



PLANNING COMMISSION AGENDA REPORT

MEETING DATE: FEBRUARY 23, 2015

ITEM NUMBER:

PH-3

SUBJECT: PLANNING APPLICATION PA-14-49: VARIANCE FROM REAR YARD SETBACK FOR A SINGLE FAMILY RESIDENCE AND ATTACHED SECOND UNIT AT 456 ABBIE WAY

DATE: FEBRUARY 13, 2015

FROM: PLANNING DIVISION / DEVELOPMENT SERVICES DEPARTMENT

PRESENTATION BY: STEPHANIE ROXAS, ASSOCIATE PLANNER

FOR FURTHER INFORMATION CONTACT: STEPHANIE ROXAS, AICP (714) 754-5667
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DESCRIPTION

The proposed project involves the following:

- **Variance** to reduce the rear yard setback requirements for a single-family residence and attached second unit (10 feet minimum required for one-story structures and 20 feet for two-story structures; 5 feet 11 inches proposed for one-story and two-story additions).

APPLICANT

Philip Nielsen of Philip J Nielsen Design & Drafting is the authorized agent for the property owner, Alan Kirkland.

RECOMMENDATION

Staff recommends the Planning Commission approve the project by adoption of Planning Commission resolution, subject to conditions.

PLANNING APPLICATION SUMMARY

Location: 456 Abbie Way Application: PA-14-49

Request: Variance requesting a reduced rear yard setback for proposed one-story and two-story additions, including an attached second unit.

SUBJECT PROPERTY:

Zone: R1
 General Plan: Low Density Residential
 Lot Dimensions: Irregular Flag-Shaped Lot
 Lot Area: 10,932 sq. ft.
 Existing Development: One-story single family residence and detached garage and studio bedroom

SURROUNDING PROPERTY:

North: I&R-S, Harper Campus and preschool
 South: R1, single family residential
 East: R1, single family residential
 West: R1, single family residential

DEVELOPMENT STANDARD COMPARISON

<u>Development Standard</u>	<u>Required/Allowed</u>	<u>Proposed/Provided</u>
Lot Area	6,000 SF	10,932 SF
Density (Dwelling Units/Acre)	1 dwelling unit per 6,000 SF and 1 accessory unit (2 dwelling units per lot)	1 dwelling unit and 1 accessory unit
Building Coverage:		
Building – First Floor Living Area	n/a	3,210 SF
Second Unit	963 SF (30% of Living Area)	907 SF
Building – Garage	700 SF maximum	692 SF
Paving	n/a	1,647 SF
TOTAL	6,559 SF maximum (60%)	5,549 SF (50.8%)
Open Space	4,373 SF minimum (40%)	5,227 SF (47.8%)
Rear Yard Coverage	Max. 775 SF (25%)	581 SF
Building Height	2 Stories / 27 ft. max.	24 ft. 6 in.
Building Setbacks:		
Front	20 ft.	25 ft. 11 in.
Side (left / right)	5 ft. / 5 ft.	5 ft. 1 in. / 5 ft.
Side (abutting alley)	5 ft.	56 ft.
Rear	10 ft. (one-story) 20 ft. (two-story)	5 ft. 11 in.¹ (one-story & two-story)
Parking:		
Covered	2	3 (1 tandem surplus parking)
Open	1 (Lots with garage access from alley)	1
Second Unit Open Parking	2	2
TOTAL	5	6
Interior garage dimension	20 ft. x 20 ft.	20 ft. x 20 ft.
n/a = Not Applicable or No Requirement		
(1) The property is legal nonconforming with regard to existing rear setbacks. A variance is required to maintain the nonconforming setback on the proposed one-story and two-story additions.		
Does not comply with Code requirement		
CEQA Status	Exempt per Section 15301, Class 1, Existing Facilities	
Final Action	Planning Commission	

BACKGROUND

Project Site/Environs

The project site is an irregular flag-shaped lot approximately 10,932 sq. ft. in area. The existing garage is located behind the home with garage access provided through a publicly dedicated alley. The project site is zoned R1 (Single Family Residential) and has a General Plan Land Use Designation of Low Density Residential (LDR). The site is located south of East 18th Street and east of Tustin Avenue, and it is surrounded by low density residential homes to the west, east and south of the site. To the north of the site, the property abuts Harper Campus (including the Harper Preschool Assessment Center) owned by the Newport-Mesa Unified School District. A portion of the school district property is allocated to Harper Park, which is open to the public. Currently, the school district has a joint-use agreement with the City of Costa Mesa for use of the park.

ANALYSIS

Project Description

The existing property contains a one-story single family residence and a detached one-story structure containing a one-car garage and a guest room. The guest room was legally constructed but does not comply with current setback requirements (discussed below). The proposed project involves first- and second-story additions to the existing residence which would create a single structure with an attached second unit. The property owner proposes various improvements:

- 1,250 sq. ft. first floor addition which would connect the primary dwelling unit to the detached structure;
- 907 sq. ft. second floor addition above the garage to create an attached second unit;
- 420 sq. ft. garage addition to provide covered parking for three vehicles (two standard size and one tandem).

Variance from Rear Setback Requirement

The existing detached structure is setback 5 feet 11 inches from the rear property line. The rear setback requirement is 20 feet for two-story structures and 10 feet for one-story structures. Consequently, the existing detached structure is legal non-conforming. However, to develop the property into a single, cohesive residence, the applicant proposes to utilize the existing site layout and construct the additions in line with the existing building structures. The applicant proposes to maintain the existing non-conforming rear setback (5 feet 11 inches) for the proposed one-story and two-story additions.

Parking

As previously noted, the existing property contains a one-car detached garage. The applicant proposes to add a two-car garage in front of the existing garage and maintain

the existing garage space as surplus tandem parking. With the proposed addition, the garage would be enlarged to 692 square feet.

Design & Architecture

Planning staff reviewed the project for conformance with the Residential Design Guidelines. The proposed project incorporates various architectural enhancements encouraged by the Guidelines, including offsetting the second-story structure to provide building articulation and adding decorative stucco brackets to add visual interest to the façade. The project uses four-sided architecture by applying the same materials and finishes consistently on all sides, with additional emphasis placed on the building elevations visible to the public and facing the adjacent school/park. In addition, the project preserves the character of the home by incorporating design elements found in the existing home into the proposed additions, such as the gable pitched roof and board and batten elevation treatments.

Second Unit

The Zoning Code definition of a second unit is as follows:

“A second dwelling unit established in conjunction with and subordinate to a primary dwelling unit. The second unit may be attached to the primary dwelling unit or located in a detached accessory building on the same lot. It may also be referred to as an accessory apartment, granny unit, granny flat, or in-law apartment.”

To be consistent with State Law provisions for second units, the Zoning Code was amended in 2011 to allow second units to be constructed on large-sized R1 lots without an age restriction, subject to specified development standards. The core objectives of the second unit ordinance were to:

- (a) Provide more housing opportunities for certain R1 lots; and
- (b) Locate development which retains the scale and character of existing residential neighborhoods.
- (c) Further regulate second units through a Land Use Restriction.

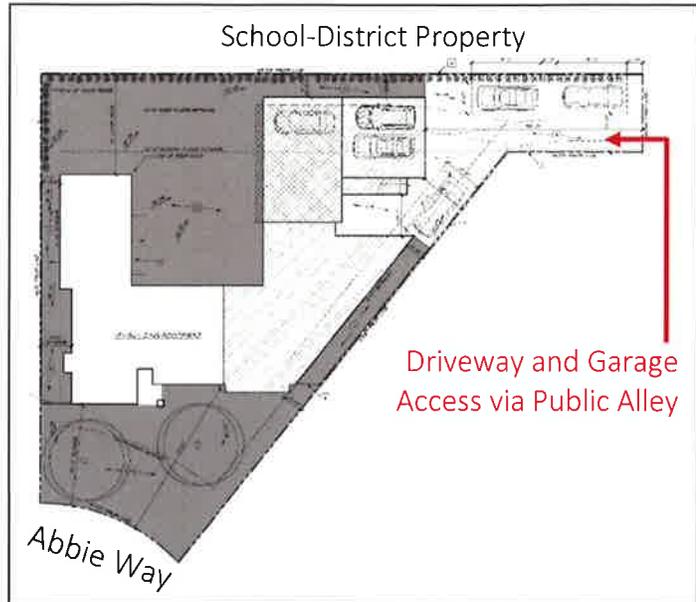
Justification for Approval

Pursuant to Title 13, Section 13-29(g), Findings, of the Costa Mesa Municipal Code, the Planning Commission shall find that the evidence presented in the administrative record substantially meets specified findings. Staff recommends approval of the proposed project, based on an assessment of facts and findings which are also reflected in the draft resolution as noted below:

- *The unique shape of the property is a basis to approve a variance from the rear yard building setbacks.*

The property is a flag-shaped lot with an existing detached garage accessed through a public alley. The garage is legal non-conforming in that the structure is setback 5

feet 11 inches from the rear property line (10 feet required for one-story structures). As illustrated in the image, garage and driveway access is provided at the backside corner of the property along the narrowest portion of the lot, which is only 20 feet in length. The unique shape of the lot limits where the garage may be located. The applicant states that if the garage was relocated to comply with the setback requirements, this would require vehicles to make a sharp turn on the driveway in order to access the garage (i.e., straight-in access would be eliminated). Consequently, the applicant proposes to maintain the existing garage and expand it to provide additional covered parking. The proposed garage configuration allows vehicles to safely access the garage and maneuver along the driveway.



- The unique location of the property abutting School District property/Harper Park and an alley is considered a justification for maintaining the nonconforming rear setback.

In the R1 zone, the Code allows a 5 foot rear setback for properties abutting a publicly dedicated alley, street, or park because neighboring residential structures are not impacted (i.e. privacy, massing concerns, light/air, etc.). In this case, the existing structure observes a 5-foot, 11-inch rear setback (nonconforming) from Harper School. However, this open space area technically does not qualify as a “public park.” Development flexibility could be justified given that the minimum 5-foot setback is observed from the park and location of the second unit adjacent to an alley.

To minimize any impacts to the neighbor to the left, a condition of approval expressly prohibits any outdoor lighting to be installed on the second unit and requires a mature tree (minimum 15 feet in height) to be maintained in the rear yard between the second unit and the abutting property.

- There is a historic basis for approval of variances due to the location of a property abutting an open space area in the R1 zone; thus, the deviation authorized does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zones in which the property is situated.

The strict application of the rear building setback requirements deprives the property of privileges enjoyed by others in the vicinity under identical zoning classifications. Consequently, the variance requested by the applicant would bring greater consistency between the project site and other similar properties in the area. A similar deviation was granted by the Planning Commission to a single family residence at 193

The Masters Circle (Planning Application PA-06-23) to allow a second floor deck to encroach into the rear setback in addition to a deviation from rear lot coverage. The Planning Commission granted the variance because, similar to the project site, 193 The Masters Circle abuts an open space recreational area (Santa Ana Golf Course), is an irregularly shaped lot, and contains a narrow driveway which limits where construction can occur.

- The proposed use, as conditioned, is compatible with the uses in the surrounding area.

As previously noted, the property abuts Harper Park, an open space recreational area. There have been no code enforcement related complaints on the property for the past 10 years. The property contains an existing legal non-conforming structure that is 5 feet 11 inches away from the park. The applicant states the owner has not received any complaints from the school or park patrons pertaining to the proximity of the structure to the park. The proposed project would not create substantial noise, odors, light, or emissions that would be incompatible with surrounding uses. The property would provide on-site parking for six vehicles to minimize potential parking impacts to the surrounding area.

A condition of approval requires that the property owner submit an affidavit to the Development Services Department on an annual basis to certify that the primary residence is owner-occupied and that the garages are being used for vehicle parking.

- The project meets the purpose and intent of the residential design guidelines.

The existing property includes a single-story home and a detached structure containing a garage and bedroom. The proposed project would connect the two structures to transform the property into a cohesive and well-integrated home. The project utilizes the existing building layout to preserve open space and landscaping. The proposed additions incorporate design elements found in the existing home (i.e., gable roof and board and batten siding) to ensure the project seamlessly integrates into the existing design and architecture. In addition, the proposed second floor addition is offset to provide articulation and visual interest.

- The project complies with the Code-required criteria for second units (excluding the variance request).

In accordance with State law (Government Code § 65852.2), local governments have the authority to adopt regulations designed to promote second units. A second unit which conforms to the requirements of this Section shall not be considered to exceed the allowable density for the lot upon which it is located and shall be deemed to be a residential use which is consistent with the General Plan designation and zoning classification for the lot.

Excluding the variance request, the proposed second unit meets the standards set forth in the Zoning Code:

Table 1. Second Unit Requirements	
Zoning Code Section 13-35 Standards	Compliance
A Land Use Restriction requiring that the primary dwelling unit be owner occupied shall be recorded on the property prior to the issuance of a building permit for the second unit and shall be valid as long as the second unit exists.	✓
A second unit shall be limited to a lot in the R1 zone with a minimum lot size of 8,500 square feet.	✓
A second unit shall not be intended for sale but may be rented.	✓
The primary dwelling unit shall be a single-family residence.	✓
If detached from the primary dwelling unit, the second unit size shall not exceed 1,200 square feet.	✓
Two open parking spaces shall be provided for the second unit.	✓
In conjunction with a second-unit application, the parking required for the primary dwelling unit shall be in compliance with the current parking requirements	✓
Compliance with TITLE 13, CHAPTER V, TABLE 13-32 and shall be subject to all applicable residential design guidelines.	Variance Required

The parcel is 10,932 sq. ft. in area and meets the minimum lot requirement of 8,500 square feet for second units in R-1 zone. The proposed 907 sq. ft. second story addition would be will be used as a second unit, which will include a separate entrance next to the garage. The proposed floor plan includes a living room, kitchen, computer area, two bedrooms, and a bathroom.

To comply with development standards for second units established in Section 13-35 of the Zoning Code, a condition of approval is included requiring the property owner to record a land use restriction, prior to the issuance of building permits, stating the primary dwelling unit shall be owner occupied. The Code allows the second unit to be rented.

Furthermore, a condition of approval is included to require closing the secondary access to Bedroom 4, minimizing the potential for a third unit.

- Project complies with Code-required parking for both the single-family residence and the second unit.

Code requires that the existing structure comply with current parking requirements (3 spaces) and that the second unit be served by 2 spaces. This is to ensure that nonconforming parking be brought to current standards when a second unit is being proposed on the property.

The project complies with the City's parking requirements specified in Section 13-85 of the Zoning Code, as detailed in Table 2 on the following page.

Table 2. Parking Summary		
	Code Requirements	Provided
Primary Dwelling Unit (with 4 bedrooms or fewer)	2 Garage 1 Open (Driveway)	2 Garage 1 Open (Driveway) 1 Garage Tandem
Second Unit	2 Open (Driveway)	2 Open (Driveway)
Total	5 Parking Spaces	6 Parking Spaces

With the proposed improvements, the property would provide more on-site parking spaces than required by the Code. In addition, Transportation Services staff reviewed the project and determined the proposed parking spaces comply with the City's parking design standards and meet engineering standards for vehicle circulation.

A condition of approval requires that the Land Use Restriction contain language that the garage be available for vehicle parking and unobstructed by storage items or miscellaneous materials. In the event that the City receives a parking-related complaint and subject to 72-hour advance notice, the property owner shall consent to a requested inspection of the garage areas by Code Enforcement staff to ensure that the garages are available for vehicle parking.

GENERAL PLAN CONFORMANCE

As conditioned, the proposed project is in conformance with the 2000 General Plan. Specifically the project as designed complies with Community Design Objective CD-7A.1 stated as "Ensure that new and remodeled structures are designed in architectural styles which reflect the City's diversity, yet are compatible in scale and character with existing buildings and the natural surroundings within residential neighborhoods." The existing neighborhood contains one-story and two-story residential structures. Conditions of approval are included requiring the proposed room additions to match the building materials, style, and colors of the existing home.

The project also complies with Community Design Objective CD-7A.2, stated as, "Preserve the character and scale of Costa Mesa's established residential neighborhoods; where residential development or redevelopment is proposed, require as a condition of approval that it is consistent with the prevailing character of existing development in the immediate vicinity, and that it does not have a substantial adverse impact on adjacent uses." The project was designed to seamlessly integrate into the design and architecture of the existing home. The scale and character of the project is consistent with surrounding residential structures. In addition, the property would provide sufficient on-site parking to minimize potential impacts to the neighborhood.

ENVIRONMENTAL DETERMINATION

The proposed project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Article 19, *Categorical Exemptions*, Section 15301, Class 1 of the CEQA Guidelines related to existing structures. This exemption applies to the

minor alteration of existing public or private structures involving negligible or no expansion of use.

ALTERNATIVES

The Planning Commission has the following alternatives:

1. Approve the project with modifications. The Planning Commission may suggest specific changes that are necessary to alleviate concerns. If any of the additional requested changes are substantial, the item should be continued to a future meeting to allow a redesign or additional analysis. In the event of significant modifications to the proposal, should the Planning Commission choose to do so, staff will return with a revised resolution incorporating new findings and/or conditions.
2. Deny the project. If the Planning Commission believes that there are insufficient facts to support the findings for approval, Planning Commission must deny the application and provide facts in support of denial to be included in the attached draft resolution for denial. If the project were denied, the applicant could not submit substantially the same type of application for six months.

CONCLUSION

The proposed project complies with the Zoning Code requirements, including parking, and satisfies the required findings for the requested variance. The project conforms to the City's General Plan and Residential Design Guidelines, and the proposed improvements are consistent with the scale and character of the established residential neighborhood. Therefore, staff recommends approval of Planning Application PA-14-49, subject to the conditions in the draft resolution (Attachment 1).



STEPHANIE ROXAS, AICP
Associate Planner



CLAIRE FLYNN, AICP
Assistant Director of Development
Services

- Attachments:
1. Draft Planning Commission Resolutions and Exhibits
 2. Applicant's Request Letter
 3. Location Map
 4. Photographs of Existing Site
 5. Proposed Concept Plans

Distribution: Director of Economic & Development Services/Deputy CEO
Assistant Development Services Director
Senior Deputy City Attorney

Public Services Director
City Engineer
Transportation Services Manager
Fire Protection Analyst
Staff (6)
File (2)

Phil Nielsen
6131 Anacapa Drive
Huntington Beach, CA 92647

Alan Kirkland
456 Abbie Way
Costa Mesa, CA 92627

ATTACHMENT 1

Draft Planning Commission Resolutions and Exhibits

RESOLUTION NO. PC-15-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING PLANNING APPLICATION 14-49 FOR A VARIANCE FROM REAR YARD SETBACKS FOR A SINGLE-FAMILY RESIDENCE AND ATTACHED SECOND UNIT AT 456 ABBIE WAY

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Phil Nielsen, as the authorized agent on behalf of the property owner, Alan Kirkland, requesting approval of a variance from rear setback requirements (10 feet minimum required for one-story structures and 20 feet for two-story structures; 5 feet 11 inches proposed), for one-story and two-story additions to an existing single family dwelling unit located at 456 Abbie Way in the R1 zone;

WHEREAS, the improvements involve the construction of an attached second unit and will not change the primary use of the property as a single family dwelling unit;

WHEREAS, in accordance with State law (Government Code § 65852.2), local governments have the authority to adopt regulations designed to promote second units. A second unit which conforms to the requirements of this Section shall not be considered to exceed the allowable density for the lot upon which it is located and shall be deemed to be a residential use which is consistent with the General Plan designation and zoning classification for the lot.

WHEREAS, subject to the approval of the variance request, the proposed second unit meets the standards set forth in the Zoning Code for second units;

WHEREAS, the lot area is over 8,500 square feet allowing addition of a second unit;

WHEREAS, a duly noticed public hearing held by the Planning Commission on February 23, 2015 with all persons having the opportunity to speak for and against the proposal;

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, and subject to the conditions of approval contained within Exhibit B, the Planning Commission hereby **APPROVES** Planning Application PA-14-49 with respect to the property described above.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-14-49 and upon applicant's compliance with each and all of the conditions in Exhibit B, and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

BE IT FURTHER RESOLVED that if any section, division, sentence, clause, phrase or portion of this resolution, or the documents in the record in support of this resolution, are for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

PASSED AND ADOPTED THIS 23RD DAY OF FEBRUARY, 2015.

Chair
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS

- A. The information presented substantially complies with Costa Mesa Municipal Code section 13-29(g)(1) because:

Finding: Because of special circumstances applicable to the property, the strict application of development standards deprives such property of privileges enjoyed by others in the vicinity under identical zoning classifications.

Facts in Support of Finding: The property is an irregular flag-shaped lot with an existing detached garage accessed through a public alley. The garage is legal non-conforming in that the structure is setback 5 feet 11 inches from the rear property line (10 feet required for one-story structures). Garage and driveway access is provided at the backside corner of the property along the narrowest portion of the lot, which is only 20 feet in length. The unique shape of the lot limits where the garage may be located. If the garage was relocated to comply with the setback requirements, this would eliminate straight-in access into the garage and require vehicles to make a sharp turn on the driveway, thereby creating unsafe conditions. Accordingly, the unique shape of the property is a basis to approve the variance from the rear yard setback requirements. In addition, the unique location of the property abutting Harper Park and an alley is considered a justification for maintaining the nonconforming rear setback. In the R1 zone, the Code allows a 5 foot rear setback for properties abutting a publicly dedicated alley, street, or park because neighboring residential structures are not impacted (i.e. privacy, massing concerns, light/air, etc.). In this case, the existing structure observes a 5-foot, 11-inch rear setback (nonconforming) from Harper School. However, this open space area technically does not qualify as a "public park." Development flexibility could be justified given that the minimum 5-foot setback is observed from the park and location of the second unit adjacent to an alley.

Finding: The deviation granted shall be subject to such conditions as will assure that the deviation authorized shall not constitute a grant of special privileges inconsistent with the limitation upon other properties in the vicinity and zone in which the property is situated.

Facts in Support of Finding: The strict application of the rear building setback requirements deprives the property of privileges enjoyed by others in the vicinity under identical zoning classifications. Consequently, the Variance requested by the applicant would bring greater consistency between the project site and other similar properties in the area. Similar deviations were granted by the Planning Commission to a single family residence at 193 The Masters Circle (Planning Application PA-06-23) to allow a second floor deck to encroach into the rear setback and to deviate from rear lot coverage. The Planning Commission granted the variance because, similar to the project site, 193 The Masters Circe abuts an open space recreational area (Santa Ana Golf Course), is an irregularly shaped lot, and contains a narrow driveway which limits where construction can occur.

Finding: The granting of the deviation will not allow a use, density, or intensity which is not in accordance with the general plan designation and any applicable specific plan for the property.

Facts in Support of Finding: The project site is 10,932 sq. ft. in area and meets the minimum 8,500 square feet requirement for a second unit in R1 zone. The project will not increase the density of the property, nor will it change the use of the property as a single family dwelling unit. In accordance with State law (Government Code § 65852.2), local governments have the authority to adopt regulations designed to promote second units. A second unit which conforms to the requirements of this Section shall not be considered to exceed the allowable density for the lot upon which it is located and shall be deemed to be a residential use which is consistent with the General Plan designation and zoning classification for the lot. Conditions are included requiring the property owner to record a land use restriction to ensure the second unit is maintained ancillary to the primary dwelling unit. Therefore, the project is consistent with the General Plan.

- B. The information presented substantially complies with Costa Mesa Municipal Code section 13-29(e) because:
- a. The proposed development and use is compatible and harmonious with uses both on site as well as those on surrounding properties. The property abuts Harper Park, an open space recreational area. The property contains an existing legal non-conforming structure that is 5 feet 11 inches away from the park. The applicant states the owner has not received any complaints from the school or park patrons pertaining to the proximity of the structure to the park. The proposed project would not create substantial noise, odors, light, or emissions that would be incompatible with surrounding uses. The property would provide on-site parking for six vehicles to minimize potential parking impacts to the surrounding area.
 - b. Safety and compatibility of the design of the building and other site features, include functional aspects of the site development, have been considered. Transportation Services staff reviewed the project and determined the proposed parking spaces comply with the City's parking design standards and meet engineering standards for vehicle circulation.
 - c. The project complies with the Zoning Code. Subject to the approval of the variance request, the proposed second unit meets the additional standards set forth in Section 13-35 of the Zoning Code. The parcel is 10,932 sq. ft. in area and meets the minimum lot requirement of 8,500 square feet for second units in R-1 zone. A condition is included requiring the property owner to record a land use restriction, prior to the issuance of building permits, stating the primary dwelling unit shall be owner occupied. The Code requires five parking spaces (2 garage, 3 open) be provided on-site, and the project would provide six parking spaces (2 garage, 1 tandem garage, 3 open).
 - d. The property is designated Low Density Residential in the General Plan. Under this designation, one dwelling unit is allowed per lot. The proposed

second unit is ancillary to the main dwelling unit and may not be sold. Therefore, the project is consistent with the General Plan. In addition, the project complies with Community Design Objectives CD-7A.1 and CD-7A.2. The existing neighborhood contains one-story and two-story residential structures. The scale and character of the project is consistent with surrounding residential structures. The project was designed to seamlessly integrate into the design and architecture of the existing home. Conditions of approval are included requiring the proposed room additions to match the building materials, style, and colors of the existing home. In addition, the property would provide sufficient on-site parking to minimize potential impacts to the neighborhood.

- e. The planning application is for a project-specific case and does not establish a precedent for future development.
- f. The proposed development is consistent with the Residential Design Guidelines. The existing property includes a single-story home and a detached structure containing a garage and bedroom. The proposed project would connect the two structures to transform the property into a cohesive and well-integrated home. The project utilizes the existing building layout to preserve open space and landscaping. The proposed additions incorporate design elements found in the existing home (i.e., gable roof and board and batten siding) to ensure the project seamlessly integrates into the existing design and architecture. In addition, the proposed second floor addition is offset to provide articulation and visual interest.

- C. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

EXHIBIT B

CONDITIONS OF APPROVAL

- Plng.
1. Approval shall be for a period of one year. Prior to expiration, applicant may request renewal, subject to reevaluation at that time. The Director of Economic & Development/Deputy CEO may extend the planning application for a period not to exceed two (2) years if all conditions of approval have been satisfied, no complaints have been received, and the site inspection reveals compliance with applicable ordinance requirements.
 2. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of, or which are in any way related to, the applicant's project, or any approvals granted by City related to the applicant's project. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section. City shall have the right to choose its own legal counsel to represent the City's interests, and applicant shall indemnify City for all such costs incurred by City.
 3. No modification(s) of the approved building elevations including, but not limited to, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process such as a minor design review or a variance, or in the requirement to modify the construction to reflect the approved plans.
 4. All new and existing construction shall be architecturally compatible with regard to building materials, style, colors, etc. with the existing structure(s). Plans submitted for plan check shall indicate how this will be accomplished.
 5. The second unit shall be served from the same utility meters (electric, gas and water) as the main dwelling unit on the property unless otherwise approved by the Development Services Director.
 6. The building permit plans shall eliminate the secondary access from exterior to Bedroom 4.
 7. A land use restriction, executed by and between the property owner and the City of Costa Mesa, shall be recorded prior to the issuance of building permits. The form, substance, and content of the land use restriction shall

be approved by the City Attorney's office and the Development Services Director. The land use restriction shall contain the following provisions:

- The main residence shall be owner occupied.
 - The vehicle parking areas in the garage shall be unobstructed by storage items or other materials.
 - Based on a complaint or other documented code violations, the property owner shall comply with a request for a visual inspection of the garage areas by a Code Enforcement Officer to ensure that there parking area is unobstructed. Property notice of a minimum of 72 hours shall be given to the property owner in advance of the scheduled inspection.
 - The property owner shall submit an affidavit to the Development Services Department on an annual basis to certify that the primary residence is owner-occupied and that the garages are being used for vehicle parking.
 - The property owner shall submit to the Planning Division a copy of the legal description for the property, and either a lot book report or current title report identifying the current legal property owner so that the document may be prepared.
8. No permanent outdoor speakers shall be mounted / installed on the exterior walls of the second unit.
 9. Demolition permits for existing structures shall be obtained and all work and inspections completed prior to final building inspections. Applicant is notified that written notice to the Air Quality Management District may be required ten (10) days prior to demolition.
 10. The applicant shall maintain the tree hedge along the northerly property line to screen the two-story structures from the neighboring park.
 11. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the final building inspection. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
 12. Outdoor lighting shall not be installed on the second unit.
 13. The existing mature landscaping and trees on-site and on adjacent properties shall be maintained in a healthy growing condition. Should the landscaping and/or trees be removed, the owner shall install suitable replacement landscaping and/or trees to provide a buffer between the second unit and adjacent properties.

CODE REQUIREMENTS

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Const Hrs 1. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.

- Bldg. 2. Comply with the requirements of the following adopted codes 2013 California Building Code, 2013 California Electrical code, 2013 California Mechanical code, 2013 California Plumbing code, 2013 California Green Building Standards Code, and 2013 California Energy Code (or the applicable adopted, California Building code, California Electrical code, California Mechanical code, California Plumbing Code, California Green Building Standards, and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.

- Bus. Lic. 3. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- AQMD 1. Applicant shall contact the Air Quality Management District (AQMD) at (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.

- CDFA 2. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.

RESOLUTION NO. PC-15-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA DENYING PLANNING APPLICATION 14-49 FOR A VARIANCE FROM REAR YARD SETBACKS AT 456 ABBIE WAY

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Phil Nielsen, as the authorized agent on behalf of the property owner, Alan Kirkland, requesting approval of a variance from rear setback requirements (10 feet minimum required for one-story structures and 20 feet for two-story structures; 5 feet 11 inches proposed), for one-story and two-story additions to an existing single family dwelling unit located at 456 Abbie Way in the R1 zone; and

WHEREAS, a duly noticed public hearing held by the Planning Commission on February 23, 2015 with all persons having the opportunity to speak for and against the proposal.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit "A", the Planning Commission hereby **DENIES** Planning Application PA-14-32 with respect to the property described above.

PASSED AND ADOPTED THIS 23RD DAY OF FEBRUARY, 2015.

Chairman
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS

- A. The information presented substantially does not comply with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
 - 1. The proposed use is not substantially compatible with developments in the same general area and would be materially detrimental to other properties within the area.
 - 2. Granting the variance will be materially detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood.
 - 3. Granting the variance will allow a use, density, or intensity which is not in accordance with the General Plan designation and any applicable specific plan for the property.

- B. The Costa Mesa Planning Commission has denied Planning Application PA-14-49. Pursuant with the Public Resources Code Section 21080(b)(5) and the CEQA Guidelines Section 15270(a) CEQA does not apply to this project because it has been rejected and will not be carried out.

- C. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

ATTACHMENT 2
Applicant's Request Letter

Philip J. Nielsen
Design & Drafting

6131 Anacapa Drive

Huntington Beach, CA 92647

(714) 717-1418

December 5, 2014

City of Costa Mesa
Planning Department
77 Fair Drive.
P.O. Box 1200
Costa Mesa, CA 92628-1200
Attn.: Case Planner

Subject: Variance a request for a reduced rear yard setback, first floor: from required 10'-0" to existing 5'-11" and second floor: from 20'-0" to 5'-11 same as first floor.

Address: 456 Abbie Way

The Owners would like to be able to construct a second unit on top of a structure that is already exists. The shape of the lot (Flag Lot) at the alley entrance is conducive to driving straight into the new 2 car garage. Moving the garage over 10' would make parking in the garage difficult on a daily basis. Due to the existing detached living area and one car garage, the addition to this property has its challenges. The proposed design offers a layout for a 4 bedroom home with the location of the 2 car garage being the challenge. When you create a 2 car garage in the existing 1 car garage location, the new 3 bedrooms are an undesirable size and shape. The Abbie Way cul-de-sac has limited parking. The Owners of the property seldom park in the cul-de-sac due to the limited parking and park in the back of the property during the day and evenings. The existing single car garage exists 5'-11" away from the property line with no complaints from the school, neighbors or park patrons. The Owners has planted trees as a buffer to separate the noise from the school yard and garage and rental unit at the property line. The second floor rental constructed on the existing setback gives privacy and would further dampen the school yard noise level in the living space of residence below.

Justification: the Owners believe that the City requires setbacks in residential neighborhoods for privacy between properties and safety in case of a fire between structures. A public school playground exists behind the property in question with no other structures within 300 yards. The rear yard setbacks should be allowed to be reduced because privacy between properties and safety in case of a fire between structures is not issue at this location.

Thank you for your understanding in the matter.

Very truly yours,

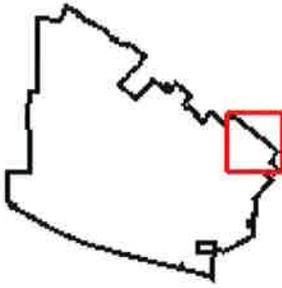


Philip J. Nielsen

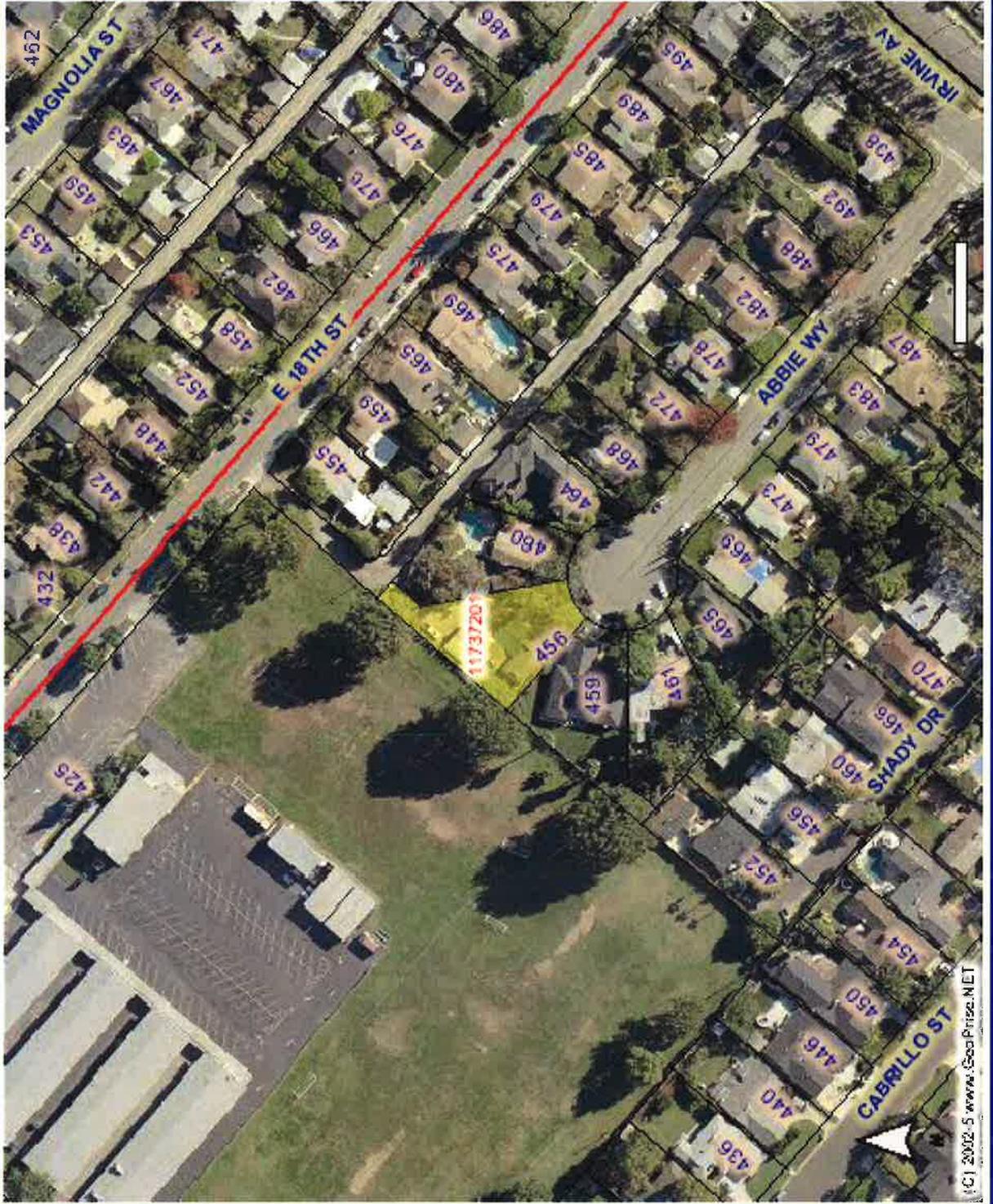
ATTACHMENT 3

Location Map

Overview Map



Map Display



Legend

- Address Medium
- Address Points
- Freeway
- Roads
- Collector Freeway
- Major
- Newport Blvd (cont)
- Primary Secondary
- Hydrology
- Channels
- Street Names
- Street Centerlines

ATTACHMENT 4

Photographs of Existing Site

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3

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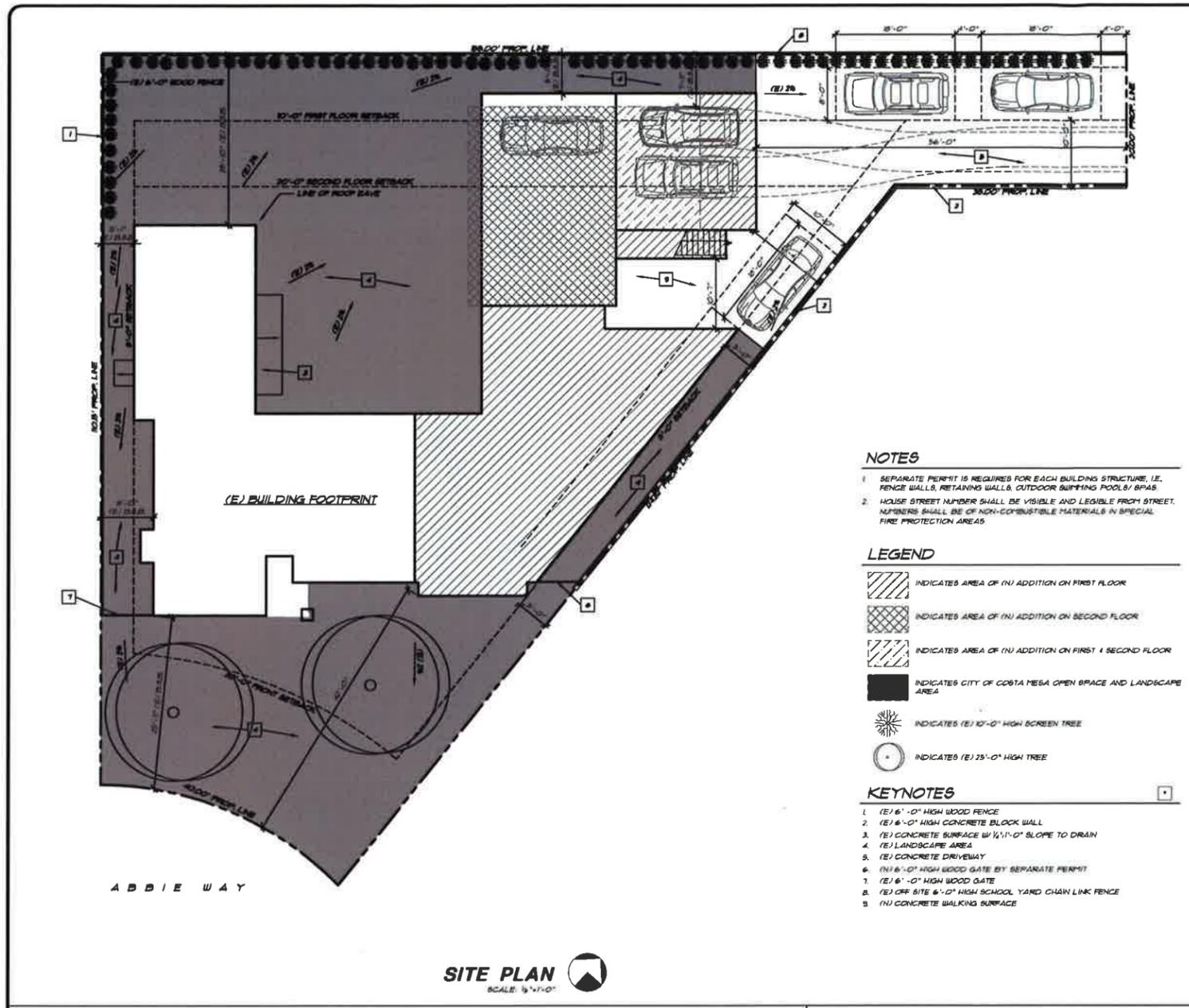
9

37



38

ATTACHMENT 5
Proposed Concept Plans



NOTES

- SEPARATE PERMIT IS REQUIRED FOR EACH BUILDING STRUCTURE, I.E. FENCE WALLS, RETAINING WALLS, OUTDOOR SWIMMING POOLS/ SPAS.
- HOUSE STREET NUMBER SHALL BE VISIBLE AND LEGIBLE FROM STREET. NUMBERS SHALL BE OF NON-COMBUSTIBLE MATERIALS IN SPECIAL FIRE PROTECTION AREAS.

LEGEND

- INDICATES AREA OF (N) ADDITION ON FIRST FLOOR
- INDICATES AREA OF (N) ADDITION ON SECOND FLOOR
- INDICATES AREA OF (N) ADDITION ON FIRST & SECOND FLOOR
- INDICATES CITY OF COSTA MESA OPEN SPACE AND LANDSCAPE AREA
- INDICATES (E) 10'-0" HIGH SCREEN TREE
- INDICATES (E) 75'-0" HIGH TREE

KEYNOTES

- (E) 6'-0" HIGH WOOD FENCE
- (E) 6'-0" HIGH CONCRETE BLOCK WALL
- (E) CONCRETE SURFACE W/ 1/4" SLOPE TO DRAIN
- (E) LANDSCAPE AREA
- (E) CONCRETE DRIVEWAY
- (N) 6'-0" HIGH WOOD GATE BY SEPARATE PERMIT
- (E) 6'-0" HIGH WOOD GATE
- (E) OFF SITE 6'-0" HIGH SCHOOL YARD CHAIN LINK FENCE
- (N) CONCRETE WALKING SURFACE

SITE PLAN
SCALE: 1/4" = 1'-0"

PROJECT TEAM

PROJECT ANALYSIS

BUILDING CODES: THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:
 CALIFORNIA BUILDING CODE
 CALIFORNIA MECHANICAL CODE
 CALIFORNIA PLUMBING CODE
 NATIONAL ELECTRICAL CODE, 2013 EDITION
 ENERGY CODE (T24-6), 2013 EDITION
 AND ALL APPLICABLE STATE AND LOCAL CODES.

TYPE OF CONSTRUCTION: TYPE VB (NON SPRINKLERED)

OCCUPANCY GROUPS: GROUP R3 AND U

CITY ZONE: R1

OWNER: ALAN KIRKLAND
 456 ABBIE WAY
 COSTA MESA, CALIFORNIA 92627
 PHONE: (714) 88-2888

DRAWING INDEX

DWG #	DRAWING TITLE
T-1	TITLE SHEET & SITE PLAN
A-1	NEW FLOOR PLAN
A-2	DEMOLITION & NEW SECOND FLOOR PLAN
A-3	EXTERIOR ELEVATIONS
A-4	EXTERIOR ELEVATIONS & ROOF PLAN

PARKING TABULATION

EXISTING PARKING:	1 COVERED	2 OPEN
REQUIRED PARKING FOR HOUSE AND UNIT = 5 SPACES:	2 COVERED	3 OPEN
PARKING PROVIDED FOR HOUSE:	2 COVERED	1 OPEN
TANDUM SURPLUS PARKING PROVIDED FOR HOUSE:	1 COVERED	
PARKING PROVIDED FOR ADDITIONAL UNIT:	0 COVERED	2 OPEN
TOTAL PARKING PROVIDED:	3 COVERED	3 OPEN

BUILDING AREA CALCULATIONS

	1500	50 FT.
FIRST FLOOR (EXISTING)		
FIRST FLOOR STUDIO (EXISTING)	365	50 FT.
FIRST FLOOR (NEW ADDITION)	1250	50 FT.
TOTAL HOUSE LIVING AREA	1615	50 FT.
SECOND FLOOR (NEW UNIT ADDITION)	907	50 FT.
GARAGE (EXISTING)	272	50 FT.
GARAGE (NEW ADDITION)	420	50 FT.
TOTAL GARAGE AREA	692	50 FT.
LOT SIZE	10,532	50 FT.
LOT COVERAGE	4,0584 = 37%	
OPEN SPACE REQUIRED	43,284 = 40%	
OPEN SPACE PROVIDED	5,2718 = 47%	
LANDSCAPE AREA	5,2718 = 47%	
DRIVEWAY AREA	1,442 = 13%	
PAVED WALKING AREA	2084 = 19%	

LEGAL DESCRIPTION

TRACT 174, LOT 20, CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA

APN: 171-372-01

NOTES

- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND THE OWNER BEFORE PROCEEDING WITH WORK.
- ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL DIMENSIONS ARE TO THE FACE OF STUD OR TO THE FACE OF FRAMING UNLESS NOTED OTHERWISE.

ABBREVIATIONS

1	AND	D	DRYER	GA	GALVANIZED	GO	OVER	SL	SLIDER	SLIDING GLASS DOOR
2	ANGLE	DBL	DOUBLE	GALV.	GALVANIZED	OS	OVERALL	SP	SPACER	SPACER POLE
3	AT	DF	DRINKING FOUNTAIN	OSB	OSB SHEET	OC	ON CENTER	SP2	SPACE	SPACE
4	CENTERLINE	DET.	DETAIL	OPCI	OVERFLOW DRAIN	OD	OVERFLOW DRAIN	SP3	SPECIFICATIONS	SQUARE
5	DIAMETER OR ROUND	DIA.	DIAMETER	OFI	OFFICE	OF	OFFICE	SQ	SQUARE	SQUARE
6	FRAME (ELECTRICAL)	ODI	OUTSIDE DIAMETER (OD)	OL	OVERHEAD	OH	OVERHEAD	SA	STAINLESS STEEL	STAINLESS STEEL
7	ROUND OR NUMBER	DISP.	DISPENSER	GL ASS	GROUND GLASS	OH	OVERHEAD	SB	STAINLESS STEEL	STAINLESS STEEL
8	EXISTING	DOV	DOVING	GR	GRADE	OPNS	OPENING	SD	STANDARD	STANDARD
9	EXISTING	DR	DOOR OPENING	GRD	GRADE	OPN	OPENING	STL	STEEL	STEEL
10	ANCHOR BOLT	DB	DOWNPOUT	GYP. BD.	GYP. BOARD	PL	PLATE	STR	STORAGE	STRUCTURAL
11	ABOVE	DB	DOWNPOUT	HALL	HALLWAY	PL AND SHEET	PLASTER AND SHEET	STRCT	STRUCTURE	STRUCTURE
12	ACOUS.	DW	DISH WASHER	HDR	HEADER	PLASTIC LAMINATE	PLASTIC LAMINATE	SUP.	SUSPENDED	SUSPENDED
13	AREA DRAIN	DUS	DRAIN	HLS	HOLE/COU CORNER	PLYWOOD	PLYWOOD	SYN	SYNTHETICAL	SYNTHETICAL
14	ADJUSTABLE	DUR	DRAWER	HOL	HOLE	PLY	PLY	T	TREAD	TREAD
15	ABOVE FINISH FLOOR	E	EAST	HNDL	HARDWOOD	PLAS	PLASTER	TB	TIE BAR	TIE BAR
16	AGGR.	EA	EACH	HNDL	HARDWARE	PL	PLASTER	TC	TOP OF CURB	TOP OF CURB
17	AGGR.	EA	EACH	HNDL	HARDWARE	PL	PLASTER	TEL	TELEPHONE	TELEPHONE
18	ALUMINUM	EA	EACH	HNDL	HARDWARE	PL	PLASTER	TR	TERRAZZO	TERRAZZO
19	ALUMINUM	EA	EACH	HNDL	HARDWARE	PL	PLASTER	T&G	TONGUE AND GROOVE	TONGUE AND GROOVE
20	ANGLE	ELEV.	ELEVATION	HNDL	HARDWARE	PL	PLASTER	T&G	TONGUE AND GROOVE	TONGUE AND GROOVE
21	APPROX.	ELEV.	ELEVATION	HNDL	HARDWARE	PL	PLASTER	TR	TERRAZZO	TERRAZZO
22	ARCHITECT	ELEV.	ELEVATION	HNDL	HARDWARE	PL	PLASTER	TR	TERRAZZO	TERRAZZO
23	ARCHITECTURAL	ELEV.	ELEVATION	HNDL	HARDWARE	PL	PLASTER	TR	TERRAZZO	TERRAZZO
24	ASBESTOS	ELEV.	ELEVATION	HNDL	HARDWARE	PL	PLASTER	TR	TERRAZZO	TERRAZZO
25	ASPH.	ELEV.	ELEVATION	HNDL	HARDWARE	PL	PLASTER	TR	TERRAZZO	TERRAZZO
26	ASPH.	ELEV.	ELEVATION	HNDL	HARDWARE	PL	PLASTER	TR	TERRAZZO	TERRAZZO
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28	ASPH.	ELEV.	ELEVATION	HNDL	HARDWARE	PL	PLASTER	TR	TERRAZZO	TERRAZZO
29	ASPH.	ELEV.	ELEVATION	HNDL	HARDWARE	PL	PLASTER	TR	TERRAZZO	TERRAZZO
30	ASPH.	ELEV.	ELEVATION	HNDL	HARDWARE	PL	PLASTER	TR	TERRAZZO	TERRAZZO

SYMBOLS AND LEGEND

INTERIOR ELEVATION MARKER

LETTER CORRESPONDS TO COORDINATES ON THE SHEET THAT THE DRAWING APPEARS ON

SECTION MARKER

DETAIL LETTER CORRESPONDS TO COORDINATES ON THE BORDER OF THE DRAWING

DETAIL MARKER

DETAIL LETTER CORRESPONDS TO COORDINATES ON THE BORDER OF THE DRAWING

KEYNOTE MARKER

KEYNOTE NUMBER

WINDOW TYPE INDICATOR

HEIGHT IN INCHES
 HEIGHT IN FEET
 WIDTH IN INCHES
 WIDTH IN FEET

DOOR TYPE INDICATOR

HEIGHT IN INCHES
 HEIGHT IN FEET
 WIDTH IN INCHES
 WIDTH IN FEET

WALLS

- NON-RATED STUD WALL
- 1-HOUR RATED STUD WALL
- BRICK MASONRY
- CONCRETE
- CONCRETE MASONRY UNIT (CMU)
- FUTURE OR DEMOLISHED WALL (AS NOTED)
- GLASS
- PLYWOOD
- CONT. WOOD BLKG. BLKG. BETWEEN MEMBERS
- WOOD
- ASPHALTIC CONCRETE
- GRAVEL OR AGGREGATE BASE COURSE (ABC)
- INSULATION (BATT OR BLANKET)
- INSULATION (RIGID)
- METAL
- PLASTER OR GYPBOARD (AS NOTED)
- SOIL
- TILE (GLAZED, UNGLAZED OR PAVEMENT)



REVISIONS

NO.	DATE	DESCRIPTION

PROJECT LOCATION:
 456 Abbie Way
 Costa Mesa, California 92627

A REMODEL & ADDITION FOR:
 Alan Kirkland
 456 Abbie Way
 Costa Mesa, California 92627

Philip J. Nielsen
 Design & Drafting
 6511 Anacapa Drive Huntington Beach, California 92647
 phil@nielsen-drafting.com (714) 717-4418

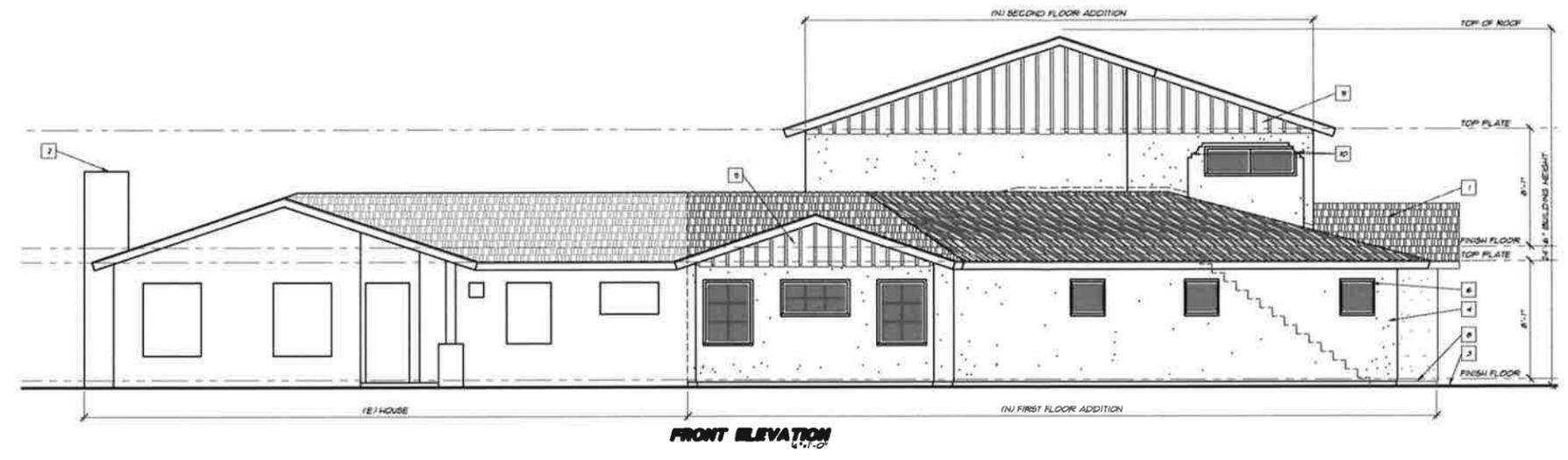
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SCALE: AS SHOWN

T-1

ELEVATION & SECTION KEYNOTES

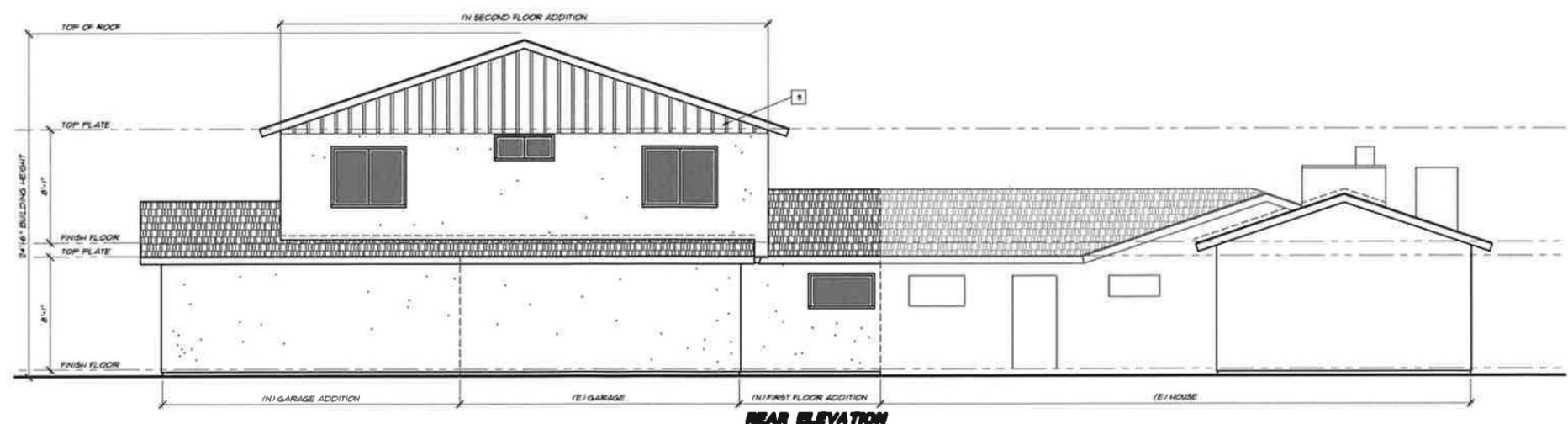
1. (N) ROOF MATERIAL, MATCH (E) SEE ROOF PLAN
2. (E) CHIMNEY SPARK ARRESTOR
3. FINISH GRADE
4. (N) EXTERIOR PLASTER FINISH TO MATCH (E)
MANUF. 1/2" THICK MERLEX IF OVER PLYWOOD PROVIDE 2 LAYERS OF GRADE 'D' PAPER (GDC 7308-4)
- LISTING: A.S.T.M. 58-I-35(1) TYPE F HYDRATED LIME A.S.T.M. 93-C-80-G PORTLAND CEMENT A.S.T.M. C-897 1/2" GRADED AGGREGATED
5. 26 GA. GALV. METAL ROOF TO WALL FLASHING, SEE DETAIL (PART TO MATCH ADJACENT FINISH)
6. (N) DOORS & WINDOWS, SEE DETAILS
7. (N) SECTIONAL ROLL-UP GARAGE DOOR, SEE DETAILS
8. (N) STUCCO SCREEN, SEE DETAIL
9. (N) BOARD AND BATTEN TO MATCH EXISTING
10. (N) DECORATIVE STUCCO CORNICE



FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION

41

EXTERIOR ELEVATIONS

PROJECT LOCATION:
456 Abbie Way
Costa Mesa, California 92627

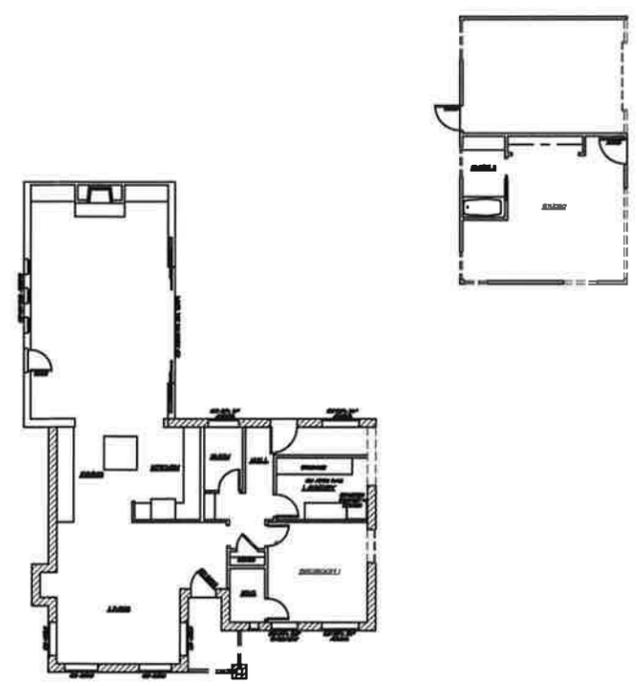
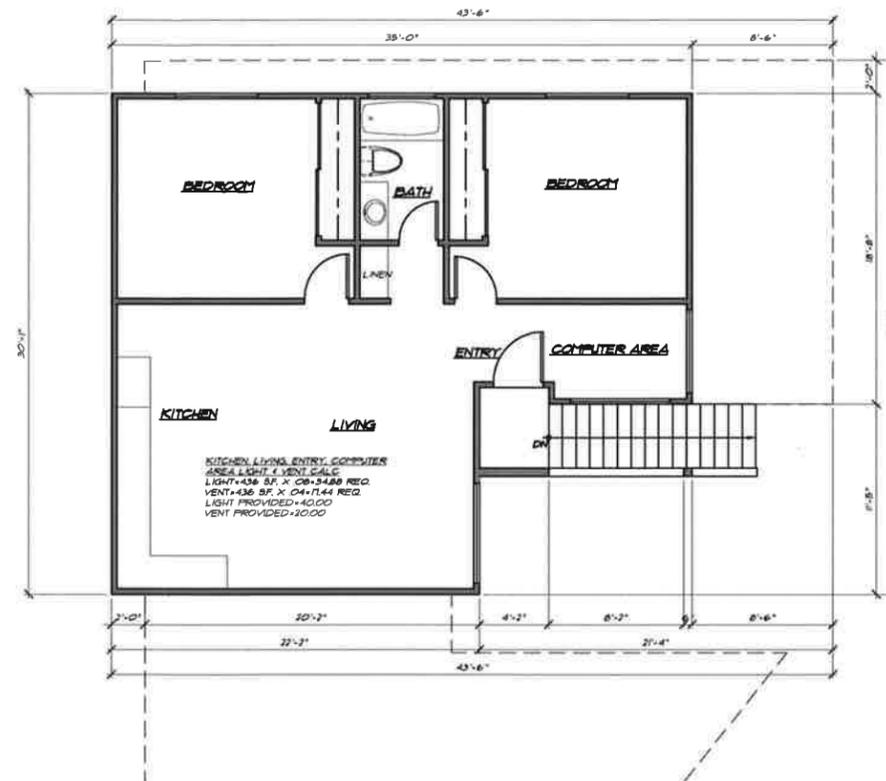
A REMODEL & ADDITION FOR:
Alan Kirkland
456 Abbie Way
Costa Mesa, California 92627

Philip J. Nielsen
Design & Drafting
6311 Anacapa Drive Huntington Beach, California 92647
philipnielsen-drafting-design.com (714) 777-1478

DATE	2/8/2016 11:02:28 AM
BY	AS NOTED
APP'D BY	
DATE	

A-3

2/8/2016 11:02:28 AM



- SYMBOLS LEGEND**
- (N) 2 X 4 STUDS @ 16" O.C. W/ 1/2" GYP. BD. ON INTERIOR SIDE FOR EXTERIOR SIDE (SEE EXTERIOR ELEVATIONS)
 - (E) 2 X 8 STUD WALLS TO REMAIN
 - BOFFIT ABOVE OR HIDDEN OBJECT
 - 2 X 8 STUD WALLS TO BE REMOVED
 - (E) DOOR AND JAMB TO BE REMOVED
 - (E) EXISTING
 - (N) NEW
 - (E) EXISTING TO BE REMOVED

42

DEMOLITION & NEW SECOND FLOOR PLAN

REVISIONS	BY

PROJECT LOCATION:
456 Abbie Way
Costa Mesa, California 92627

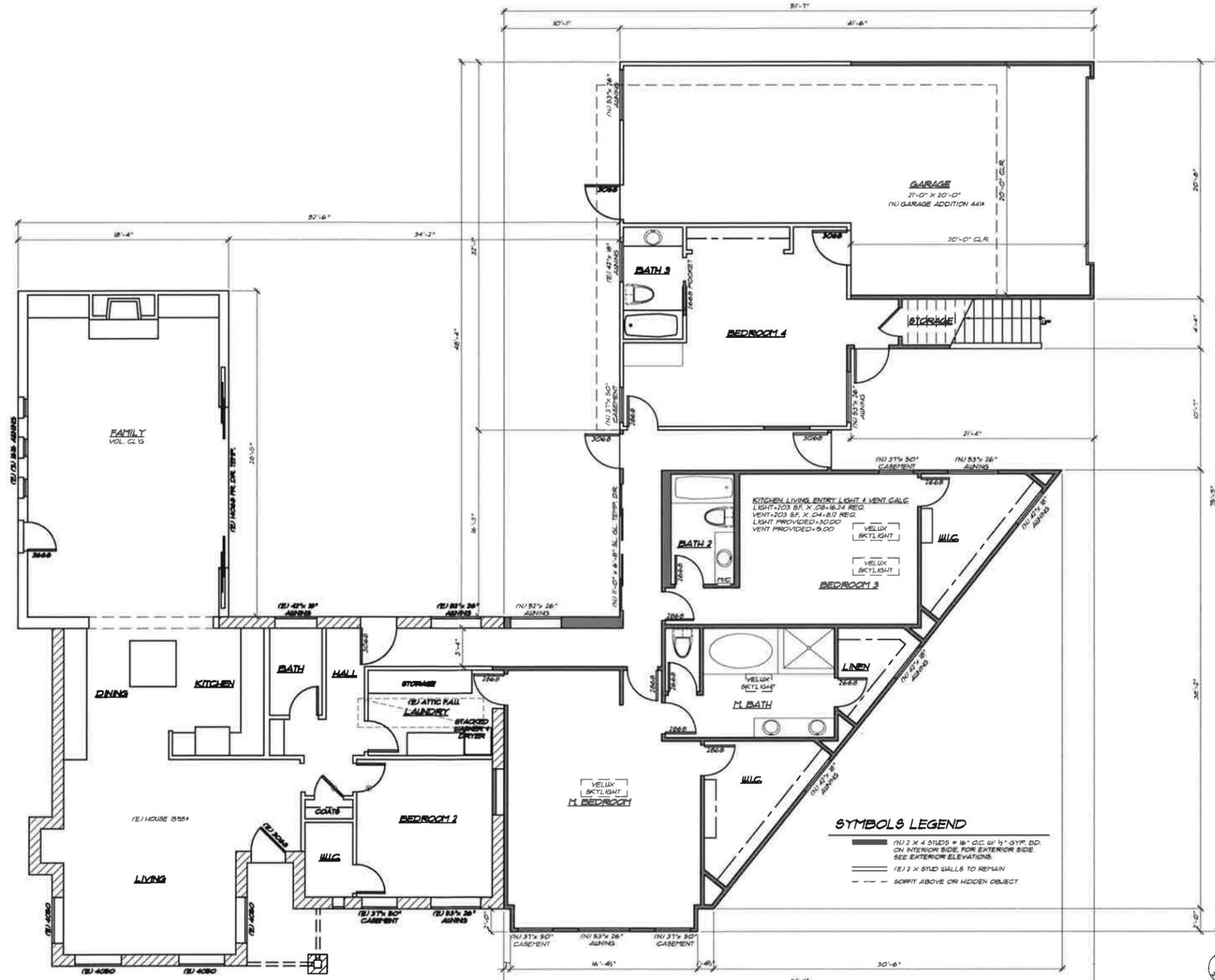
A REMODEL & ADDITION FOR:
Alan Kirkland
456 Abbie Way
Costa Mesa, California 92627

Philip J. Nielsen
Design & Drafting
6121 Anacapa Drive Huntington Beach, California 92647
philip@nielsen-drafting-design.com (714) 775-1418

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DATE: 2/8/05 10:03 AM
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SHEET NO:
TITLE:

A-2

2/8/05 10:03 AM



SYMBOLS LEGEND

- (N) 2 X 4 STUDS @ 16" O.C. W/ 1/2" GYP. BD. ON INTERIOR SIDE, FOR EXTERIOR SIDE SEE EXTERIOR ELEVATIONS.
- (E) 2 X 6" STUD WALLS TO REMAIN
- - - - - SPLIT ABOVE OR HIDDEN OBJECT

NEW FIRST FLOOR PLAN

43

PROJECT LOCATION:
456 Abbie Way
 Costa Mesa, California 92627

A REMODEL & ADDITION FOR:
Alan Kirkland
 456 Abbie Way
 Costa Mesa, California 92627

Philip J. Nielsen
 Design & Drafting
 6131 Anacapa Drive Huntington Beach, California 92647
 phil@nielsen-drafting-design.com (714) 777-1418

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A-1

