



PLANNING COMMISSION AGENDA REPORT

MEETING DATE: OCTOBER 26, 2015

ITEM NUMBER: PH-1

SUBJECT: TENTATIVE PARCEL MAP 2015-166 FOR A 2-UNIT RESIDENTIAL SMALL LOT SUBDIVISION DEVELOPMENT AT 1620 ORANGE AVENUE

DATE: OCTOBER 15, 2015

FROM: PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

PRESENTATION BY: RYAN LOOMIS, ASSOCIATE PLANNER

FOR FURTHER INFORMATION CONTACT: RYAN LOOMIS, (714) 754-5608
ryan.loomis@costamesaca.gov

DESCRIPTION

The proposed project involves the following:

- ***Tentative Parcel Map 2015-166*** for the subdivision of an existing lot into two residential small lots per the Residential Small Lot Subdivisions Standards.

The Design Review for the four-unit project was previously approved by Planning Commission on June 8, 2015 (PA-15-06), which included the following:

Design review application for the development of a two-unit, two-story residential development per the residential small lot development standards with the following deviations from code requirements:

- a. Minor modification for rear yard setback (10 feet required, 8 feet proposed).
- b. Minor modification for front yard setback distance (20 feet required; 16 feet proposed). The setback is measured from the front property line to the support posts of the front patio.

The subdivision is a requirement of a previously approved development project. Building permits have not been issued; therefore, a common interest development conversion is not required.

APPLICANT

Jeff Tsalyuk, as authorized agent for the property owner, BSB Newport, LLC.

RECOMMENDATION

Approve by adoption of the Planning Commission resolution, subject to conditions.

PLANNING APPLICATION SUMMARY (For Reference Only)

| | | | |
|-----------|--|---------------------|---------------------|
| Location: | 1620 Orange Avenue APN: 425-201-03 | Application Number: | PA-15-06 (Approved) |
| Request: | Design Review of a two unit two-story residential development. | | |

SUBJECT PROPERTY:
SURROUNDING PROPERTY:

| | | | | |
|-----------------------|--|--------|-----|--------------------------------|
| Zone: | R2-HD | North: | R-3 | Multi-Family Residential |
| General Plan: | HDR | South: | C1 | Local Business District |
| Lot Dimensions: | 75 FT x 90 FT | East: | PDC | Planned Development Commercial |
| Lot Area: | 6,750 square feet | West: | R-3 | Multi-Family Residential |
| Existing Development: | One parcel with one unit one-story residential development | | | |

DEVELOPMENT STANDARD COMPARISON FOR SMALL LOT SUBDIVISION

| Development Standard | Required/Allowed Small Lot Subdivision Ordinance | Proposed/Provided |
|---|--|--|
| Lot Area | No minimum per Small Lot Subdivision Standards | Unit 1- 3,600 SF Unit 2- 3,150 SF |
| Open space (development lot) | 30% of total lot area per Small Lot Subdivision Standards | 2,065 SF Unit 1 (57%) 1,553 SF Unit 2 (49%) Total= 3,618 SF (54%) |
| Open space (individual unit) | 200 SF with no dimension less than 10 feet per Small Lot Subdivision Standards | Unit 1- 276 SF- (min dimension of 12 feet.) Unit 2- 308 SF – (min. dimension of 12 feet.10 in.) |
| Density: | | |
| High Density Residential Land Use/ R2-HD Zone | 1 du/3,000 SF (14.5 DU's/Acre- 2 Units Total) | 1 du/3,375 SF (13 DU's/Acre- 2 Units Total) |
| Building Height | Two-stories / 27 ft. | 26'-11 ¼" (Unit 1) 26'-9 ¼" (Unit 2) |
| Distance between main buildings | No Minimum /SLO | 9 ft. |
| Building Setbacks: (Development Lot) | | |
| Front (Orange Ave) (Unit 1) | 20 ft. | 16 ft. ¹ |
| Side (street-side) (16 th Place) | 10 ft. | 15 ft. (Unit 1) 19 ft. (Unit 2) |
| Side (interior) | | |
| Unit 1- First Floor | 5 ft. | 5 ft. |
| Unit 1- Second Floor | 5 ft. | 5 ft. |
| Unit 2- First Floor | 5 ft. | 5 ft. |
| Unit 2- Second Floor | 5 ft. | 24 ft. |
| Rear (interior) ³ | | |
| Unit 1- First Floor | NA | NA |
| Unit 1- Second Floor | NA | NA |
| Unit 2- First Floor | 10 ft. | 9 ft. ¹ |
| Unit 2- Second Floor | 10 ft. | 8 ft. ¹ |
| % ratio of 2nd floor to 1st floor (Unit 1) | 100% | 54% |
| % ratio of 2nd floor to 1st floor (Unit 2) | 100% | 48% |
| Driveway Length | 19 ft. | 19 ft. (Unit 1) 18 ft. (Unit 2) ² |
| Parking | Two garage and two open per unit | Unit 1-Two garage and two open Unit 2-Two garage and two open |
| Total | 8 spaces | 8 spaces |
| Final Action | Planning Commission | |
| CEQA Review | Exempt, Class 15 for Minor Land Divisions | |

1. Minor Modification required.

2. Public Services requires 1-foot sidewalk easement along 16th Place, 18-foot driveway length minimum per Transportation Services.

3. The rear setback of 10 feet was adopted per Ordinance 15-03 amending Title 13, Chapter V, Article 2.5, Residential Small Lot Subdivision, of the Costa Mesa Municipal Code effective May 21, 2015

BACKGROUND

Project Site/Environs

The subject project site is a 6,750 square-foot parcel located on the southeast corner of Orange Avenue and 16th Place. The project site is currently developed with an approximately 840 square-foot single-story residence with detached 240 square-foot garage built in the late 1940's. Existing driveway and access are provided along Orange Avenue. The property is zoned R2-HD with a maximum development potential of 2 dwelling units (14.5 dwelling units per acre). The proposed project will replace the existing residential unit when built.

ANALYSIS

Project Description

The Planning Application (PA-15-06) was approved by Planning Commission on June 8, 2015, authorizing construction of two dwelling units on a 6,750 square-foot lot. As part of the Design Review, the applicant was granted relief (Minor Modification) from the ten-foot rear setback and twenty-foot front setback requirement per the Small Lot Subdivision Standards. The Planning Commission approved architectural plans from the June 8, 2015 hearing are attached as Attachment 5. A link to the original June 8, 2015 staff report is provided at following link:

<http://www.costamesaca.gov/ftp/planningcommission/agenda/2015/2015-06-08/PH-2.pdf>

The maximum development potential for R2-HD zone on this site is two units (14 dwelling units per acre). The unit types are summarized in the following table:

| PA-15-06 Development Summary | | | | | | |
|-------------------------------------|-----------------|----------------------|---------------------|------------------------------------|---------------------------|------------------------|
| | Lot Area | Building Area | No. Bed/Bath | Parking | Private Open Space | Building Height |
| Unit 1/Lot 1 | 3,600 SF | 1,472 SF | 3bed/3bath | 4 total- (2 garage & 2 open) | 276 SF | 26'-11 ¼" |
| Unit 2/Lot 2 | 3,150 SF | 1,489 SF | 3bed/3bath | 4 total- (2 garage & 2 open) | 308 SF | 26'-9 ¼" |
| Total | 6,750 SF | 2,972 SF | 6bed/6bath | 8 | 584 SF | |

The proposed tentative map includes two lots. As a 2-unit small lot development, Code does not require that an HOA be established; however the Small Lot Ordinance requires, at a minimum, that CC&Rs be recorded on the property. Because there are no common areas for circulation, parking, or landscape purposes, a condition of approval requires that the CC&Rs contain the ground rules related to architectural control over future building modifications or additions, architectural design and guidelines for the property, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts. The CC&R's will also include provisions requiring that all open parking spaces be unassigned and available for visitors and requiring residents to park vehicles in the

garage spaces provided for each unit. The Planning Commission resolution including conditions of approval related to CC&Rs are attached as Attachment 3.

The applicant has submitted grading and building plans for plan check; however, a building permit has not been issued, and will not be issued until proof of recordation of the parcel map is provided.

Justifications for Approval

Staff recommends approval of Tentative Parcel Map PM-2015-166, based on the following assessment of facts and findings which are also reflected in the draft resolution.

- *The proposed subdivision is consistent with the General Plan and Zoning Code.* The subdivision complies with General Plan Land Use Objective LU-1A.4 in that it allows the units to be sold independent of one another and creates ownership opportunities to improve the balance between renter and owner occupied housing in the City. The subdivision is consistent with applicable development standards contained in the Zoning Code. The project design complies with the Small Lot Subdivision Ordinance and the Residential Design Guidelines. The subdivision also provides for future natural heating and cooling. The proposed subdivision facilitates the approved project which included an east-west orientation of the homes, to allow natural heating through sun exposure. The project provides private open space areas under partial roof canopies and incorporates landscaping, such as trees, to ensure natural and passive heating and cooling from the sun exposure. In addition, the use of smaller sized bedroom windows and window glazing for bathroom windows along the second floor southern elevation for both units, is provided to minimize sun exposure.
- *The Declaration of the Covenants, Conditions, and Restrictions (CC&Rs) is required to be filed on the property.* The Small Lot Ordinance requires that all small lot subdivisions establish some form of self-governance through CC&Rs, maintenance associations, and/or homeowner's associations. In the City of Costa Mesa, the most common type of association is an incorporated homeowner's association. This is a corporation in which the members of the corporation vote for a board of directors which runs the affairs of the corporation. In this case, as a 2-unit small lot development, Code does not require that an HOA be established. The Small Lot Ordinance requires, at a minimum, that CC&Rs be recorded on the property. Because there are no common areas for circulation, parking, or landscape purposes, a condition of approval requires that the CC&Rs contain the ground rules related to architectural control over future building modifications or additions, architectural design and guidelines for the property, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts.
- *The subdivision and development of the project site will not interfere with any public entity, public utility rights-of-way and/or easement, or violate requirements of the California Regional Water Quality Control Board pursuant to Division 7.* To maintain ADA compliant sidewalks per the Public Services Division, the project will require a 1-foot easement along the front property line abutting 16th Place R.O.W. In addition, the driveway approach to Parcel 1 will be required to maintain a two-

foot distance from the existing utility power pole along Orange Avenue. The project will also be required to comply with all regulations set forth by the Costa Mesa Sanitation District as well as the Mesa Water District.

ENVIRONMENTAL DETERMINATION

The project is exempt from the provisions of the California Environmental Quality Act under Section 15315 (Class 15), Minor Land Divisions.

The Class 15 exemption consists of the division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous two years, and the parcel does not have an average slope greater than 20 percent. The map is consistent with the General Plan and Zoning Code. No variances are required. All public utilities and services are available. The property has not been subdivided within the previous two years, and the lot is generally flat in topography.

LEGAL REVIEW

The draft resolutions have been reviewed and approved as to form by the City Attorney's Office.

PUBLIC NOTICE

Pursuant to Title 13, Section 13-29(d), of the Costa Mesa Municipal Code, three types of public notification have been completed no less than 10 days prior to the date of the public hearing:

1. Mailed notice. A public notice was mailed to all property owners within a 500-foot radius of the project site. The required notice radius is measured from the external boundaries of the property. (See attached Notification Radius Map.)
2. On-site posting. A public notice was posted on each street frontage of the project site.
3. Newspaper publication. A public notice was published once in the Daily Pilot newspaper.

ALTERNATIVES

1. Approve the map with modifications. The Planning Commission may suggest specific changes that are necessary to alleviate concerns. If any of the additional requested changes are substantial, the item should be continued to a future meeting to allow a redesign or additional analysis. In the event of significant

modifications to the proposal, should the Planning Commission choose to do so, staff will return with a revised resolution incorporating new findings and/or conditions.

2. Deny the map. If the Planning Commission believes that there are insufficient facts to support the findings for approval, Planning Commission must deny the application and provide facts in support of denial to be included in the attached draft resolution for denial. If the project were denied, the applicant could not submit substantially the same type of application for six months.

CONCLUSION

The proposed subdivision will facilitate individual ownership of the previously approved small lot subdivision project. Therefore, it is consistent with the intent of the General Plan and Zoning Code and staff recommends approval of the map. Resolutions for approval and denial of the project are attached for consideration by the Planning Commission.



RYAN LOOMIS
Associate Planner



CLAIRE FLYNN, AICP
Asst. Development Services Director

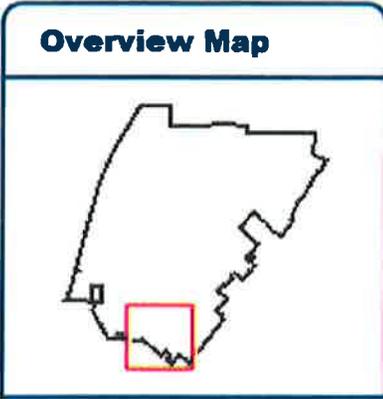
- Attachments:
1. Location Map, Zoning Map, 500-foot Radius Map
 2. Site Photos
 3. Draft Resolution and Exhibits
 4. Submitted Tentative Parcel Map
 5. Approved Architectural Plans from 6-8-15 Planning Commission

Distribution: Director of Economic & Development Services/Deputy CEO
Senior Deputy City Attorney
Public Services Director
City Engineer
Transportation Services Manager
Fire Protection Analyst
File (2)

Jeff Tsalyuk
1224 Oceanfront
Newport Beach, CA 92661

Brett Ettinger
Ferguson- Ettinger Architects Inc.
29 Parker Way
Santa Barbara, CA 93101

BSB Newport LLC
240 Newport Center #200
Newport Beach, CA 92660



Legend

| | | | | | | | |
|--|----------------|--|--------------------------|--|--------------------|--|------------------------------|
| | Address Points | | Roads | | Major Newport BLVD | | SECONDARY Hydrology Channels |
| | Freeway | | Collector Freeway (cont) | | Primary (cont) | | |



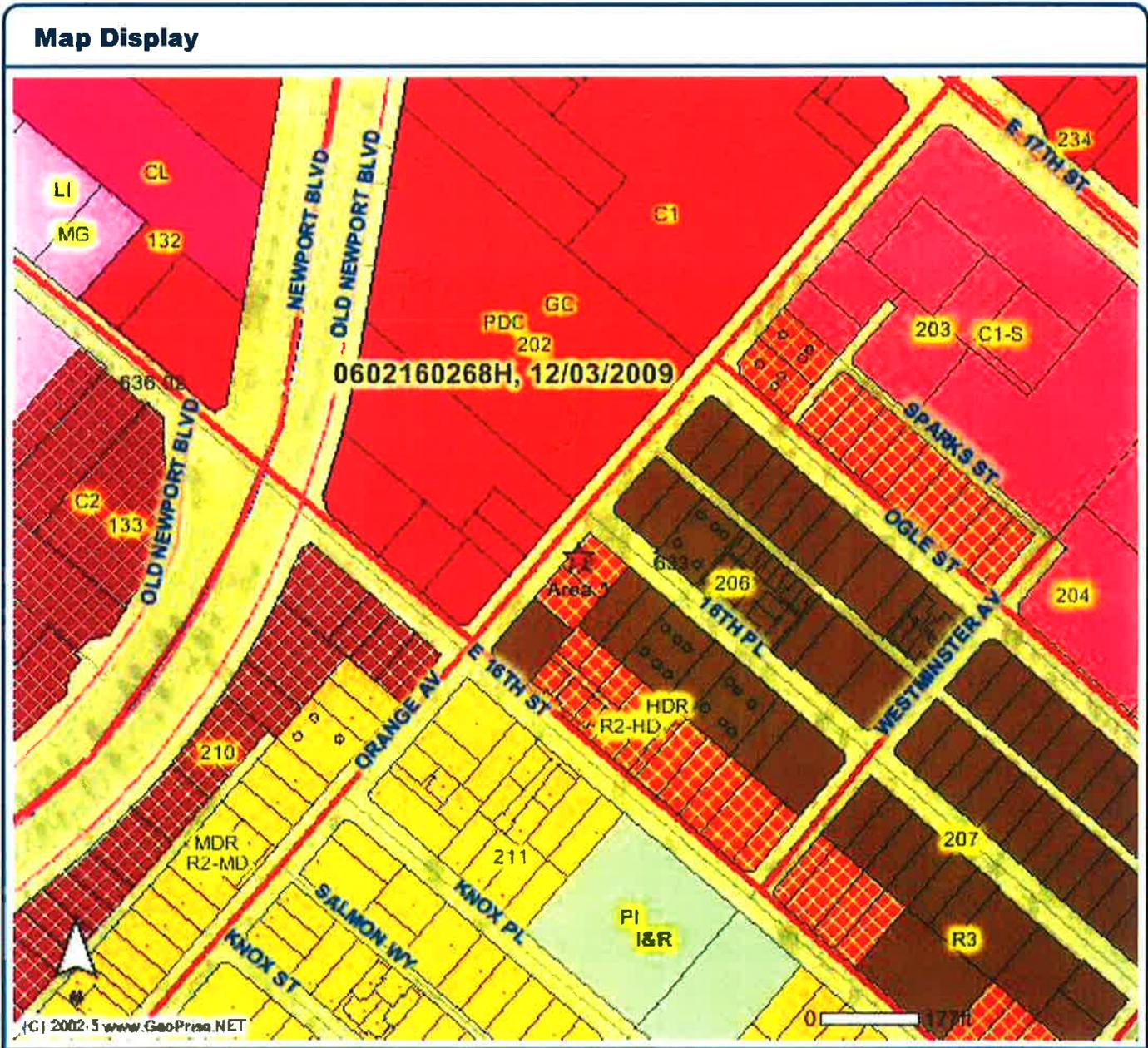
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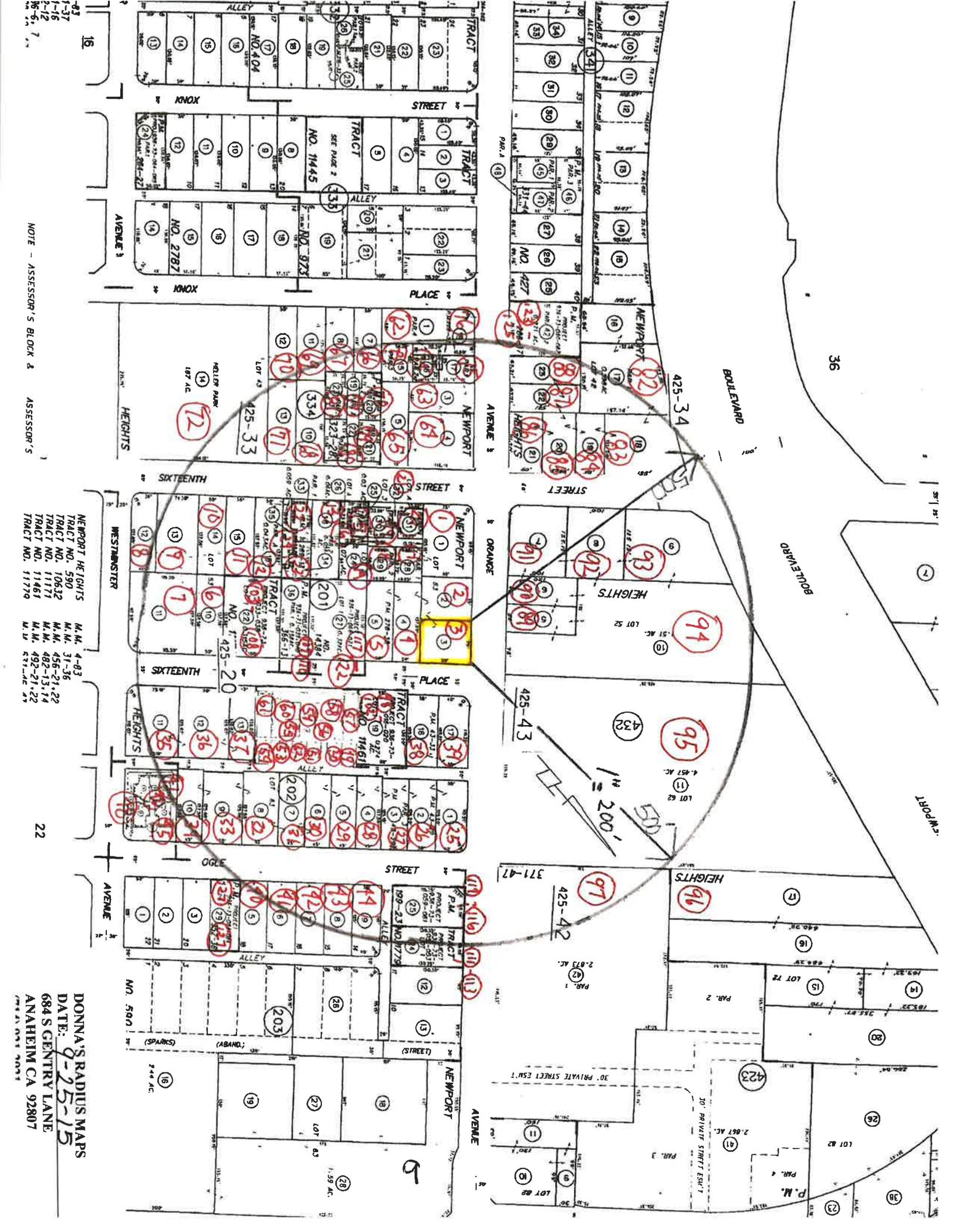


Legend

| | | | |
|--------------------------------|---------------------------------|-------------------|------------|
| Address Points | Newport BLVD Primary | Parcel Lines | C1-S |
| Freeway Roads | SECONDARY Hydrology Channels | City Boundary | CL |
| Collector Freeway Major (cont) | Street Names Street Centerlines | Water Ways Zoning | I&R |
| | | AP C1 (cont) | I&R-S |
| | | | MG |
| | | | MP |
| | | | P |
| | | | PDC (cont) |



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NOTE - ASSESSOR'S BLOCK & ASSESSOR'S

NEWPORT HEIGHTS
 TRACT NO. 590
 TRACT NO. 10632
 TRACT NO. 11177
 TRACT NO. 11461
 TRACT NO. 11770

22

DONNA'S RADIUS MAPS
 DATE: 9-25-15
 684 S GENTRY LANE
 ANAHEIM CA 92807













15

RESOLUTION NO. PC-15-

**A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF COSTA MESA APPROVING
TENTATIVE PARCEL MAP 2015-166 FOR
RESIDENTIAL SMALL LOT SUBDIVISION
DEVELOPMENT FOR PROPERTY LOCATED AT 1620
ORANGE AVENUE**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Jeff Tsalyuk, representing the property owner, requesting approval of *Tentative Parcel Map 2015-166* for a small lot subdivision development to facilitate a previously approved two unit project.

WHEREAS, the project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City of Costa Mesa Environmental Guidelines, and has been found to be categorically exempt from CEQA under Section 15315 (Class 15), Minor Land Divisions.

WHEREAS, the CEQA categorical exemption for this project reflects the independent judgment of the City of Costa Mesa.

WHEREAS, a duly noticed public hearing was held by the Planning Commission on October 26, 2015 with all persons having the opportunity to speak for and against the proposal.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, and subject to the conditions of approval contained within Exhibit B, the Planning Commission hereby **APPROVES** Tentative Parcel Map PM-2015-166.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Tentative Parcel Map PM-2015-166 and upon the applicant's compliance with each and all of the conditions in Exhibit B and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval and/or mitigation measures.

BE IT FURTHER RESOLVED that if any section, division, sentence, clause, phrase or portion of this resolution, or the documents in the record in support of this resolution, are for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

PASSED AND ADOPTED this 26th day of October, 2015.

Robert L. Dickson Jr., Chair
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS (APPROVAL)

- A **Finding:** The proposed development plan and subdivision meets the broader goals of the General Plan, and the Zoning Code by exhibiting excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development.

Facts in Support of Findings: The proposed project provides additional ownership opportunities for detached units in place of the existing single residential structure. The project exhibits site planning excellence by providing private open spaces for all units and adequate separation between the homes and the abutting structures.

- B. The proposed project complies with Costa Mesa Municipal Code Section 13-29(g)(13) because:

Finding: The creation of the subdivision and related improvements is consistent with the General Plan and the Zoning Code.

Facts in Support of Finding: The creation of the subdivision is consistent with General Plan Land Use Objective LU-1A.4 in that it creates ownership opportunities to improve the balance between renter and owner occupied housing in the City. The project design complies with the Small Lot Subdivision Ordinance and the Residential Design Guidelines.

Finding: The proposed use of the subdivision is compatible with the General Plan.

Facts in Support of Finding: The proposed project has a density of 13 units per acre, consistent with the General Plan designation of High Density Residential, which allows 14.5 dwelling units per acre.

Finding: The subject property is physically suitable to accommodate the subdivision in terms of type, design, and density of development, and will not result in substantial environmental damage nor public health problems, based on compliance with the Zoning Code and General Plan, and consideration of appropriate environmental information.

Facts in Support of Finding: The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 15), New Construction or Conversion of Small Structures. The project complies with the maximum allowed density for the site and provides adequate open space, parking and setbacks from adjacent properties.

Finding: The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code Section 66473.1.

Facts in Support of Finding: The project provides private open space

areas under partial roof canopies and incorporates landscaping, such as trees, to ensure natural and passive heating and cooling from the sun exposure. In addition, the use of smaller sized bedroom windows and window glazing for bathroom windows along the second floor southern elevation for both units, is provided to minimize sun exposure.

Finding: The subdivision and development of the property will not unreasonably interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.

Facts in Support of Finding: The proposed project does not interfere with the public right of way. A 1-foot wide easement along the front property line along 16th Place right-of-way (R.O.W.) is required to ensure the public access and ADA compliance exists for the sidewalk along 16th Place R.O.W. In addition, the driveway approach to Parcel 1 will be required to maintain a two-foot distance from the existing utility power pole along Orange Avenue.

Finding: The discharge of sewage from this subdivision into the public sewer system will not violate the requirements of the California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000 of the Water Code).

Facts in Support of Finding: The applicant will be required to comply with all regulations set forth by the Costa Mesa Sanitation District as well as the Mesa Water District.

- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City's environmental procedures. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15315 for minor land subdivision Projects.
- D. The project is exempt from Chapter XII, Article 3 Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

EXHIBIT B

CONDITIONS OF APPROVAL

- Plng.
1. The expiration of Tentative Parcel Map PM-2015-166 is valid for two years. An extension request is needed to extend the expiration for each additional year after the initial two-year period.
 2. All conditions of approval of PA-15-06 shall apply to approval of PM-2015-166.
 3. The Tentative Parcel Map shall be processed consistent with Chapter XI. Subdivisions, Article 1. Tentative Maps, of the Zoning Code.
 4. Prior to issuance of building permits, the applicant shall provide proof of recordation of Tentative Parcel Map 2015-166.
 5. Prior to issuance of a certificate of occupancy, the applicant shall file and record a declaration of covenants, conditions, and restrictions (CC&Rs) on the property. Prior to issuance of a building permit, a draft of the CC&Rs shall be remitted to the Development Services Director and City Attorney's office for review and approval. Because there are no common areas for circulation, parking, or landscape purposes, the CC&Rs shall be limited to the ground rules related to: architectural control over future building modifications or additions, architectural design and guidelines for the property, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts. The Development Services Director has the discretion to request any other provisions in the CC&Rs to promote self-governance between the two property owners.
 6. Prior to issuance of building permits, the applicant shall provide the Conditions, Covenants, and Restrictions (CC&Rs) to the Development Services Director and City Attorney's office for review. The CC&Rs must be in a form and substance acceptable to, and shall be approved by the Development Services Director and City Attorney's office.

The CC&R's shall contain restrictions requiring residents to park vehicles in garage spaces provided for each unit. Storage of other items may occur only to the extent that vehicles may still be parked within the required garage at the number for which the garage was originally designed and to allow for inspections by the homeowner's or maintenance association, as applicable, to verify compliance with this condition.

Any subsequent revisions to the CC&Rs related to these provisions must be reviewed and approved by the City Attorney's office and the Development Services Director before they become effective.
 7. The CC&Rs shall contain provisions requiring that the maintenance or homeowner's association effectively manage parking and contract with a towing service to enforce the parking regulations.
 8. The Homeowner's Association or Maintenance Association, as applicable, shall submit a signed affidavit to the City of Costa Mesa on an annual basis to certify the following:

- a. The two-car garages in the residential community are being used for vehicle parking by the resident(s).
- b. The vehicle parking areas within the garage are not obstructed by storage items, including but not limited to, toys, clothing, tools, boxes, equipment, etc.
- c. The resident(s) have consented to voluntary inspections of the garage to verify the parking availability, as needed.

The form and content of the affidavit shall be provided by the City Attorney's office. Failure to file the annual affidavit is considered a violation of this condition.

9. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.

CODE REQUIREMENTS

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
 2. Applicant shall provide the City with proof of general liability insurance including endorsements concerning "additional named insured", "advance notice", and "primary coverage" as approved by the City attorney's office.
 3. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
 4. Prior to issuance of building permits, applicant shall contact the US Postal

Service with regard to location and design of mail delivery facilities. Such facilities shall be shown on the site plan, landscape plan, and/or floor plan.

5. Prior to issuance of occupancy permits, the Developer shall pay a park impact fee or dedicate parkland to meet the demands of the proposed development.

RESOLUTION NO. PC-15-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA DENYING TENTATIVE PARCEL MAP 2015-166 FOR RESIDENTIAL SMALL LOT SUBDIVISION DEVELOPMENT FOR PROPERTY LOCATED AT 1620 ORANGE AVENUE

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Jeff Tsalyuk, representing the property owner, requesting approval of *Tentative Parcel Map 2015-166* for a small lot subdivision development to facilitate a previously approved two unit project.

WHEREAS, a duly noticed public hearing was held by the Planning Commission on October 26, 2015, with all persons having the opportunity to speak for and against the proposal.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, the Planning Commission hereby **DENIES** Tentative Parcel Map PM-2015-166.

PASSED AND ADOPTED this 26th day of October, 2015.

Robert L. Dickson Jr., Chair
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS (DENIAL)

- A. The information presented does not comply with Costa Mesa Municipal Code Section 13-29(g)(13) in that:
- Finding:** The proposed development plan and subdivision does not meet the broader goals of the General Plan, and the Zoning Code by exhibiting excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development.
- D. The subdivision of the property for a residential small lot subdivision development is not consistent with the City's General Plan and Zoning Code.
- E. The Costa Mesa Planning Commission has denied Tentative Parcel Map PM-2015-166. Pursuant to Public Resources Code Section 21080(b) (5) and CEQA Guidelines Section 15270(a) CEQA does not apply to this project because it has been rejected and will not be carried out.
- F. The project is exempt from Chapter IX, Article 11, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

TENTATIVE PARCEL MAP 2015-166

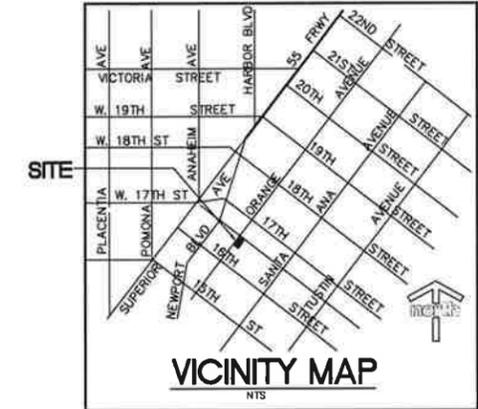
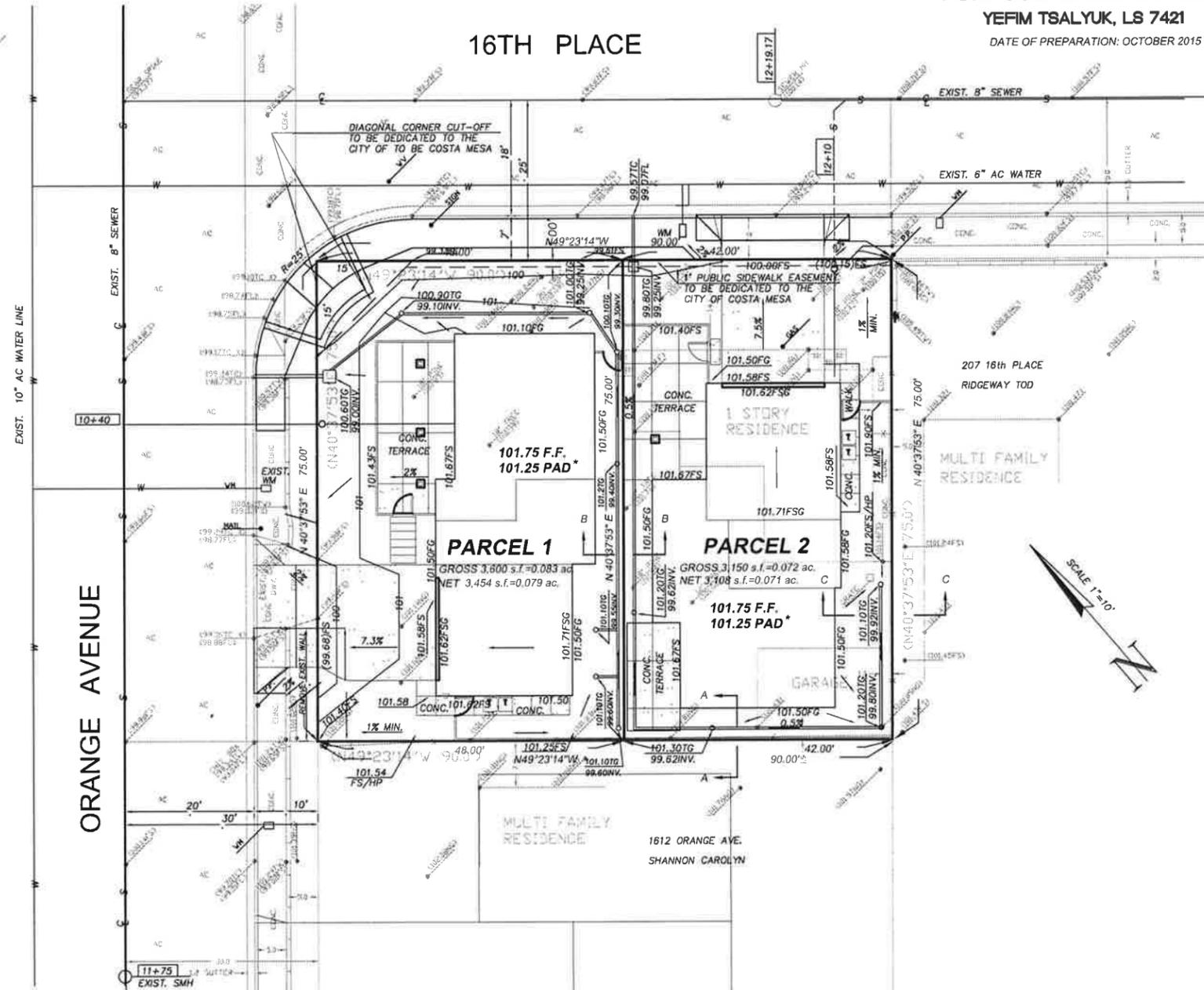
THE NORTHEASTERLY 100 FEET OF THE NORTHWESTERLY 90 FEET OF LOT 53, NEWPORT HEIGHTS TRACT, M.M. 4/83, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE

PURPOSE: CREATE 2 PARCELS

YEFIM TSALYUK, LS 7421

DATE OF PREPARATION: OCTOBER 2015

16TH PLACE



SITE ADDRESS:

1620 ORANGE AVE. & 201 16th. PL.
COSTA MESA, CA 92627
A.P.N. 425-201-03

AREA SUMMARY

TOTAL AREA = 6,750 S.F.(0.155 ac.) GROSS
6,562 S.F.(0.150 ac.) NET

PURPOSE STATEMENT

THE PURPOSE IS TO CREATE 2 PARCELS FOR SINGLE FAMILY RESIDENCES

OWNER / SUBDIVIDER:

BSB NEWPORT, LLC
240 NEWPORT CENTER DR., SUITE 200
NEWPORT BEACH, CA 92660

ENGINEER:

ITF & ASSOCIATES, INC.
11278 LOS ALAMITOS BLVD.
LOS ALAMITOS, CA 90720
(800) 797-9483



BASIS OF BEARING

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTERLINE OF 16TH PLACE BEING NORTH 49°23'14" WEST, PER PARCEL MAP 2007-175, BOOK 368 PAGES 13-14 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA.

LEGAL DESCRIPTION:

THE NORTHEASTERLY 100 FEET OF THE NORTHWESTERLY 90 FEET OF LOT 53, NEWPORT HEIGHTS TRACT, M.M. 4/83, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE

FLOOD ZONE

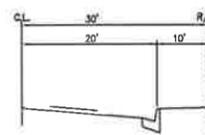
ZONE X, OUTSIDE THE 500 YEAR FLOOD BOUNDARIES

EASEMENTS

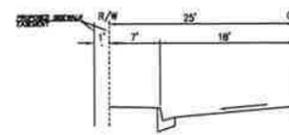
NO EASEMENT AFFECTING THE PROPERTY

NOTES:

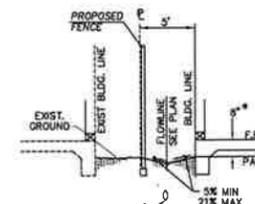
- NO EXISTING WATERCOURSES ON SITE
- SITE IS NOT SUBJECTED TO OVERFLOW OR INUNDATION



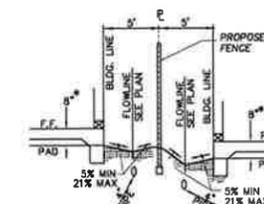
ORANGE AVE.
TYPICAL STREET SECTION



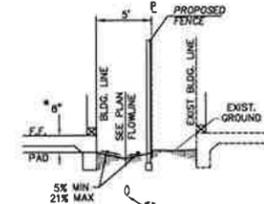
16TH PLACE
TYPICAL STREET SECTION



SECTION A-A



SECTION B-B



SECTION C-C

27

PROJECT SUMMARY

PROJECT DATA:
 LOCATION: 1620 ORANGE AVENUE COSTA MESA, CA 92627
 ZONE: R-2 HD SMALL LOT
 CONSTRUCTION TYPE: V-B, FIRE SPRINKLERED
 OCCUPANCY: R-3, U-1

PROJECT DESCRIPTION:
 DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE
 NEW 2 STORY, 2 UNIT RESIDENTIAL DEVELOPMENT EACH WITH ATTACHED 2 CAR GARAGES PER SMALL LOT ORDINANCE
 EACH UNIT INCLUDES 2 CAR OFFSTREET QUEST PARKING SPACES

BUILDING DATA:

| | BEDROOMS | TOTAL HABITABLE | | HABITABLE LOWER | | HABITABLE UPPER | | GARAGE | | DECKS |
|---------|----------|-----------------|------------|-----------------|------------|-----------------|------------|----------|----------|---------|
| | | NET | GROSS | NET | GROSS | NET | GROSS | NET | GROSS | |
| UNIT 1: | 3 | 1,349 S.F. | 1,472 S.F. | 739 S.F. | 808 S.F. | 610 S.F. | 663 S.F. | 402 S.F. | 430 S.F. | 28 S.F. |
| UNIT 2: | 3 | 1,353 S.F. | 1,480 S.F. | 789 S.F. | 865 S.F. | 574 S.F. | 624 S.F. | 402 S.F. | 427 S.F. | 21 S.F. |
| TOTAL | 6 | 2,712 S.F. | 2,961 S.F. | 1,528 S.F. | 1,674 S.F. | 1,184 S.F. | 1,287 S.F. | 804 S.F. | 857 S.F. | 49 S.F. |

PARKING DATA:

| | UNIT 1 | UNIT 2 |
|-------------|--------|-------------|
| 2 COVERED | | 2 COVERED |
| 2 UNCOVERED | | 2 UNCOVERED |
| TOTAL | 4 | 4 |

SITE DATA:

| | UNIT 1 | UNIT 2 |
|--------------------|------------|------------|
| LANDSCAPE | 1,619 S.F. | 1,011 S.F. |
| HARDSCAPE | 448 S.F. | 542 S.F. |
| DRIVEWAY | 298 S.F. | 304 S.F. |
| BUILDING FOOTPRINT | 1,239 S.F. | 1,293 S.F. |
| TOTAL LOT AREA: | 3,600 S.F. | 3,150 S.F. |

| | UNIT 1 | UNIT 2 |
|---------------------|--------------------|--------------------|
| LOT OPEN AREA: | 2,085 S.F. | 1,553 S.F. |
| PRIVATE OPEN SPACE: | 276 S.F. | 308 S.F. |
| | 57% TOTAL LOT AREA | 49% TOTAL LOT AREA |

- SHEET INDEX:**
- A1.1 PROJECT DATA, SHEET INDEX, VICINITY MAP, CONTEXT MAP
 - A1.2 SITE PLAN, LANDSCAPE PLAN
 - A2.1 MAIN FLOOR PLANS - UNIT 1 AND UNIT 2
 - A2.2 UPPER FLOOR PLANS - UNIT 1 AND UNIT 2
 - A2.3 ROOF PLANS - UNIT 1 AND UNIT 2
 - A4.1 BUILDING ELEVATIONS - UNIT 1 AND UNIT 2
 - A4.2 BUILDING ELEVATIONS, BUILDING SECTIONS - UNIT 1 AND UNIT 2

OWNER:
 BSB NEWPORT, LLC
 1100 NEWPORT CENTER DRIVE, SUITE 200 NEWPORT BEACH, CA 92680
 TEL: 949 760 9150
 FAX: 949 760 0430

ARCHITECT:
 FERGUSON - ETTINGER ARCHITECTS INC.
 29 PARKER WAY SANTA BARBARA, CA 93101
 TEL: 805 899 9171
 FAX: 805 957 4222

SURVEYOR:
 RDM SURVEYING, INC.
 23016 LAKE FOREST DR #409 LAGUNA HILLS, CA 92653
 TEL: 949 858 2924
 FAX: 949 858 3438

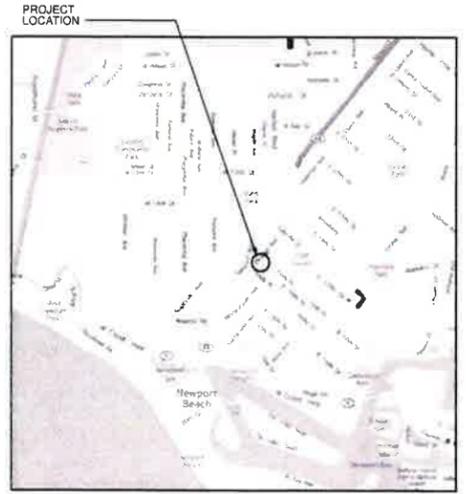
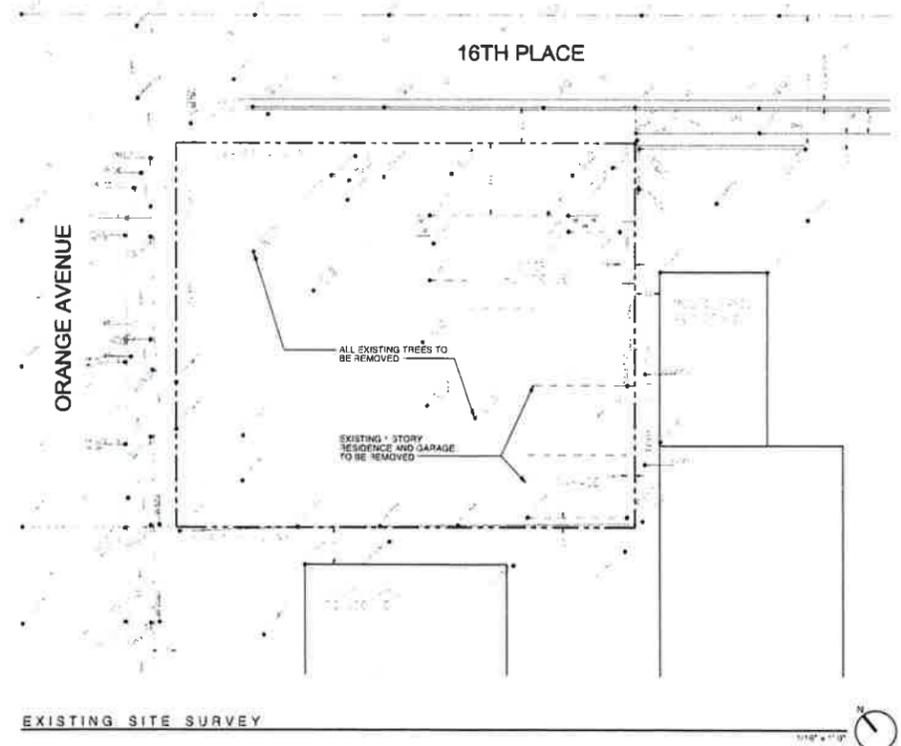
USE OF ARCHITECT'S INSTRUMENTS OF SERVICE:
 DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, UNLESS PRIOR WRITTEN AGREEMENT OF THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS IS OBTAINED. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS.

BSB NEWPORT LLC

1620 ORANGE AVENUE



Design Development Review No. PA-15-06
Approval in Concept
 SUBJECT TO CONDITIONS
 CITY OF COSTA MESA
 PLANNING DEPT.
 BY: *PTL* DATE: *6/9/15*



FERGUSON - ETTINGER ARCHITECTS INC.
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 SANTA BARBARA, CA 93101
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1620 ORANGE AVENUE
 COSTA MESA, CA 92627

OPTION 1
 PROJECT DATA
 SHEET INDEX
 CONTEXT MAP
 VICINITY MAP
 SCALE: AS NOTED
 DATE: 05.18.15
 DRAWN BY: MD
 CHECKED BY:
 REVISIONS:
 NO. DATE: TITLE

A1.1



CHANTICLEER
PYRUS CALLERYANA
STREET TREES



SAMUEL SOMMER
MAGNOLIA GRANDIFLORA



STRAWBERRY TREE
ANEMONE PULSATILLA
ACCENT - SCREENING TREES



MANZANITA TREE
ARCTOSTAPHYLOS DR. HURO



KANGAROO PAWS
ANIGOZANTHOS RUFUS



MATILIA POPPY
ROMNEYA COULTERI



FRENCH LAVENDER
LAVANDULA DENTATA



BERKELEY SEDGE
CAREX DIVULSA



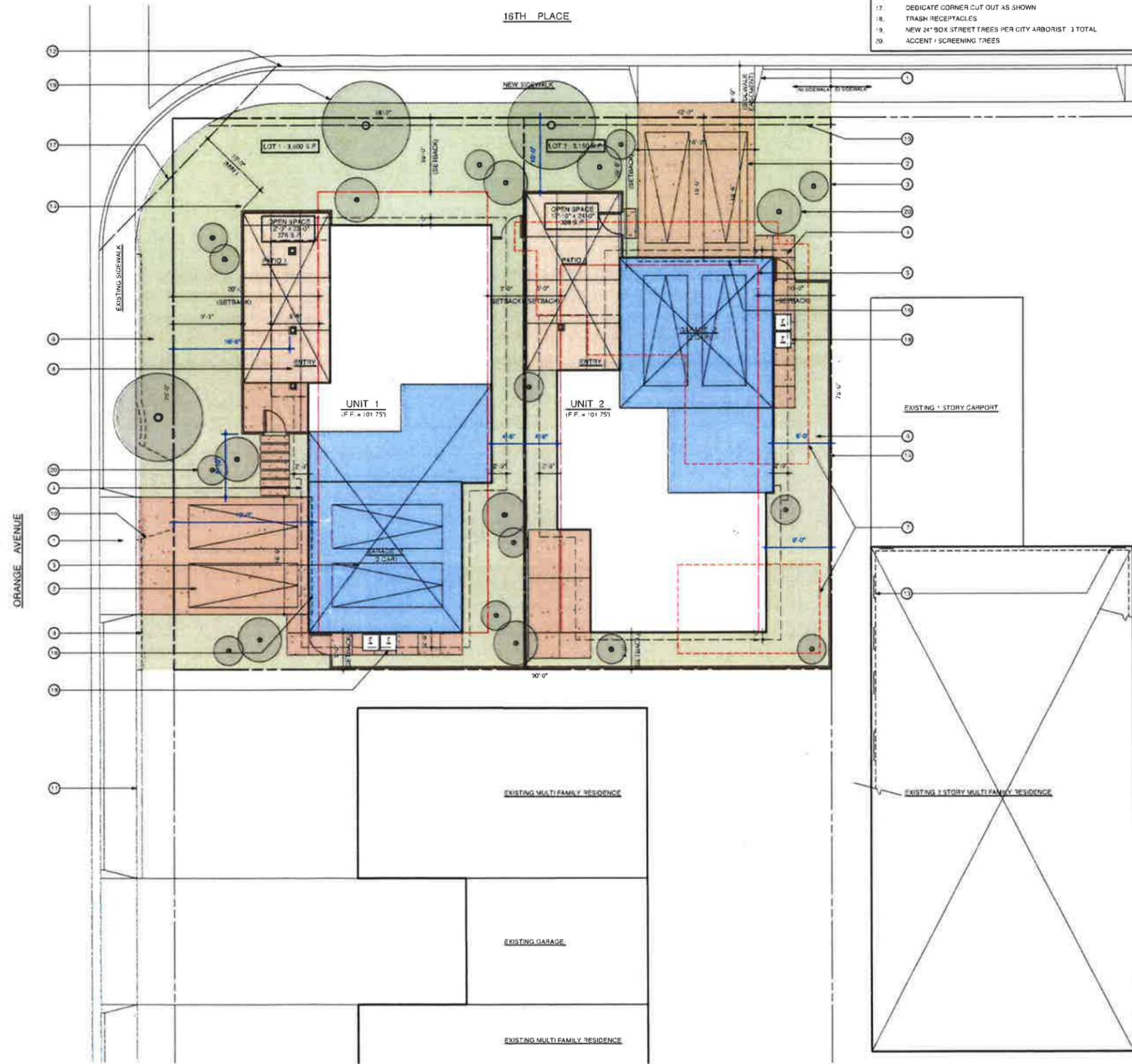
CALIFORNIA LILAC
CEANOTHUS 'YANKEE POW'



MANZANITA
ARCTOSTAPHYLOS PACIFIC WEST

SHRUBS - GROUNDCOVER - PERENNIALS

| NOTE LEGEND | |
|-------------|--|
| 1 | NEW CURB CUT |
| 2 | OFF STREET PARKING (2 SPACES) CONCRETE DRIVEWAY |
| 3 | PROPERTY LINE TYP |
| 4 | ROOF OVERHANG ABOVE, TYP |
| 5 | INDICATES 2ND FLOOR ABOVE |
| 6 | LANDSCAPED AREA - DROUGHT TOLERANT NATIVE GROUNDCOVER |
| 7 | OUTLINE OF EXISTING 1 STORY RESIDENCE AND GARAGE TO BE REMOVED |
| 8 | PERMEABLE, COLORED, TEXTURED CONCRETE WALKWAY AND PATIOS |
| 9 | EXISTING LOW WALL / CURB TO BE REMOVED |
| 10 | EXISTING DRIVEWAY APRON TO BE REMOVED |
| 11 | EXISTING LOW WALL - CURB TO REMAIN |
| 12 | EXISTING CONCRETE CURB |
| 13 | SECOND FLOOR WINDOWS ABOVE AT ADJACENT MULTI-FAMILY RESIDENCE |
| 14 | 3' WOOD FENCE AND GATES |
| 15 | SIDEWALK EASEMENT |
| 16 | FACE OF GARAGE DOOR BEYOND |
| 17 | DEDICATE CORNER CUT OUT AS SHOWN |
| 18 | TRASH RECEPTACLES |
| 19 | NEW 24" 90X STREET TREES PER CITY ARBORIST (3 TOTAL) |
| 20 | ACCENT / SCREENING TREES |



SITE PLAN - OPTION 1

29



FERGUSON BETTINGER
ARCHITECTS INC.
23 PARK BLVD W. WAY
SANTA BARBARA, CA 93101
TEL: 805.809.9171
FAX: 805.957.4122

1620 ORANGE AVENUE
COSTA MESA, CA 92627

OPTION 1
SITE PLAN
LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

DATE: 05.18.15

DRAWN BY: MD

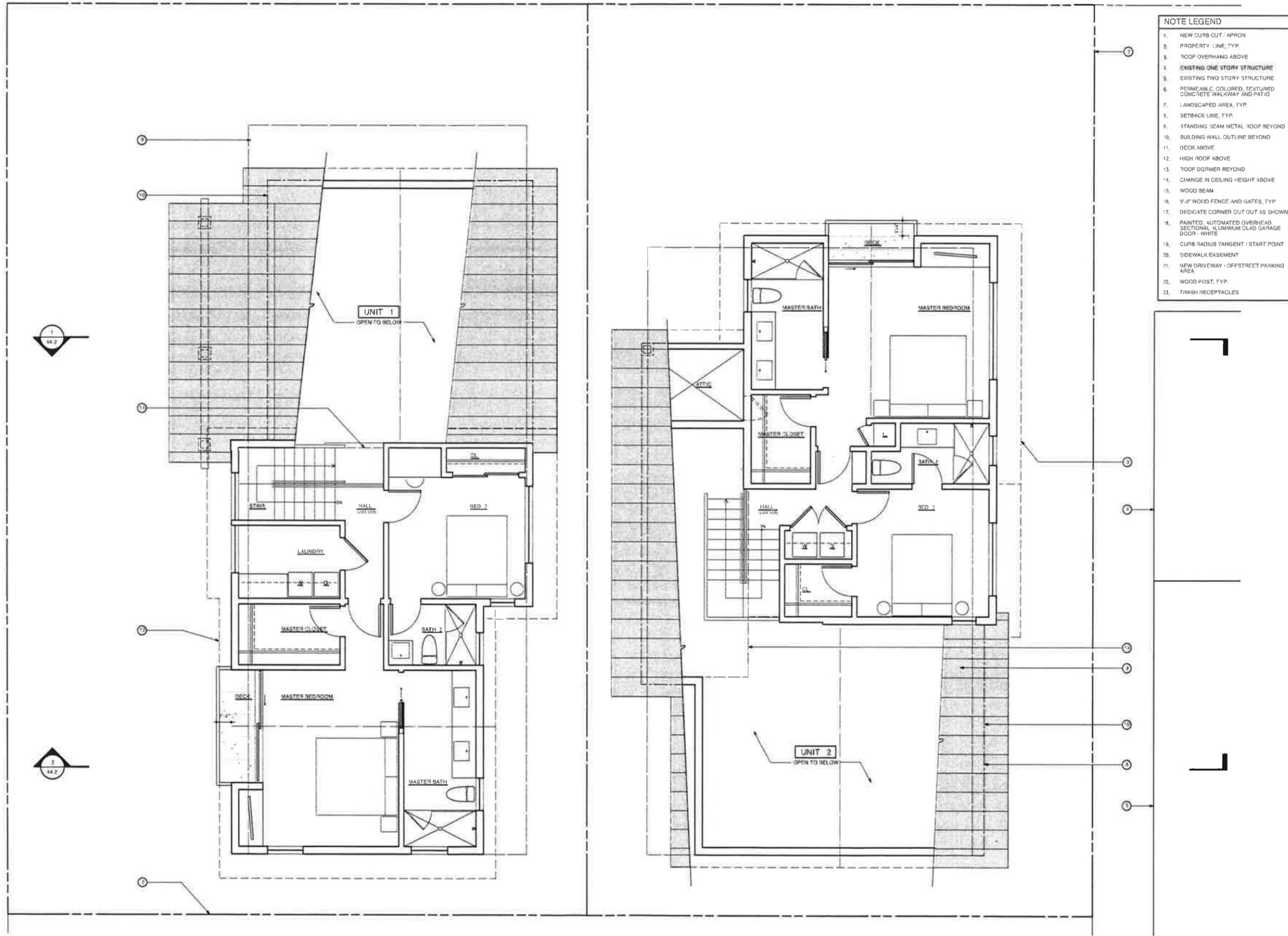
CHECKED BY:

REVISIONS:

NO. DATE TITLE

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A1.2



NOTE LEGEND

1. NEW CURB CUT / APRON
2. PROPERTY LINE, TYP
3. ROOF OVERHANG ABOVE
4. EXISTING ONE STORY STRUCTURE
5. EXISTING TWO STORY STRUCTURE
6. PERMEABLE, COLORED, TEXTURED CONCRETE WALKWAY AND PATIO
7. LANDSCAPED AREA, TYP
8. SETBACK LINE, TYP
9. STANDING SEAM METAL ROOF BEYOND
10. BUILDING WALL OUTLINE BEYOND
11. DECK ABOVE
12. HIGH ROOF ABOVE
13. ROOF DORMER BEYOND
14. CHANGE IN CEILING HEIGHT ABOVE
15. WOOD BEAM
16. 4" WOOD FENCE AND GATES, TYP
17. DEDICATE CORNER CUT OUT AS SHOWN
18. PAINTED, AUTOMATED OVERHEAD SECTIONAL ALUMINUM GLAD GARAGE DOOR - WHITE
19. CURB RADIUS TANGENT / START POINT
20. SIDEWALK EASEMENT
21. NEW DRIVEWAY / OFFSTREET PARKING AREA
22. WOOD POST, TYP
23. TRASH RECEPTACLES

FERGUSON · ETTINGER
 ARCHITECTS INC.
 29 PARKER WAY
 SANTA BARBARA, CA 93101
 TEL: 805.899.9171
 FAX: 805.957.4222

1620 ORANGE AVENUE
 COSTA MESA, CA 92627

OPTION 1
 UPPER FLOOR PLANS
 UNITS 1 AND 2

SCALE: 1/4" = 1'-0"

DATE: 05.18.15

DRAWN BY: MD

CHECKED BY:

REVISIONS:

NO. DATE TITLE:

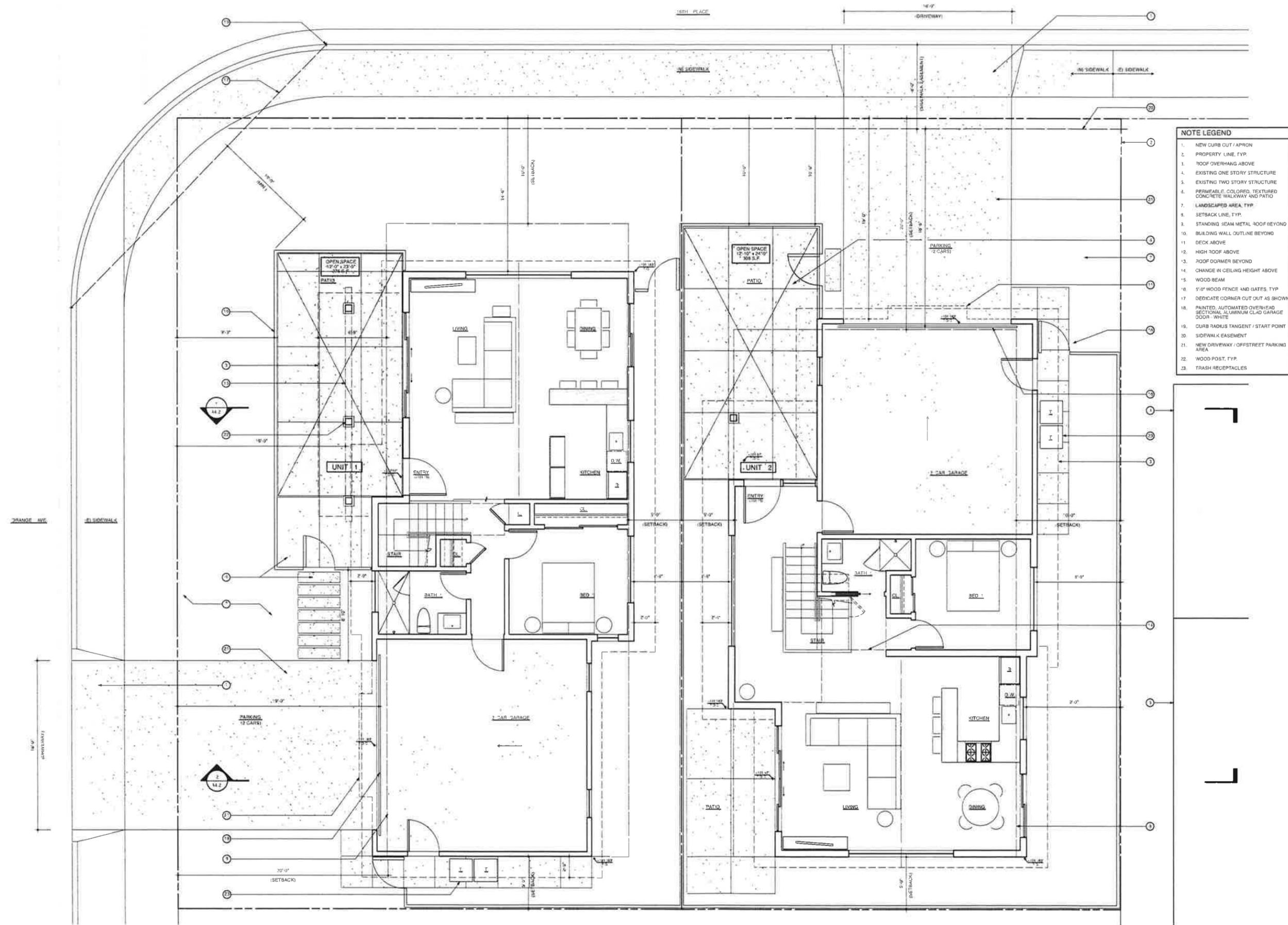
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A2.2

SHEET 4 of 7

UPPER FLOOR PLANS - UNITS 1 AND 2 - OPTION 1

30



- NOTE LEGEND**
1. NEW CURB CUT / APRON
 2. PROPERTY LINE, TYP.
 3. ROOF OVERHANG ABOVE
 4. EXISTING ONE STORY STRUCTURE
 5. EXISTING TWO STORY STRUCTURE
 6. PERMEABLE COLORED, TEXTURED CONCRETE WALKWAY AND PATIO
 7. LANDSCAPED AREA TYP.
 8. SETBACK LINE, TYP.
 9. STANDING SEAM METAL ROOF BEYOND
 10. BUILDING WALL OUTLINE BEYOND
 11. DECK ABOVE
 12. HIGH ROOF ABOVE
 13. ROOF DORMER BEYOND
 14. CHANGE IN CEILING HEIGHT ABOVE
 15. WOOD BEAM
 16. 5'0" WOOD FENCE AND GATES, TYP.
 17. DEDICATE CORNER CUT OUT AS SHOWN
 18. PAINTED, AUTOMATED OVERHEAD SECTIONAL ALUMINUM CLAD GARAGE DOOR - WHITE
 19. CURB RADIUS TANGENT / START POINT
 20. SIDEWALK EASEMENT
 21. NEW DRIVEWAY / OFFSTREET PARKING AREA
 22. WOOD POST, TYP.
 23. TRASH RECEPTACLES

MAIN FLOOR PLANS - UNITS 1 AND 2 - OPTION 1

31

FERGUSON ETTINGER ARCHITECTS INC.
 29 PARKER WAY
 SANTA BARBARA, CA 93101
 TEL: 805.889.4222
 FAX: 805.889.4222

1620 ORANGE AVENUE
 COSTA MESA, CA 92627

OPTION 1
 MAIN FLOOR PLANS
 UNITS 1 AND 2

SCALE: 1/4" = 1'-0"

DATE: 05.18.15

DRAWN BY: MD

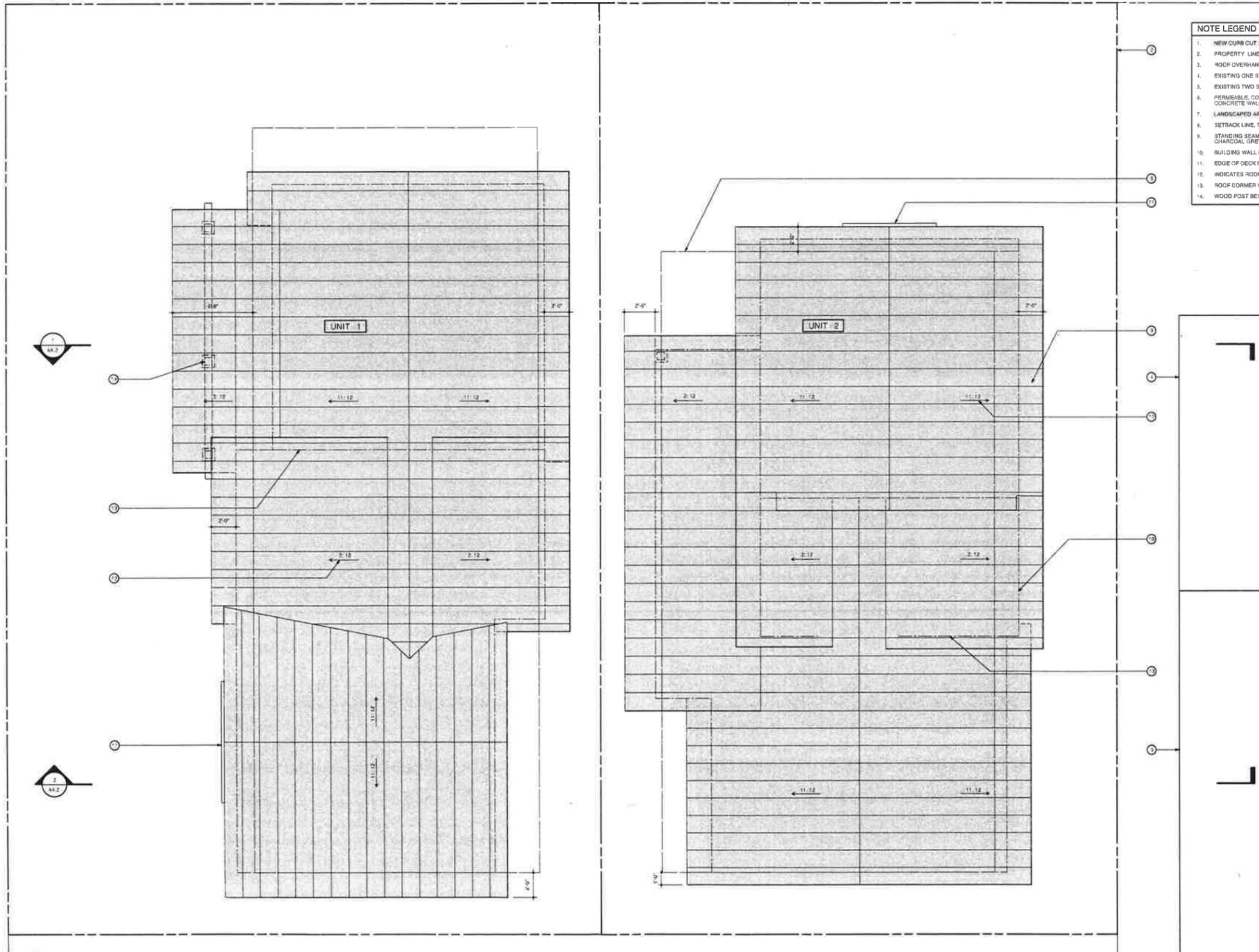
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REVISIONS:

NO. DATE: TITLE

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SHEET 3 of 7



| NOTE LEGEND | |
|-------------|---|
| 1. | NEW CURB CUT / APRON |
| 2. | PROPERTY LINE, TYP. |
| 3. | ROOF OVERHANG ABOVE |
| 4. | EXISTING ONE STORY STRUCTURE |
| 5. | EXISTING TWO STORY STRUCTURE |
| 6. | PERMEABLE COLORED TEXTURED CONCRETE WALKWAY |
| 7. | LANDSCAPED AREA, TYP. |
| 8. | SETBACK LINE, TYP. |
| 9. | STANDING SEAM METAL ROOF CHARCOAL GREY |
| 10. | BUILDING WALL OUTLINE BEYOND |
| 11. | EDGE OF DECK BEYOND |
| 12. | INDICATES ROOF SLOPE |
| 13. | ROOF DORMER WALL BEYOND |
| 14. | WOOD POST BEYOND |

ROOF PLANS - UNITS 1 AND 2 - OPTION 1

32

1/4" = 1'-0"

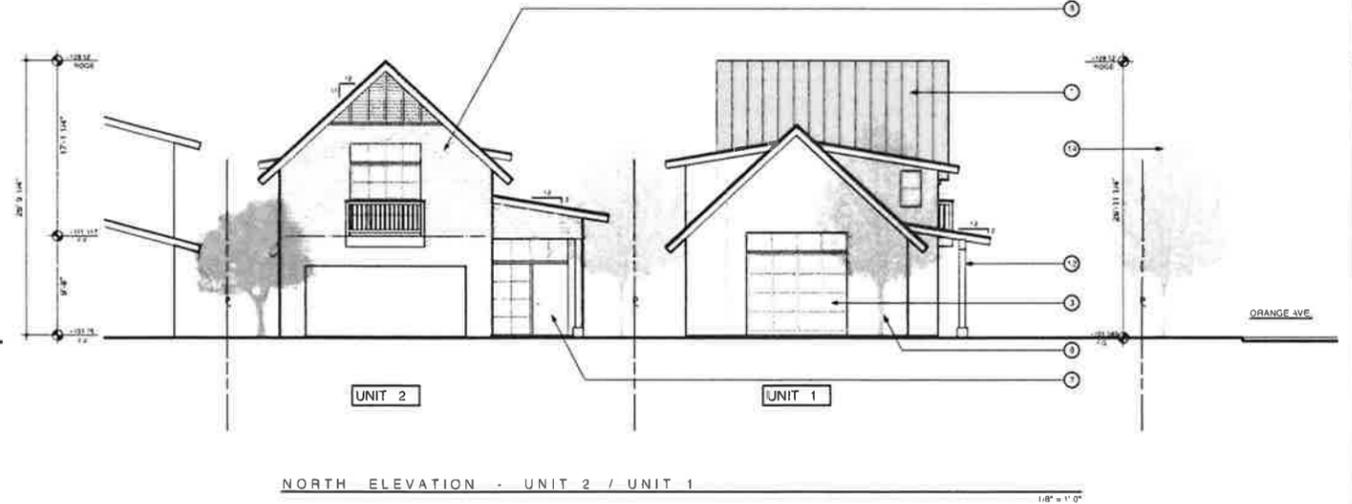
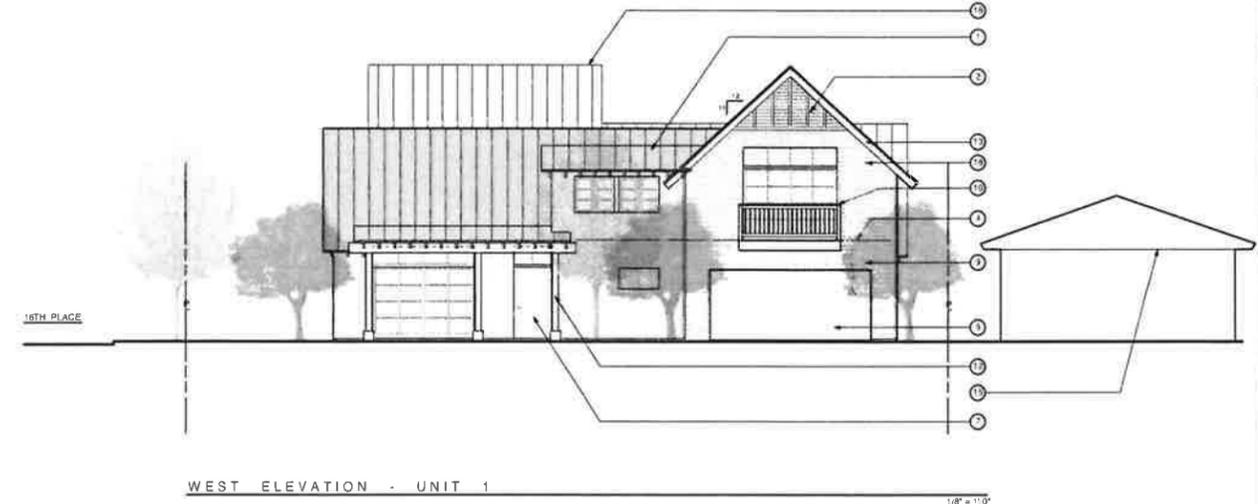
FERGUSON BETTINGER ARCHITECTS INC.
 29 PARKER WAY
 SANTA BARBARA, CA 93101
 TEL: 805.959.9171
 FAX: 805.957.4222

1620 ORANGE AVENUE
 COSTA MESA, CA 92627

OPTION 1
 ROOF PLANS
 UNITS 1 AND 2

SCALE: 1/4" = 1'-0"
 DATE: 05.18.15
 DRAWN BY: MD
 CHECKED BY:
 REVISIONS:
 NO. DATE TITLE

A2.3
 SHEET 3 of 7



NOTE LEGEND:

| | |
|---|---|
| 1. STANDING SEAM METAL ROOF - CHARCOAL GREY | 10. PAINTED STEEL GUARDRAIL WITH STAINLESS STEEL CABLES |
| 2. PAINTED WOOD LATTICE GABLE VENT | 11. NATURAL GRADE |
| 3. DUAL-GLAZED, TEMPERED, NARROW SASH DARK BRONZE ANODIZED ALUMINUM WINDOWS AND SLIDING DOORS | 12. STAINED WOOD POST AND BEAM |
| 4. INDICATES FINISH FLOOR | 13. PAINTED WOOD RAFTERS |
| 5. PAINTED AUTOMATED OVERHEAD SECTIONAL ALUMINUM CLAD GARAGE DOOR - WHITE | 14. NEW TREES - REFER TO A1.2 |
| 6. SMOOTH TROWELED, INTEGRALLY COLORED LIGHT GREY CEMENT PLASTER | 15. EXISTING MULTI-FAMILY RESIDENCE |
| 7. STAINED SOLID WOOD ENTRY DOOR WITH TRANSOM ABOVE | 16. NEW RESIDENCE BEYOND |
| 8. LINE OF BUILDING WALL OR ROOF BEYOND | 17. PAINTED SOLID CORE WOOD DOOR WITH SELF-CLOSING HINGES |
| 9. BEVELED HORIZONTAL CEMENTITIOUS SIDING - WHITE | 18. STRAIGHT EDGE, SHINGLE CEMENTITIOUS SIDING - WHITE |

BUILDING ELEVATIONS

SCALE: 1/8" = 1'-0"

DATE: 05.06.15

DRAWN BY: MD

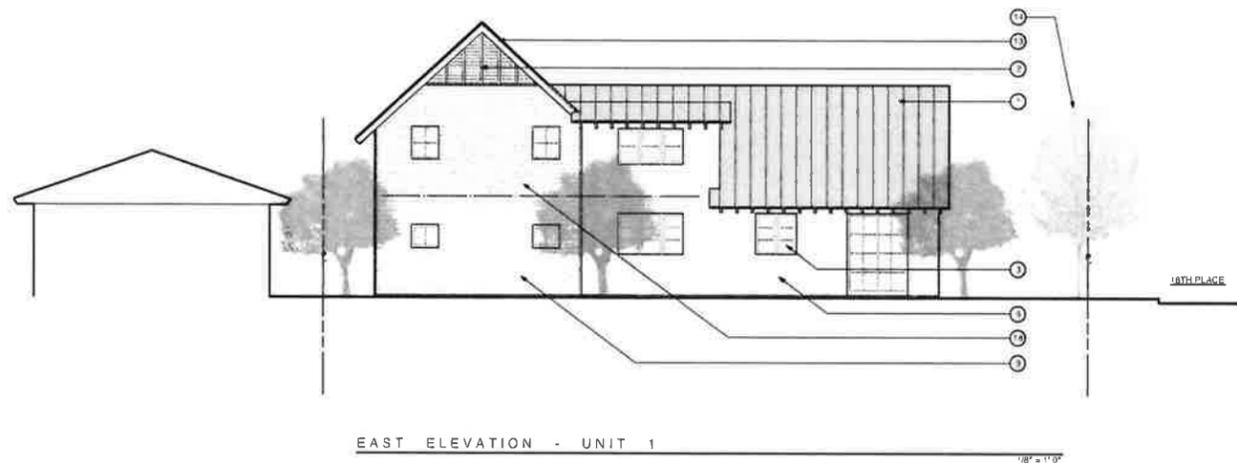
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REVISIONS:

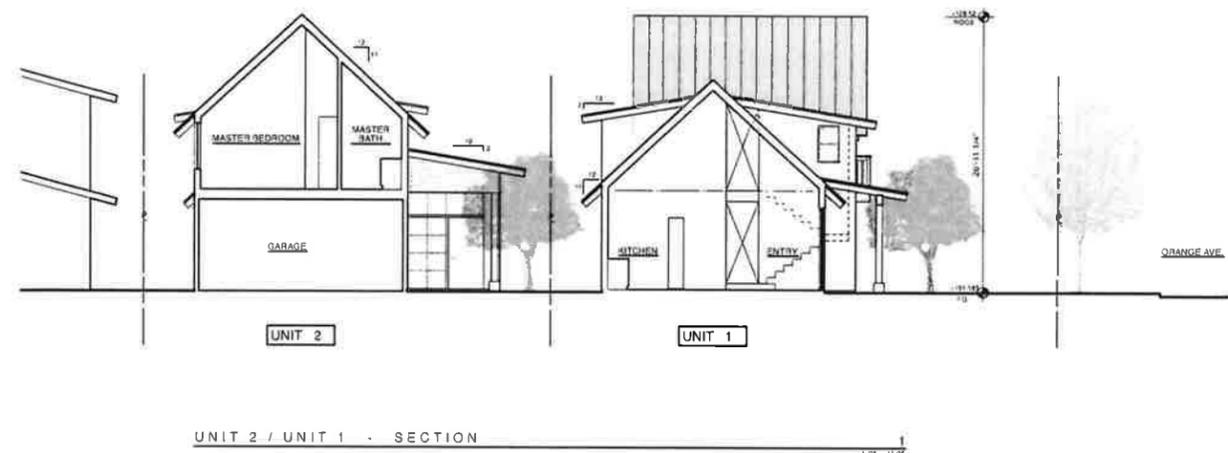
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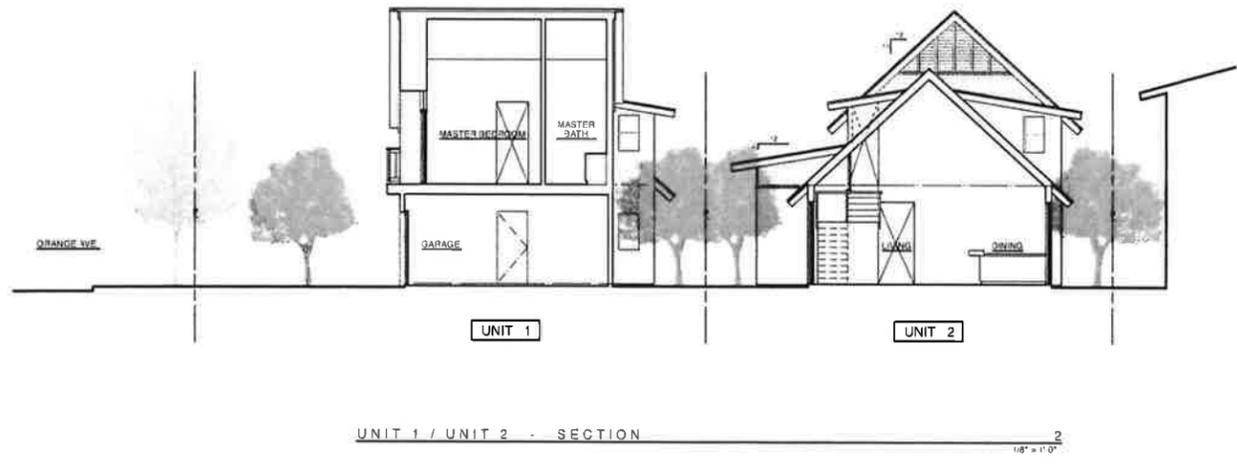
33



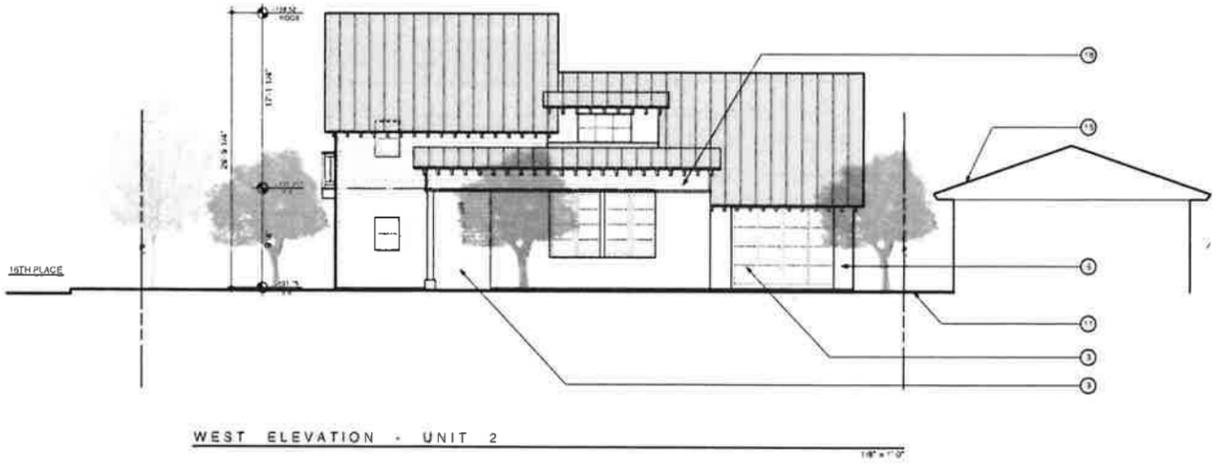
EAST ELEVATION - UNIT 1
1/8" = 1'-0"



UNIT 2 / UNIT 1 - SECTION
1/8" = 1'-0"



UNIT 1 / UNIT 2 - SECTION
1/8" = 1'-0"



WEST ELEVATION - UNIT 2
1/8" = 1'-0"

NOTE LEGEND:

| | |
|---|---|
| 1. STANDING SEAM METAL ROOF - CHARCOAL GREY | 10. PAINTED STEEL GUARDRAIL WITH STAINLESS STEEL CABLES |
| 2. PAINTED WOOD LATTICE GABLE VENT | 11. NATURAL GRADE |
| 3. DUAL GLAZED, TEMPERED, NARROW SASH DARK BRONZE ANODIZED ALUMINUM WINDOWS AND SLIDING DOORS | 12. STAINED WOOD POST AND BEAM |
| 4. INDICATES FINISH FLOOR | 13. PAINTED WOOD RAFTERS |
| 5. PAINTED, AUTOMATED OVERHEAD SECTIONAL ALUMINUM CLAD GARAGE DOOR - WHITE | 14. NEW TREES - REFER TO A1.2 |
| 6. SMOOTH TROWELED, INTEGRALLY COLORED LIGHT GREY CEMENT PLASTER | 15. EXISTING MULTI-FAMILY RESIDENCE |
| 7. STAINED SOLID WOOD ENTRY DOOR WITH TRANSOM ABOVE | 16. NEW RESIDENCE BEYOND |
| 8. LINE OF BUILDING WALL OR ROOF BEYOND | 17. PAINTED SOLID CORE WOOD DOOR WITH SELF CLOSING HINGES |
| 9. REVELED, HORIZONTAL CEMENTITIOUS SIDING - WHITE | 18. STRAIGHT EDGE, SHINGLE CEMENTITIOUS SIDING - WHITE |

34



ORANGE AVENUE ELEVATION - UNIT 1
1/8" = 1'-0"



16TH PLACE ELEVATION - UNIT 2 / UNIT 1
1/8" = 1'-0"

NOTE LEGEND:

| | |
|---|---|
| 1. STANDING SEAM METAL ROOF - CHARCOAL GREY | 10. PAINTED STEEL GUARDRAIL WITH STAINLESS STEEL CABLES |
| 2. PAINTED WOOD LATTICE GABLE VENT | 11. NATURAL GRADE |
| 3. DUAL GLAZED, TEMPERED, NARROW SASH DARK BRONZE ANODIZED ALUMINUM WINDOWS AND SLIDING DOORS | 12. STAINED WOOD POST AND BEAM |
| 4. INDICATES FINISH FLOOR | 13. PAINTED WOOD RAFTERS |
| 5. PAINTED, AUTOMATED OVERHEAD SECTIONAL ALUMINUM CLAD GARAGE DOOR - WHITE | 14. NEW TREES - REFER TO A1.2 |
| 6. SMOOTH TROWELED, INTEGRALLY COLORED LIGHT GREY CEMENT PLASTER | 15. EXISTING MULTI FAMILY RESIDENCE |
| 7. STAINED SOLID WOOD ENTRY DOOR WITH TRANSOM ABOVE | 16. NEW RESIDENCE BEYOND |
| 8. LINE OF BUILDING WALL OR ROOF BEYOND | 17. PAINTED SOLID CORE WOOD DOOR WITH SELF CLOSING HINGES |
| 9. BEVELED, HORIZONTAL CEMENTITIOUS SIKING - WHITE | 18. STRAIGHT EDGE, SHINGLE CEMENTITIOUS SIDING - WHITE |

35

FERGUSON, ETTINGER ARCHITECTS INC.
29 PARKER WAY
SANTA BARBARA, CA 93101
TEL: 805-999-9171
FAX: 805-957-4222

1620 ORANGE AVENUE
COSTA MESA, CA 92627

BUILDING ELEVATIONS
CONTEXT

SCALE: 1/8" = 1'-0"

DATE: 05.08.15

DRAWN BY: MD

CHECKED BY:

REVISIONS:

NO. DATE TITLE

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A4.3

SHEET 6 of 7



319