



# **PLANNING COMMISSION**

## **AGENDA REPORT**

MEETING DATE: January 25, 2016

ITEM NUMBER: PH-5

**SUBJECT:** PLANNING APPLICATION PA-15-47 AND TENTATIVE TRACT MAP TT-17984 FOR A FIVE-UNIT, RESIDENTIAL SMALL LOT SUBDIVISION AT 548 VICTORIA STREET

**DATE:** JANUARY 14, 2016

**FROM:** PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

**PRESENTATION BY:** DANIEL INLOES, ASSOCIATE PLANNER

**FOR FURTHER INFORMATION CONTACT:** DANIEL INLOES, AICP (714) 754-5088  
daniel.inloes@costamesaca.gov

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### **DESCRIPTION**

The proposed project involves the following:

1. **Planning Application PA-15-47:** Design Review to construct a five-unit, two-story, small lot subdivision on an 18,500 sq. ft. lot in an R2-MD zone. The project satisfies all small lot subdivision development standards and residential design guidelines.

The property has access from Miner Street. Each of the two-story detached homes consist of 4 bedrooms/ 3 bathrooms and two-car garage with a minimum interior dimension of 20 feet by 20 feet.

2. **Tentative Tract Map TT-17839:** A residential small lot subdivision consisting of five fee simple lots.

### **APPLICANT OR AUTHORIZED AGENT**

The authorized agent is Jennifer Nguyen, on behalf of Heritage Homes Management, LLC, the property owner.

### **RECOMMENDATION**

Approve by adoption of the Planning Commission resolution, subject to conditions.



**BACKGROUND**

***Project Site/Environs***

The project site is located on the north side of Victoria Street with direct access off of Miner Street, one block west of Charle Drive and east of Maple Street. The site is 18,500 square feet in size. The property zoned R2-MD (Multiple Family Residential, Medium Density) and has a General Plan Land Use Designation of Medium Density Residential. The site abuts Victoria Street to the south, Miner Street to the west, Myran Drive to the east, and a two-story multi-family residence on the north. Across from Miner Street are several single family residences and across Myran Drive are single family residences as well. The two residences and detached garage that were on the project site have been demolished to accommodate the proposed project.

**ANALYSIS**

***Project Description***

The project involves the construction of a five-unit, two-story residential development based on the Residential Small Lot Subdivisions Ordinance. The unit types and proposed density are summarized in the following tables:

**Unit Type Summary**

	Floor Plan A-1 (2 units)	Floor Plan A-2	Floor Plan B	Floor Plan C	Floor Plan D
Unit Size (not including garage)	2,426 Sq. Ft.	2,,407 Sq. Ft.	2,404 Sq. Ft.	2,803 Sq. Ft.	2,928 Sq. Ft.
Garage size	430 Sq. Ft.	430 Sq. Ft.	430 Sq. Ft.	430 Sq. Ft.	430 Sq. Ft.
Total Unit Size w/garage	2,856 Sq. Ft.	2,837 Sq. Ft.	2,834 Sq. Ft.	3,233 Sq. Ft.	3,358 Sq. Ft.
No. of Bedrooms and Baths	4 Beds/3 Bath	4 Beds/3 Baths	4 Beds/ 3 Bath	4 Beds/ 3 Bath	4 Beds/ 3 Bath
No. of Stories	2 Stories/26 Ft.	2 Stories/ 26 Ft.	2 Stories/ 26 Ft.	2 Stories/ 26 Ft.	2 Stories/ 26 Ft.
No. of Garage Spaces	2 spaces	2 spaces	2 spaces	2 spaces	2 spaces
No. of Open Spaces	2 spaces	2 spaces	2 spaces	2 spaces	2 spaces
No. of Guest Parking	0 spaces	0 spaces	0 spaces	0 spaces	1 space
Total On-Site Spaces	21 spaces				

General Plan Density		
Number	5 units allowed	5 units proposed

***Project Design***

The variety of building articulation on the front and rear of each unit, materials and staggered massing, helps diminish a boxy design appearance. Second floor windows are offset to avoid visual impacts to the second story windows to the only abutting neighboring property. The proposed architecture for the five-unit project is considered a two-story traditional style structure with craftsman style architectural accents and decorative materials. The residences include gabled roofs; horizontal lap fiber cement

siding; sanded finished stucco; decorative metal roll-up garage doors; exposed exterior beams, and porches. The proposed colors are light grays, tans, and earthen tones. Architectural projections are included to maximize floor space on upper floors and provide building articulation, texture and color variation throughout the project's design. While all residences face and gain private access from Miner Street the north façade of the northern most unit and the south façade of the south most unit provide additional articulation with a pop out to increase the aesthetic of the project for views from abutting neighbors and Victoria Street.

### ***Tentative Tract Map***

The proposed tentative tract map is for a five lot subdivision for a residential small lot subdivision development. All common areas including the driveway and open parking spaces will be used and maintained by a maintenance association or homeowners association as stipulated in the Conditions, Covenants, and Restrictions (CC&R's) for the development. The CC&R's will also include provisions requiring that the open parking space be unassigned and available for visitors and requiring residents to park vehicles in the garage spaces provided for each unit.

### ***General Plan Conformance***

The General Plan land use designation for the project site is Medium Density Residential. Per the General Plan, Medium Density Residential is intended for residential development with a density up to 12 units to the acre. Because the proposed project complies with the 12 units to the acre density (proposed five units on a less than half acre lot), it is consistent with the General Plan land use designation.

The following analysis evaluates the proposed project's consistency with specific goals, and objectives of the General Plan, Land Use Element.

1. **Objective LU-1A:** *Establish and maintain a balance of land uses throughout the community to preserve the residential character of the City at a level no greater than can be supported by the infrastructure.*

**Consistency:** The project is an infill residential project within the allowable density for medium-density development. Adequate infrastructure exists to serve the proposed project. Therefore, the project is consistent with this General Plan objective.

2. **Objective LU-1A.4:** *Strongly encourage the development of ... owner-occupied housing where feasible to improve the balance between rental and ownership housing opportunities.*

**Consistency:** Because the proposed project is for ownership units, the project is consistent with this General Plan goal.

3. **Goal LU-2: Development:** *It is the goal of the City of Costa Mesa to establish development policies that will create and maintain an aesthetically pleasing and*

*functional environment and minimize impacts on existing physical and social resources.*

**Consistency:** The project would allow for the redevelopment of a property which used to contain a marginal residential development. The proposed project would add a quality architectural design to the project area. As required by, perimeter wall treatments will be reviewed to ensure that they are made of decorative materials, and ornamental site landscaping will be provided throughout the project. As a result, the proposed project is supportive of this General Plan goal.

4. **Objective LU-2A:** *Encourage new development and redevelopment to improve and maintain the quality of the environment.*

**Consistency:** Because the project is an infill development, it would not result in the loss of any habitat, or require extensive infrastructure improvements to provide service to the site. In addition, the proposed project will replace older multi-family housing unit and redevelop the property with new housing stock. Consequently the project is consistent with this objective.

#### ***Utilities are in the public right of way***

There are two above-ground utility poles along the street frontage of the subject property; therefore, an undergrounding requirement for utilities in the public right of way is included. The applicant is not in support of this project due to the economic impact and practical application of this condition of approval.

#### ***Justifications for Approval***

Pursuant to Title 13, Section 13-29(g), Findings, of the Costa Mesa Municipal Code, the Planning Commission shall find that the evidence presented in the administrative record substantially meets specified findings. Staff recommends approval of the proposed project, based on an assessment of facts and findings which are also reflected in the draft resolution.

The City Council revised the Zoning Ordinance (Title 13) in June 1997 which included zoning code requirements for new development in the R2-MD zone. In addition, City Council amended Title 13 by including new standards for Residential Small Lot Subdivisions. Article 2.5, which provides flexible development standards and promote a wider range of homeownership of individual lots in multiple-family residential and overlay zoning districts. The project is consistent with the Zoning Code.

- The project exhibits excellence in design and meets the Residential Design Guidelines.

The two existing multi-family rental structures with detached garage were in disrepair and sat on an otherwise undeveloped dirt lot. This project proposes five new residential single family two-story units built with quality materials, exceeding our private open space requirements, and provides horizontal and vertical greenery throughout the development. The proposed project features multiple trees on the development lot in addition to the proposed shrubs and ground cover.

The proposed architecture and site design will enhance the street view and potentially evoke new development in the area. The overall architectural design promotes excellence and compatibility. The project meets the City's Residential Design Guidelines as it provides a variety of building elevations, pop-outs, materials and staggered massing. The two-story traditional style architecture alleviates the compact configuration by including a combination of horizontal lap and vertical wood siding, sanded finish stucco, block or stacked stone veneer, decorative roll-up garage doors, and columns along front entry porches. The residences have a balanced proportion of first floor to second floor area. The proposed colors are light gray, blue-gray, and earthen tones. The structural design is only enhanced by the landscaping.

A **condition of approval** specifies that the color and materials for the proposed project may not be modified without planning staff's approval.

- Privacy concerns with regard to window placement and architectural compatibility with the surrounding neighborhood have been considered.

The proposed two-story project is surrounded by two-story development. The transition from the pedestrian sidewalk to the two-story residences is addressed by varied height landscaping in the front yard setback of the development. Abutting properties all have multiple windows facing the proposed project but line of sight depicted on the site plan shows that there are only a few windows which are not offset. Any windows not offset will be frosted.

A **condition of approval** requires that the second floor windows will be offset from neighboring development windows, frosted, or raised to avoid privacy issues to the second story windows of abutting properties as a condition of approval.

- The Declaration of the Covenants, Conditions, and Restrictions (CC&Rs) is required to be filed on the property.

The Small Lot Ordinance requires that all small lot subdivisions establish some form of self-governance through CC&Rs, maintenance associations, and/or homeowner's associations. In the City of Costa Mesa, the most common type of association is an incorporated homeowner's association. This is a corporation in which the members of the corporation vote for a board of directors which runs the affairs of the corporation. The Small Lot Ordinance requires, at a minimum, that CC&Rs be recorded on the property. Condition of approval requires that the CC&Rs shall contain the ground rules related to: common space (common drive and common guest parking space), architectural control over future building modifications or additions, architectural design and guidelines for the property, and

engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts.

- The project will provide on-site parking spaces that meets current parking standards, including the additional guest parking space.

The number of parking spaces meet parking space requirements based on the number of bedrooms and the open parking space is provided for future guests to the development.

- A perimeter six foot tall decorative block wall is required around the development lot.

The construction of a decorative perimeter block wall at a minimum 6 feet in height along the rear and side property lines has already been agreed upon by the applicant and is also a condition of approval.

- Proposed project is consistent with the surrounding neighborhood.

The first 600 feet of Miner Street south of Wilson is zoned R-1 and the character of these units are very homogeneous traditional homes but the last 600 feet to the end of the cul-de-sac is R2-MD and quite eclectic. Lot sizes, lineal frontage, number of units, structural layout, vehicular access, building height all vary within this last 600 feet.

While this proposed project continues to increase the diversity of development on Miner Street the overall project manages to incorporate significant single family home attributes sufficient to compliment all residential types on Miner. The lineal frontage for each unit within the proposed project is shorter on average than the existing smallest lineal frontage on this section of Miner, however, only by 3 feet. The project is about 33 sq. ft. more dense than the existing densest project, however, the project still meets City density requirements for the zone and General Plan designation of the site. Twenty out of the twenty eight units within the southern R2-MD portion of Miner have a second story or are within a two story structure, therefore the height of these units are consistent with the surrounding neighborhood. The proposed project emulates a traditional single family home development by proposing detached single family residences, with each home having an independent driveway, different color pallet and combination of materials, and entrances oriented towards Miner Street.

A condition of approval for this project requires specific decorative detail direction which the applicant has agreed to that would unify the project's architectural accents and highlight the traditional features of this development.

The **condition of approval** requires the applicant will incorporate a decorative accent to the porch column to draw attention to the entrance of the home and ensure that the architectural craftsman design theme extends to the first floor: this could be either prefabricated craftsman style stacked columns or a veneer wrap of wood or stone on the porch columns of all units.

- The tentative tract map meets the requirements for the subdivision.  
The tentative tract map is consistent with the proposed project.

The proposed buildings include openings in an east-west direction so doors and windows allow for sea breezes. There are portions of the roof which are south facing therefore have the potential to provide for active solar heating and energy generation through the use of solar panels.

- The landscaping of this project meets code requirements. The residential development standards require a minimum of 30% of open space for a small lot subdivision development, however the project is proposing 33% of open space. The preliminary landscape plans propose a mixture of shrub and turf coverage. There are sixteen trees strategically placed along the property abutting Miner Street. There are also 20 trees lining the easterly property line abutting Myran Drive to improve the aesthetic view and increase privacy of the rear yard for the proposed units.

The **condition of approval** requires that the Citrus and Red Japanese Maple trees proposed within the landscaping plans within the front setback of the proposed project must be at least 24" box trees.

## **ENVIRONMENTAL DETERMINATION**

The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15332 for Infill Development.

## **LEGAL REVIEW**

The draft resolutions have been reviewed and approved as to form by the City Attorney's Office.

## **PUBLIC NOTICE**

Pursuant to Title 13, Section 13-29(d), of the Costa Mesa Municipal Code, three types of public notification have been completed no less than 10 days prior to the date of the public hearing:

1. Mailed notice. A public notice was mailed to all property owners within a 500-foot radius of the project site. The required notice radius is measured from the external boundaries of the property. (See attached Notification Radius Map.)
2. On-site posting. A public notice was posted on each street frontage of the project site.
3. Newspaper publication. A public notice was published once in the Daily Pilot newspaper.

As of JANUARY 14, 2016, application PA-15-47 has not received a communication from any property owner located within a 500-foot radius of the project site.

## **ALTERNATIVES**

1. Approve the project with modifications. The Planning Commission may suggest specific changes that are necessary to alleviate concerns. If any of the additional requested changes are substantial, the item should be continued to a future meeting to allow a redesign or additional analysis. In the event of significant modifications to the proposal, should the Planning Commission choose to do so, staff will return with a revised resolution incorporating new findings and/or conditions.
2. Deny the project. If the Planning Commission believes that there are insufficient facts to support the findings for approval, Planning Commission must deny the application and provide facts in support of denial to be included in the attached draft resolution for denial. If the project were denied, the applicant could not submit substantially the same type of application for six months.

## **CONCLUSION**

The project is deemed to be a quality residential development with no deviations from Code, supporting the investment of a neighborhood in transition. Proposed five-unit project does involve the maximum buildout allowed by the General Plan but provides single family detached homes with private driveways and private open space. Therefore, it is consistent with the intent of the General Plan and Zoning Code and staff recommends approval of the project. Resolutions for approval and denial of the project are attached for consideration by the Planning Commission.

  
DANIEL INLOES, AICP  
Associate Planner

  
CLAIRE FLYNN, AICP  
Asst. Development Services Director

- Attachments:
1. Vicinity, Zoning, and 500 ft Radius Maps
  2. Site Photos
  3. Applicants Project Description
  4. Draft Planning Commission Resolutions and Exhibits
  5. Project Plans/Elevations/Perspectives

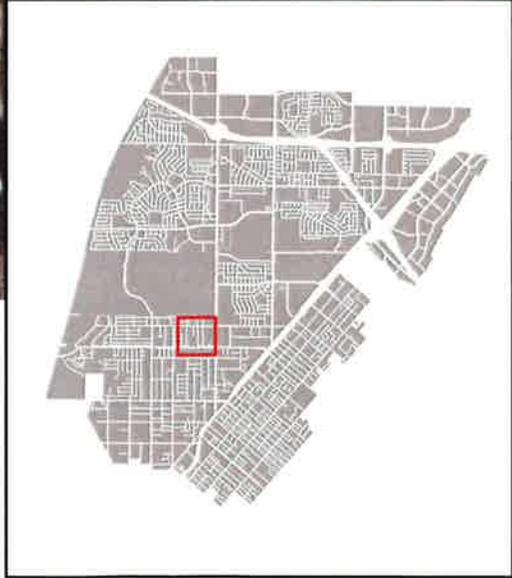
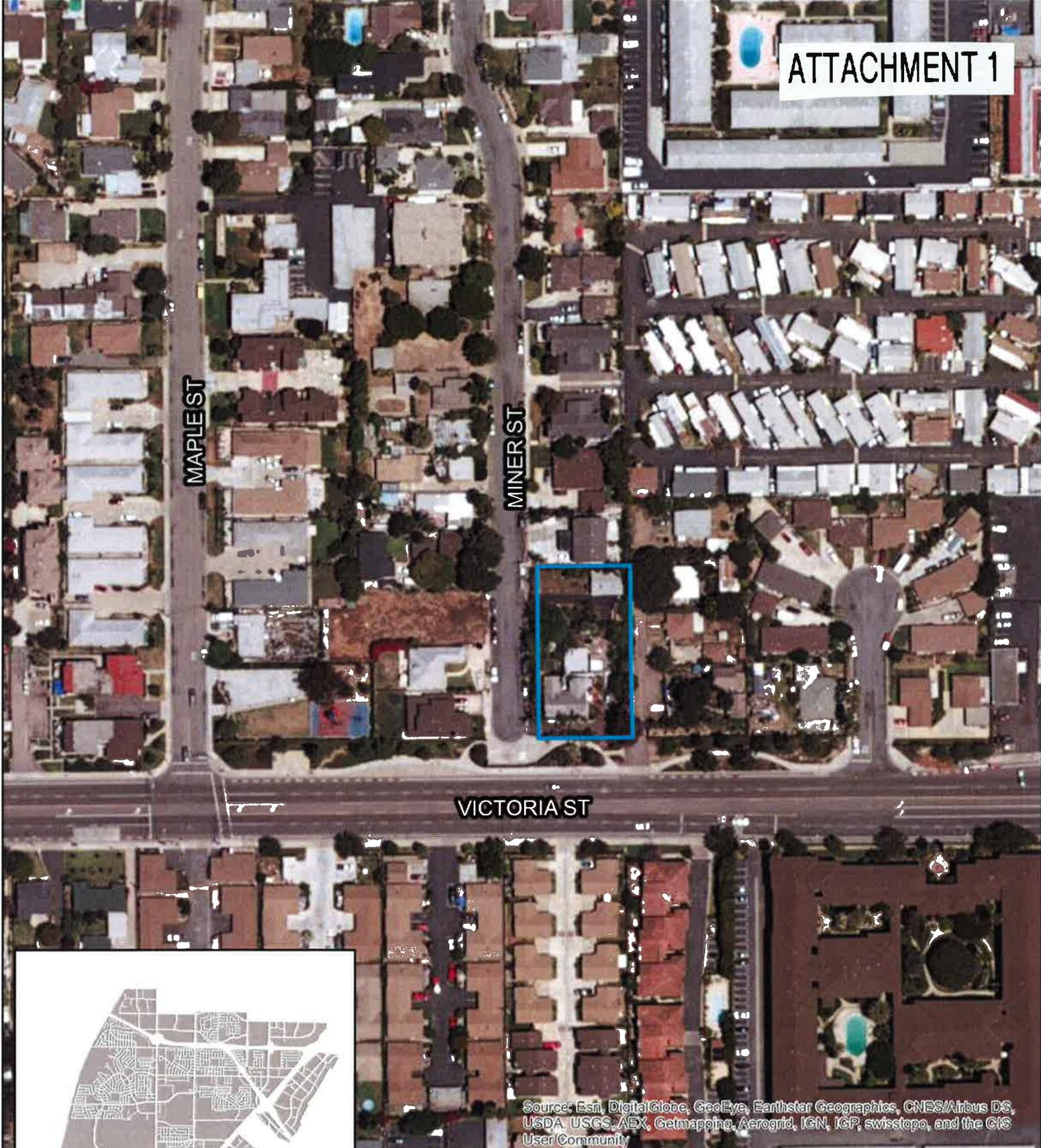
Distribution:

- Director of Economic & Development Services/Deputy CEO
- Senior Deputy City Attorney
- Public Services Director
- City Engineer
- Transportation Services Manager
- Fire Protection Analyst

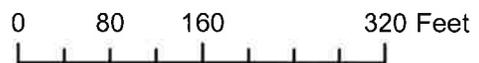
File (2)

Owner: Heritage Homes Management, LLC  
137 Monte Vista Avenue  
Costa Mesa, CA 92627

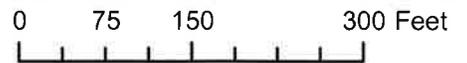
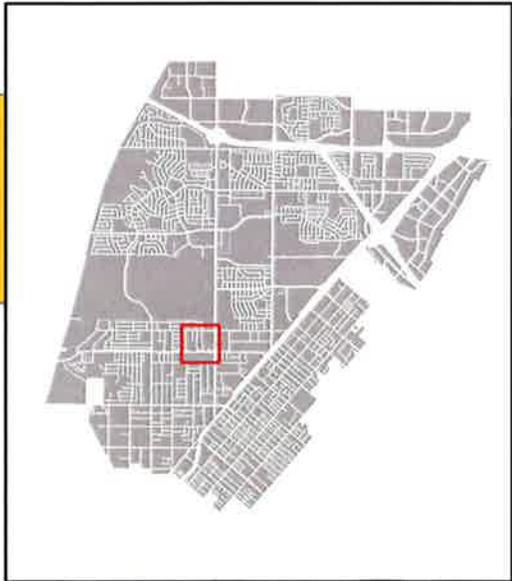
Authorized Agent: Jennifer Nguyen  
137 Monte Vista Avenue  
Costa Mesa, CA 92627



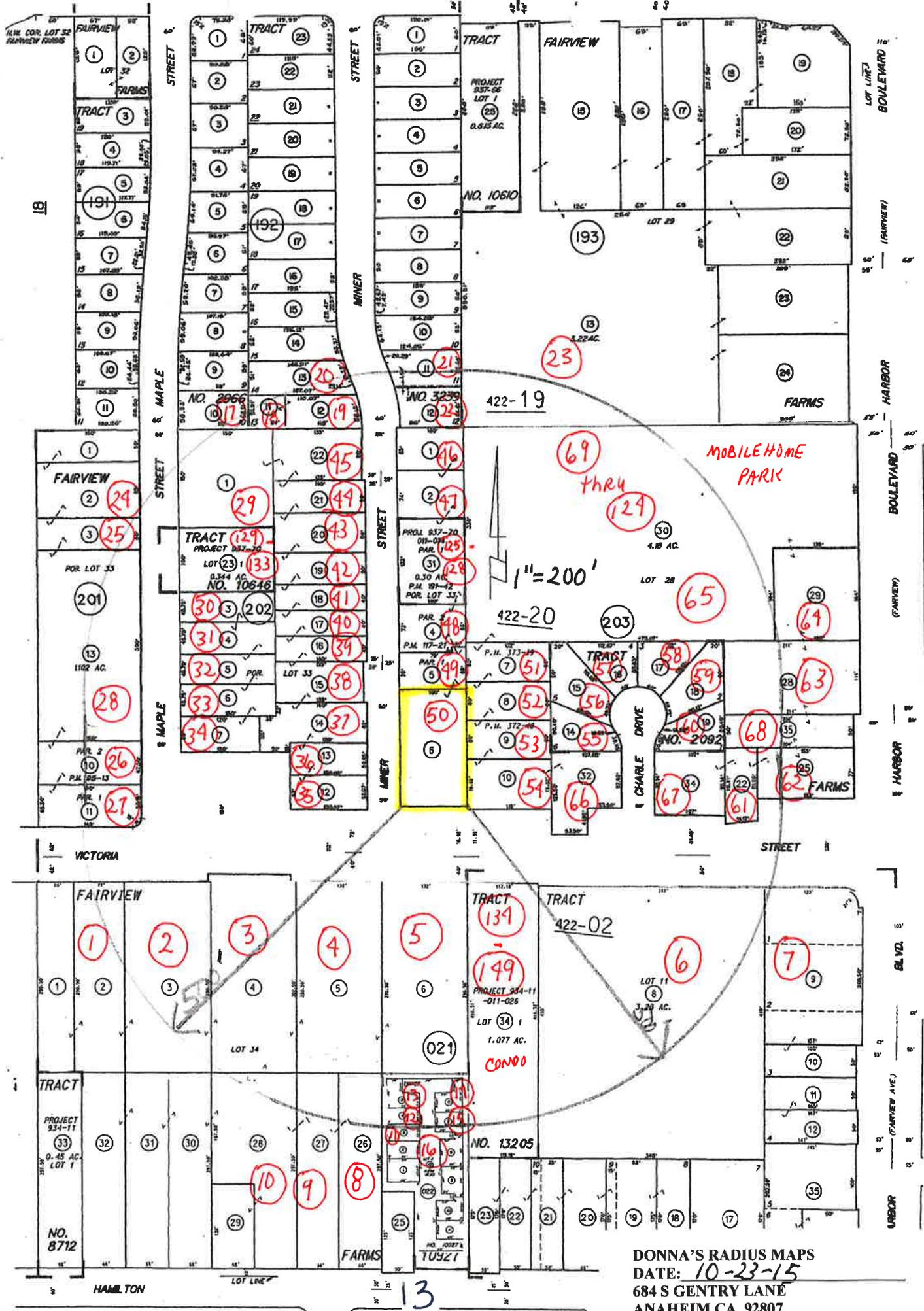
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community



Vicinity of Site  
548 Victoria Street



Zoning for Site  
548 Victoria Street



DONNA'S RADIUS MAPS  
 DATE: 10-23-15  
 684 S GENTRY LANE  
 ANAHEIM CA 92807  
 (714) 921-2921

Westerly Neighbors North to South



Westerly Neighbor 1 - Multi Family Duplex



Westerly Neighbor 2 - Vacant Lot



Westerly Neighbor 3 - Single Family Home



Westerly Neighbor 4 - Single Family Home

ATTACHMENT 2



Northerly Neighbor - Multi Family Duplex



Project Site Looking Towards Victoria



Project Site Looking Towards Wilson



Wall between Site and Victoria Street

Miner Street

Victoria Street

Other Project on Miner - Oxford Cottages



Easterly Fence - Project Side



Easterly Fence



View of Easterly Neighbor from Site



Easterly Neighbors - Single Family Residences

Myran Drive



View of Easterly Neighbor from Site

October 24, 2015

City of Costa Mesa, Development Services Department  
 77 Fair Drive, P.O. 1200  
 Costa Mesa, CA 92628  
 Re: 548 Victoria St, Costa Mesa Small Lot Subdivision

Dear Planning Department,

Description

The proposed project is a request to construct 5- unit two-story detached, residential development on a 0.4247 acre site at 548 Victoria St. (APN: 422 - 203 - 06). The project includes the following:

1. Design Review \_\_\_\_\_ to construct a 5-unit, two-story detached Residential Small Lot Subdivision
  - a. Variance from common lot requirement
  - b. Administrative Adjustment to reduce side setback ( 10' required, 10'-4" foot proposed)
2. Tentative Tract Map No. to be determent to subdivide a 0.4247 acre parcel into 5 residential lots as part of a Residential Small Lot Subdivision and the average lot size is 3,500 square feet.

Development Standard	Required/Allowed	Proposed/Provided
Lot Area	3,000 sf	3,500 sf
Maximum Site Coverage	30%	48%
Open Space	52%	
Density:		
____ Density Residential Land Use		
Zone - R -1		
Building Height	35'	29'
Distance between main buildings		
Building Setbacks:		
Front	20'	20'
Side	none	5'
Rear (for two story units)	10'	10'
Rear (second floor)	10'	10'
% ratio of 2 <sup>nd</sup> floor to 1 <sup>st</sup> floor		
Common Lot	none	none
Driveway Length	20'	20'
Front yard landscape setback	none	none
Parking	2	2
Total		

interior side setback for two-stories, with exception of a 5 feet reduction on a case by case basis depending on the setbacks of adjacent properties and if the building design includes offsets, variety of roof slopes and massing, and excellence in design in terms of materials, colors, and additional articulation as deemed appropriate by Development Services Director. A variance from the requirement for \_\_\_\_ interior side setback is requested. The proposed project has incorporated additional side setbacks between adjacent buildings of 8 feet when none is required, incorporates variety of roof slopes and massing, and will be using energy efficient materials and brand name materials wherever possible, and will be using different colors and additional articulation on each unit.

A Small Lot Subdivision Requirement requires underground utilities. The proposed project will incorporate all utilities to be underground. There is an existing utility pole owned by Southern California Edison placed \_\_\_(insert location)\_\_\_\_\_. Edison projects the cost to remove the pole entirely will range from \$70,000 to \$300,000 due to it being a primary. Exhibit A will illustrate the location and correspondence with Edison Representative.

Easement

The project will require an easement of 3 feet from the property line to be used for sidewalk and parkway.

The driveway on lot 5 nearest Victoria Street will require an easement to gain access to the common guest parking.

Heritage Homes Management, LLC has incorporated much of the Zoning Code requirements for this type of development with minor variance requested for setbacks and electrical pole and hopes to have the approval of the City of Costa Mesa, Development Services Department's approval for such development.

Sincerely,



David Nguyen, Manager

Heritage Homes Management, LLC.

## RESOLUTION NO. PC-16-

**A RESOLUTION OF THE PLANNING COMMISSION  
OF THE CITY OF COSTA MESA APPROVING  
PLANNING APPLICATION PA-15-47 AND TENTATIVE  
TRACT MAP TT-17984 FOR PROPERTY LOCATED  
AT 548 VICTORIA STREET**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Jennifer Nguyen, the property owner, requesting approval of the following:

1. **Planning Application PA-15-47:** Design Review to construct a five-unit, two-story, detached residential development on an 18,500 square foot lot.
2. **Tentative Tract Map TT-17984:** A Residential Small Lot Subdivision consisting of five fee simple lots.

WHEREAS, the project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City of Costa Mesa Environmental Guidelines, and has been found to be categorically exempt from CEQA under Section 15332 for In-Fill Development Projects.

WHEREAS, the CEQA categorical exemption for this project reflects the independent judgment of the City of Costa Mesa.

WHEREAS, a duly noticed public hearing was held by the Planning Commission on January 25, 2016 with all persons having the opportunity to speak for and against the proposal.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, and subject to the conditions of approval contained within Exhibit B, the Planning Commission hereby **APPROVES** Planning Application PA-15-47 and Tentative Tract Map TT-17984.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-15-47 and Tentative Tract Map TT-17984 and upon the applicant's compliance with each and all of the conditions in Exhibit B and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or

revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval and/or mitigation measures.

BE IT FURTHER RESOLVED that if any section, division, sentence, clause, phrase or portion of this resolution, or the documents in the record in support of this resolution, are for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

**PASSED AND ADOPTED this 25<sup>th</sup> of January, 2015.**

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Robert L. Dickson Jr., Chair  
Costa Mesa Planning Commission



## EXHIBIT A

### FINDINGS (APPROVAL)

- A The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(14) in that:

**Finding:** The project complies with the City of Costa Mesa Zoning Code and meets the purpose and intent of the Residential Design Guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.

**Facts in Support of Findings:** The architectural design of the development meets the intent of the City's Residential Development Standards and Design Guidelines and promotes design excellence with consideration given to site planning and building orientation, overall open space, landscaping and architectural design. Second floor windows will be required to be offset or frosted to minimize direct views onto adjacent second floor residential windows, and the elevations will have exterior elevation treatments as recommended in the City's Residential Design Guidelines.

**Finding:** The visual prominence associated with the construction of two-story homes in a predominately one-story neighborhood has been reduced through appropriate transitions between the first and second floors and the provision of second floor offsets to avoid long unarticulated two-story walls.

**Facts in Support of Findings:** The proposed two-story structures are in keeping with the rest of the neighborhood which has a variety of two-story buildings. The elevations of the proposed residences include a variety of high-quality materials, articulating roof lines along the front elevations, and use of window treatments and pop outs to highlight the vertical offsets and horizontal floor to floor transitions. The project will be conditioned to provide additional decorative accents to the pedestrian entry way and alterations to the first floor elevation to some of the units to unify the craftsman theme being used and accent the unique qualities of this project. These alterations will help the project address the street and provide a human scale accent along Miner Street.

A **condition of approval** requires the applicant will incorporate a decorative accent to the porch column to draw attention to the entrance of the home and ensure that the architectural craftsman design theme extends to the first floor: this could be either prefabricated craftsman style stacked columns or a veneer wrap of wood or stone on the porch columns of all units.

**Finding:** The proposed development plan and subdivision meets the broader goals of the General Plan, and the Zoning Code by exhibiting excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development.

**Facts in Support of Findings:** The proposed project provides four net additional ownership opportunities for detached units in place of the two previous residences. The project exhibits site planning excellence by providing private open spaces for all units, private driveways for each unit, and adequate separation between the homes and the abutting structures.

- B. The proposed tentative tract map complies with Costa Mesa Municipal Code Section 13-29(g)(13) because:

**Finding:** The creation of the subdivision and related improvements is consistent with the General Plan and the Zoning Code.

**Facts in Support of Findings:** The creation of the subdivision is consistent with General Plan Land Use Element in that the project complies with Objectives LU-1A, LU-1A.4, and LU-2 by developing owner-occupied housing to improve the balance between rental and ownership housing opportunities, the project provides sufficient amenities as a small lot subdivision development, and encourages increased private market investment that requires no greater demand on infrastructure.

**Finding:** The proposed use of the subdivision is compatible with the General Plan.

**Facts in Support of Findings:** The density for the residential component is 12 units per acre (5 units), which complies with allowable density of 12 units per acre (5 units maximum) per the General Plan.

**Finding:** The subject property is physically suitable to accommodate the subdivision in terms of type, design, and density of development, and will not result in substantial environmental damage nor public health problems, based on compliance with the Zoning Code and General Plan, and consideration of appropriate environmental information.

**Facts in Support of Findings:** The overall design reflects a quality project that is consistent with the intent of the Zoning Code and General Plan. The project site was previously developed with a primary residence and second unit, and does not affect any sensitive environmental resources. The proposed project will provide for quality housing and not impede upon the health, safety, and welfare of the surrounding community.

**Finding:** The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code Section 66473.1.

**Facts in Support of Findings:** The proposed buildings include openings in

an east-west direction to capture area sea breezes. There are portions of the roof which are south facing, and therefore, have the potential to provide for active solar heating and energy generation through the use of solar panels.

**Finding:** The subdivision and development of the property will not unreasonably interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.

**Facts in Support of Findings:** As conditioned, the proposed project does not interfere with the public right-of-way nor public utility right of way dedication or easements. An additional easement of three feet will be required for a sidewalk as well as undergrounding and two above-ground utility poles abutting the public right of way.

**Finding:** The discharge of sewage from this subdivision into the public sewer system will not violate the requirements of the California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000 of the Water Code).

**Facts in Support of Findings:** The applicant will be required to comply with all regulations set forth by the Costa Mesa Sanitation District.

- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City's environmental procedures. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15332 for In-Fill Development Projects. This exemption allows for the construction of up to six multi-family residential structures in urbanized areas, which have been determined not to have a significant effect on the environment.
  
- D. The project is not exempt from Chapter XII, Article 3 Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

Prior to issuance of building permit, developer shall remit traffic impact fee pursuant to the prevailing schedule of charges adopted by City Council at the time the vesting tentative tract map was deemed complete. The Traffic Impact fee is currently estimated at \$1,150.00, as determined by the date the vesting tentative tract map was deemed complete. Developer shall contact the Transportation Services Division for a final estimate prior to issuance of building permits. Developer shall remit the traffic impact fee to the Planning Division.

## EXHIBIT B

### CONDITIONS OF APPROVAL

- Plng.
1. The expiration of Planning Application PA-15-05 shall coincide with the expiration of the approval of the Tentative Parcel Map T-17974 which is valid for two years. An extension request is needed to extend the expiration for each additional year after the initial two-year period.
  2. The conditions of approval of PA-15-47 and T-17974 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
  3. The Tentative Tract Map shall be processed as a tentative map consistent with Chapter XI. Subdivisions, Article 1. Tentative Maps, of the Zoning Code.
  4. Prior to issuance of building permits, the applicant shall provide proof of recordation of Tentative Tract Map T-17974.
  5. A decorative 6-foot high perimeter block wall approved by the Development Services Director, shall be constructed along the side and rear boundaries (Miner Street considered the front) of the development lot prior to issuance of certificates of occupancy unless otherwise approved by the Development Services Director. Where walls on adjacent properties already exist, the applicant shall work with the adjacent property owner(s) to prevent side-by-side walls with gaps in between them and/or provide adequate privacy screening by trees and landscaping.
  6. The interior walls between the individual dwelling units shall be a minimum of six feet in height.
  7. All future walls and fences within front yard setback along Miner Street shall conform to the standards per the Walls, Fences, and Landscaping Standards and Specifications.
  8. To avoid an alley-like appearance, the driveway shall not be developed with a center concrete swale. The driveway shall be complemented by pavers in order to reduce damage caused by sanitary trucks entering site for trash pickup.
  9. The open, unassigned parking space located between at the end of the common drive shall be clearly marked as guest parking space only. Signage shall be posted to indicate that this space is available only to guests and visitors and not used for resident parking.
  10. No modification(s) of the approved building elevations including, but not limited to, change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. This includes any modification not consistent with the proposed concrete tile roofs, horizontal fiber cement siding, sand finish stucco, decorative custom metal roll-up garage doors and entrance doors, decorative columns along entry porches, exposed beam accents, wood framed windows, built in cover rear patios. Any modification should be consistent to originally proposed colors, including the various grays

and earthen tones. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process or a variance, or in the requirement to modify the construction to reflect the approved plans.

11. The subject property's ultimate finished grade level may not be filled/raised in excess of 30 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site storm water flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. Such alternatives may include subsurface tie-in to public storm water facilities, subsurface drainage collection systems and/or sumps with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties. Applicant is advised that recordation of a drainage easement across the private street may be required to fulfill this requirement.
12. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
13. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
14. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.
15. Applicant is to distinguish guest parking space on Lot 5 with curbing, significant landscaping on three sides, and distinctive paving or stamping in the space to provide visual cues as to its purpose and intended use.

16. Second floor windows will be offset from neighboring residence windows to avoid privacy issues to the second story windows of abutting properties. Windows which cannot be offset must be frosted or elevated to maintain privacy.
17. The applicant will incorporate a decorative accent to the porch column to draw attention to the entrance of the home and ensure that the architectural craftsman design theme extends to the first floor: this could be either prefabricated craftsman style stacked columns or a veneer wrap of wood or stone on the porch columns of all units.
18. The Citrus and Red Japanese Maple trees proposed within the landscaping plans within the front setback of the proposed project must be at least 24" box trees.
- Eng 19. Comply with the requirements contained in the letter prepared by the City Engineer (Exhibit B1).
20. Maintain the public right-of-way in a "wet-down" condition to prevent excessive dust and promptly remove any spillage from the public right-of-way by sweeping or sprinkling.
- Pkwys 21. Plant required 24 inch box trees along Miner Street parkway. Species may be proposed by applicant but type and number of trees must be approved by Public Services.

### **CODE REQUIREMENTS**

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- PIng. 1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
2. Applicant shall provide the City with proof of general liability insurance including endorsements concerning "additional named insured", "advance notice", and "primary coverage" as approved by the City attorney's office.
3. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
4. Prior to issuance of building permits, applicant shall contact the US Postal Service with regard to location and design of mail delivery facilities. Such facilities shall be shown on the site plan, landscape plan, and/or floor plan.
5. Prior to issuance of occupancy permits, the Developer shall pay a park impact fee or dedicate parkland to meet the demands of the proposed development.

6. A minimum 20-foot by 20-foot clear interior dimension shall be provided for all garages.
7. Minimum garage door width shall be 16 feet.
8. All garages shall be provided with automatic garage door openers.
9. Prior to issuance of grading permits, developer shall submit for review and approval a Construction Management Plan. This plan features methods to minimize disruption to the neighboring residential uses to the fullest extent that is reasonable and practicable. The plan shall include construction parking and vehicle access and specifying staging areas and delivery and hauling truck routes. The plan should mitigate disruption to residents during construction. The truck route plan shall preclude truck routes through residential areas and major truck traffic during peak hours. The total truck trips to the site shall not exceed 200 trucks per day (i.e., 100 truck trips to the site plus 100 truck trips from the site) unless approved by the Development Services Director or Transportation Services Manager.
10. Two sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
11. Two sets of landscape and irrigation plans, approved by the Planning Division, shall be attached to two of the final building plan sets.
12. All on-site utility services shall be installed underground.
13. The CC&Rs shall contain a notice that the open parking space (not leading to a garage) shall be unassigned and available for visitors. The CC&Rs shall also contain provisions related to use, preservation and maintenance of the common guest parking space and open space areas in perpetuity by the maintenance or homeowner's association
14. The CC&Rs shall contain provisions requiring that the maintenance or homeowner's association effectively manage parking and contract with a towing service to enforce the parking regulations.
15. The Homeowner's Association or Maintenance Association shall submit a signed affidavit to the City of Costa Mesa on an annual basis to certify the following:
  - a. The two-car garages in the residential community are being used for vehicle parking by the resident(s).
  - b. The vehicle parking areas within the garage are not obstructed by storage items, including but not limited to, toys, clothing, tools, boxes, equipment, etc.
  - c. The resident(s) have consented to voluntary inspections of the garage to verify the parking availability, as needed.

The form and content of the affidavit shall be provided by the City

Attorney's office. Failure to file the annual affidavit is considered a violation of this condition.

16. If present and/or projected exterior noise exceeds 60 CNEL, California Noise Insulation Standards, Title 25, California Code of Regulations require a maximum interior noise level of 45 CNEL for residential structures. If required interior noise levels are achieved by requiring that windows be inoperable or closed, the design for the structure must also specify the means that will be employed to provide ventilation, and cooling if necessary, to provide a habitable interior environment.
17. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
18. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
19. Prior to approval plans, the project shall fulfill the City of Costa Mesa Drainage Ordinance No. 06-19 requirements.
20. If present and/or projected exterior noise exceeds 60 CNEL, California Noise Insulation Standards, Title 25, California Code of Regulations require a maximum interior noise level of 45 CNEL for residential structures. If required interior noise levels are achieved by requiring that windows be inoperable or closed, the design for the structure must also specify the means that will be employed to provide ventilation, and cooling if necessary, to provide a habitable interior environment.
21. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Years Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
22. Planning Commission action on PA-15-47 shall not become final until seven days following final action.
23. The landscaping of this project shall comply with the City's landscaping requirements and guidelines.
24. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
25. The project shall comply with Title 24 of the California Code of Regulations established by the energy conservation standards. The project Applicant shall incorporate the following in building plans:
  - a. Double paned glass or window treatment for energy conservation shall be used in all exterior windows.
  - b. Building shall be oriented north/south where feasible.

26. Trash facilities shall be screened from view, and designed and located appropriately to minimize potential noise and odor impacts to residential areas.
  27. Prior to issuance of building permits, the applicant shall provide the Conditions, Covenants, and Restrictions (CC&Rs) to the Development Services Director and City Attorney's office for review. The CC&Rs must be in a form and substance acceptable to, and shall be approved by the Development Services Director and City Attorney's office.
    - a. The CC&R's shall contain restrictions requiring residents to park vehicles in garage spaces provided for each unit. Storage of other items may occur only to the extent that vehicles may still be parked within the required garage at the number for which the garage was originally designed and to allow for inspections by the association to verify compliance with this condition.
    - b. Any subsequent revisions to the CC&Rs related to these provisions must be reviewed and approved by the City Attorney's office and the Development Services Director before they become effective.
  28. Prior to final inspection the applicant shall file and record a declaration of covenants, conditions, and restrictions (CC&Rs) on the property. The establishment of a homeowner's association shall be optional. Prior to issuance of a building permit, a draft of the CC&Rs shall be remitted to the Development Services Director and City Attorney's office for review and approval. Because there are no common areas for circulation, parking, or landscape purposes, the CC&Rs shall be limited to the ground rules related to: architectural control over future building modifications or additions, architectural design and guidelines for the property, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts. The Development Services Director has the discretion to request any other provisions in the CC&Rs to promote self-governance between the two property owners.
- Bldg.
29. Comply with the requirements of the 2013 California Building Code, 2013 California Residential Code, 2013 California Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted, California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards, and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Areas of alteration and additions shall comply with 2013 California Green Building Standards Code section 5.303.2 and 5.303.2.
  30. Submit a precise grading plans, an erosion control plan and a hydrology study. If it is determined that a grading plan is not required a drainage plan shall be provided instead. A precise grading plan shall not be

required if any of the following are met:

1. An excavation which does not exceed 50 CY on any one site and which is less than 2 FT in vertical depth, or which does not create a cut slope greater than 1 ½:1 (excluding foundation area).
  2. A fill less than 1 foot in depth placed on natural grade with a slope flatter than 5:1, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
  3. A fill less than 3 FT in depth, not intended to support structures, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
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31. Submit a soils report for this project. Soil's report recommendations shall be blueprinted on both the architectural and grading plans. For existing slopes or when new slopes are proposed, the soils report shall address how existing or new slopes will be maintained to avoid erosion or future failure.
  32. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge device a minimum of 12 inches plus 2 percent. 2013 California Building Code CRC 403.1.7.3.
  33. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of six inches within the first 10 feet. CRC R401.3.
  34. Projections, including eaves, shall be one-hour fire resistive construction, heavy timber or noncombustible material if they project into the 5-foot setback area from the property line. They may project a maximum of 12 inches beyond the 3-foot setback. CRC Tables R302.1 (1) and R302.1 (2).
  35. Prior to the issuance of Grading Permits, the project Applicant shall provide the City of Costa Mesa Department of Building Safety with a geotechnical investigation of the project site detailing recommendations for remedial grading in order to reduce the potential of onsite soils to cause unstable conditions. Design, grading, and construction shall be performed in accordance with the requirements of the California Building Code applicable at the time of grading, appropriate local grading regulations, and the recommendations of the geotechnical consultant as summarized in a final written report, subject to review by the City of Costa Mesa Department of Building Safety.
  36. During demolition, grading, and excavation, workers shall comply with the requirements of Title 8 of the California Code of Regulations, Section 1532.1, which provides for exposure limits, exposure monitoring, respiratory protection, and good working practice by workers exposed to lead. Lead-contaminated debris and other wastes shall be

managed and disposed of in accordance with the applicable provision of the California Health and Safety Code.

37. During demolition, grading, and excavation, workers shall comply with the requirements of Title 8 of the California Code of Regulations, Section 1529, which provides for exposure limits, exposure monitoring, respiratory protection, and good working practices by workers exposed to asbestos. Asbestos-contaminated debris and other wastes shall be managed and disposed of in accordance with the applicable provision of the California Health and Safety Code.
38. All construction contractors shall comply with South Coast Air Quality Management District (SCAQMD) regulations, including Rule 403, Fugitive Dust. All grading (regardless of acreage) shall apply best available control measures for fugitive dust in accordance with Rule 403. To ensure that the project is in full compliance with applicable SCAQMD dust regulations and that there is no nuisance impact off the site, the contractor would implement each of the following:
  - a. Moisten soil not more than 15 minutes prior to moving soil or conduct whatever watering is necessary to prevent visible dust emissions from exceeding 100 feet in any direction.
  - b. Apply chemical stabilizers to disturbed surface areas (completed grading areas) within five days of completing grading or apply dust suppressants or vegetation sufficient to maintain a stabilized surface.
  - c. Water excavated soil piles hourly or covered with temporary coverings.
  - d. Water exposed surfaces at least twice a day under calm conditions. Water as often as needed on windy days when winds are less than 25 miles per day or during very dry weather in order to maintain a surface crust and prevent the release of visible emissions from the construction site.
  - e. Wash mud-covered tires and under-carriages of trucks leaving construction sites.
  - f. Provide for street sweeping, as needed, on adjacent roadways to remove dirt dropped by construction vehicles or mud, which would otherwise be carried off by trucks departing project sites.
  - g. Securely cover loads with a tight fitting tarp on any truck leaving the construction sites to dispose of debris.
  - h. Cease grading during period when winds exceed 25 miles per hour.

- Trans.
39. Construct all proposed driveway approaches to comply with city standards.
  40. Fulfill mitigation of off-site traffic impacts at the time of issuance of occupancy by submitting to the Transportation Division the required traffic impact fee pursuant to the prevailing schedule of charges adopted by the City Council. The traffic impact fee is calculated including credits for all existing uses. The current estimate is \$1,150.00. NOTE: The Traffic Impact Fee will be recalculated at the time of

issuance of building permit/certificate of occupancy based upon any changes in the prevailing schedule of charges adopted by the City Council and in effect at that time.

41. Close unused drive approaches, or portion of, with full height curb and gutter that comply with City Standards.
- Fire 42. Prior to the issuance of a Building Permit, the City of Costa Mesa Fire Department shall review and approve the project design features to assess compliance with the California Building Code and California Fire Code.
43. The project shall provide an automatic fire sprinkler system according to NFPA 13D.
44. Street addresses shall be visible from the public street and may be displayed either on the front door, on the fascia adjacent to the main entrance, or on another prominent location. When the property has alley access, address numerals shall be displayed in a prominent location visible from the alley. Numerals shall be a minimum six (6) inches in height with not less than one-half-inch stroke and shall contrast sharply with the background.
- Eng 45. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
46. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
47. Obtain an encroachment permit from the Engineering Division for any work in the City public right-of-way. Pay required permit fee & cash deposit or surety bond to guarantee construction of off-site street improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.
48. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approaches per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager. ADA compliance required for new driveway approaches.
49. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. Residential sidewalk per City of Costa Mesa Standards as shown on the Off-site Plan, including four (4) feet clear around obstructions in the sidewalk.
50. Obtain a permit from the City of Costa Mesa, Engineering Division, at

the time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb and sidewalk at applicant's expense.

51. Fulfill Drainage Fee requirements per City of Costa Mesa Ordinance No. 06-19 prior to approval of Final Map/Approval of Plans.
52. In order to comply with the 2003 Drainage Area Management Plan (DAMP), the proposed Project shall prepare a Water Quality Management Plan conforming to the Current National Pollution Discharge Elimination System (NPDES) and the Model WQMP, using latest version of template dated August 2011, shall be prepared by a Licensed Civil Engineer or Environmental Engineer, which shall be submitted to the Department of Public Works for review and approval.
  - a) A WQMP (Priority or Non-Priority) shall be maintained and updated as needed to satisfy the requirements of the adopted NPDES program. The plan shall ensure that the existing water quality measures for all improved phases of the project are adhered to.
  - b) Location of BMPs shall not be within the public right-of-way.

### **SPECIAL DISTRICT REQUIREMENTS**

The requirements of the following special districts are hereby forwarded to the applicant:

- |        |  |
|--------|--|
| Sani.  | <ol style="list-style-type: none"><li>1. Applicant will be required to construct sewers to serve this project, at his own expense, meeting the approval of the Costa Mesa Sanitary District.</li><li>2. County Sanitation District fees, fixture fees, inspection fees, and sewer permit are required prior to installation of sewer.</li><li>3. Applicant shall submit a plan showing sewer improvements that meets the District Engineer's approval to the Building Division as part of the plans submitted for plan check.</li><li>4. The applicant is required to contact the Costa Mesa Sanitary District at (949) 645-8400 to arrange final sign-off prior to certificate of occupancy being released.</li><li>5. Unless an off-site trash hauler is being used, applicant shall contact the Costa Mesa Sanitary District at (949) 645-8400 to pay trash collection program fees and arrange for service for all new residences. Residences using bin or dumpster services are exempt from this requirement.</li><li>6. Applicant shall contact Costa Mesa Sanitary District at (949) 654-8400 for any additional district requirements.</li></ol> |
| AQMD   | <ol style="list-style-type: none"><li>7. Applicant shall contact the Air Quality Management District (AQMD) at (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.</li></ol>   |
| Water  | <ol style="list-style-type: none"><li>8. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Irvine District.</li></ol>   |
| School | <ol style="list-style-type: none"><li>9. Pay applicable Newport Mesa Unified School District fees to the Building</li></ol>  |

Division prior is issuance of building permits.

- State 10. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
- Cable 11. The applicant shall contact the current cable company prior to issuance of building permits to arrange for pre-wiring for future cable communication service.



## CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

FROM THE DEPARTMENT OF PUBLIC SERVICES/ENGINEERING DIVISION

January 13, 2015

Costa Mesa Planning Commission  
 City of Costa Mesa  
 77 Fair Drive  
 Costa Mesa, CA 92626

SUBJECT: Tract No. 17984  
 LOCATION: 548 Victoria Street

Dear Commissioners:

Tentative Tract Map No. 17984 as furnished by the Planning Division for review by the Public Services Department consists of subdividing one lot into five numbered lots. Tentative Tract Map No. 17984 meets with the approval of the Public Services Department, subject to the following conditions:

1. The Tract shall be developed in full compliance with the State Map Act and the City of Costa Mesa Municipal Code (C.C.M.M.C.), except as authorized by the Costa Mesa City Council and/or Planning Commission. The attention of the Subdivider and his engineer is directed to Section 13-208 through 13-261 inclusive, of the Municipal Code.
2. The Subdivider shall conduct soil investigations and provide the results to the City of Costa Mesa Engineering and Building Divisions pursuant to Ordinance 97-11.
3. Two copies of the Final Tract Map shall be submitted to the Engineering Division for checking. Map check fee shall be paid per C.C.M.M.C. Section 13-231.
4. A current copy of the title search shall be submitted to the Engineering Division with the first submittal of the Final Tract Map.
5. Vehicular and pedestrian access rights to Miner Street shall be released and relinquished to the City of Costa Mesa except at approved access locations.
6. Dedicate a 3-foot public sidewalk easement behind existing right of way line on Miner Street.
7. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb and sidewalk.
8. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approaches per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager.

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9. Submit for approval to the City of Costa Mesa, Engineering Division, Street Improvement Plans that show Sewer and Water Improvements, prepared by a Civil Engineer.
10. Submit for approval to the City of Costa Mesa preliminary plans that shows the undergrounding of utility poles and cables along Miner Street to the extent practical or feasible.
11. The Subdivider shall submit a cash deposit of \$980 for street sweeping at time of issuance of a Construction Access permit. Full amount of deposit shall be maintained on a monthly basis prior to and during construction until completion of project.
12. Fulfill City of Costa Mesa Drainage Ordinance No. 06-19 requirements prior to approval of Final Tract Map
13. The Subdivider's engineers shall furnish the Engineering Division a storm runoff study showing existing and proposed facilities and the method of draining this area and tributary areas without exceeding the capacity of any street or drainage facility on-site or off-site. This study to be furnished with the first submittal of the Final Tract Map. Cross lot drainage shall not occur.
14. Ownership and maintenance of any private on-site drainage facilities and parkway culverts and other common areas shall be transferred by the owner to the Homeowner Association to be formed pursuant to C.C.M.M.C. Section 13-41 (e) and said association shall indemnify and hold harmless the City for any liability arising out of or in any way associated with the connection of the private drainage system with the City's drainage system and shall execute and deliver to the City the standard (indemnity) Hold Harmless Agreement required for such conditions prior to issuance of permits.
15. Sewer improvements shall meet the approval of the Costa Mesa Sanitary District; call (949) 631-1731 for information.
16. Water system improvements shall meet the approval of Mesa Water District; call (949) 631-1200 for information.
17. Dedicate easements as needed for public utilities.
18. Prior to recordation of a Final Tract Map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor in a manner described in Subarticle 12, Section 7-9-337 of the Orange County Subdivision Code.
19. Prior to recordation of a Final Tract Map, the surveyor/engineer preparing the map shall submit to the County Surveyor a digital-graphics file of said map in a manner described in Subarticle 12, Section 7-9-337 of the Orange County Subdivision Code.
20. Survey monuments shall be preserved and referenced before construction and replaced after construction, pursuant to Section 8771 of the Business and Profession Code.
21. The elevations shown on all plans shall be on Orange County benchmark datum.

22. Prior to recordation of a Final Tract Map, submit required cash deposit or surety bond to guarantee monumentation. Deposit amount to be determined by the City Engineer.
23. Prior to occupancy on the Tract, the surveyor/engineer shall submit to the City Engineer a Digital Graphic File, reproducible mylar of the recorded Tract Map, and approved off-site plan and nine copies of the recorded Tract Map.
24. Applicant is informed Miner Street is under a "NO OPEN CUT" moratorium. Open cutting the street pavement during the moratorium period shall require special resurfacing requirements.

Sincerely,

*for*   
Fariba Fazeli, P. E.  
City Engineer

(Engr. 2016/Planning Commission Tract 17984)

**RESOLUTION NO. PC-16-**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA DENYING PLANNING APPLICATION PA-15-47 AND TENTATIVE TRACT MAP TT-17984 FOR PROPERTY LOCATED AT 548 Victoria Street**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Jennifer Nguyen, representing Barbara Jensen Trust, the property owner, requesting approval of the following:

1. **Planning Application PA-15-47:** Design Review to construct a 5-unit, two-story, detached residential development on an 18,500 square foot lot.
2. **Tentative Tract Map TT-17984:** A Residential Small Lot Subdivision consisting of five fee simple lots.

WHEREAS, a duly noticed public hearing was held by the Planning Commission on January 25, 2016, with all persons having the opportunity to speak for and against the proposal.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, the Planning Commission hereby **DENIES** Planning Application PA-15-47 and Tentative Tract Map TT-17984.

**PASSED AND ADOPTED this 25th day of January, 2016.**

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Robert L. Dickson Jr., Chair  
Costa Mesa Planning Commission

STATE OF CALIFORNIA )  
 )ss  
COUNTY OF ORANGE )

I, Claire Flynn, Secretary to the Planning Commission of the City of Costa Mesa, do hereby certify that the foregoing Resolution was passed and adopted at a meeting of the City of Costa Mesa Planning Commission held on November 9th, 2015 by the following votes:

- AYES: COMMISSIONERS
- NOES: COMMISSIONERS
- ABSENT: COMMISSIONERS
- ABSTAIN: COMMISSIONERS

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Claire L. Flynn, Secretary  
Costa Mesa Planning Commission

## EXHIBIT A

### FINDINGS (DENIAL)

- A. The information presented does not comply with Costa Mesa Municipal Code Section 13-29(g)(14) in that:

**Finding:** The project does not comply with the City of Costa Mesa Zoning Code or meets the purpose and intent of the Residential Design Guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.

**Finding:** The visual prominence associated with the construction of two-story homes in a predominately one-story neighborhood has not been reduced through appropriate transitions between the first and second floors and the provision of second floor offsets to avoid long unarticulated two-story walls.

**Finding:** The proposed development plan and subdivision does not meet the broader goals of the General Plan, and the Zoning Code by exhibiting excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development.

- B. The information presented does not comply with Costa Mesa Municipal Code Section 13-29(g)(1) in that:

**Findings:**

- Because of special circumstances applicable to the property, the strict application of development standards does not deprive the property of privileges enjoyed by others in the vicinity.
- The deviations constitutes a grant of special privileges inconsistent with other properties in the vicinity.
- The granting of the deviations will allow a use, density, or intensity which is not in accordance with the general plan designation for the property.

- C. The information presented does not comply with Costa Mesa Municipal Code Section 13-29(g)(6) in that:

**Findings:**

- The improvement will be materially detrimental to the health, safety, and general welfare of persons residing or working within the immediate vicinity of the project or to property and improvements within the neighborhood.
- The improvement is not compatible and does not enhance the architecture and design of the existing and anticipated development in the vicinity. This includes the site planning, land coverage, landscaping, appearance, scale of structures, open space, and any other applicable features relative to a

compatible and attractive development.

- D. The subdivision of the property for a residential common interest development is not consistent with the City's General Plan and Zoning Code.
- E. The Costa Mesa Planning Commission has denied Planning Application PA-15-05 and Tentative Tract Map TT-17839. Pursuant to Public Resources Code Section 21080(b) (5) and CEQA Guidelines Section 15270(a) CEQA does not apply to this project because it has been rejected and will not be carried out.
- F. The project is exempt from Chapter IX, Article 11, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.



**LEGEND & ABBREVIATIONS**

- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- BLDG BUILDING
- CG CURB & GUTTER
- CL CENTERLINE
- CO SANITARY SEWER CLEANOUT
- CONC CONCRETE
- CSD CITY STANDARD DETAIL
- DWY DRIVEWAY
- EA EASEMENT
- ELEV ELEVATION
- E(OH) ELECTRIC OVERHEAD
- EP EDGE OF PAVEMENT
- EX EXISTING
- FF FINISH ELEVATION OF SUBFLOOR
- FG GROUND FINISH GRADE
- FL FIRE HYDRANT
- FL FLOW LINE
- G GARAGE SLAB ELEVATION/GAS LINE
- JT JOINT TRENCH
- LIP LIP OF GUTTER
- LS LANDSCAPED AREA
- MH MANHOLE
- NTS NOT TO SCALE
- OH OVERHEAD
- OG ORIGINAL GROUND
- P PAVEMENT FINISH GRADE
- PAD PAD ELEVATION
- PL PROPERTY LINE
- PP POWER POLE
- PUE PUBLIC UTILITY EASEMENT
- PVMT PAVEMENT
- R RADIUS
- RW RETAINING WALL
- R/W RIGHT OF WAY
- SD STORM DRAIN
- SS SANITARY SEWER/LATERAL
- STD STANDARD CITY DETAIL
- SW SIDEWALK
- TYP TYPICAL
- VEG VEGETATED
- W WATER
- WM WATER METER
- WV WATER VALVE
- ⊕ BENCHMARK
- BOUNDARY
- COBBLE ROCK ENERGY DISSIPATOR
- CONCRETE
- 550 EXISTING CONTOUR AFTER GRADING
- 550 ORIGINAL GROUND PRIOR TO GRADING
- DRAINAGE SWALE
- EASEMENT LINE
- OR (101.70) EXISTING ELEVATION
- EXISTING FENCE
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- GAS METER
- GAS VALVE
- HYDRANT: EXISTING
- HYDRANT: PROPOSED
- INLET
- JOINT POLE
- LIGHTING
- LIGHTING POLE
- OVERLAND FLOW DIRECTION
- PROJECT SITE
- SANITARY SEWER CLEAN OUT MANHOLE
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- ELECTRICAL BOX
- TELEPHONE BOX
- UTILITY: EXISTING
- UTILITY: PROPOSED OR NEW
- WATER METER
- WATER VALVE

**PROPERTY OWNER :**

NAME : HERRITAGE HOMES MANAGEMENT LLC  
 ADDRESS : 1570 CORPORATE DRIVE, SUITE B  
 COSTA MESA, CA 92626  
 TELEPHONE : (714) 791-3771

**PROPERTY ADDRESS :**

548 VICTORIA STREET  
 COSTA MESA, CA 92627

**ASSESSOR'S MAP :**

APN : 422-203-006  
 BOOK 8 PAGE 71 OF MISCELLANEOUS MAPS  
 CITY OF COSTA MESA, COUNTY OF ORANGE, CALIFORNIA

**LEGAL DESCRIPTION :**

LOT 33 OF FAIRVIEW FARMS, AS PER MAP RECORDED  
 IN BOOK 8 PAGE 71 OF MISCELLANEOUS MAPS IN THE  
 OFFICE OF THE COUNTY RECORDER OF ORANGE  
 COUNTY.

**ENGINEER :**

NAME : NHV CIVIL ENGINEERING AND LAND SURVEY  
 ADDRESS : 17032 DELIA AVENUE  
 TORRANCE, CA 90504  
 TELEPHONE : (310) 381-9010

**CLASSIFICATION :**

R1 : SINGLE FAMILY RESIDENCE

**PROPOSED :**

5 LOTS SUBDIVISION FOR RESIDENTIAL UNITS

**WATER & SEWER :**

WATER-MESA CONSOLIDATED WATER DISTRICT  
 SEWER-CITY OF COSTA MESA

**DRAINAGE :**

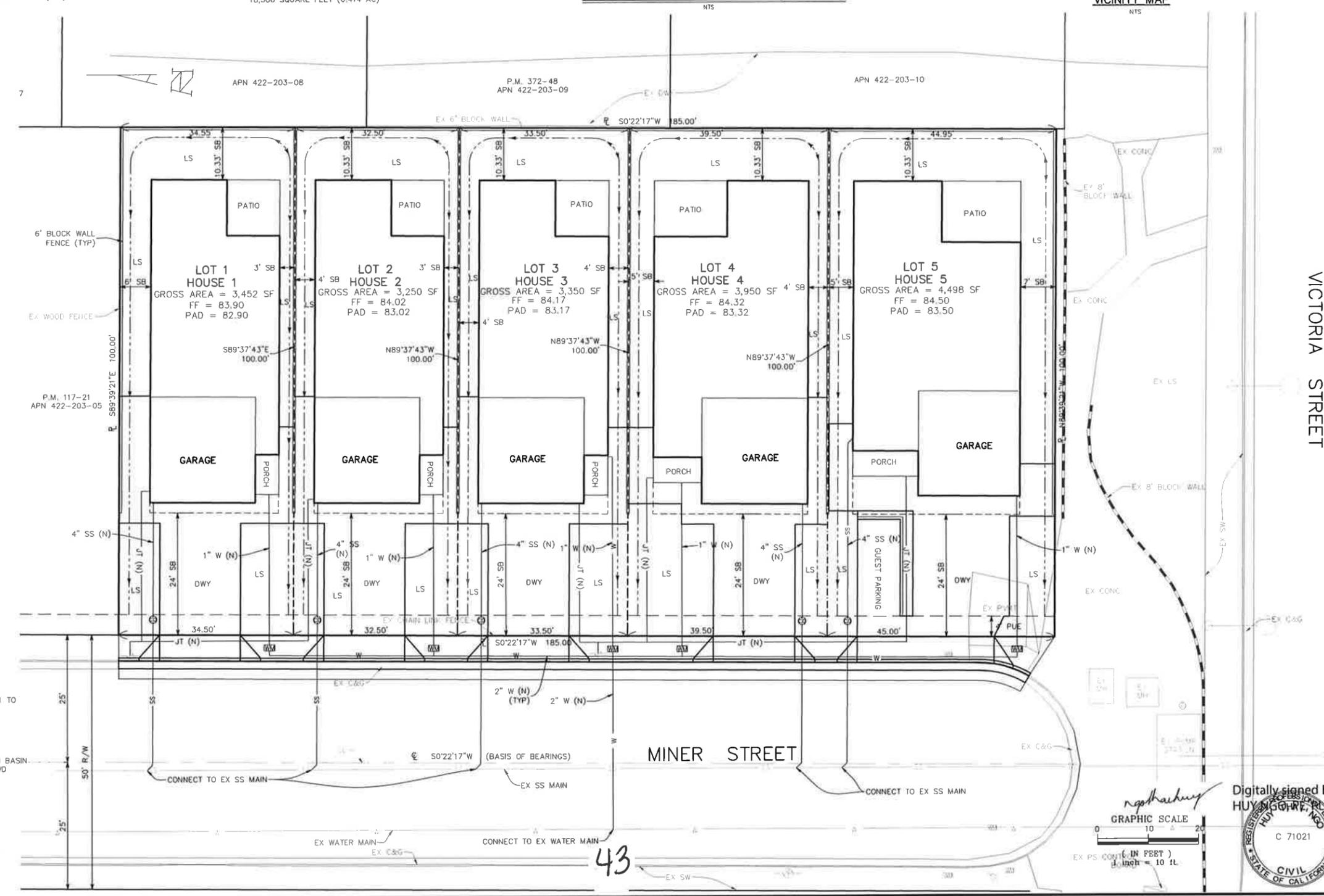
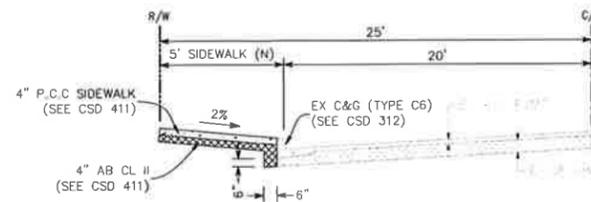
ALL DRAINAGE FLOW TO VEGETATED SWALES ON SITE,  
 THEN OVERFLOW TO MINER STREET TO PUBLIC CATCH  
 BASIN

**TOTAL AREA :**

18,500 SQUARE FEET (0.414 AC)

**TENTATIVE TRACT MAP 17984**  
**IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA**  
**FOR RESIDENTIAL PURPOSES**

BEING SUBDIVISION OF THE PORTION OF LOT 33 OF FAIRVIEW FARM, AS SHOWN ON A MAP RECORDED IN THE BOOK 8, PAGE 71 OF  
 MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA



**BASIS OF BEARINGS :**

THE BEARINGS SHOWN HEREIN ARE BASED ON THE  
 CENTERLINE OF HARBOR BLVD FROM GPS # 6204R1 TO  
 GPS # 6196 BEING N00°22'17\"/>

**PROJECT BENCHMARK**

1F-174-04 NAVD88  
 ELEVATION: 81.690' (2005)  
 ALUMINUM BENCHMARK DISK ON TOP CONCRETE CATCH BASIN  
 SOUTHWEST CORNER OF VICTORIA ST AND HARBOR BLVD

**NOTES :**

1. ALL UTILITIES SHALL BE PLACED UNDERGROUND.
2. UTILITY JOINT TRENCH INCLUDE GAS, TELEPHONE,  
 ELECTRICAL & CABLE

DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
DESIGNED	DRAWN	CHECKED	APP'D	BY	REVISIONS	NO.	
12/22/2015	12/22/2015	12/22/2015					
<b>NHV CONSULTANTS, INC.</b> CIVIL ENGINEERING & LAND SURVEY 17032 Delia Avenue, Torrance, CA 90504 Phone: (310) 381-9010 Fax: (310) 218-0039							
<b>TENTATIVE TRACT MAP</b> <b>ALMANUM PROPERTY LLC</b> 548 VICTORIA STREET APN 132-25-037 AND 132-25-038 California							
Digitally signed by HUY NGUYEN REGISTERED PROFESSIONAL ENGINEER CIVIL STATE OF CALIFORNIA C 71021							
GRAPHIC SCALE 1 inch = 10 ft							
43							
APPLICANT : HERRITAGE HOMES MANAGEMENT LLC      ROAD NAME : VICTORIA STREET      CITY FILE NO :							



# ANHA

Design | 3D Rendering | Model | 3D Modeling

13472 JESSICA DRIVE  
GARDEN GROVE, CA 92843

haquocan@yahoo.com

CLIENT / CONSULTANT

STAMP / APPROVAL

No.	Description	Date

HERITAGE HOMES MANAGEMENT, LLC

## VICTORIA COTTAGES

548 VICTORIA ST.,  
COSTA MESA,  
CA 92627

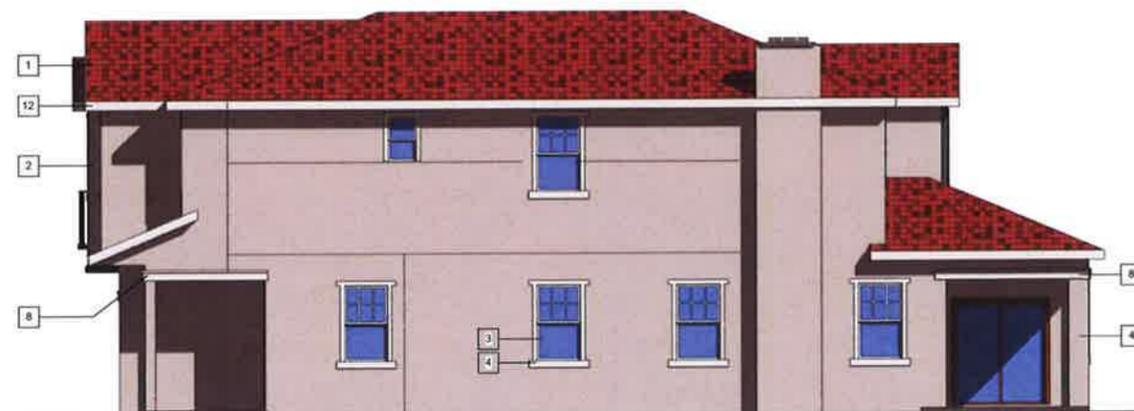
### PLAN A ELEVATIONS

Originator	Author	Revision	Author
Date	11/2015	Scale	3/16" = 1'-0"
Size	24" x 36"	Drawn by	Checker

A2.0



① FRONT ELEVATION  
3/16" = 1'-0"



③ RIGHT ELEVATION  
3/16" = 1'-0"



② BACK ELEVATION  
3/16" = 1'-0"



④ LEFT ELEVATION  
3/16" = 1'-0"

#### MATERIAL LEGEND

1. CONCRETE TILE
2. FIBER CEMENT SIDING
3. VINYL GLAZING
4. STUCCO LIGHT SAND FINISH
5. SECTIONAL GARAGE DOOR
6. EXTERIOR MOLDING
7. HIGH DENSITY FOAM TRIM
8. EXPOSED HARDIE TRIM
9. G.I. SCREENED AND LOUVERED
10. WOOD/ G.I. DECORATIVE BALCONY RAILING
11. DECORATIVE WOOD BRACKET
12. WOOD FASCIA BOARD

#### PLAN A ELEVATIONS

45

# ANHA

Design | 3D Rendering | Model | 3D Modeling

13472 JESSICA DRIVE  
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haquocan@yahoo.com

CLIENT / CONSULTANT

STAMP / APPROVAL

No.	Description	Date

HERITAGE HOMES MANAGEMENT, LLC

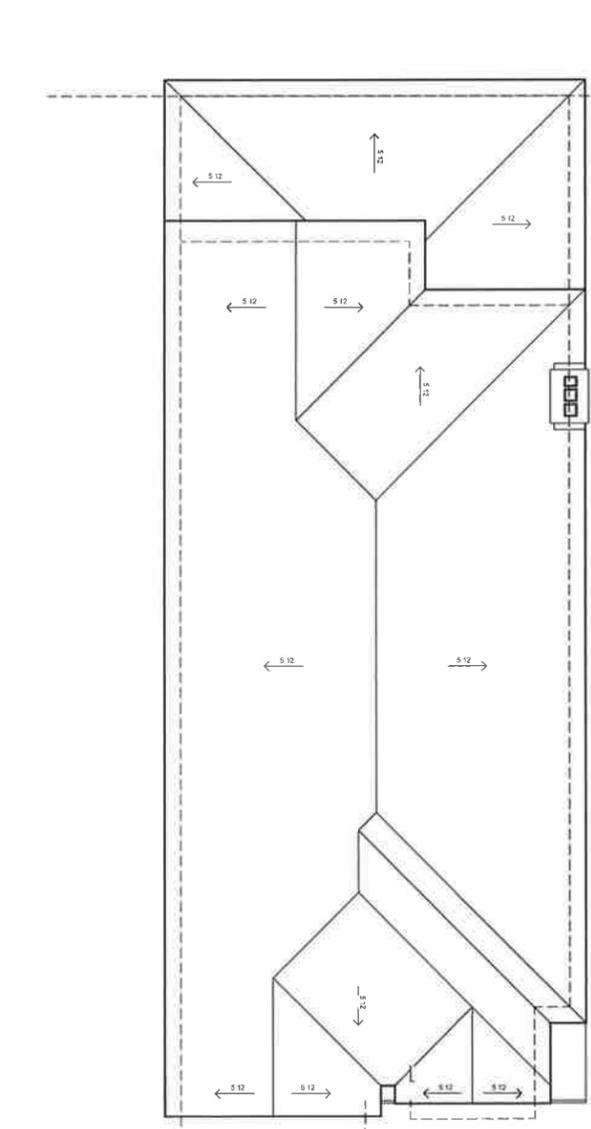
## VICTORIA COTTAGES

548 VICTORIA STREET,  
COSTA MESA, CA 92627

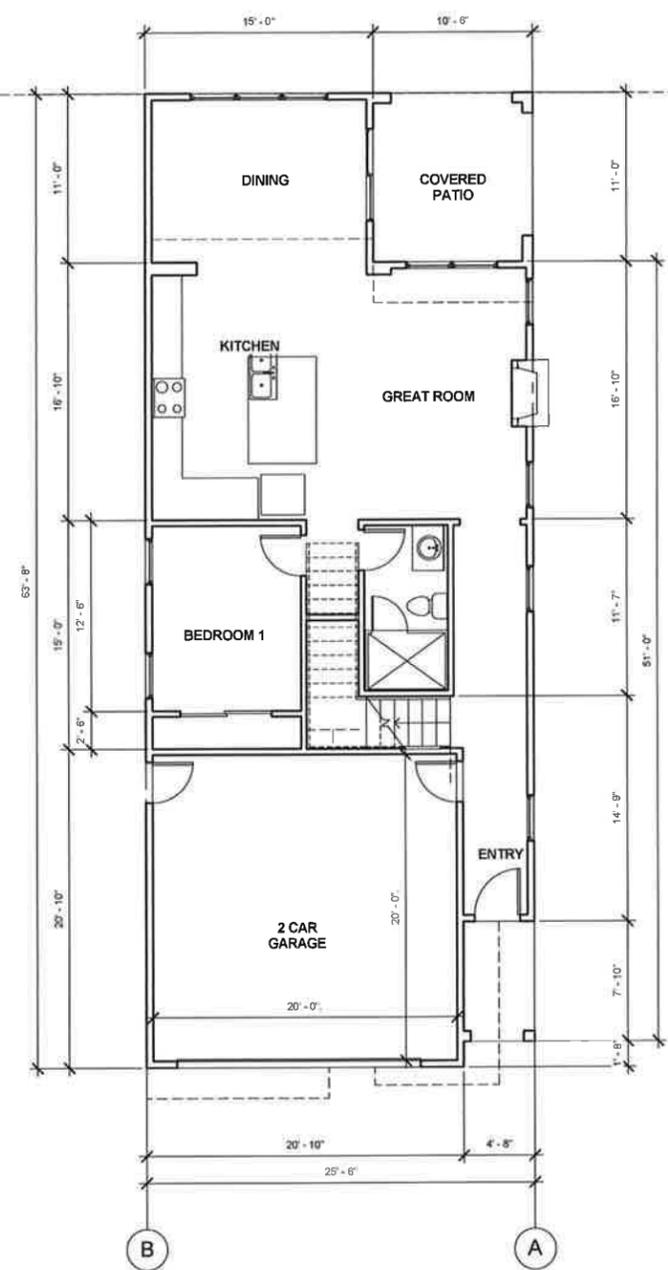
### PLAN B FLOOR PLAN

Originator	Author	Revision	Author
Date	11/2015	Scale	3/16" = 1'-0"
Size	24" x 36"	Drawn by	Checker

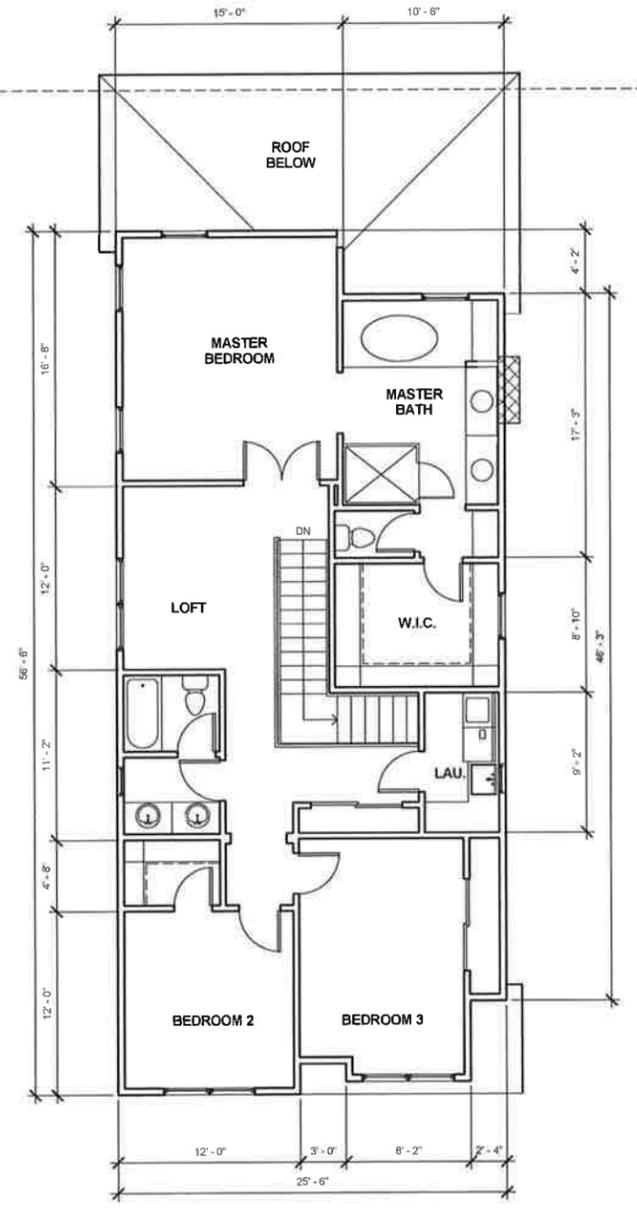
A3.0



1 ROOF PLAN  
3/16" = 1'-0"



2 FIRST FLOOR PLAN  
3/16" = 1'-0"



3 SECOND FLOOR PLAN  
3/16" = 1'-0"

PLAN B - 4 BEDROOM, 3 BATH - 2 CAR GARAGE  
- 1ST. LIVING AREA: 1034 SF.  
- 2ND. LIVING AREA: 1370 SF. TOTAL: 2404 SF.  
- COVER PATIO: 116 SF.  
- ENTRY PORCH: 37 SF.  
- 2 CAR GARAGE: 430 SF.

### PLAN B FLOOR PLAN

46

# ANHA

Design | 3D Rendering | Model | 3D Modeling

13472 JESSICA DRIVE  
GARDEN GROVE, CA 92843

haquocan@yahoo.com

CLIENT / CONSULTANT

STAMP / APPROVAL

No.	Description	Date

HERITAGE HOMES MANAGEMENT, LLC

## VICTORIA COTTAGES

548 VICTORIA STREET,  
COSTA MESA, CA 92627

### PLAN B ELEVATIONS

Originator	Author	Revision	Author
Date	11/2015	Scale	3/16" = 1'-0"
Size	24" x 36"	Drawn by	Checker

A4.0



1 FRONT ELEVATION  
3/16" = 1'-0"



3 LEFT ELEVATION  
3/16" = 1'-0"



2 BACK ELEVATION  
3/16" = 1'-0"



4 RIGHT ELEVATION  
3/16" = 1'-0"

#### MATERIAL LEGEND

1. CONCRETE TILE
2. FIBER CEMENT SIDING
3. VINYL GLAZING
4. STUCCO LIGHT SAND FINISH
5. SECTIONAL GARAGE DOOR
6. EXTERIOR MOLDING
7. HIGH DENSITY FOAM TRIM
8. EXPOSED HARDIE TRIM
9. G.I. SCREENED AND LOUVERED
10. WOOD/ G.I. DECORATIVE BALCONY RAILING
11. DECORATIVE WOOD BRACKET
12. WOOD FASCIA BOARD

### PLAN B ELEVATIONS

47

# ANHA

Design | 3D Rendering | Model | 3D Modeling

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GARDEN GROVE, CA 92843

haquocan@yahoo.com

CLIENT / CONSULTANT

STAMP / APPROVAL

No.	Description	Date

HERITAGE HOMES MANAGEMENT, LLC

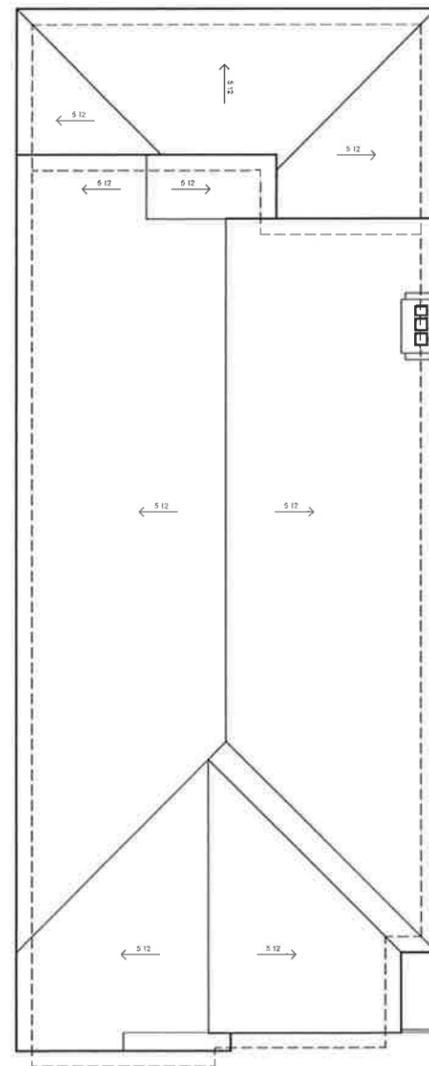
## VICTORIA COTTAGES

548 VICTORIA ST.,  
COSTA MESA,  
CA 92627

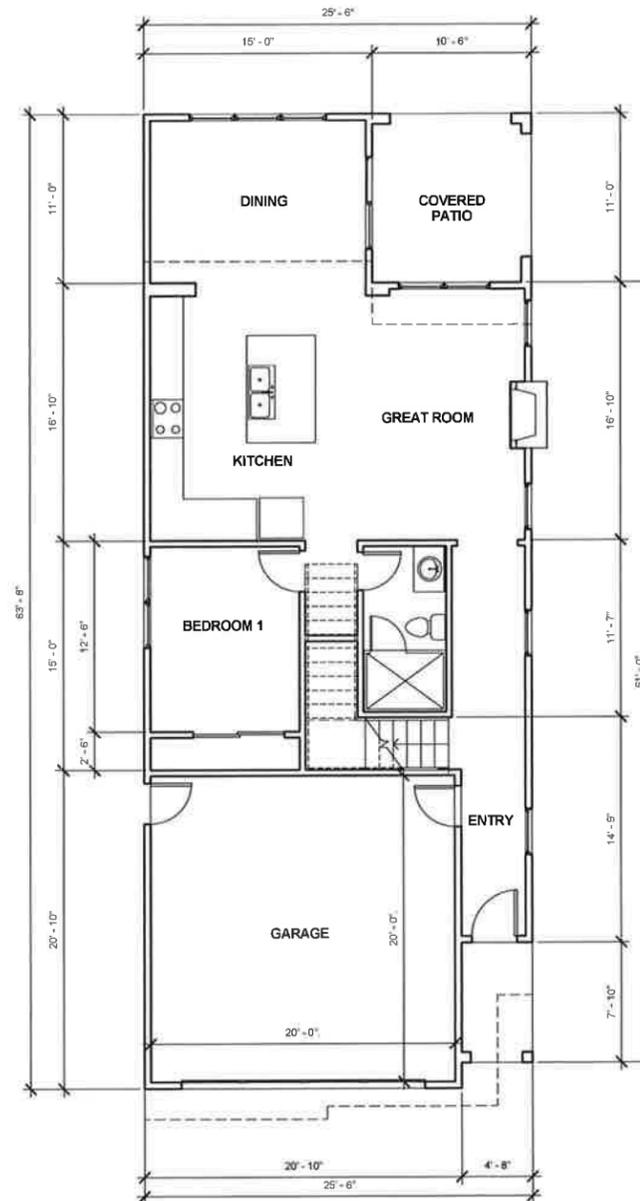
### PLAN A FLOOR PLAN (LOT 3)

Originator	Author	Reviser	Author
Date	Issue Date	Scale	3/16" = 1'-0"
Size	24" x 36"	Drawn by	Checker

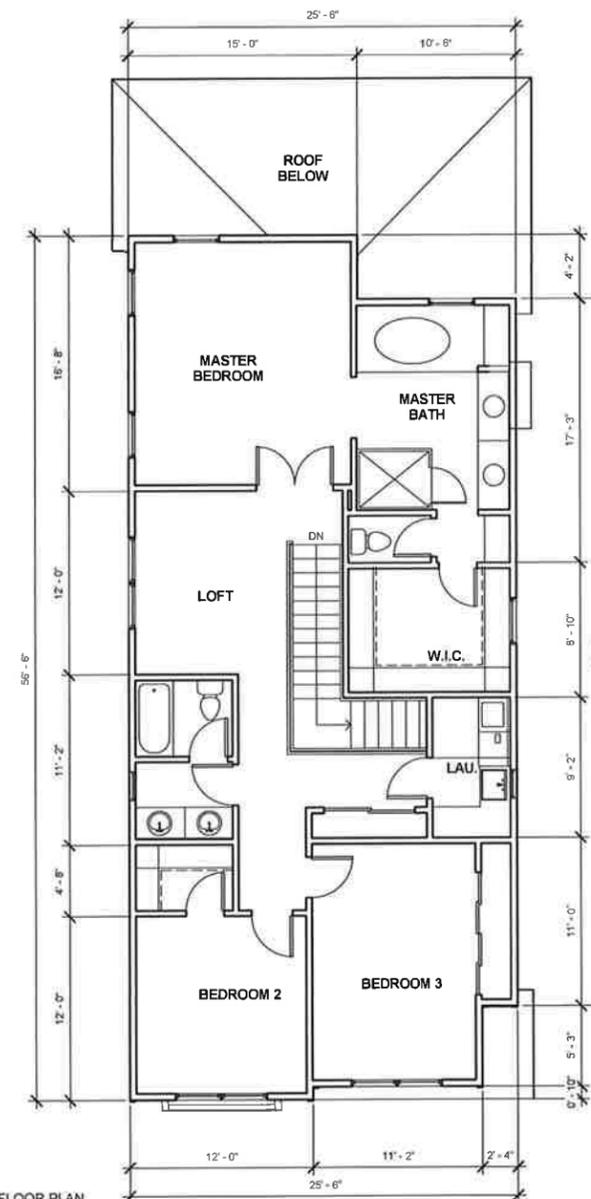
A5.0



4 ROOF PLAN  
3/16" = 1'-0"



2 FIRST FLOOR PLAN  
3/16" = 1'-0"



3 SECOND FLOOR PLAN  
3/16" = 1'-0"

PLAN A - 4 BEDROOM, 3 BATH - 2 CAR GARAGE  
 + 1ST. LIVING AREA: 1034 SF.  
 + 2ND. LIVING AREA: 1373 SF. TOTAL: 2407 SF.  
 + COVER PATIO: 118 SF.  
 + ENTRY PORCH: 37 SF.  
 + 2 CAR GARAGE: 430 SF.

### PLAN A (LOT 3) FLOOR PLAN

48

# ANHA

Design | 3D Rendering | Model | 3D Modeling

13472 JESSICA DRIVE  
GARDEN GROVE, CA 92843

haquocan@yahoo.com

CLIENT / CONSULTANT

STAMP / APPROVAL

No.	Description	Date

HERITAGE HOMES MANAGEMENT, LLC

## VICTORIA COTTAGES

548 VICTORIA ST.,  
COSTA MESA,  
CA 92627

### PLAN A ELEVATIONS ( LOT 3 )

Originator	Author	Revision	Author
Date	Issue Date	Scale	3/16" = 1'-0"
Size	24" x 36"	Drawn by	Checker

A6.0



① FRONT ELEVATION  
3/16" = 1'-0"



③ RIGHT ELEVATION  
3/16" = 1'-0"



② BACK ELEVATION  
3/16" = 1'-0"



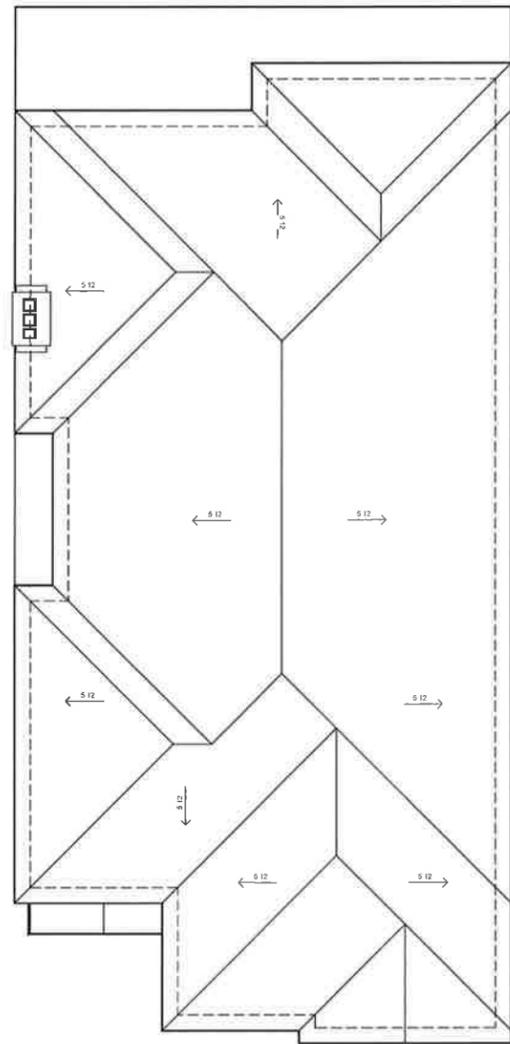
④ LEFT ELEVATION  
3/16" = 1'-0"

MATERIAL LEGEND

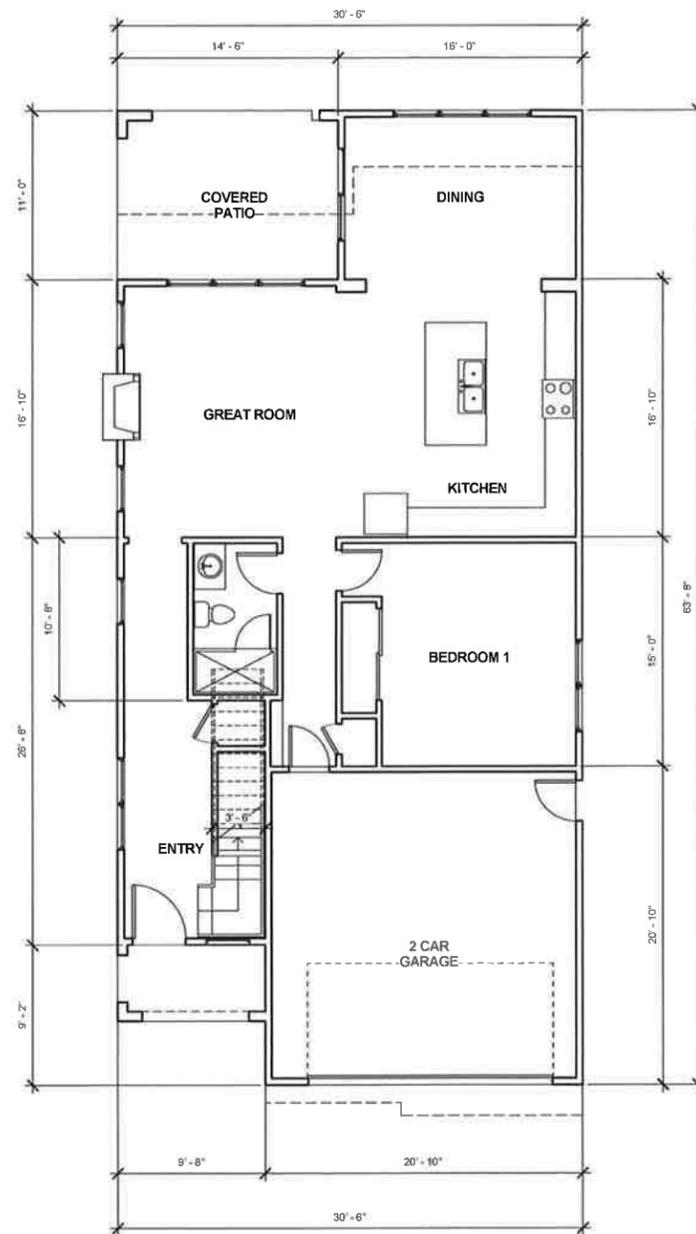
1. CONCRETE TILE
2. FIBER CEMENT SIDING
3. VINYL GLAZING
4. STUCCO LIGHT SAND FINISH
5. SECTIONAL GARAGE DOOR
6. EXTERIOR MOLDING
7. HIGH DENSITY FOAM TRIM
8. EXPOSED HARDIE TRIM
9. G.I. SCREENED AND LOUVERED
10. WOOD/ G.I. DECORATIVE BALCONY RAILING
11. DECORATIVE WOOD BRACKET
12. WOOD FASCIA BOARD

**PLAN A ELEVATIONS**

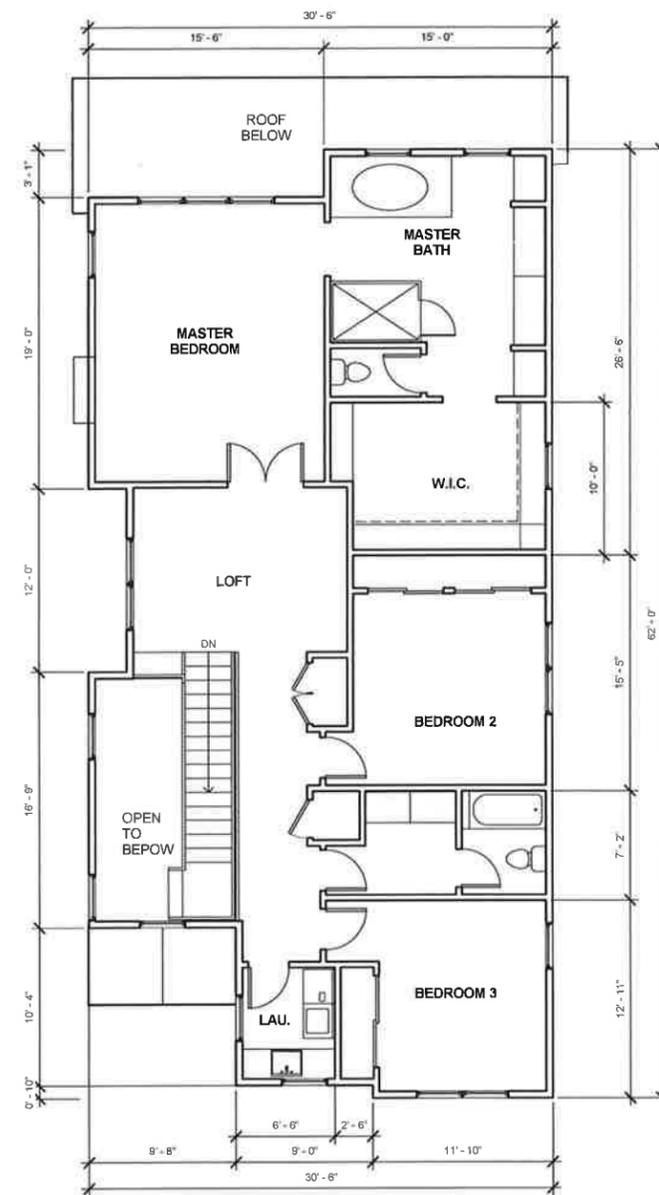
49



1 ROOF PLAN  
3/16" = 1'-0"



2 FIRST FLOOR PLAN  
3/16" = 1'-0"



3 SECOND FLOOR PLAN  
3/16" = 1'-0"

PLAN C - 4 BEDROOM, 3 BATH - 2 CAR GARAGE  
 - 1ST. LIVING AREA: 1264 SF.  
 - 2ND. LIVING AREA: 1539 SF. TOTAL: 2803 SF.  
 - COVER PATIO: 190 SF.  
 - ENTRY PORCH: 48 SF.  
 - 2 CAR GARAGE: 430 SF.

**PLAN C FLOOR PLAN**

**ANHA**  
 Design | 3D Rendering | Model | 3D Modeling

13472 JESSICA DRIVE  
 GARDEN GROVE, CA 92843

haquocan@yahoo.com

CLIENT / CONSULTANT

STAMP / APPROVAL

No.	Description	Date

HERITAGE HOMES MANAGEMENT, LLC

**VICTORIA COTTAGES**

**548 VICTORIA ST.,  
 COSTA MESA,  
 CA 92627**

**PLAN C FLOOR PLAN**

Original	Author	Revision	Author

Date Issue Date Scale 3/16" = 1'-0"

Size 24" x 36" Draw by Checker

**A7.0**

# ANHA

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13472 JESSICA DRIVE  
GARDEN GROVE, CA 92843

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STAMP / APPROVAL

No.	Description	Date

HERITAGE HOMES MANAGEMENT, LLC

## VICTORIA COTTAGES

548 VICTORIA ST.,  
COSTA MESA,  
CA 92627

### PLAN C ELEVATIONS

Originator	Author	Revision	Author
Date	Issue Date	Scale	3/16" = 1'-0"
Site	24" x 36"	Drawn by	Checker

A8.0



① FRONT ELEVATION  
3/16" = 1'-0"



③ RIGHT ELEVATION  
3/16" = 1'-0"



② BACK ELEVATION  
3/16" = 1'-0"



④ LEFT ELEVATION  
3/16" = 1'-0"

MATERIAL LEGEND

1. CONCRETE TILE
2. FIBER CEMENT SIDING
3. VINYL GLAZING
4. STUCCO LIGHT SAND FINISH
5. SECTIONAL GARAGE DOOR
6. EXTERIOR MOLDING
7. HIGH DENSITY FOAM TRIM
8. EXPOSED HARDIE TRIM
9. G.I. SCREENED AND LOUVERED
10. WOOD/ G.I. DECORATIVE BALCONY RAILING
11. DECORATIVE WOOD BRACKET
12. WOOD FASCIA BOARD

**PLAN C - ELEVATIONS**

# ANHA

Design | 3D Rendering | Model | 3D Modeling

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GARDEN GROVE, CA 92643

haquocan@yahoo.com

CLIENT / CONSULTANT

STAMP / APPROVAL

No.	Description	Date

HERITAGE HOMES MANAGEMENT, LLC

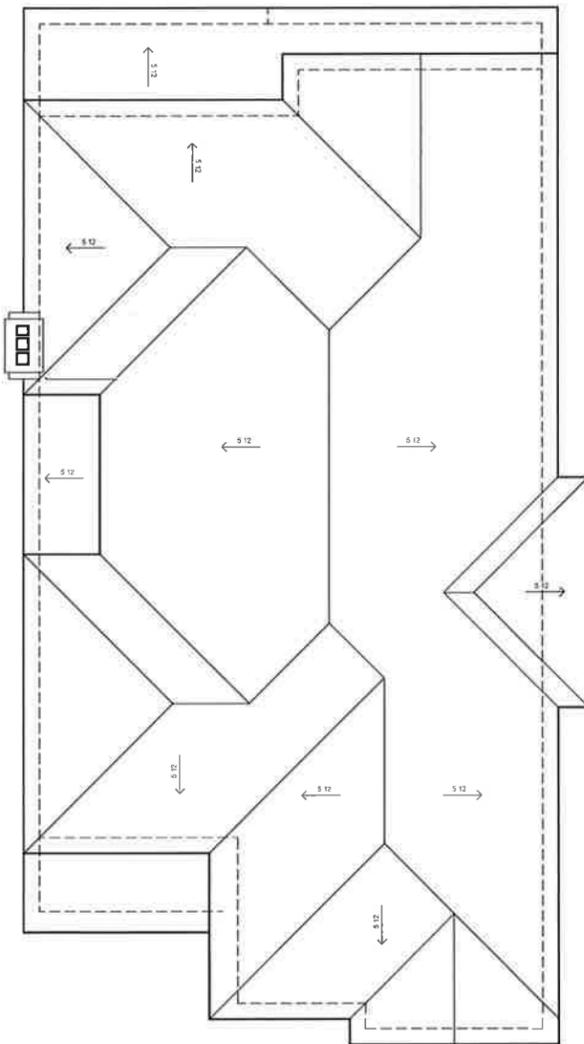
## VICTORIA COTTAGES

548 VICTORIA STREET,  
COSTA MESA, CA 92627

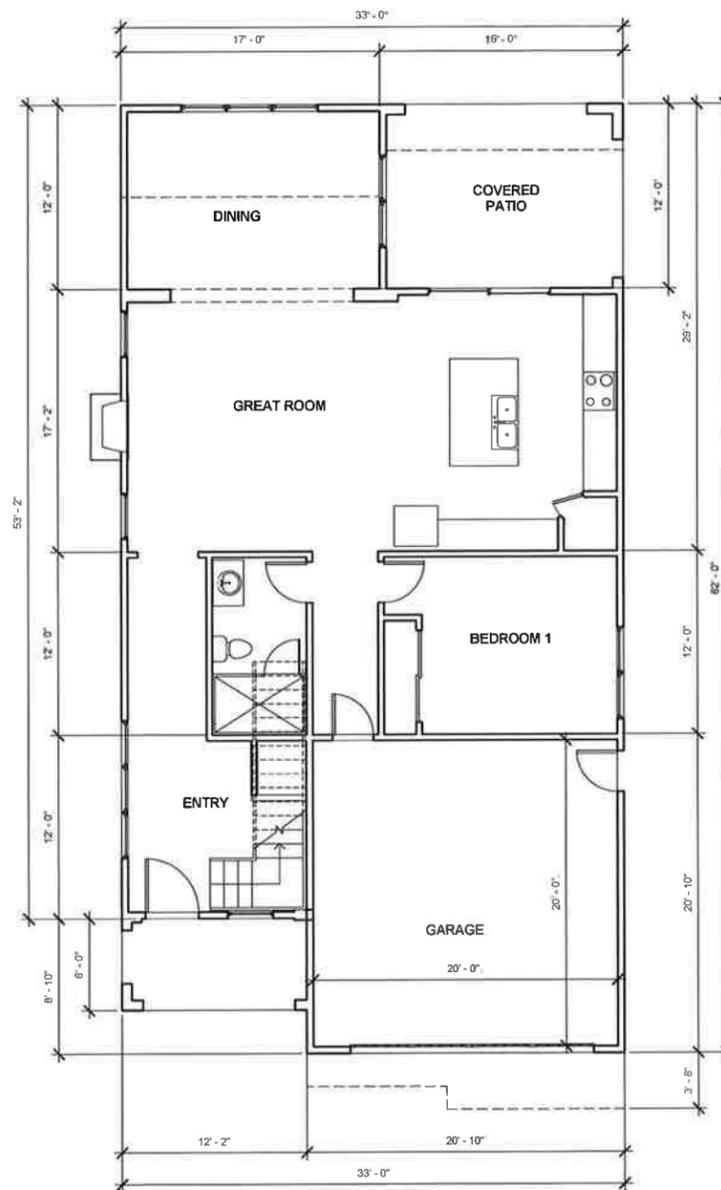
### PLAN D FLOOR PLAN

Originator	Author	Revision	Author
Date	11/2015	Scale	3/16" = 1'-0"
Size	24" x 36"	Drawn by	Checker

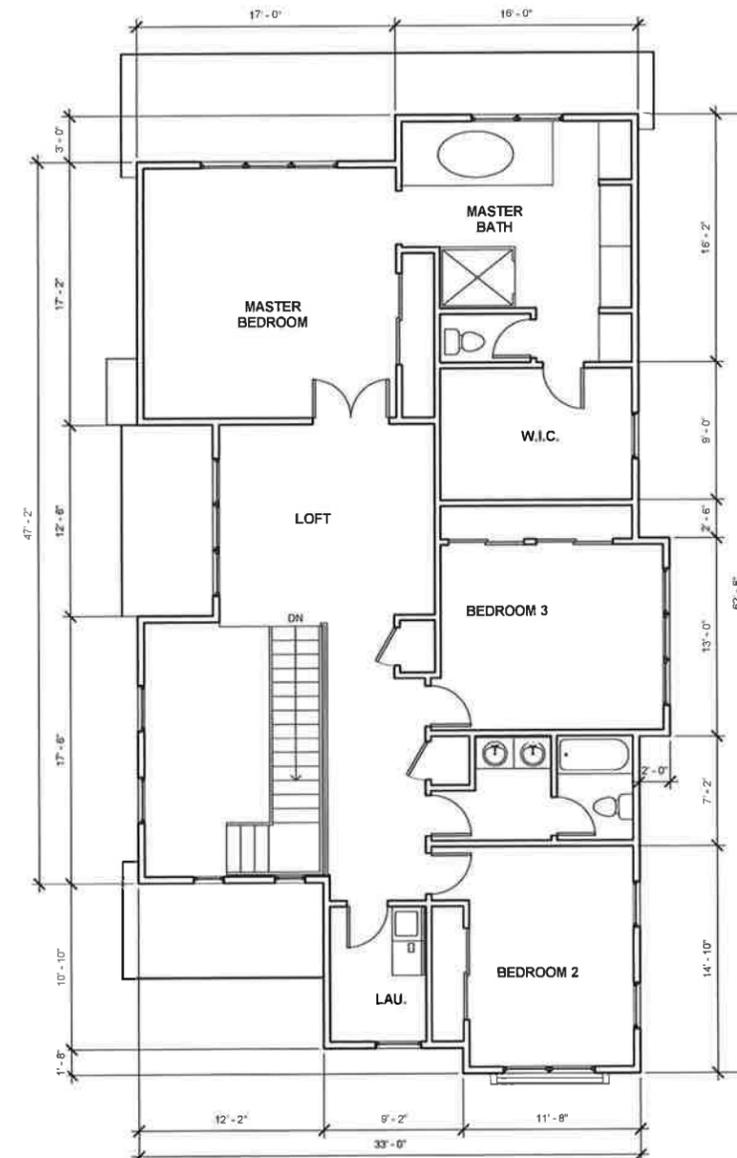
A9.0



1 ROOF PLAN  
3/16" = 1'-0"



2 FIRST FLOOR PLAN  
3/16" = 1'-0"



3 SECOND FLOOR PLAN  
3/16" = 1'-0"

PLAN C - 4 BEDROOM, 3 BATH - 2 CAR GARAGE  
 - 1ST LIVING AREA: 1322 SF  
 - 2ND LIVING AREA: 1606 SF  
 - COVER PATIO: 187 SF  
 - ENTRY PORCH: 73 SF  
 - 2 CAR GARAGE: 430 SF  
 TOTAL: 2928 SF

### PLAN D FLOOR PLAN

52

# ANHA

Design | 3D Rendering | Model | 3D Modeling

13472 JESSICA DRIVE  
GARDEN GROVE, CA 92843

haquocan@yahoo.com

CLIENT / CONSULTANT

STAMP / APPROVAL

No.	Description	Date

HERITAGE HOMES MANAGEMENT, LLC

## VICTORIA COTTAGES

548 VICTORIA STREET,  
COSTA MESA, CA 92627

### PLAN D ELEVATIONS

Originator	Author	Revision	Author
Date	11/2015	Scale	3/16" = 1'-0"
Size	24" x 36"	Drawn by	Checker

A10.0



① FRONT ELEVATION  
3/16" = 1'-0"



③ LEFT ELEVATION  
3/16" = 1'-0"



② BACK ELEVATION  
3/16" = 1'-0"



④ RIGHT ELEVATION  
3/16" = 1'-0"

#### MATERIAL LEGEND

1. CONCRETE TILE
2. FIBER CEMENT SIDING
3. VINYL GLAZING
4. STUCCO LIGHT SAND FINISH
5. SECTIONAL GARAGE DOOR
6. EXTERIOR MOLDING
7. HIGH DENSITY FOAM TRIM
8. EXPOSED HARDIE TRIM
9. G.I. SCREENED AND LOUVERED
10. WOODY G.I. DECORATIVE BALCONY RAILING
11. DECORATIVE WOOD BRACKET
12. WOOD FASCIA BOARD

### PLAN D ELEVATIONS

53

# ANHA

Design | 3D Rendering | Model | 3D Modeling

13472 JESSICA DRIVE  
GARDEN GROVE, CA 92843

haquocan@yahoo.com

CLIENT / CONSULTANT

STAMP / APPROVAL

No.	Description	Date

HERITAGE HOMES MANAGEMENT, LLC

## VICTORIA COTTAGES

548 VICTORIA STREET,  
COSTA MESA, CA 92627

### FRONT ELEVATION

Originator	Author	Revision	Author
Date	11/2015	Scale	1/8" = 1'-0"
Size	24" x 36"	Drawn by	Checker

A1.1



① FRONT ELEVATION  
1/8" = 1'-0"



**PLANT SCHEDULE**

**TREES**

- 1. Purple - leaf Acacia
- 2. Aoyagi Japanese maple
- 3. Fireglow Japanese maple
- 4. Purple flowering bush
- 5. Red Japanese maple
- 6. Tacoma Stans - yellow belt
- 7. Citrus
- 8. Palm-like plant
- 9. Palm tree

**SHRUBS**

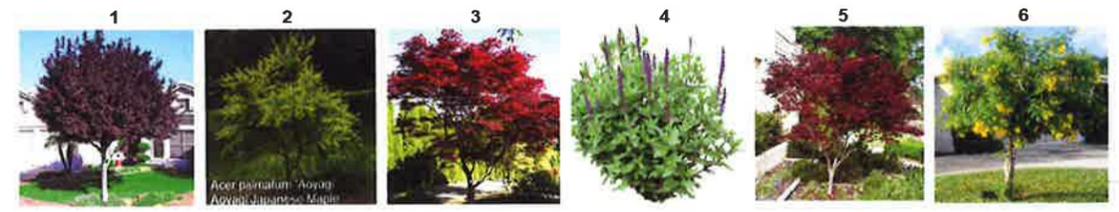
- 1. Blue flowering shrub
- 2. Purple flowering shrub
- 3. Kalmia Angustifolia
- 4. Myrica Pennsylvania
- 5. Red flowering shrub

**GROUND COVERS**

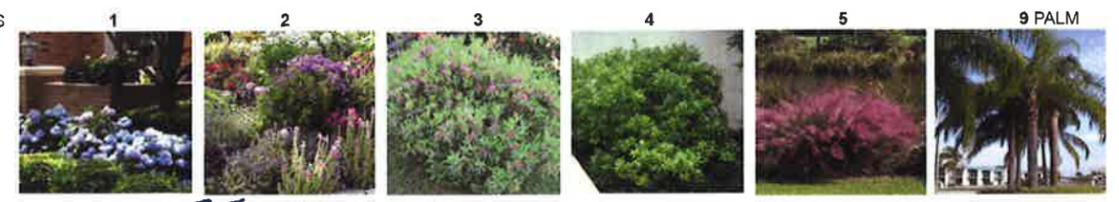
- Common grass or/ Dymondia Margaretae
- Concrete

**PROPOSED PLANT MATERIALS (PARTIAL LIST)**

**TREES**



**SHRUBS**



MINER STREET

(E) CITY CONTROL HOUSE

(E) PUBLIC SIDEWALK

**LANDSCAPING PLAN**

ANHA studio | 12.15.2015 | PRELIMINARY REVIEW



**VICTORIA COTTAGES - 5 HOUSES**  
10.27.2015 | SMALL LOT SUBDIVISION | AERIAL VIEW FROM MINER STREET  
ANHA studio



**VICTORIA COTTAGES - 5 HOUSES**  
10.27.2015 | SMALL LOT SUBDIVISION | AERIAL VIEW FROM VICTORIA STREET  
ANHA studio

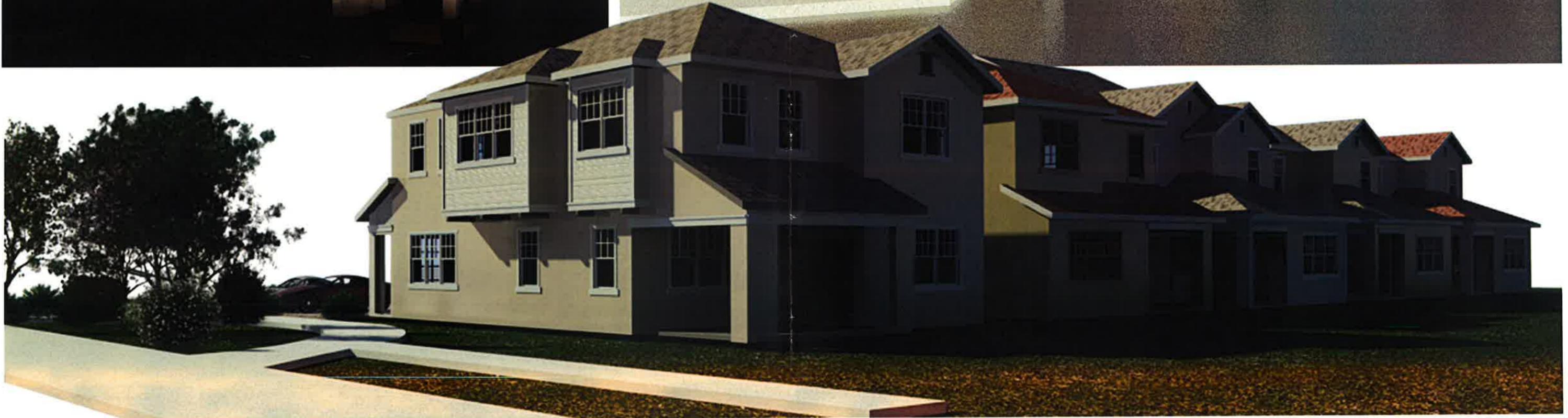


EYE LEVEL VIEW FROM VICTORIA STREET



EYE LEVEL VIEW FROM MINER STREET

**VICTORIA COTTAGES - 5 HOUSES**  
10.27.2015 | SMALL LOT SUBDIVISION  
ANHA studio



3D VIEWS

**VICTORIA COTTAGES - 5 HOUSES**  
10.27.2015 | SMALL LOT SUBDIVISION  
ANHA studio