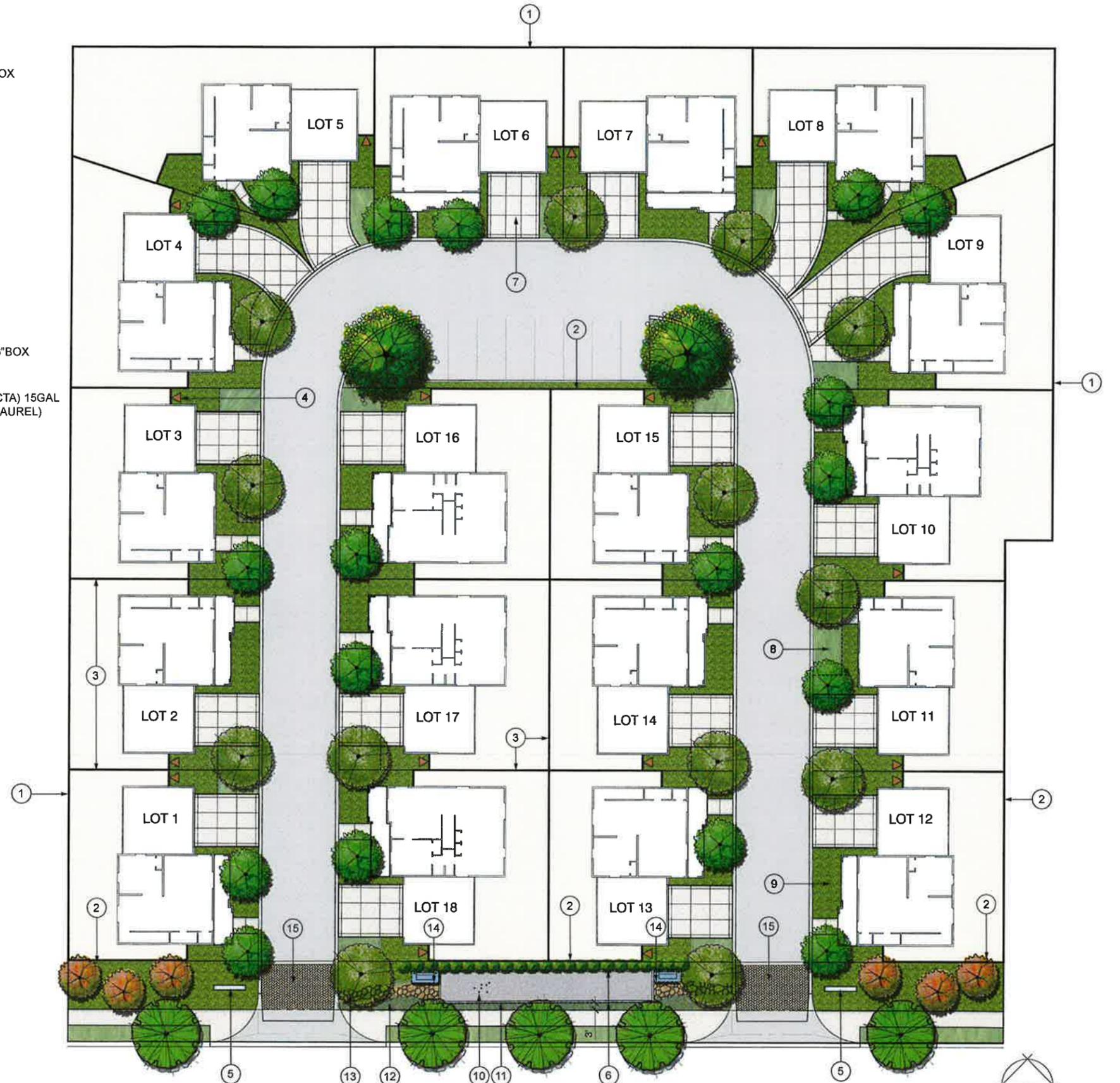
**THEME SHRUBS / GRASSES
(FOUNDATION PLANTS NOT SHOWN)**



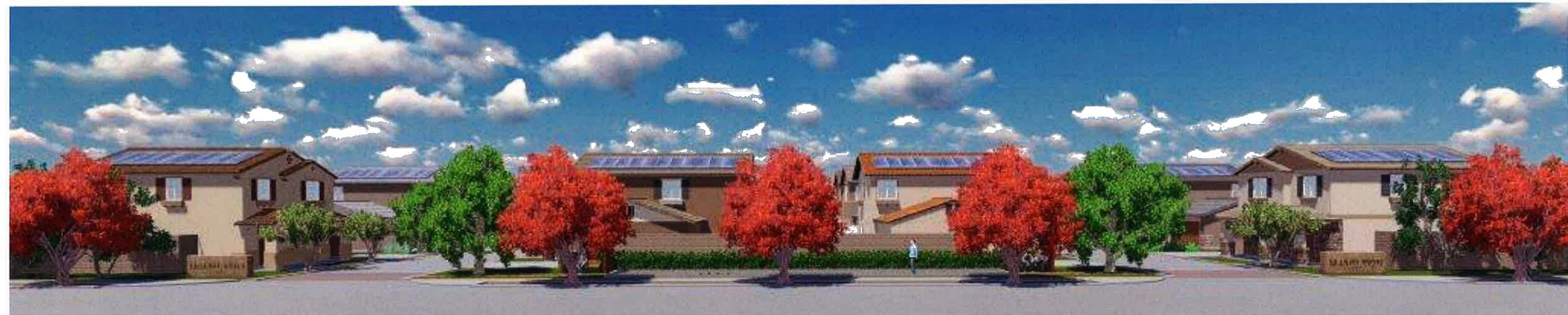
KEYNOTES:

- ① EXISTING MASONRY PERIMETER WALL (REFER TO CIVIL DRAWINGS FOR HEIGHTS & TREATMENT)
- ② PROPOSED MASONRY WALL 6FT HIGH
- ③ 6FT HIGH WHITE VINYL SIDEYARD/INTERIOR REAR YARD CONDITIONS
- ④ TYPICAL GATE LOCATION
- ⑤ ENTRY MONUMENTATION (PROJECT I.D)
- ⑥ LIMITS OF INFILTRATION BASIN
- ⑦ STANDARD CONCRETE DRIVEWAYS
- ⑧ TYPICAL TURF AREA
- ⑨ TYPICAL SHRUBS / GROUNDCOVER AREA

- ⑩ 10'X65' BOCCIE BALL COURT
- ⑪ 3' HIGH ORNAMENTAL FENCE
- ⑫ ORNAMENTAL "GARDEN" DESIGN PLANTING WITHIN ACTIVE RECREATION AREA
- ⑬ FLAGSTONE PAVING W/ DYMONDIA GROUNDCOVER BETWEEN STONES
- ⑭ BENCH WITH WOOD ARBOR
- ⑮ CONCRETE UNIT PAVERS (T.B.D.)



Conceptual Landscape Plan
650 HAMILTON STREET, COSTA MESA CA.
SCEL PROPERTIES LLC





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AMILTON







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COLGAN, JULIE

PH-3

Subject: FW: FW: PA-14-21 & TT-17762

From: Caroline Brooks [mailto:carolinetuckerbrooks@gmail.com]

Sent: Friday, September 19, 2014 11:05 AM

To: LEE, MEL

Cc: COLGAN, JULIE; ROSALES, MARTHA

Subject: Re: FW: PA-14-21 & TT-17762

Thank you.

I see that they are proposing 80 spaces - 36 covered, 36 open and 8 guest. I think this is still going to be inadequate if more than 4 driving individuals live in a home, which I know is the case with much of the surrounding area. I understand that they have proposed more parking than is required, but I think considering the neighborhood and that parking on Hamilton is tough (it might even be a no parking street) and that Pomona, one of the closest streets, already is at max capacity of street parking that more parking should be added.

Thank you.

Best,