



PLANNING COMMISSION AGENDA REPORT

MEETING DATE: JANUARY 12, 2015

ITEM NUMBER: PH-2

SUBJECT: PLANNING APPLICATION PA-14-44 FOR FOUR RESIDENTIAL UNITS AT 2136 THURIN AVENUE

DATE: DECEMBER 15, 2014

FROM: PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

PRESENTATION BY: ANTONIO GARDEA, SENIOR PLANNER

FOR FURTHER INFORMATION CONTACT: ANTONIO GARDEA (714) 754-5692
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DESCRIPTION

Planning Application PA-14-44: Design Review for the construction of two duplexes for a total of four units on a 16,890-square foot parcel. The two-story project includes a deviation from the Residential Design Guidelines for the average side yard setback (10 foot average recommended; 8 foot average proposed). A subdivision map will be submitted separately to allow the subdivision of the property into condominium units.

APPLICANT

Walt Bushman is the authorized agent for the property owner, Jim Cefalia.

RECOMMENDATION

Adopt Planning Commission Resolution to approve the project, subject to conditions.

PLANNING APPLICATION SUMMARY

Location: 2136 Thurin Avenue
 APN 419-021-24

Application Number: PA-14-44

Request: Design Review application for a four unit residential development.

SUBJECT PROPERTY:

Zone: R2-HD
 General Plan: HDR
 Lot Dimensions: Rectangular
 Lot Area: 16,890 (0.39 acre)
 Existing Development: One parcel developed with a single-story apartment

SURROUNDING PROPERTY:

North: Two-Story, Multi-Family Residential
 South: One-Story, Multi-Family Residential
 East: College Hospital (Across Doctors Circle)
 West: Single-Family and Multi-Family Residential

DEVELOPMENT STANDARD COMPARISON

R2-MD	Required/Allowed	Proposed/Provided
Lot Area	12,000 SF	0.39 acre (16,890 SF)
Maximum Density:	14 units per acre	10 units per acre
Maximum Number of Units (1 dwelling unit per 3,000 sq.ft.)	5 units	4 units
Lot Coverage	10,134 SF (60%)	10,048 SF (59%)
Open Space	6,756 (40%)	6,842 SF (41%)
Private Open Space	200 SF	675 SF
Height	Two Stories / 27 FT	27 FT
Setbacks:		
Front	20 FT	Min. 20 FT
Side	5 FT	5 FT
Side – 2 nd Story	10 FT AVG	8 FT – 3 IN¹
Rear	N/A	N/A
Distance between Buildings	Min. 10 FT	45 FT
Bulk/Massing/Residential Design Guideline: Percentage of 2 nd floor to 1 st floor	100 %	81%
Parking	4 covered spaces 12 open spaces	8 garage spaces 8 open spaces
Total	16 spaces	16 spaces
Min. Driveway Length	Min. 19 FT	20 FT
Final Action	Planning Commission	
CEQA Review	Exempt, Class 3, New Construction of Small Structures	

¹ Units with greater than 2,700 SF of living area are recommended to provide an average 10 foot second-story setback. Deviation from Residential Design Guidelines are subject to approval of Minor Design Review

BACKGROUND

Project Site/Environs

The development lot is a through lot with two street frontages and a depth of 281 feet. The 0.39-acre project site consists of one parcel extending between Thurin Avenue and Doctors Circle. The site is currently developed with two single-story apartments. The property is zoned R2-HD and in the High Density Residential (HDR) land use designation. The site abuts high density residential uses to the north and south. Properties across Thurin Avenue to the west are low and medium density residential lots. College Hospital is located across Doctors Circle to the east. The existing units are located toward the Thurin Avenue frontage, and the rear portion of the parcel is undeveloped. There are two existing drive approaches to the site from both Thurin Avenue and Doctors Circle.

ANALYSIS

Project Description

The applicant is proposing to construct two duplexes (total four units) on a 0.39-acre site. The maximum development potential for R2-HD zone on this site is five units (14 dwelling units per acre). The unit types are summarized in the following table:

Unit Type Summary for Both Duplexes

	Unit A	Unit B
Unit Size (Not Including Garage)	1,475 SF (1 st floor) 1,597 SF (2 nd floor)	1,475 SF (1 st floor) 1,597 SF (2 nd floor)
No. of Bedrooms and Baths	4	4
No. of Stories	2	2
Total Living Area	3,072 SF	3,072 SF
No. of Garage Spaces	2	2
No. of Open Spaces	2	2
Total On-Site Spaces	16	

Code requires that any construction that results in 3 or more dwelling units on a development lot in any residential zone shall be subject to a Design Review. As part of the Design Review, the applicant is seeking relief from the ten-foot average second story setback recommended in the Residential Design Guidelines. Otherwise, the proposed two-story units meet the recommendations of the Guidelines with respect to massing, articulation and second floor to first floor ratio (100% allowed, 81% proposed).

Future Subdivision into Condominium Units

The applicant is proposing a phased approach for the entitlement processing. First, the Design Review requires Planning Commission Action. Second, contingent upon the Planning Commission's approval of the design review, the applicant plans to submit a tentative parcel map to subdivide the property into condominiums within six months of the project approval. The applicant's objective is to proceed with building plancheck for the two

duplexes while the subdivision application is pending. Building finals shall not be issued for the new structures until final recordation of the tentative map.

If a tentative map were approved, all common areas including the driveway and open parking spaces will be commonly used and maintained by a homeowners association as stipulated in the Conditions, Covenants, and Restrictions (CC&R's) for the development. The CC&R's will also include provisions requiring that all open parking spaces be unassigned and available for visitors and requiring residents to park vehicles in the garage spaces provided for each unit.

Although staff has not conditioned this project based on the review/approval of a subdivision map for condominium purposes, the applicant has indicated that he would agree if such a condition were imposed on the design review application.

Site Layout

The site is proposed to be split in half with one duplex taking access from Thurin Avenue and the other duplex taking access from Doctor's Circle. This layout will maximize the private yard areas and provide a minimum 20-foot setback on both street frontages. Overall, the project layout complies with the setbacks, height, open space and parking standards of R2-HD zone. The entry to the apartments are provided by walkways along the north and south property lines.

Each unit would include a 675 square foot private rear yard and second floor balconies at the front and rear. The front yard setback accommodates two open parking spaces in front of the two car garages. The larger setback also allows for additional landscaping along the edges of the driveway. Conditions of approval are included that require that the driveways be separated by a two foot landscaped strip and paved with decorative materials to further enhance the appearance along the street. The lot depth is 281 feet and on-site emergency access is not required. Trash pickup will occur curbside. The landscape plan shows trash bin storage along the side yards but the bins could be stored within the oversized garages.

Floor Plans

The floor plan is the same for all four units. Each two units are designed as a duplex separated by a common wall. The four bedroom apartments have a total of 3,072 square feet of living area. The lower level includes the living areas, a guest room or office, and an attached two-car garage. Portions of the first floor are recessed providing a visual break along the side elevations. The upper levels include three bedrooms and a game room and are also modulated to create elevation breaks on the sides. The bedroom locations and window placement are arranged to minimize privacy impacts to the two story units immediately to the north of the subject property that face Doctors Circle. The bathroom windows are also proposed with high sill heights and opaque glass to improve the interface with the neighboring properties

Elevations

The two duplex buildings are large in foot-print; however, the proposed massing and use of various materials will provide four-sided architecture and improve the aesthetics from street

views. The buildings are designed with clad siding and stucco and use stone veneer accents along the façade and at the main entryways. The front elevations use single garage doors, second story decks, a central landscaped strip and a change in materials to soften the building mass.

The second floor setback ranges from 6 feet to 10 feet to break up the vertical mass of the buildings. Second story balconies also provide a horizontal break along the front and rear building elevations. The first and second floors are also broken with shed roofs along the midsection of the building, which are along the side elevations. The proposed changes in materials, and modulated facades serve to break up the elevations both horizontally and vertically.

On-Site Parking and Vehicular Circulation

Either as a one-lot air space subdivision or an apartment project, the parking requirements are based on the number of bedrooms because the units are attached. The parking requirements are specified in Chapter VI, Article 1, Section 13-87, Table 13-85, Residential Parking Standards, of the Zoning Code.

As noted in the development summary table, the proposed development provides two enclosed garage spaces for each unit (eight spaces total); additionally, eight open parking spaces are provided within the front driveways along Thurin Street and Doctors Circle for a total of 16 on-site parking spaces, which complies with the number of parking spaces required per code. The on-site vehicular parking and circulation has been reviewed and approved by the Transportation Services Division.

Perimeter Walls/Fences

There is an existing block wall along the northern property line; however, a wood fence runs along the southern property line. A condition of approval require the construction of a matching perimeter block wall along the southern property line.

Residential Design Guidelines

The proposed buildings are consistent with the recommended guidelines with the exception of average side yard setback. The Residential Design Guidelines recommend that an average 10-foot setback be provided on the second story of units that are greater than 2,700 square feet in size.

Justifications for Approval

Pursuant to Title 13, Section 13-29(g), Findings, of the Costa Mesa Municipal Code, the Planning Commission shall find that the evidence presented in the administrative record substantially meets specified findings. Staff recommends approval of the proposed project, based on an assessment of facts and findings which are also reflected in the draft resolution as noted below:

- *The project exhibits excellence in design, site planning, integration of uses and structures, and protect the integrity of neighboring development.* The proposed

architecture and site design will enhance the street view. Mature trees will be preserved in place where possible. The overall architectural design promotes excellence and compatibility. Per the City's Residential Design Guidelines, the variety of building elevations, materials and staggered massing diminishes the boxy design appearance consistent with the guidelines. Second floor windows for Unit A in Duplex One and Two will be required to be offset or obscured to avoid visual impacts to the second story windows of the neighboring two-story apartment complex.

- The proposed two-story structures are consistent with the Residential Design Guidelines with respect to massing, articulation and second floor to first floor ratio (100% allowed, 81% proposed). The design incorporates the use of stone veneer accents and detailing along the front and side elevations. The elevations include a variety of vertical and horizontal plane breaks to relieve the appearance of bulk and mass. The proposed changes in materials serve as a visual transition from the first to the second level and along the side elevations of the buildings.
- The visual prominence of two-story duplexes has been reduced through appropriate transitions between the first and second floors and the provision of second floor offsets to avoid long unarticulated two-story walls. The building elevations include a variety of materials to highlight the vertical offsets and horizontal floor to floor transitions. Portions of the second story are stepped back from the first story to break up the vertical mass of the buildings. The location of adjacent structures were taken into consideration in in designing the floor plans and the window placement. Other properties have been developed in with the same layout and setbacks; specifically the duplex at 114 Albert Place.
- The proposed side yard setback will not impose privacy impacts. The average side setback is approximately 8 feet, which ranges from 6 to 10 feet; two of the bedrooms are setback 10 feet and the third bedroom with a 6-foot setback includes smaller windows with higher sill heights minimizing any privacy impacts to the neighboring properties. The overall architectural design promotes excellence and compatibility with the surrounding neighborhood. The two-story structures are designed with contemporary finishes that accent specific building features. The second-floor to first-floor ratio is well below the allowed 100% ratio recommended in the City's Residential Design Guidelines.

Staff believes that reduced average side yard setback can be supported in this case:

- The majority of the existing surrounding buildings are adequately separated from the subject property with the exception of two two-story buildings to the north closest to Doctor's Circle. The window placement and building location will minimize any privacy impacts to these units. The single-story apartments to the south of the site are located at 10 feet and 20 feet from the property line. A large tree near the north side of the abutting property provides privacy to the rear yard.
- The floor plan design and window locations take into consideration the surrounding properties. The project is designed with offset and windows with high sill heights to prevent any potential impacts to the two units that face

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Doctors Circle. These two-story apartments are set back five feet from the property line.

- The buildings use a cohesive architectural design and the two-story duplexes include a variety of gabled and hip roof designs to lower the roof height in relation to the abutting properties.
 - The side elevations incorporate mid shed roofs, stepped second stories and vertical modulation to break up the building mass and provide visual relief.
 - A deviation from the average second story setback was granted for the two unit project at 114 Albert Place (ZA-06-39), which is zoned R2-MD (See attached photo). The subject project is similar in design but would provide an additional ten foot setback from the front property line and a larger landscaped area along the sides of the property.
 - The overall architectural design promotes excellence and compatibility with the surrounding neighborhood. The two-story structures are designed with contemporary finishes that accent specific building features. The second-floor to first-floor ratio is well below the allowed 100% ratio recommended in the City's Residential Design Guidelines.
- The front setback shall be modified to create more open space area. The site plan currently features a 30-foot front yard setback from both Thurin and Doctor's Circle. This extensive driveway area constrains the size of the rear yards. To enhance the rear patio area for the enjoyment of the future residents, the applicant will modify the plans to feature a 20-foot front setback and a 38-foot wide drive approach. (The revised site plan is currently pending at the time of publication of this report.) This adjustment to the location of the duplexes and the width of the driveway will create more open space while maintaining consistency with zoning and transportation requirements.
 - The project will provide on-site parking spaces that meets current parking standards (16 spaces required; 16 spaces proposed). If the applicant obtains approval of a subdivision map, an incorporated Homeowner's Association is required to be established for this development. As applicable to a residential subdivision, a condition of approval requires that the Homeowner's Association or Maintenance Association submit a signed affidavit to the City of Costa Mesa on an annual basis to certify the following:
 - The two-car garages in the residential community are being used for vehicle parking by the resident(s).
 - The vehicle parking areas within the garage are not obstructed by storage items, including but not limited to, toys, clothing, tools, boxes, equipment, etc.
 - The resident(s) have consented to voluntary inspections of the garage to verify the parking availability, as needed.

The form and content of the affidavit shall be provided by the City Attorney's office. Failure to file the annual affidavit is considered a violation of this condition.

GENERAL PLAN CONFORMANCE

The density of the proposed project at 11 dwelling units per acre is below the allowable density of the Residential Medium Density General Plan designation of the subject property that allows up to 14 units per acre. The design of the units is consistent with the R2-HD zone and the Residential Design Guidelines.

The specific General Plan objectives with which the proposed project complies are as follows:

- *Land Use Objective LU-1A.4:* Strongly encourage the development of low-density residential uses and owner-occupied housing where feasible to improve the balance between rental and ownership housing opportunities.
- *Land Use Objective LU-2A.8:* Encourage increased private market investment in declining or deteriorating neighborhoods.

The project would replace dilapidated apartments with new units that would enhance the appearance and value of the site and its surroundings. The project will provide on-site parking spaces in compliance with the current parking standards.

The design of the units meet the intent of the City's Residential Development Standards and Design Guidelines. Off-set forms provide a visual transition and vertical relief to the wall planes. The elevations include second story decks and use of high quality building materials to highlight the entry points and building façades.

ENVIRONMENTAL DETERMINATION

The project is Categorically Exempt under California Environmental Quality Act Guidelines Section 15303, New Construction of Small Structures. In urbanized areas this exemption applies to apartments, duplexes, and similar structures for not more than six dwelling units. The site is currently developed with a single story residence within an urbanized area. The site is surrounded by multiple-family residential uses. The project is consistent with the General Plan designation and with all applicable General Plan policies as well as the zoning classification of Multiple-Family Residential (Medium Density) District.

LEGAL REVIEW

The draft resolutions have been reviewed and approved as to form by the City Attorney's Office.

ALTERNATIVES

1. *Approve the project with modifications.* The Planning Commission may suggest specific changes that are necessary to alleviate concerns. If any of the additional requested changes are substantial, the item should be continued to a future meeting to allow a redesign or additional analysis. In the event of significant modifications to the proposal, should the Planning Commission choose to do so,

staff will return with a revised resolution incorporating new findings and/or conditions.

2. Deny the project. If the Planning Commission believes that there are insufficient facts to support the findings for approval, Planning Commission must deny the application and provide facts in support of denial to be included in the attached draft resolution for denial. If the project were denied, the applicant could not submit substantially the same type of application for six months.

CONCLUSION

Approval of the project will allow development of four residential units. The project satisfies the required findings for the requested deviation from the recommended second story setback and is deemed to be a high-quality development, therefore it is consistent with the intent of the General Plan and Zoning Code.


ANTONIO GARDEA
Senior Planner


CLAIRE FLYNN, AICP
Asst. Director of Development Services

- Attachments:
1. Draft Planning Commission Resolutions
 2. Vicinity Map
 3. Zoning Map
 4. Site Photos & Photo of Duplex at 114 Albert Place
 5. Project Plans/Elevations

Distribution: Director of Economic & Development Services/Deputy CEO
Assistant Development Services Director
Senior Deputy City Attorney
Public Services Director
City Engineer
Transportation Services Manager
Fire Protection Analyst
Staff (6)
File (2)

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ATTACHMENT 1
DRAFT PLANNING COMMISSION RESOLUTIONS

RESOLUTION NO. PC-14-

**A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF COSTA MESA APPROVING PLANNING
APPLICATION PA-14-44 LOCATED AT 2136 THURIN
AVENUE**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Walt Bushman as the authorized agent on behalf of the property owner, requesting approval of *Planning Application PA-14-44* – Design Review for construction of two duplex structures for a total of four units on a 16,890-square foot parcel. The two-story project includes a deviation from the Residential Design Guidelines for the average side yard setback (10 foot average recommended; 8 foot average proposed);

WHEREAS, a duly noticed public hearing held by the Planning Commission on January 12, 2015 with all persons having the opportunity to speak for and against the proposal;

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit “A,” and subject to the conditions of approval contained within Exhibit “B,” the Planning Commission hereby **APPROVES** Planning Application PA-14-44.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-14-44 and upon applicant’s compliance with each and all of the conditions in Exhibit “B”, and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

BE IT FURTHER RESOLVED that if any section, division, sentence, clause, phrase or portion of this resolution, or the documents in the record in support of this resolution, are for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

PASSED AND ADOPTED this 12th day of January, 2015.

Jim Fitzpatrick, Chair
Chair, Costa Mesa Planning Commission

STATE OF CALIFORNIA)
)ss
COUNTY OF ORANGE)

I, Claire Flynn, Secretary to the Planning Commission of the City of Costa Mesa, do hereby certify that the foregoing Resolution was passed and adopted at a meeting of the City of Costa Mesa Planning Commission held on January 12, 2015 by the following votes:

AYES: COMMISSIONERS

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS

ABSTAIN: COMMISSIONERS

Secretary, Costa Mesa
Planning Commission

EXHIBIT "A"

FINDINGS

- A The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(14) in that:

Finding: The project complies with the City of Costa Mesa Zoning Code and meets the purpose and intent of the Residential Design Guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.

Facts in Support of Findings: The proposed architecture and site design will enhance the street view. Mature trees will be preserved in place where possible. The overall architectural design promotes excellence and compatibility with the neighborhood. Per the City's Residential Design Guidelines, the variety of building elevations, materials and staggered massing diminishes the boxy design appearance consistent with the guidelines.

The majority of the existing surrounding buildings are adequately separated from the subject property with the exception of two two-story buildings to the north closest to Doctor's Circle. The window placement and building location will minimize any privacy impacts to these units. The single-story apartments to the south of the site are located at 10 feet and 20 feet from the property line. A large tree near the north side of the abutting property provides privacy to the rear yard. Second floor windows for Unit A in Duplex One and Two will be required to be offset or obscured to avoid visual impacts to the second story windows of the neighboring two-story apartment complex.

The location of adjacent structures were taken into consideration in designing the floor plans and the window placement. The proposed side yard setback will not cause privacy impacts. The side elevations have smaller windows with higher sill heights minimizing any privacy impacts to the neighboring properties. A deviation from the average second story setback was granted for the two unit project at 114 Albert Place (ZA-06-39), which is zoned R2-MD (See attached photo). The subject project is similar in design but would provide an additional ten foot setback from the front property line and a larger landscaped area along the sides of the property.

The proposed two-story structures are consistent with the Residential Design Guidelines with respect to massing, articulation and second floor to first floor ratio (100% allowed, 81% proposed). The design incorporates the use of stone veneer accents and detailing along the front and side elevations. The elevations include a variety of vertical and horizontal plane breaks to relieve the appearance of bulk and mass. The proposed changes in materials serve as a visual transition from the first to the second level and along the side elevations of the buildings.

Finding: The visual prominence associated with the construction of two-story homes in a predominately one-story neighborhood has been reduced through appropriate transitions between the first and second floors and the provision of second floor offsets to avoid long unarticulated two-story walls.

Facts in Support of Findings:

The building elevations include a variety of materials to highlight the vertical offsets and horizontal floor to floor transitions. Portions of the second story are stepped back from the first story to break up the vertical mass of the buildings. The location of adjacent structures were taken into consideration in in designing the floor plans and the window placement.

The overall architectural design promotes excellence and compatibility with the surrounding neighborhood. The two-story structures are designed with contemporary finishes that accent specific building features. The second-floor to first-floor ratio is well below the allowed 100% ratio recommended in the City's Residential Design Guidelines.

- B. The project is Categorically Exempt under California Environmental Quality Act Guidelines Section 15303 – New Construction of Small Structures. In urbanized areas this exemption applies to apartments, duplexes, and similar structures for not more than six dwelling units. The site is currently developed with a single story residence within an urbanized area. The site is surrounded by multiple-family residential uses. The project is consistent with the General Plan designation and with all applicable General Plan policies as well as the zoning classification of Multiple-Family Residential (Medium Density) District.

- C. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code

EXHIBIT "B"

CONDITIONS OF APPROVAL

- Plng.
1. The conditions of approval for PA-14-44 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
 2. The landscaped strip between the driveways shall be a minimum of two feet wide unless otherwise approved by the Development Services Director.
 3. All landscaped areas shall be separated from paved vehicular areas by six inch high continuous Portland Cement Concrete curbing.
 4. The driveways shall be constructed with decorative paving materials.
 5. A decorative six-foot high perimeter block wall shall be constructed around the southern perimeter of the site to match the existing block wall along the northern perimeter, prior to issuance of certificates of occupancy unless otherwise approved by the Development Services Director. Where walls on adjacent properties already exist, the applicant shall work with the adjacent property owner(s) to prevent side-by-side walls with gaps in between them and/or provide adequate privacy screening by trees and landscaping.
 6. The interior fences or walls between the homes shall be a minimum of six feet high masonry block wall or decorative wood fencing subject to final approval of Development Services Department.

The open, unassigned parking spaces shall be clearly marked as guest parking spaces. Signage will be posted to indicate that these spaces are available to all visitors.
 7. Prior to issuance of building permits, a final landscape plan indicating the landscape palette and the design/material of paved areas shall be submitted for review and approval by the Planning Division.
 8. The landscape plans shall be revised to incorporate the planting of one tree on each side of the drive approaches along Thurin Avenue and Doctors Circle.
 9. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
 10. No modification(s) of the approved building elevations including, but not limited to, change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process or a variance, or in the requirement to modify the construction to reflect the approved plans.

Second floor windows for Unit A in Duplex One and Two shall be offset or obscured to avoid visual impacts to the second story windows of the neighboring apartment complex.
 11. The exterior drain downspouts shall be painted to match the building exterior(s). This condition shall be completed under the direction of the Planning Division.

12. Prior to issuance of grading permits, developer shall submit for review and approval a Construction Management Plan. This plan features methods to minimize disruption to the neighboring residential uses to the fullest extent that is reasonable and practicable. The plan shall include construction parking and vehicle access and specifying staging areas and delivery and hauling truck routes. The plan should mitigate disruption to residents during construction. The truck route plan shall preclude truck routes through residential areas and major truck traffic during peak hours. The total truck trips to the site shall not exceed 200 trucks per day (i.e., 100 truck trips to the site plus 100 truck trips from the site) unless approved by the Development Services Director or Transportation Services Manager.
13. The subject property's ultimate finished grade level may not be filled/raised in excess of 30 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site storm water flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. Such alternatives may include subsurface tie-in to public storm water facilities, subsurface drainage collection systems and/or sumps with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties.
14. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
15. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
16. Prior to release of any utilities, the applicant shall provide proof of establishment of a maintenance or homeowners association.
17. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of, or which are in any way related to, the applicant's project, or any approvals granted by City related to the applicant's project. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section. City shall have the right to choose its own legal counsel

to represent the City's interests, and applicant shall indemnify City for all such costs incurred by City.

18. In the event that a subdivision map for condominium purposes is approved for this development, the following conditions, as applicable, shall apply:
 - 1) Prior to issuance of building permits, the applicant shall provide the Conditions, Covenants, and Restrictions (CC&Rs) to the Development Services Director and City Attorney's office for review. The CC&Rs must be in a form and substance acceptable to, and shall be approved by the Development Services Director and City Attorney's office.
 - a. The CC&Rs shall contain provisions requiring that the HOA homeowner's association (HOA) effectively manage parking and contract with a towing service to enforce the parking regulations.
 - b. The CC&Rs shall also contain provisions related to preservation and maintenance of the common lot and common open space areas in perpetuity by the homeowner's association.
 - c. The CC&Rs shall contain a notice that all open parking spaces shall be unassigned and available for visitors.
 - d. The CC&R's shall contain restrictions requiring residents to park vehicles in garage spaces provided for each unit. Storage of other items may occur only to the extent that vehicles may still be parked within the required garage at the number for which the garage was originally designed and to allow for inspections by the association to verify compliance with this condition.
 - e. Any subsequent revisions to the CC&Rs related to these provisions must be reviewed and approved by the City Attorney's office and the Development Services Director before they become effective.
 - 2) The Homeowner's Association or Maintenance Association shall submit a signed affidavit to the City of Costa Mesa on an annual basis to certify the following:
 - a. The two-car garages in the residential community are being used for vehicle parking by the resident(s).
 - b. The vehicle parking areas within the garage are not obstructed by storage items, including but not limited to, toys, clothing, tools, boxes, equipment, etc.
 - c. The resident(s) have consented to voluntary inspections of the garage to verify the parking availability, as needed.
 - 3) The form and content of the affidavit shall be provided by the City Attorney's office. Failure to file the annual affidavit is considered a violation of this condition.
 - 4) The CC&Rs shall be recorded prior to issuance of certificates of occupancy.
 - 5) Prior to issuance of building permits, the applicant shall provide proof of recordation of Parcel Map PM-14-107.

- Parks 19. The project is subject to installation of four 24-inch box *Pinus Canariensis* or four *Syagrus romanzoffiana* (7' minimum brown trunk height) along Thurin Avenue and Doctors Circle subject to approval of Public Services Department. Trees or palms shall be planted 3-4 feet behind proposed sidewalk configuration in dedicated ROW (one (1) tree or one (1) palm on each side of drive approach on Thurin Avenue and Doctor's Circle).
- Utilities 20. Prior to the issuance of a connection permit, the applicant shall pay the applicable water connection fees.

CODE REQUIREMENTS (PA-14-44)

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Bus. Lic. 1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
- Const Hrs 2. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Years Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
- Plng. 3. Approval of the planning/zoning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) obtains demo permit(s), grading permit(s), or building permit(s) for the authorized construction and initiates construction; and/or 2) obtains a business license and/or legally establishes the business. If the applicant is unable to establish the use/obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the planning/zoning application.
4. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
5. Prior to issuance of building permits, applicant shall contact the US Postal Service with regard to location and design of mail delivery facilities. Such facilities shall be shown on the site plan, landscape plan, and/or floor plan.
6. Street address shall be visible from the public street and shall be displayed on the complex identification sign. If there is no complex identification sign, the street address may be displayed on the fascia adjacent to the main entrance or on another prominent location. When the property has alley access, address numerals shall be displayed in a prominent location visible from the alley. Street address numerals shall be a minimum six (6) inches in height with not less than one-half-inch stroke and shall contrast sharply with the background. Identification of individual units shall be provided adjacent to the unit entrances. Letters or numerals shall be four (4) inches in height with not less than one-fourth-inch stroke and shall contrast sharply with the background.
7. Two (2) sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines, shall

be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.

8. All antennas not screened either by solid opaque wall(s), fence(s), vegetation, landscaping or other material(s) deemed acceptable by the Planning Division, shall be finished in a color deemed unobtrusive to the neighborhood in which it is located, under the direction of the Planning Division.
9. All on-site utility services shall be installed underground.
10. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
11. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
- Bldg. 12. Comply with the requirements of the 2013 California Building Code, 2013 California Residential Code, 2013 California Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted, California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards, and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Areas of alteration and additions shall comply with 2013 California Green Building Standards Code section 5.303.2 and 5.303.2
13. The applicant shall submit grading plans, an erosion control plan and a hydrology study. A precise grading plan shall not be required if any of the following are met:
 - 1- An excavation which does not exceed 50 CY on any one site and which is less than two feet in vertical depth, or which does not create a cut slope greater than 1 ½:1 (excluding foundation area).
 - 2- A fill less than one foot in depth placed on natural grade with a slope flatter than 5:1, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
 - 3- A fill less than three feet in depth, not intended to support structures, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
14. The applicant shall submit a Soils Report for this project. Soils Report recommendations shall be blueprinted on both the architectural and precise grading plans.

15. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus two percent. 2013 California Building Code CRC 403.1.7.3.

The lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of six inches within the first ten feet. CRC R401.3

16. Projections, including eaves, shall be one-hour fire resistive construction, heavy timber or of noncombustible material if they project into the five foot setback area from the property line. They may project a maximum of 12 inches beyond the three foot setback. CRC Tables R302.1(1) and R302.1(2).

- Fire
17. Prior to the issuance of a Building Permit, the City of Costa Mesa Fire Department shall review and approve the project design features to assess compliance with the California Building Code and California Fire Code. Fire staff shall examine the projected demands of the proposed Project and make recommendations to ensure that adequate personnel/resources will be available to meet projected demand. Recommendations of the study shall be implemented to the satisfaction of the Fire Department to ensure that emergency response impacts are minimized to below a level of significance.

- Sani.
18. The applicant shall submit a trash pick-up route subject to review and approval of the Costa Mesa Sanitation District (CMSD). The route shall facilitate cart pick-up on the right hand side of the truck. The bins shall be placed side-by-side approximately one foot apart and at least three feet from any obstruction. If we CMSD cannot safely service this property, dumpster service shall be required.

19. The applicant shall submit plans for review and approval by the Mesa Water District.

SPECIAL DISTRICT REQUIREMENTS (PA-14-44)

The requirements of the following special districts are hereby forwarded to the applicant:

- Sani.
1. Applicant will be required to construct sewers to serve this project, at his own expense, meeting the approval of the Costa Mesa Sanitary District.
 2. County Sanitation District fees, fixture fees, inspection fees, and sewer permit are required prior to installation of sewer. To receive credit for buildings to be demolished, call (714) 754-5307.
 3. Applicant shall submit a plan showing sewer improvements that meets the District Engineer's approval to the Building Division as part of the plans submitted for plan check.
 4. The applicant is required to contact the Costa Mesa Sanitary District at (714) 754-5307 to arrange final sign-off prior to certificate of occupancy being released.

5. Unless an off-site trash hauler is being used, applicant shall contact the Costa Mesa Sanitary District at (714) 754-5043 to pay trash collection program fees and arrange for service for all new residences. Residences using bin or dumpster services are exempt from this requirement.
6. Applicant shall contact Costa Mesa Sanitary District at (949) 654-8400 for any additional district requirements.
- AQMD 7. Applicant shall contact the Air Quality Management District (AQMD) at (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.
- School 8. Pay applicable Newport Mesa Unified School District fees to the Building Division prior is issuance of building permits.
- State 9. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.

RESOLUTION NO. PC-14-

**A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF COSTA MESA DENYING PLANNING APPLICATION
PA-14-44 FOR PROPERTY LOCATED AT 2136 THURIN
AVENUE**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES
AS FOLLOWS:

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY
RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Walt Bushman as the authorized agent on behalf of the property owner, requesting approval of ***Planning Application PA-14-44*** – Design Review (Planning Application PA-14-44) for construction of two duplex structures for a total of four units on a 16,890-square foot parcel. The two-story project includes a deviation from the Residential Design Guidelines for the average side yard setback (10 foot average recommended; 8 foot average proposed).

WHEREAS, a duly noticed public hearing held by the Planning Commission on January 12, 2015 with all persons having the opportunity to speak for and against the proposal;

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, the Planning Commission hereby **DENIES** Planning Application PA-14-44.

PASSED AND ADOPTED this 12th day of January, 2015.

Jim Fitzpatrick, Chair
Chair, Costa Mesa Planning
Commission

EXHIBIT A

FINDINGS (DENIAL)

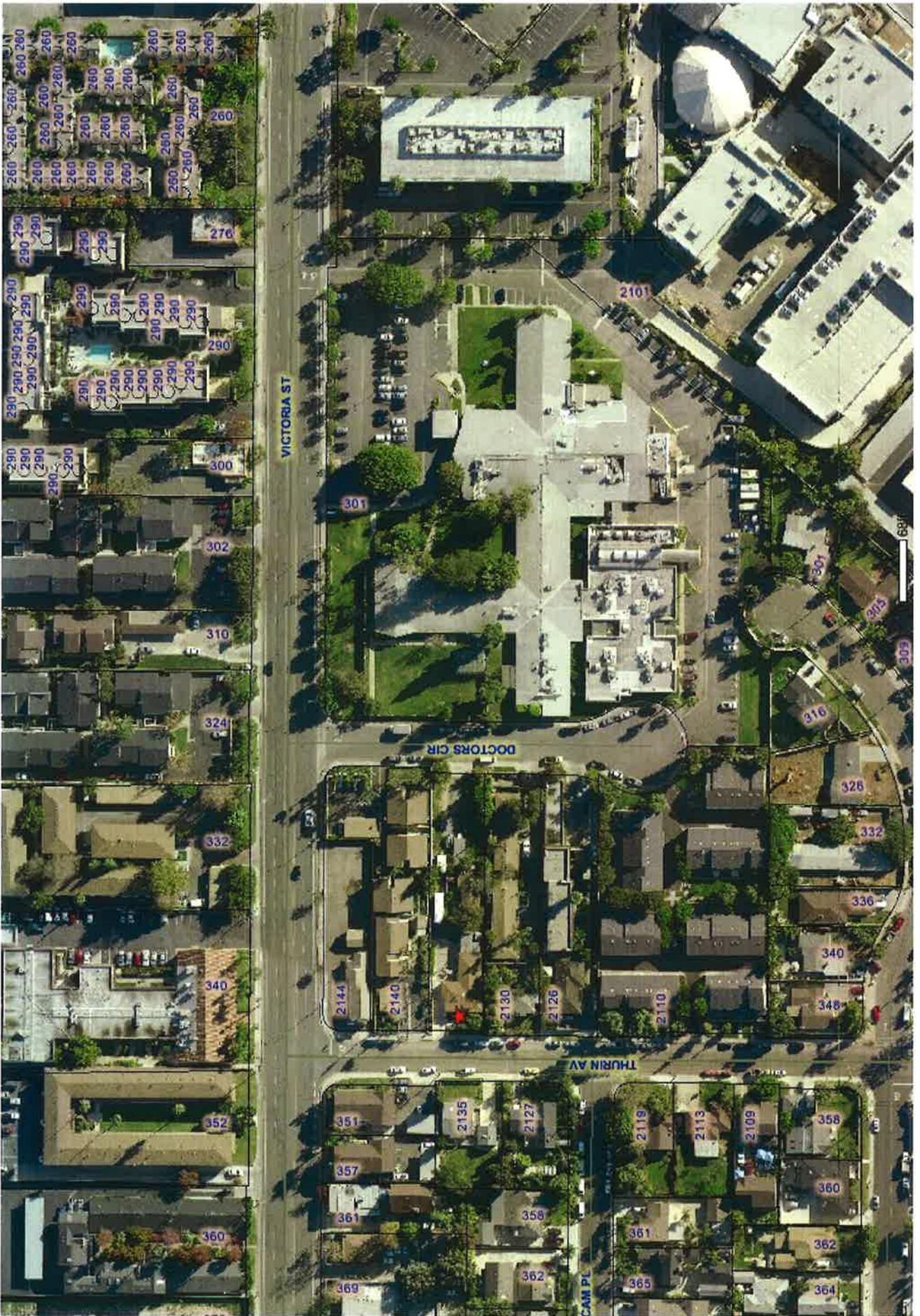
- A. The proposed project does not comply with Costa Mesa Municipal Code Section Code Section 13-29(g)(6) because:
 - 1. The improvement will be materially detrimental to the health, safety and general welfare of persons residing or working within the immediate vicinity of the project or to property and improvements within the neighborhood.
 - 2. The improvement is not compatible and enhances the architecture and design of the existing and anticipated development in the vicinity. This includes the site planning, land coverage, landscaping, appearance, scale of structures, open space and any other applicable features relative to a compatible and attractive development.

- B. The Costa Mesa Planning Commission has denied Planning Application PA-14-26 and Tentative Tract Map TT-17791. Pursuant to Public Resources Code Section 21080(b)(5) and CEQA Guidelines Section 15270(a) CEQA does not apply to this project because it has been rejected and will not be carried out.

- C. The project is exempt from Chapter IX, Article 11, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

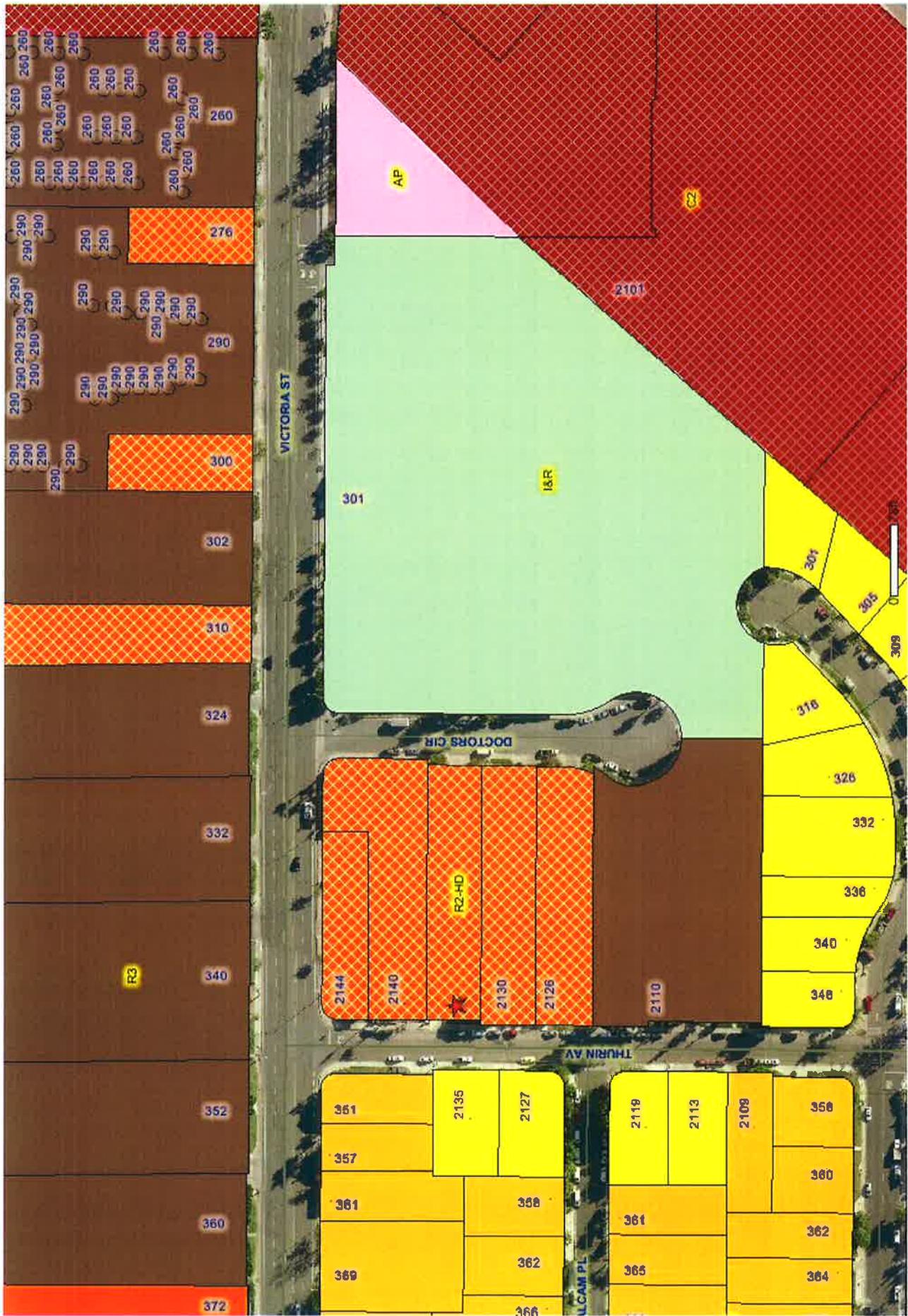
ATTACHMENT 2

VICINITY MAP



ATTACHMENT 3

ZONING MAP



ATTACHMENT 4

SITE PHOTOS AND PHOTO OF 114-118 ALBERT PLACE

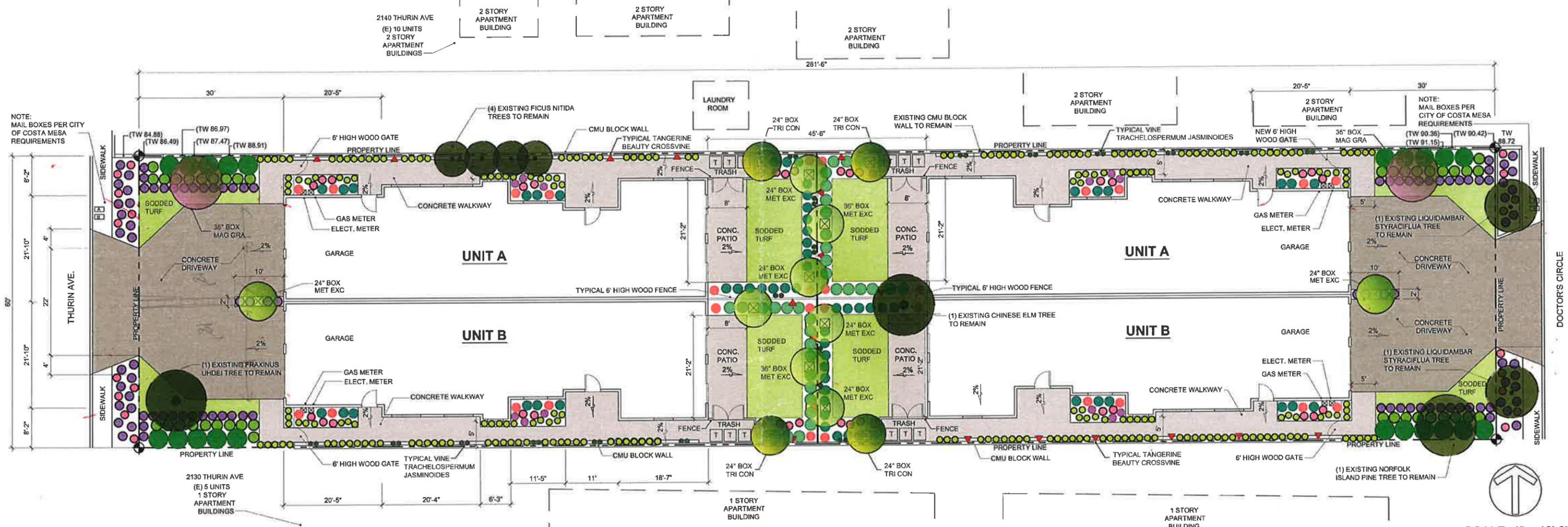




114-118 ALBERT PLACE



**ATTACHMENT 5
PROJECT PLANS/ELEVATIONS**



SCALE: 1" = 10'-0"

LEGEND

NEW TREES

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	METROSIDEROS EXCELSUS	NEW ZEALAND CHRISTMAS TREE	36" BOX 24" BOX	2 6
	MAGNOLIA GRANDIFLORA	'SAMUEL SOMMER' MAGNOLIA	24" BOX	2
	TRISTANA CONFERTA	BRISBANE BOX	24" BOX	4

SHRUBS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	CAREX BUCHANANII	FOX RED CURLY SEDGE	1 GAL.	20
	GARDENIA JASMINOIDES	EVERBLOOMING GARDENIA	5 GAL.	180
	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	15 GAL.	21
	LAVANDULA DENTATA	FRENCH LAVENDER	5 GAL.	64
	LIMONIUM PEREZII	SEA LAVENDER	5 GAL.	12
	PITTOSPORUM TOBIRA 'WHEELERS DWARF'	PITTOSPORUM TOBIRA	5 GAL.	22
	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN	5 GAL.	65
	ROSA SPECIES 'ICEBERG'	'ICEBERG' ROSE	5 GAL.	39
	STRELITZIA REGINAE	BIRD OF PARADISE	5 GAL.	20

ADDITIONAL PLANTS (OTHER THAN SHOWN ON PLANS) TO BE SUPPLIED BY CONTRACTOR AND SPOTTED BY LANDSCAPE ARCHITECT
 50-1 GAL. BACOPA
 40-1 GAL. LIRIOPE MUSCARI BIG BLUE LILY TURF
 40-1 GAL. FESTUCA GLAUCA- FESCUE

SODDED TURF MARATHON II (1900 S.F.)

VINES

VINES TO BE REMOVED FROM STAKES AND TRAINED TO WALL

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	BIGNONIA CAPREOLIATA 'TANGERINE BEAUTY'	TANGERINE BEAUTY CROSSVINE	5 GAL.	18
	TRACHELOSPERMUM	STAR JASMINE	5 GAL.	16

GENERAL PLANTING NOTES

1. MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.
2. VERIFY ALL PLANT MATERIAL QUANTITIES PRIOR TO INSTALLATION. PLANT MATERIAL QUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITY DESIGNATED.
3. FURNISH AND PAY FOR ALL CONTAINER GROWN TREES, SHRUBS. BE RESPONSIBLE AND PAY FOR: PLANTING OF ALL PLANT MATERIALS; THE SPECIFIED GUARANTEE OF ALL PLANT MATERIALS; THE STAKING, GUYING AND DRAINAGE DEVICES OF TREES AND THE CONTINUOUS PROTECTION OF ALL PLANT MATERIALS UPON THEIR ARRIVAL AT THE SITE.
4. INSTALL 2" THICK BARK MULCH SHALL BE CONTINUOUS UNDER ALL LANDSCAPE PLANTING AREAS.
5. ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
6. ALL BOXED TREES SHALL BE SELECTED AND SPOTTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE.
7. ALL SOIL PREPARATION SHALL BE INSTALLED AS PER THE SOIL AGRONOMY REPORT TO BE PROVIDED AND PAID FOR BY THE CONTRACTOR FROM AN APPROVED SOILS LABORATORY. FORWARDED TO THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
8. THE SOIL AMENDMENTS SHALL BE PER THE SOILS AGRONOMY REPORT PROVIDED AND PAID BY THE CONTRACTOR FROM AN APPROVED SOILS LABORATORY FORWARDED TO THE LANDSCAPE ARCHITECT UPON COMPLETION.
9. THE PLANTING PITS FOR BOXED TREES SHALL BE EXCAVATED PER THE DETAILS INDICATED. THE BACKFILL MIX SHALL BE PER THE SOILS REPORT PAID BY THE CONTRACTOR FROM AN APPROVED SOILS LABORATORY.
10. ALL LANDSCAPING SHALL BE WATERED BY AN LOW FLOW IRRIGATED SYSTEM WITH TIME CLOCK, WIND SENSOR AND WATER SENSOR. NO OVER SPRAY SHALL BE PERMITTED.
11. FERTILIZER APPLICATION SHALL BE PER SPECIFICATIONS.
12. FERTILIZER TABLETS SHALL BE AGRIFORM, 21 GRAM TABLETS (20-10-5) IN QUANTITIES AS FOLLOWS:
 1 GALLON SHRUBS - 1
 5 GALLON SHRUBS - 3
 15 GALLON SHRUBS - 4
 BOXED TREES - 1 PER 4" OF BOX SIZE
 PLACE TABLETS AT HALF THE DEPTH OF THE ROOTBALL.

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RMA INTERNATIONAL
LANDSCAPE ARCHITECTURE & PLANNING
 315 3 RD STREET SUITE N
 HUNTINGTON BEACH, CA 92648
 EMAIL: robert@rmaesign.net
 P (562) 618-9119



CEFALIA 2 APARTMENT DUPLEXES
 2136 THURIN AVE.
 COSTA MESA, CA 92626
 949.933.7986

L-1

LANDSCAPE PLANTING PLAN

EXTERIOR ELEVATION NOTES:

- 1. 7/8" thick stucco over "K" lath over grade D, 60 min. building felt. (see plan) (see note #2).
- 2. Exterior lath & plaster. Provide two layers of grade D paper over all wood base sheathing. CBC 2510.6
- 3. Provide a weep screed for stucco at the foundation plate line a min. of 4" above the earth or 2" above paved areas. RC703.6.2.1
- 4. Composition shingle roof (Class A) over lapped 30# A.S. building felt. "Flk" ESR-1001
- 5. "Coronado Stone" ESR-2598 stone veneer over "K" lath over (2) layers min. 15# felt. Veneer units are 1 3/4" max. thickness with "Class A" finish rating per ASTM E84. Installed units do not exceed 15 lbs. per sq. ft. Use type "S" mortar setting bed per CRC section R607.4. Install weep screed per CRC R703.6.2.1. with holes spaced max. 33" oc and min. dia. 3/16". (Install per manufacturer's specifications.)
- 6. "Pacific Stone" precast concrete molding (glass fiber reinforced). (Install per manufacturer's specifications.)



SIDE ELEVATION UNIT A (Unit B opposite/similar)

1/4"=1'-0"



REAR ELEVATION

1/4"=1'-0"



FRONT ELEVATION

1/4"=1'-0"

36

Plans prepared by **Walt Bushman @**
Custofa Home Design

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Certified Green Building Professional
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2480 Santa Ana Ave., Costa Mesa, CA 92627

REVISIONS	BY

Cefalia 2 Apartment Duplexes
2136 Thurin Ave.
Costa Mesa, CA. 92626
949-933-7986

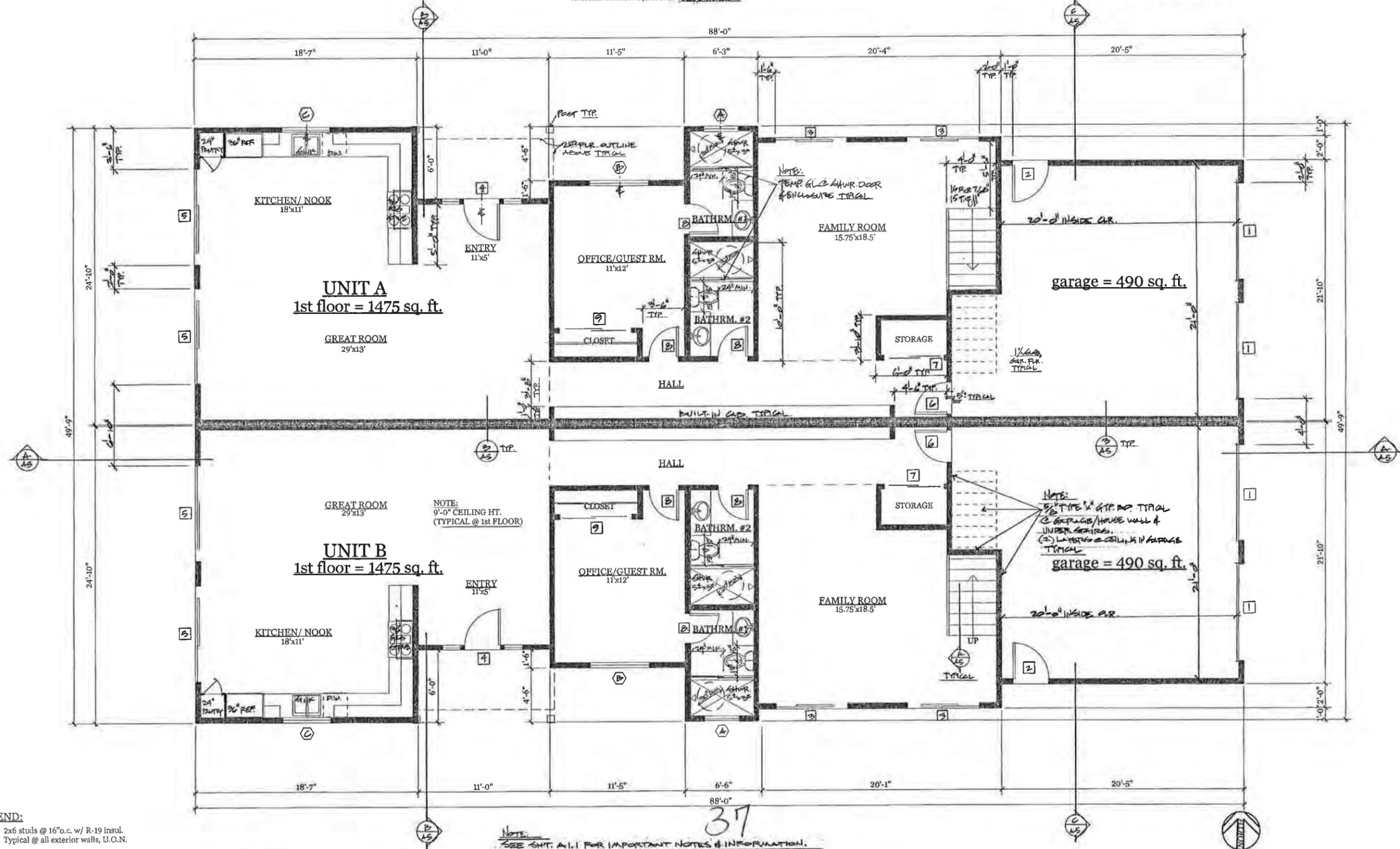
Colored Elevations
Date: 7-8-2014
Scale: AS NOTED
Drawn: WB
Job: 2014-
Sheet:
Of: 1 Sheets

- LOOK GIVE WINDOW NOTES:**
1. ALL EXTERIOR DOORS TO BE 1 3/4" THK. SOLID CORE. U.O.N. (SEE PLAN)
 2. ALL WINDOWS TO BE VINYL FRAME. DBL GL. LOW "E". (SEE PLAN)
 3. ALL INTERIOR DOORS TO BE 1 3/4" THK. SOLID CORE. U.O.N. (SEE PLAN)
 4. PENETRATIONS WITH "U" VALUE LOWER THAN DEFAULT VALUE MUST HAVE PERMANENT LABEL. OTHER PENETRATIONS MAY HAVE A FACTORY REMOVABLE LABEL.
 5. EMERGENCY EGRESS FROM SLEEPING ROOMS:
MIN. AREA = 5.7 SQ. FT.
MIN. WIDTH = 20"
MIN. HEIGHT = 24"
MAX. SILL HEIGHT = 44"
- NOTE**
Window U factor = .37
SHGC = .24
- NOTE**
"Penetrations must have temporary and permanent labels."

- DOOR SCHEDULE:**
- | QTY | SYMBOL | DESCRIPTION |
|-----|--------|--|
| 1 | 1 | 24" SW PULL UP SECTIONAL GAR. DR. |
| 2 | 2 | 30" SW 1 3/4" GL. |
| 6 | 3 | 30" SW 1 3/4" GL. TEMP. GL., PEL. GL., VINYL FRAME |
| 2 | 4 | 30" SW 1 3/4" GL. 1 LITE PR. TEMP. GL. W/20" LEAD GLASS, TEMP. GL., PEL. GL. |
| 2 | 5 | 30" SW 1 3/4" GL. TEMP. GL., PEL. GL., VINYL FRAME |
| 2 | 6 | 30" SW 1 3/4" GL. 20 MIN. RATED TIGHT FITTING, SELF LATCHING, SELF CLOSING |
| 2 | 7 | 50" SW 1 3/4" GL. CAS. |
| 2 | 8 | 30" SW 1 3/4" GL. |
| 1 | 9 | 60" SW 1 3/4" GL. CAS. |
| 2 | 10 | 50" SW 1 3/4" GL. PAIR OF 2S DR. |

- WINDOW SCHEDULE:**
- | QTY | SYMBOL | DESCRIPTION |
|-----|--------|-------------------------------|
| 1 | 1 | 24" x 24" TEMP. GL., OSG. GL. |
| 6 | 2 | 50" x 50" x 0 |
| 2 | 3 | 48" x 48" x 0 |
| 2 | 4 | 50" x 48" x 0, OSG. GL. |
| 6 | 5 | 20" x 28" AWNING, OSG. GL. |
| 6 | 6 | 18" x 28" AWNING, TEMP. GL. |

NOTE:
All plumbing fixtures shall be complying with the maximum flow rates as noted in the residential construction minimum requirements. SEE SCHEDULE.



WALL LEGEND:
2x6 studs @ 16" o.c. w/ R-19 insul.
Typical @ all exterior walls, U.O.N.

NOTE:
SEE SHT. A1.1 FOR IMPORTANT NOTES & INFORMATION.

1st FLOOR PLAN

SCALE: 1/4" = 1'-0"

Plans prepared by Walt Bushman @
Custom Home Design

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Certified Green Building Professional
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2480 Santa Ana Ave., Costa Mesa, CA. 92627

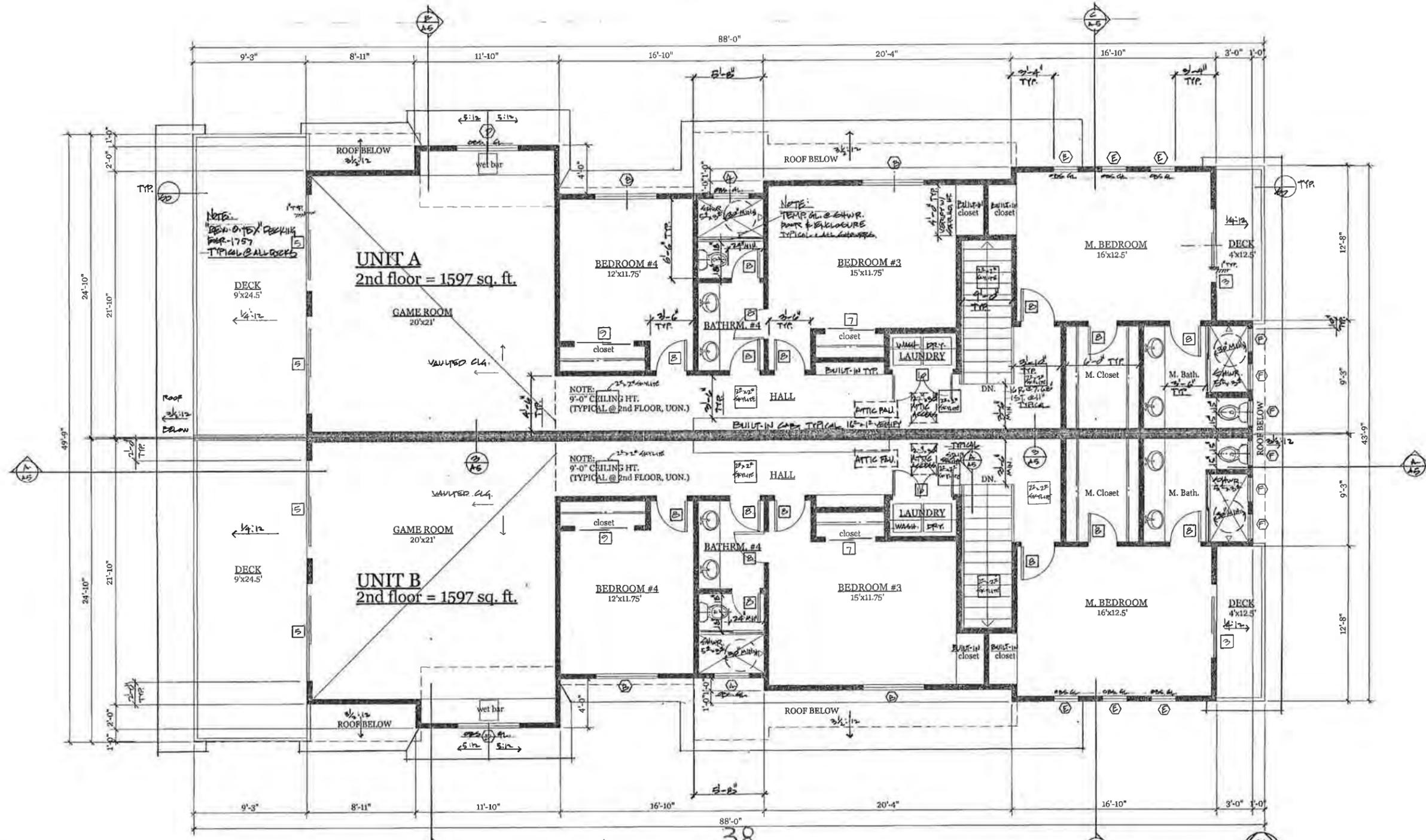
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2136 Thurin Ave.
Costa Mesa, CA. 92626
949-933-7986

1st Floor Plan

Date: 7-8-2014
Scale: AS NOTED
Drawn: WB
Job: 2014
Sheet:
A2
Of: Sheets

NOTE:
All plumbing fixtures shall be complying with the maximum flow rates as noted in the residential construction minimum requirements. SEE SHT. A1.1.



WALL LEGEND:
2x6 studs @ 16" o.c. w/ R-19 insul.
Typical @ all exterior walls, U.O.N.

NOTE:
1. SEE SHT. A2, 1st FLOOR PLAN, FOR DOOR & WINDOW SCHEDULES.
2. SEE SHT. A1.1 FOR IMPORTANT NOTES & INFORMATION.

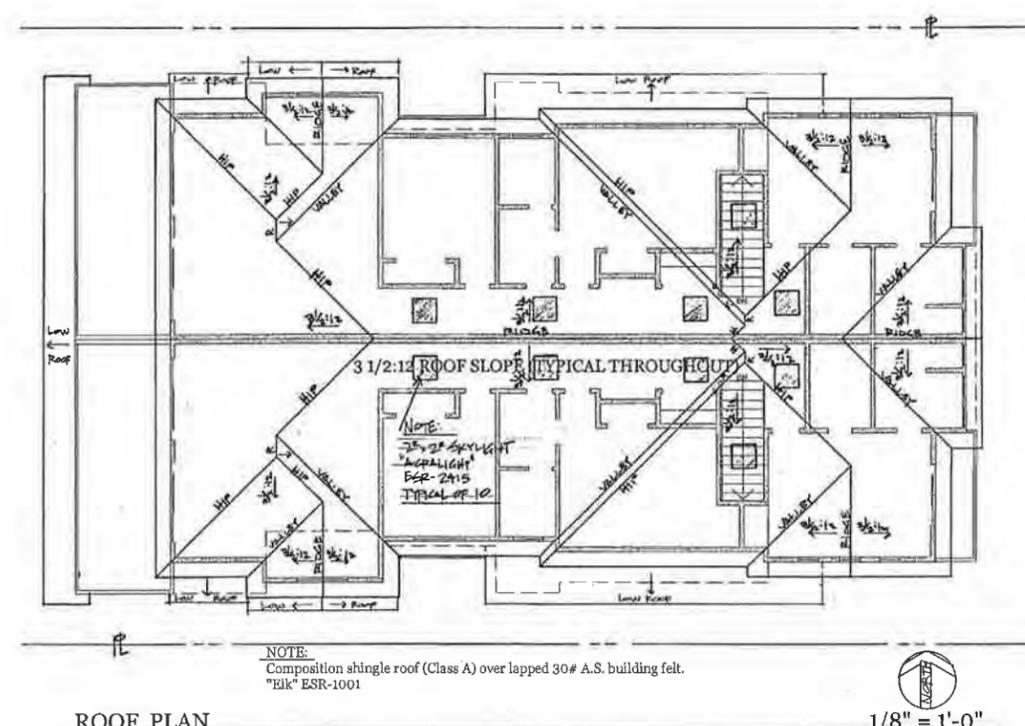
2nd FLOOR PLAN

SCALE: 1/4"=1'-0"

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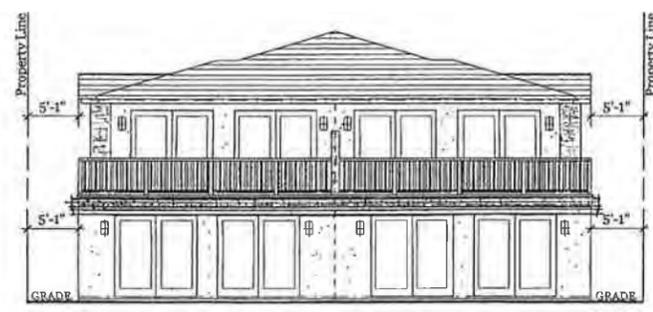
2nd Floor Plan
Date: 7-8-2014
Scale: AS NOTED
Drawn: WB
Job: 2014
Sheet:
A3
Of: Sheets



NOTE:
Composition shingle roof (Class A) over lapped 30# A.S. building felt.
"Elk" ESR-1001

ROOF PLAN

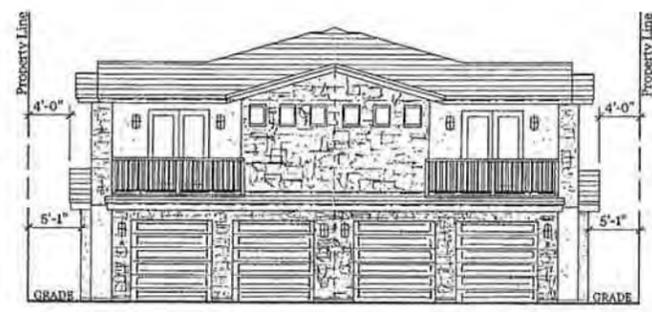
1/8" = 1'-0"



REAR ELEVATION 1/8" = 1'-0"



SIDE ELEVATION UNIT A (Unit B opposite/similar) 1/8" = 1'-0"



FRONT ELEVATION 1/8" = 1'-0"

EXTERIOR ELEVATION NOTES:

- 1) 7/8" thick stucco over "K" lath over grade D, 60 min. building felt. (see plan) (see note #2).
- 2) Exterior lath & plaster: Provide two layers of grade D paper over all wood base sheathing. CBC 2510.6
- 3) Provide a weep screed for stucco at the foundation plate line a min. of 4" above the earth or 2" above paved areas. R703.6.2.1
- 4) Composition shingle roof (Class A) over lapped 30# A.S. building felt. "Elk" ESR-1001
- 5) "Coronado Stone" ESR-2598 stone veneer over "K" lath over (2) layers min. 15# felt. Veneer units are 1 3/4" max. thickness with "Class A" finish rating per ASTM E84. Installed units do not exceed 15 lbs. per sq. ft. Use type "S" mortar setting bed per CRC section R607.1. Install weep screed per CRC R703.6.2.1. with holes spaced max. 33" oc and min. dia. 3/16". (Install per manufacturer's specifications.)
- 6) "Pacific Stone" precast concrete molding (glass fiber reinforced). (Install per manufacturer's specifications.)

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Ext. Elevations
Roof Plan
Date: 7-7-2014
Scale: AS NOTED
Drawn: WB.
Job: 2014-
Sheet:
A4
Of: Sheets

General Notes for Offsite/Street Improvement Plan
(Revised 2/2003)

- All work and materials within the public right-of-way shall conform to the City of Costa Mesa Standard Drawings. The Conditions of Approval as approved on EA-03-090, 2003, and shall meet the approval of the City Engineer.
- All work shall be performed and all materials shall be in accordance with City of Costa Mesa Standard Drawings and the Standard Specifications for Public Works Construction, (Green Book) current edition.
- Contractor shall furnish and install all signs, lights, barricades, flashing arrow board and any other traffic control or warning devices, including flagmen, as may be required by the City Engineer. All items mentioned shall be in conformance with the current requirements as specified in the latest edition of the "Construction Safety Orders," and W.A.T.C.H. Failure to so will be cited under applicable section of the C.V.C. and corrective costs to the City will be charged.
- LANE CLOSURES:**
ARTERIALS - No lane closures allowed during holiday period starting the week of Thanksgiving through the week of New Years unless by special permission from the Public Services Director.
LOCALS - No lane closures allowed during weeks of Thanksgiving, Christmas, or New Years unless by special permission from the Public Services Director.
- Contractor shall obtain a Public Services Department Construction Access and Encroachment permits prior to the start of any on-site construction or within public right-of-way and request inspection 24 hours in advance of performing any work. Telephone (714) 754-5025. The Contractor shall maintain a copy of permits and signed plans on the job site.
- Permits will be required from Mesa Consolidated Water District, Irvine Ranch Water District, Orange County Water District, Orange County Sanitation District, or Costa Mesa Sanitary District for construction or modification of water and sewer improvements to their facilities. The contractor shall notify each 48 hours prior to beginning construction. Construction within Cal-Trans right-of-way, will require permits and plan approval from Cal-Trans as well as the City of Costa Mesa. Locate and protect all existing utilities in place.
- Plans approved by Southern California Edison, Pacific Bell or Southern California Gas Company is required prior to issuance of encroachment permits related to their facilities.
- The Contractor shall pay for all soil and materials tests deemed necessary as determined by the City Engineer.
- Pavement and base thickness as shown are based on a preliminary "R" value. During construction a soils test may be requested by the City to determine the actual "R" value and the thickness will be adjusted accordingly. Tests shall be made by a licensed Soils Engineer and approved by the City Engineer.
- All existing drainage courses on the project must continue to function, especially during storm conditions, and approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading project. In all cases, the Contractor and/or developer shall be held liable for any damages due to obstruction of natural drainage patterns. If the foregoing cannot be complied with, a fully executed notarized, and recorded agreement between the affected parties will be required. All haul routes must be approved by the Manager of Transportation Services.
- The project site shall be maintained in a "wet-down" condition to prevent excessive dust. Spillage and dust shall be removed from the public right-of-way by sweeping or sprinkling; however, watering, that results in mud on public streets is not permitted as a substitute for other cleaning methods.
- All utility trench backfill, material, and compaction shall conform to City of Costa Mesa Standard Drawing No. 813. Bore under existing improvements—tunneling is not allowed. No open excavations will be allowed overnight—backfill or plate.
- All PCC and AC to be joined shall be sawcut in a clean straight line as approved by the City Engineer.
- All obstructions, within the public sidewalk such as power poles, street lights, fire hydrants utility pedestals, mailboxes, and street signs shall have minimum of 4' of clear sidewalk placed behind them.
- If requested, "As Built" drawings shall be submitted to the City Engineering Division upon completion of improvements as shown on the approved plans.
- No removal of trees from the public right-of-way will be permitted without specific approval from the Parks and Recreation Commission and compliance with mitigation measures as determined by the Commission to relocate the trees and/or to compensate the city for the loss of trees from the public right-of-way. Conditions of the Parks and Recreation Commission must be incorporated onto these plans prior to plan approval.
- Planting of parkway trees and installation of irrigation lines installed, including risers, heads, valves, and meters as directed and in accordance with the requirements of the Public Services Department.
- All construction staking shall be done by a licensed land surveyor or engineer, certified in writing as to line and grade per approved plans, and submitted to the City Engineer.
- No work shall be done on adjacent properties or adjacent owners improvements without obtaining written permission from the owners of the adjacent properties, and submitting a copy thereof to City Engineering Division.
- Work, once began, shall be proceed to completion immediately to provide minimum inconvenience to adjacent property owners and the traveling public.
- ALL STREET STATIONING REFERS TO THE CENTER LINE OF THE STREET AND CURB DATA REFERS TO THE FACE OF CURB.
- For all asphalt concrete material to be placed within the public right-of-way, prior to the start of the paving operation, permittee shall submit a mix design to the city for approval. The paving operation shall not start until the mix design had been approved by the City Engineer.
- All underground work shall be complete prior to any surface work in the public right-of-way.
- Where driveway depressions are constructed, the driveway approaches shall be constructed to property line per City of Costa Mesa Standard Plans. Location, type and width are to be approved by the City Transportation Service Manager.
- Crush miscellaneous base may be used under walks, curbs, and gutters in lieu of crushed aggregate base.

- Any lot corner or County of Orange bench mark, monument, or its destroyed or displaced shall be restored to its original position by a licensed engineer or surveyor. Any change in location or elevation shall be reported to the City Engineer and County of Orange. Comply with all City and County requirements for replacement.
- Geologic and/or Soils Reports prepared by NO ASSAYS and dated , have been reviewed and approved by the Building Official including all supplements, addenda, and amendments thereto are included by reference. Copies of these reports are on file at the Division. All recommendations contained therein must be followed.**
- All storm drain work and materials shall conform to the City of Costa Mesa, Public Services Department, Engineering Division's Storm Drain Design Guidelines (latest revision), and the City Costa Mesa Standard Plans and meet the approval of the City Engineer.
- All catch basins shall have horizontal protection bars per LACI CD Standard Drawing 2d 175, with Local Depression No. 4 per Standard Drawing 415.
- All existing storm drain manholes shall be left below subgrade. The Contractor shall raise the manhole frames and covers to finished grade and make necessary repairs to the pavement per city requirements and standards.
- A permit will be required from the County of Orange for connection into the existing flood control channel and for all other work within their jurisdiction.
- All installation and work affecting Flood Control District properties or facilities shall conform with Standard Specifications and with the provisions of the construction permit granted by the District. Contractor shall maintain a copy of said permit and stamped plans on the job site. Use of District property and conformance with file above shall be subject to inspection and approval by the District's duly assigned inspector. District inspection shall be notified 24 hours prior to commencement of any work in accordance with permit provisions.

CONSTRUCTION NOTES FOR STREET IMPROVEMENTS

- HORIZONTAL SAW CUT EXISTING CURB FACE, 2/2,
- REMOVE EXISTING AND CONSTRUCT TYPE (C-6) CURB AND GUTTER PER CITY OF COSTA MESA STANDARD DRAWING NO. 312 OVER 6" CMB. CONTRACTOR SHALL RECONSTRUCT A MINIMUM OF 3' OF AC ADJACENT TO NEW GUTTER. THE NEW SLOT PAVE STRUCTURAL SECTION SHALL BE 6" AC OVER 6" CMB. EXTEND CURB AND GUTTER REMOVAL TO NEXT JOINT IF LESS THAN 8' AWAY.
- REMOVE EXISTING AND CONSTRUCT TYPE (C-6) (C-8) CURB AND GUTTER PER CITY OF COSTA MESA STANDARD DRAWING NO. 312 OVER 6" CMB. PROTECT EXISTING STREET BY SAWCUTTING THE JOINT BETWEEN EDGE OF GUTTER AND AC STREET PAVEMENT. EXTEND CURB AND GUTTER REMOVAL TO NEXT JOINT IF LESS THAN 8' AWAY. IF THE AC IS CUT OR DAMAGED, CONTRACTOR SHALL RECONSTRUCT A MINIMUM OF OF AC ADJACENT TO NEW GUTTER. THE SLOT PAVE STRUCTURAL SECTION SHALL BE AC FULL DEPTH AC OVER CMB NATIVE, AND RESURFACE THE STREET PER THE REQUIREMENTS AS NOTED ON PLANS.
- REMOVE EXISTING AND CONSTRUCT PCC CROSS-GUTTER / SPANDREL PER CITY OF COSTA MESA STANDARD DRAWING NO. 415 OVER 8" CMB (MODIFIED PER THIS DRAWING). IF THE AC IS CUT OR DAMAGED, CONTRACTOR SHALL RECONSTRUCT A MINIMUM OF OF AC ADJACENT TO CROSS-GUTTER / SPANDREL. THE SLOT PAVE STRUCTURAL SECTION SHALL BE AC FULL DEPTH AC OVER CMB NATIVE, AND RESURFACE THE STREET PER THE REQUIREMENTS AS NOTED ON PLANS.
- REMOVE EXISTING AND CONSTRUCT CURB AND GUTTER PER CITY OF COSTA MESA STANDARD DRAWING NO. 312 (MODIFIED TO ROLLED CURB TYPE) OVER 6" CMB. CONTRACTOR SHALL RECONSTRUCT A MINIMUM OF OF AC ADJACENT TO NEW GUTTER. THE NEW SLOT PAVE STRUCTURAL SECTION SHALL BE AC FULL DEPTH AC OVER CMB NATIVE. EXTEND CURB AND GUTTER REMOVAL TO NEXT JOINT IF LESS THAN 8' AWAY.
- REMOVE EXISTING AND CONSTRUCT TYPE (C-8) CURB AND GUTTER PER CITY OF COSTA MESA STANDARD DRAWING NO. 312 OVER 8" CMB. EXTEND CURB AND GUTTER REMOVAL TO NEXT JOINT IF LESS THAN 8' AWAY.
- CONSTRUCT NEW RESIDENTIAL SIDEWALK PER CITY OF COSTA MESA STANDARD DRAWING NO. 411 & 415 OVER 4" CMB.
- REMOVE EXISTING PER CITY OF COSTA MESA STANDARD DRAWING NO. 811 & AND RECONSTRUCT RESIDENTIAL SIDEWALK PER CITY OF COSTA MESA STANDARD DRAWING NO. 411 & 413 OVER 4" CMB.
- CONSTRUCT NEW COMMERCIAL SIDEWALK PER CITY OF COSTA MESA STANDARD DRAWING NO. 412 OVER 4" CMB.
- REMOVE EXISTING PER CITY OF COSTA MESA STANDARD DRAWING NO. 811 & AND RECONSTRUCT COMMERCIAL SIDEWALK PER CITY OF COSTA MESA STANDARD DRAWING NO. 412 OVER 4" CMB.

- REMOVE EXISTING AND CONSTRUCT TYPE 1 (P) DRIVEWAY APPROACH PER CITY OF COSTA MESA STANDARD DRAWING NO. 513 OVER 6" CMB AND MODIFIED PER DETAIL ON THIS DRAWING TO COMPLY WITH A.D.A. REGULATIONS. W=20, X=4.
- REMOVE EXISTING AND CONSTRUCT COMMERCIAL TYPE DRIVEWAY APPROACH PER CITY OF A.P.W.A. STANDARD DRAWING NO. 110.8 OVER 6" CMB AND MODIFIED PER DETAIL ON THIS DRAWING TO COMPLY WITH A.D.A. REGULATIONS. CURB & GUTTER SHALL BE POURED MONOLITHIC WITH DRIVEWAY APPROACH.
- REMOVE EXISTING AND RECONSTRUCT A MINIMUM OF 1' WIDE SLOT PAVE ADJACENT TO NEW CURB AND GUTTER. THE NEW STRUCTURAL SECTION SHALL BE AC OVER CMB NATIVE.
- TRENCH REMOVAL AND RECONSTRUCTION PER CITY OF COSTA MESA STANDARD DRAWING NO. 811. NO SLURRY BACKFILL ALLOWED.
- SIDEWALK REMOVAL PER CITY OF COSTA MESA STANDARD DRAWING NO. 811. SIDEWALK RECONSTRUCTION PER CITY OF COSTA MESA STANDARD DRAWING NO. 411, 412 & 413.
- DRIVEWAY REMOVAL PER CITY OF COSTA MESA STANDARD DRAWING NO. 811. DRIVEWAY APPROACH RECONSTRUCTION PER CITY OF COSTA MESA STANDARD DRAWING NO. 513, 514, 515 AND MODIFIED TO MEET A.D.A. REGULATIONS.
- CONSTRUCT PARKWAY DRAIN PER CITY OF COSTA MESA STANDARD DRAWING NO. 418. - " CIRCULAR PIPE. CASE 1. INLET.
- CONSTRUCT CURB DRAIN PER AMERICAN PUBLIC WORKS ASSOCIATION (A.P.W.A.) STANDARD DRAWING NO. 150-2. " - " CIRCULAR PIPES. CASE 1. INLET.
- CONTRACTOR SHALL CONSTRUCT AC OVERLAY FROM VARIABLE DEPTH AT EDGE OF NEW GUTTER TO 0' AT CENTERLINE OF STREET. WIDTH MAY BE REDUCED AT THE DIRECTION OF THE INSPECTOR. MINIMUM CROSS SLOPE SHALL NOT BE LESS THAN BE 2%. MAXIMUM CROSS SLOPE SHALL NOT BE GREATER THAN 4%.
- REMOVE EXISTING AND CONSTRUCT PCC CROSS-GUTTER / SPANDREL PER CITY OF COSTA MESA STANDARD DRAWING NO. 415 OVER 8" CMB (MODIFIED PER THIS DRAWING). INCLUDING RECONSTRUCTING 3' OF AC PAVEMENT ADJACENT TO NEW PCC CROSS-GUTTER / SPANDREL. THE SLOT PAVE STRUCTURAL SECTION SHALL BE AC FULL DEPTH AC OVER CMB NATIVE.
- PROTECT EXISTING INTERLOCKING PAVERS IN PLACE. ALL INTERLOCKING PAVERS REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR. PRIOR TO REPLACEMENT, THE CONTRACTOR SHALL SUBMIT THE METHODOLOGY OF REPAIR/REPLACEMENT OF THE INTERLOCKING PAVERS AND STRUCTURAL SECTION TO THE CITY ENGINEER FOR APPROVAL. NO REPAIR/REPLACEMENT SHALL PROCEED UNTIL APPROVAL RECEIVED FROM THE CITY ENGINEER.

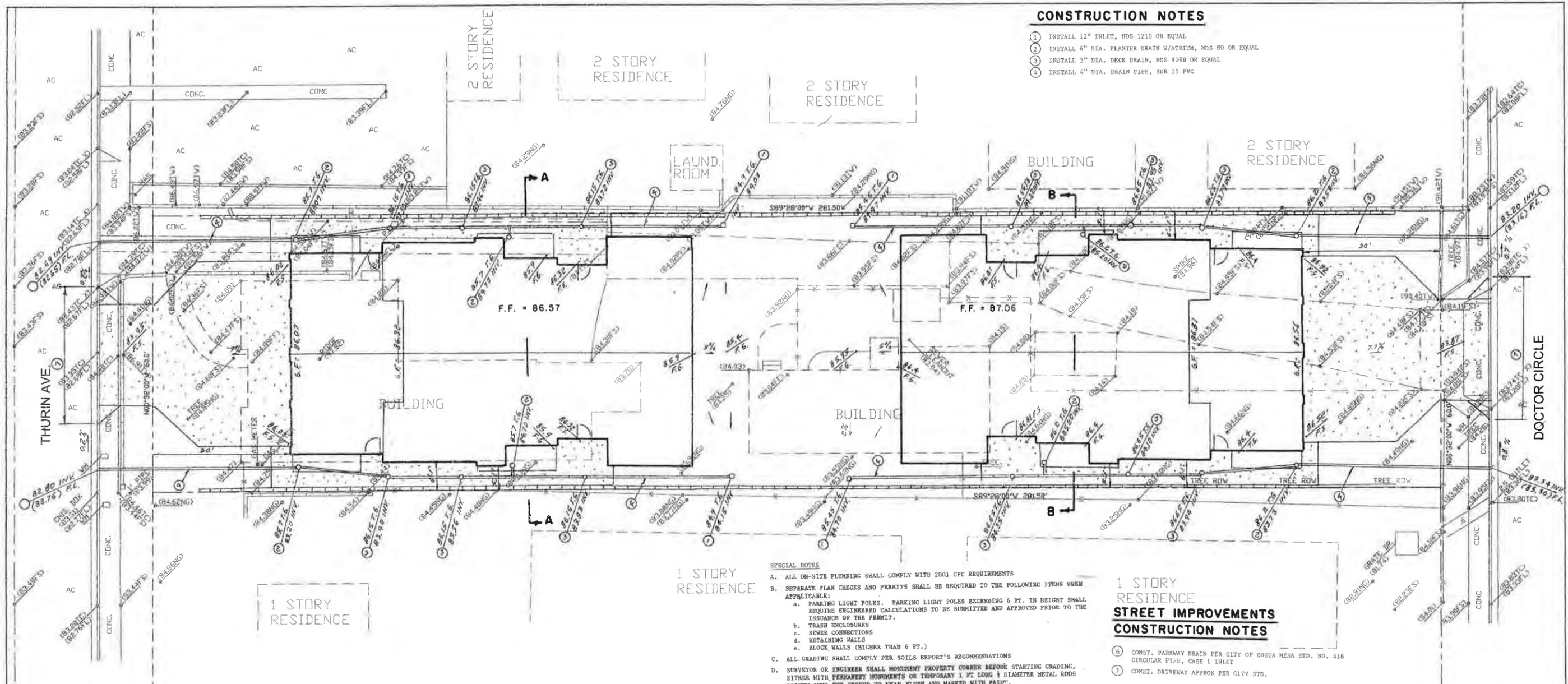
BASIS OF BEARINGS:	BENCH MARK:	SOILS ENGINEER:	OWNER:	THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF: <u>William F. Young</u> WILLIAM F. YOUNG R.C.E. 35715 DATE: <u>9-30-14</u>	GRADING & STREET IMPROVEMENT PLAN
					CITY: <u>9-30-14</u> PROJECT NO.: <u> </u> SHEET NO.: <u>0-2487</u> DRAWN BY: <u>W.F.Y.</u> CHECKED BY: <u> </u> DATE: <u> </u> ALPINE ENGINEERING, INC. 25011 NOULTON PKWY., #15, LABINA HILLS, CA 92658 (949) 800-3000 FAX: <u> </u> U.C.



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CONSTRUCTION NOTES

- 1. INSTALL 12" INLET, NDS 1210 OR EQUAL
- 2. INSTALL 6" DIA. PLANTER DRAIN W/ATRIUM, NDS 80 OR EQUAL
- 3. INSTALL 3" DIA. DECK DRAIN, NDS 909B OR EQUAL
- 4. INSTALL 4" DIA. DRAIN PIPE, SDR 35 PVC

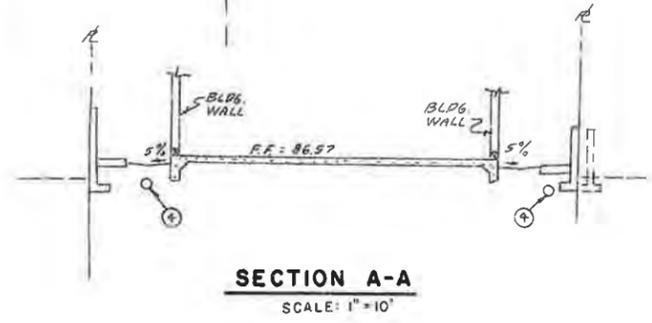


SPECIAL NOTES

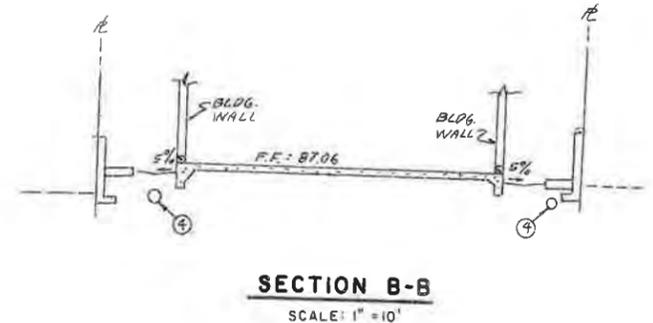
- A. ALL ON-SITE PLUMBING SHALL COMPLY WITH 2001 CPC REQUIREMENTS
- B. SEPARATE PLAN CHECKS AND PERMITS SHALL BE REQUIRED TO THE FOLLOWING ITEMS WHEN APPLICABLE:
 - a. PARKING LIGHT POLES. PARKING LIGHT POLES EXCEEDING 6 FT. IN HEIGHT SHALL REQUIRE ENGINEERED CALCULATIONS TO BE SUBMITTED AND APPROVED PRIOR TO THE ISSUANCE OF THE PERMIT.
 - b. TRASH ENCLOSURES
 - c. SEWER CONNECTIONS
 - d. RETAINING WALLS
 - e. BLOCK WALLS (HIGHER THAN 6 FT.)
- C. ALL GRADING SHALL COMPLY PER SOILS REPORT'S RECOMMENDATIONS
- D. SURVEYOR OR ENGINEER SHALL MONUMENT PROPERTY CORNER BEFORE STARTING GRADING, EITHER WITH PERMANENT MONUMENTS OR TEMPORARY 1 FT LONG 1 DIAMETER METAL RODS DRIVEN INTO THE GROUND TO BEAR FLUSH AND MARKED WITH PAINT.

1 STORY RESIDENCE STREET IMPROVEMENTS CONSTRUCTION NOTES

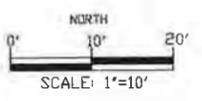
- 6. CONST. PARKWAY DRAIN PER CITY OF COSTA MESA STD. NO. 418 CIRCULAR PIPE, CASE 1 INLET
- 7. CONST. DRIVEWAY APRON PER CITY STD.



SECTION A-A
SCALE: 1" = 10'



SECTION B-B
SCALE: 1" = 10'



OWNER:
JIM CEFALIA
 1224 OCEANFRONT
 NEWPORT BEACH, CA 92661
 (949) 933-7986

THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF:
 WILLIAM F. YOUNG
 EXP. 9-30-15
 R.C.E. 35715
 DATE 9-30-14

2136 THURIN
 COSTA MESA, CA

GRADING PLAN

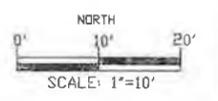
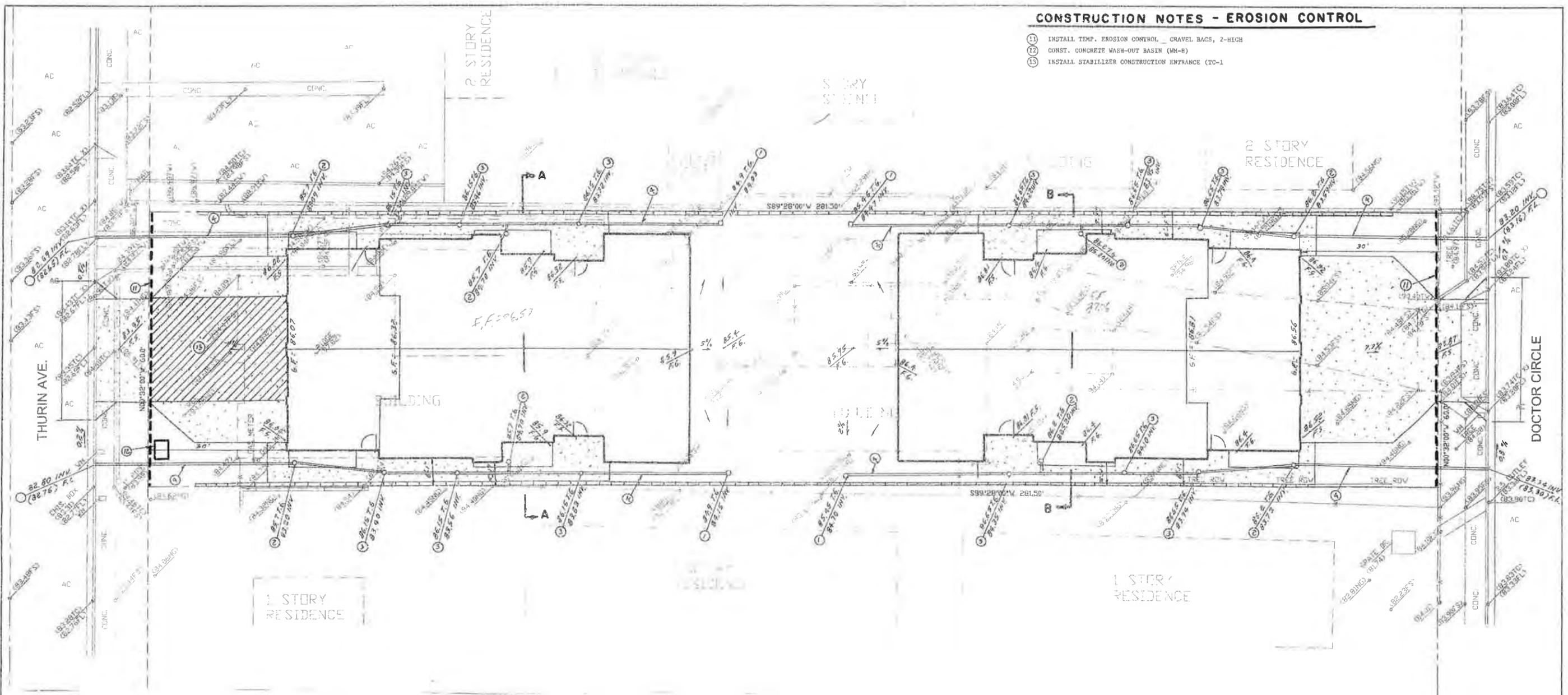
ALPINE ENGINEERING, INC.
 21041 MOULTON PKWY, J-12, LAGUNA HILLS, CA 92653
 (949) 955-8055

SHEET 3 OF 4 SHEETS

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CONSTRUCTION NOTES - EROSION CONTROL

- 11 INSTALL TEMP. EROSION CONTROL - GRAVEL BAGS, 2-HIGH
- 12 CONST. CONCRETE WASH-OUT BASIN (WM-B)
- 13 INSTALL STABILIZER CONSTRUCTION ENTRANCE (TO-1)



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OWNER:
JIM CEFALIA
 1224 OCEANFRONT
 NEWPORT BEACH, CA 92661
 (949) 933-7986

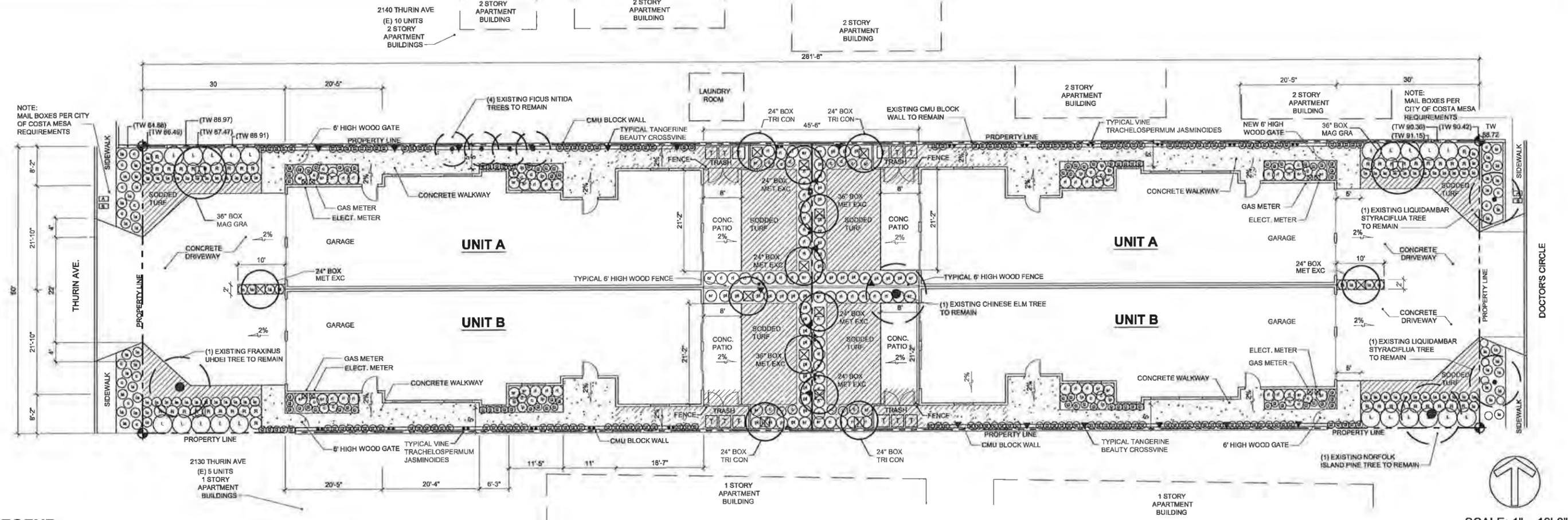
THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF:
William F. Young
 WILLIAM F. YOUNG EXP. 9-30-15 9-30-14
 OCE 35715 DATE

2136 THURIN
 COSTA MESA, CA

**EROSION CONTROL
 GRADING PLAN**

9-30-14
 ALPINE ENGINEERING, INC.
 23011 MOULTON PKWY., J 12, LAGUNA HILLS, CA 92653
 0-2407 W.F.Y. (949) 933-8088 L.J.C.

SHEET
4
 OF 4 SHEETS

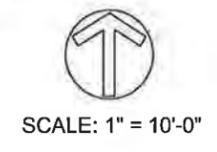


LEGEND

NEW TREES				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
MET EXC	METROSIDEROS EXCELSUS	NEW ZEALAND CHRISTMAS TREE	36" BOX 24" BOX	2 6
MAG GRA	MAGNOLIA GRANDIFLORA	'SAMUEL SOMMER' MAGNOLIA	36" BOX	2
TRI CON	TRISTANA CONFERTA	BRISBANE BOX	24" BOX	4
SHRUBS				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
(c)	CAREX BUCHANANII	FOX RED CURLY SEDGE	1 GAL	20
(gj)	GARDENIA JASMINOIDES	EVERBLOOMING GARDENIA	5 GAL.	180
(L)	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	15 GAL.	21
(la)	LAVANDULA DENTATA	FRENCH LAVENDER	5 GAL	64
(lp)	LIMONIUM PEREZII	SEA LAVENDER	5 GAL	12
(pt)	PITTIOSPORUM TOBIRA' WHEELERS DWARF	PITTIOSPORUM TOBIRA	5 GAL	22
(ri)	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN	5 GAL.	65
(r)	ROSA SPECIES 'ICEBERG'	'ICEBERG' ROSE	5 GAL.	39
(sr)	STRELITZIA REGINAE	BIRD OF PARADISE	5 GAL	20
ADDITIONAL PLANTS (OTHER THAN SHOWN ON PLANS) TO BE SUPPLIED BY CONTRACTOR AND SPOTTED BY LANDSCAPE ARCHITECT 40-1 GAL. LIRIOPE MUSCARI BIG BLUE LILY TURF 40-1 GAL. FESTUCA GLAUCA- FESCUE 50- 1 GAL BACOPA				
VINES: TO BE REMOVED FROM STAKES AND TRAINED TO WALL				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
▼	BIGNONIA CAPREOIATA 'TANGERINE BEAUTY'	TANGERINE BEAUTY CROSSVINE	5 GAL	18
••	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GAL	18

GENERAL PLANTING NOTES

- 1 MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK
2. VERIFY ALL PLANT MATERIAL QUANTITIES PRIOR TO INSTALLATION. PLANT MATERIAL QUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITY DESIGNATED.
3. FURNISH AND PAY FOR ALL CONTAINER GROWN TREES, SHRUBS. BE RESPONSIBLE AND PAY FOR: PLANTING OF ALL PLANT MATERIALS; THE SPECIFIED GUARANTEE OF ALL PLANT MATERIALS; THE STAKING, GUYING AND DRAINAGE DEVICES OF TREES AND THE CONTINUOUS PROTECTION OF ALL PLANT MATERIALS UPON THEIR ARRIVAL AT THE SITE.
4. INSTALL 2" THICK BARK MULCH SHALL BE CONTINUOUS UNDER ALL LANDSCAPE PLANTING AREAS.
5. ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION
6. ALL BOXED TREES SHALL BE SELECTED AND SPOTTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE.
7. ALL SOIL PREPARATION SHALL BE INSTALLED AS PER THE SOIL AGRONOMY REPORT TO BE PROVIDED AND PAID FOR BY THE CONTRACTOR FROM AN APPROVED SOILS LABORATORY. FORWARDED TO THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
8. THE SOIL AMENDMENTS SHALL BE PER THE SOILS AGRONOMY REPORT PROVIDED AND PAID BY THE CONTRACTOR FROM AN APPROVED SOILS LABORATORY FORWARDED TO THE LANDSCAPE ARCHITECT UPON COMPLETION.
9. THE PLANTING PITS FOR BOXED TREES SHALL BE EXCAVATED PER THE DETAILS INDICATED. THE BACKFILL MIX SHALL BE PER THE SOILS REPORT PAID BY THE CONTRACTOR FROM AN APPROVED SOILS LABORATORY.
10. ALL LANDSCAPING SHALL BE WATERED BY AN LOW FLOW IRRIGATED SYSTEM WITH TIME CLOCK, WIND SENSOR AND WATER SENSOR. NO OVER SPRAY SHALL BE PERMITTED.
11. FERTILIZER APPLICATION SHALL BE PER SPECIFICATIONS
12. FERTILIZER TABLETS SHALL BE AGRIFORM, 21 GRAM TABLETS (20-10-5) IN QUANTITIES AS FOLLOWS:
1 GALLON SHRUBS - 1
5 GALLON SHRUBS - 3
15 GALLON SHRUBS - 4
BOXED TREES - 1 PER 4" OF BOX SIZE
PLACE TABLETS AT HALF THE DEPTH OF THE ROOTBALL



RMA INTERNATIONAL
LANDSCAPE ARCHITECTURE & PLANNING
 315 3 RD STREET SUITE N
 HUNTINGTON BEACH, CA 92648
 EMAIL: robert@rmaesign.net
 P (562) 618-9119



CEFALIA 2 APARTMENT DUPLEXES
 2136 THURIN AVE.
 COSTA MESA, CA 92626
 949.933.7986

L-1

LANDSCAPE PLANTING PLAN

44



PLANNING COMMISSION

SUPPLEMENTAL MEMO

MEETING DATE: JANUARY 12, 2015

ITEM NUMBER

PH-2

**SUBJECT: PLANNING APPLICATION PA-14-44 – DESIGN REVIEW
2136 THURIN AVENUE**

DATE: JANUARY 6, 2015

FROM: ANTONIO GARDEA, SENIOR PLANNER *AG*

**FOR FURTHER INFORMATION CONTACT: ANTONIO GARDEA, (714) 754-5692
antonio.gardea@costamesaca.gov**

The purpose of this memo is to provide the revised site plan to the Planning Commission and update the figures in the Planning Application Summary. The front setback was modified to increase the size of the rear yards and overall open space. The following changes resulted from the site plan revision:

1. The revised front yard setback provides a 65 foot separation between the duplexes;
2. The additional space increases the individual private rear yard areas from 675 square feet to 982 square feet;
3. The total open space increased by more than 400 square feet;
4. Onsite open space increased from 40 percent to 43 percent; and
5. The greater building separation also enables the preservation of an existing Chinese Elm tree.

Attachments: 1. Revised Planning Application Summary
2. Revised Site Plan

Distribution: Director of Economic & Development/Deputy CEO
Interim Assistant Development Services Director
Senior Deputy City Attorney
Public Services Director
City Engineer
Transportation Services Manager
Fire Protection Analyst
Staff (6)
File (2)

PLANNING APPLICATION SUMMARY

Location: 2136 Thurin Avenue
 APN 419-021-24

Application Number: PA-14-44

Request: Design Review application for a four unit residential development.

SUBJECT PROPERTY:

Zone: R2-HD
 General Plan: HDR
 Lot Dimensions: Rectangular
 Lot Area: 16,890 (0.39 acre)
 Existing Development: One parcel developed with a single-story apartment

SURROUNDING PROPERTY:

North: Two-Story, Multi-Family Residential
 South: One-Story, Multi-Family Residential
 East: College Hospital (Across Doctors Circle)
 West: Single-Family and Multi-Family Residential

DEVELOPMENT STANDARD COMPARISON

R2-MD	Required/Allowed	Proposed/Provided
Lot Area	12,000 SF	0.39 acre (16,890 SF)
Maximum Density:	14 units per acre	10 units per acre
Maximum Number of Units (1 dwelling unit per 3,000 sq.ft.)	5 units	4 units
Lot Coverage	10,134 SF (60%)	9,604 SF (57%)
Open Space	6,756 (40%)	7,286 SF (43%)
Private Open Space	200 SF	982 SF
Height	Two Stories / 27 FT	27 FT
Setbacks:		
Front	20 FT	20 FT
Side	5 FT	5 FT
Side – 2 nd Story	10 FT AVG	8 FT – 3 IN¹
Rear	20 FT	32 FT – 9 IN
Distance between Buildings	Min. 10 FT	65 FT
Bulk/Massing/Residential Design Guideline: Percentage of 2 nd floor to 1 st floor	100 %	81%
Parking	4 covered spaces 12 open spaces	8 garage spaces 8 open spaces
Total	16 spaces	16 spaces
Min. Driveway Length	Min. 19 FT	20 FT
Final Action	Planning Commission	
CEQA Review	Exempt, Class 3, New Construction of Small Structures	

¹ Units with greater than 2,700 SF of living area are recommended to provide an average 10 foot second-story setback. Deviation from Residential Design Guidelines are subject to approval of Minor Design Review

