



# **PLANNING COMMISSION AGENDA REPORT**

MEETING DATE: FEBRUARY 8, 2016

ITEM NUMBER:

PH-5

**SUBJECT:** PLANNING APPLICATION PA-15-52 AND TENTATIVE PARCEL MAP NO. 2015-158 FOR A TWO-UNIT RESIDENTIAL SMALL LOT SUBDIVISION DEVELOPMENT AT 2156 MYRAN DRIVE.

**DATE:** JANUARY 28, 2016

**FROM:** PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

**PRESENTATION BY:** DANIEL INLOES ASSOCIATE PLANNER

**FOR FURTHER INFORMATION CONTACT:** DANIEL INLOES, AICP (714) 754-5088  
daniel.inloes@costamesaca.gov

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## **DESCRIPTION**

The proposed project involves the following:

1. **Design Review PA-15-52** is for a small lot subdivision development consisting of two, two-story detached single family residences of approximately 3,036 each with attached two-car garages. Both residences will front Myran Drive. The units feature three bedrooms with 3.5 baths. The proposed project complies with the Code-required Small Lot Development standards and the Residential Design Guidelines. The proposal does not involve any request for any deviations from Code.
2. **Tentative Parcel Map 2015-158** a residential small lot subdivision consisting of two fee simple lots.

## **APPLICANT OR AUTHORIZED AGENT**

The authorized agent is Sam Khedraki, for the property owner, Nolan Chan.

## **RECOMMENDATION**

Approve the project by adoption of Planning Commission resolution, subject to conditions.

## PLANNING APPLICATION SUMMARY

Location: 2156 Myran Drive Application Number: PA-15-52

Request: Design Review of a two-unit small lot subdivision residential development.

**SUBJECT PROPERTY:**

Zone: R2-MD  
 General Plan: MDR  
 Lot Dimensions: 78 FT x 132 FT  
 Lot Area: 10,299 SF  
 Existing Development: One parcel of vacant land (recently demolished multi-family residence).

**SURROUNDING PROPERTY:**

North: R2-MD Multi-Family Residential Use  
 South: R2-MD Multi-Family Residential Use (Across Victoria)  
 East: R2-MD Single Family Residential Use  
 West: R2-MD Multi-Family Residential Use

### DEVELOPMENT STANDARD COMPARISON - SMALL LOT ORDINANCE

| Development Standard   | Required/Allowed  | Proposed/Provided  |
|--|---|--|
| <b>Lot Size:</b>   |   |  |
| Lot Width  | NA  | 78 FT  |
| Lot Area   | NA  | 10,299 SF  |
| <b>Maximum Density (based on gross acreage):</b>                                     |   |  |
| DU's/ Acre (Residential)   | 1 du/3,630 SF (12 DU's/Acre)<br>Maximum 2 units   | 1 du/5,149 SF (8 DU's/Acre)<br>Proposed 2 units              |
| Common Lot Requirement   | No common lot required;<br>CC&Rs are required.  | No common lot<br>CC&Rs to be filed                           |
| Min./Avg. Lot Sizes  | NA  | 5,149 SF Min./5,149 SF Avg.                                  |
| <b>Building Coverage (Development Lot)</b>   |   |  |
| Buildings  | NA  | Parcel #1 1,904 SF (19%)<br>Parcel #2 1,904 SF (19%)         |
| Paving   | NA  | 2329 SF (23%)  |
| Minimum Open Space   | 2,221 SF (30%)  | 4162 SF (39%)  |
| <b>TOTAL</b>   | NA  | 7,678 SF (100%)  |
| <b>Minimum Open Space (Individual Unit)</b>  |   |  |
|  | 200 SF Min.<br>10 FT Min. Dimension   | >250 SF<br>11 FT Min. Dimension                              |
| Building Height  | 2 Stories/ Max. 27 FT   | 2 Stories/ 27 FT   |
| Chimney Height   | 2 FT Above Max. Bldg. Ht.   | NA   |
| Distance Between Buildings   | No minimum distance required,<br>subject to compliance with<br>Building and Fire Code<br>standards      | 10 FT<br>(Complies with Building and Fire<br>Code standards) |
| <b>Setbacks (Development Lot) – Myran Drive considered front of development lot.</b> |   |  |
| Front  | 20 FT   | 54 FT  |
| Side (left/right) <sup>1</sup>   | 5 FT / 10 FT  | 5 FT / 5 FT + 35 FT ROW                                      |
| Rear   | 10 FT   | 11 FT  |
| <b>Parking for single-family detached/3 bedrooms</b>                                 |   |  |
| Garage   | 4   | 4  |
| Open   | 4   | 4  |
| <b>TOTAL</b>   | 8 Spaces  | 8 Spaces   |
| Driveway Length  | 19 FT minimum   | 19 FT  |
| Interior garage dimension  | 20 FT minimum   | 20 FT minimum  |
| CEQA Status  | Guidelines Section 15332/Class 32, In-Fill Development  |  |
| Final Action   | Planning Commission   |  |
| <sup>1</sup> Note:   | Project exempt from avg side yard second story setback requirement of the Residential Design Guidelines |  |

## **BACKGROUND**

### ***Project Site/Environs***

The 10,299 square foot project site is located on the southern end of Myran Drive, a private street. The project site was previously developed with a single-story residence, originally constructed in 1947, that will be demolished to accommodate the proposed project. The property is zoned R2-MD with a maximum development potential of two units (12 dwelling units per acre).

The property to the east of the subject property (2161 Charle Drive) is developed with a one-story residence and the property to the west across Myran is currently vacant but was recently a recently approved for 5-unit, two-story residential project (PA-15-47, 548 Victoria). Victoria Street is to the south and several multi-family development projects are on the other side of this arterial street. The property to the north of the subject property (2160 Myran Drive) is developed with a two unit two-story detached multi-family residence.

## **ANALYSIS**

### ***Design Review PA-15-52***

The proposed project consists of two detached, single-family residences with attached two-car garages. The property will be subdivided into two separate, fee simple lots and the proposed residences be separated by 10 feet. The residences will contain 3,036 SF of living space and a 430 SF garage. Both homes are oriented towards Myran Drive, which is considered the front of this development lot.

The project layout, floor plans, and elevations comply with the Small Lot Subdivision Standards and the Residential Design Guidelines. The residences are two stories in height and will be setback 54 feet from the front property line. A total of 36 percent of the development lot area is provided as open space; 60 percent of which is actual landscaping consisting of trees, shrubs, and turf. The buildings are placed on the property with sufficient setbacks to provide private useable open space at the rear of each new parcel. The attached two-car garages are set back 19 feet from Myran Drive so as to provide two parking spaces on each driveway. Trash bins can be stored in the side yard areas adjacent to the garages.

The two proposed units have three bedrooms and three and a half bathrooms, and an attached two-car garage. The units have gabled roofs, decorative window shutters, horizontal and vertical lapped siding, a water feature, and a front porch. Both units have first and second floor articulation and standing seam metal roofing.

The project complies with the review criteria and development standards of the Small Lot Subdivision Ordinance and the Residential Design Guidelines. The project density complies with the General Plan designation of Medium Density Residential.

### ***Residential Design Guidelines***

The design of the proposed residences meet the intent of the City's Residential Design Guidelines. The proposed residences include elevations with varied roof forms on the two

units to help separate first and second floors along the sides of the homes. The front elevations of both homes provide articulation and a variety of complimentary decorative materials. The southern residence incorporates a front porch with water feature at entrance, vertical cement fiber siding and smoothed finish stucco siding, and enhanced windows to provide visual interest. The northern residence incorporates horizontal siding and smoothed finish stucco, a decorative shutter, and gable roof accents. Because of the window placement and setbacks from the east and west property lines, the project does not result in privacy impacts to the surrounding residences as conditioned. The design of the two-story homes, as conditioned, complies with the building mass and form and elevation treatment and window placement guidelines, although the residences exceed the 2,700 square feet of living area (excluding the garage) threshold they are still consistent with the prevailing two-story design within the same residential neighborhood.

### ***Tentative Parcel Map 2015-158***

The proposed tentative parcel map is for a two lot subdivision for a residential small lot subdivisions development. All common areas including the private street, common landscaping, and open parking spaces will be used and maintained by a maintenance association or homeowners association as stipulated in the Conditions, Covenants, and Restrictions (CC&R's) for the development. The CC&R's will also include provisions requiring that all open parking spaces be unassigned and available for visitors and requiring residents to park vehicles in the garage spaces provided for each unit.

### ***General Plan Conformance***

The General Plan land use designation for the project site is Medium Density Residential. Per the General Plan, Medium Density Residential is intended for residential development with a density up to 12 units to the acre. Because the density of the proposed project is 9 units to the acre (proposed five units), it is consistent with the General Plan land use designation.

The following analysis evaluates the proposed project's consistency with specific goals, and objectives of the General Plan, Land Use Element.

1. **Objective LU-1A:** *Establish and maintain a balance of land uses throughout the community to preserve the residential character of the City at a level no greater than can be supported by the infrastructure.*

**Consistency:** The project is an infill residential project within the allowable density for medium-density development. Adequate infrastructure be available to serve the proposed project. Therefore, the project is consistent with this General Plan objective.

2. **Objective LU-1A.4:** *Strongly encourage the development of ... owner-occupied housing where feasible to improve the balance between rental and ownership housing opportunities.*

**Consistency:** Because the proposed project is for ownership units, the project is consistent with this General Plan goal.

3. **Goal LU-2: Development:** *It is the goal of the City of Costa Mesa to establish development policies that will create and maintain an aesthetically pleasing and functional environment and minimize impacts on existing physical and social resources.*

**Consistency:** The project would allow for the redevelopment of property containing a marginal residential dwelling. The proposed project would add a high-quality architectural design to the project area. As required by a standard condition of approval on the project, perimeter wall treatments will be reviewed to ensure that they are made of decorative materials, and ornamental site landscaping will be provided throughout the project. As a result, the proposed project is supportive of this General Plan goal.

4. **Objective LU-2A:** *Encourage new development and redevelopment to improve and maintain the quality of the environment.*

**Consistency:** Because the project is an infill development, it would not result in the loss of any habitat, or require extensive infrastructure improvements to provide service to the site. In addition, the proposed project will replace an older housing unit and redevelop the property with new housing stock. Consequently the project is consistent with this objective.

## **JUSTIFICATIONS FOR APPROVAL**

Pursuant to Title 13, Section 13-29(g), *Planning Application Review Process*, of the Costa Mesa Municipal Code, the Planning Commission shall find that the evidence presented in the administrative record substantially meets specified findings. Staff recommends approval of Design Review PA-15-52 based on the following assessment of facts and findings which are also reflected in the draft resolution.

- *The proposed project complies with the General Plan and with Zoning Code standards with no requested deviations from the small lot ordinance.* The creation of the subdivision is consistent with General Plan Land Use Objective LU-1A, A.4, 2 and 2A in that it creates new homeownership opportunities in an infill location which increases attractive housing options and improves the balance between renter and owner occupied housing in the City. The project design complies with all development standards of the Small Lot Subdivision Ordinance. The proposed project does not exceed the maximum density of 12 units per acre, and is consistent with the General Plan designation of Medium Density Residential.
- *The proposed project meets the purpose and intent of the Residential Design Guidelines.* The design of the two-story homes complies with the building mass and form, setbacks, elevation treatments, window placement, and architectural consistency guidelines. The proposed residences include elevations with varied roof forms and elevation treatments to enhance visual interest. The exterior elevations of the proposed homes incorporate front porches and pop-out or setback windows to provide visual interest. The use of horizontal siding, vertical siding, metal seam roofing, and decorative first floor roof wrap arounds provides a vertical break between the first and second story increasing the overall aesthetic of the project.

The proposed project is not required to comply with an average second-story side setback of ten feet because the second story construction is consistent with the prevailing two-story design within the same residential neighborhood.

As a **condition of approval** the proposed developer may not make modification(s) of the approved building elevations including, but not limited to, change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finished material(s) without prior Planning Division written approval.

- The setbacks of existing neighboring structures were considered with regard to the proposed development on the lot. The buildings are placed on the property with sufficient setbacks to provide private useable open space and minimizes the potential privacy impacts to surrounding properties. The location of the units takes into consideration the rear yards of the abutting homes and places the homes to maximize distances from all adjacent dwellings.

Specifically, both the proposed units maintain an 11 foot setback from the rear property line to the east. Furthermore to diminish any visual and privacy impacts to the westerly neighbors from the project, all projects that gain access from Myran Drive are required **as a condition of approval** to have a five foot wide landscape space along the westerly property line.

- Privacy concerns with regard to window placement and architectural compatibility with the surrounding neighborhood have been considered. Line of sight depicted on the site plan shows that there is only one window which may cause privacy impacts between the proposed development and existing residences. Therefore, as a **condition of approval** the proposed second floor bathroom window will be elevated and frosted to avoid privacy issues to the second story windows of the abutting property.
- Aesthetic of Myran Drive will be significantly increased. Myran Drive is a private street which is currently not paved and has no consistent treatment or streetscape on either side of the drive aisle. Myran Drive has already been required to be paved as a condition of approval for PA-09-02, 2160 Myran Drive, and PA-09-03, 2172 Myran Drive. While all building permits on these projects are currently expired and planning commission permission for PA-09-03 has expired as well, the project on 2160 Myran Drive, PA-09-02, has started construction and therefore activated the conditions of approval for this project which include the paving of all of Myran Drive. However, since the City cannot know if this proposed project or the previously approved project at 2160 will be completed first the City is including **as a condition of approval** that this applicant pave the portion of Myran Drive from the entrance off of Victoria and the rest of the drive aisle through their development lot. Thus, if this project finishes first the partial paving to these two units shall provide a positive aesthetic view shed from Victoria as well as safe and secure vehicular access to the proposed units.
- The landscaping of this project meets code requirements. The residential development standards require a minimum of 30% of open space for a small lot subdivision development, however the project is proposing 39% of open space. The

preliminary landscape plans propose a mixture of shrub and turf coverage. The shrubs are mostly drought tolerant.

To enhance the aesthetic view from Victoria Street, increase privacy of the rear yard of residences to the west, and to soften the appearance of the private street a 5 foot landscaped setback from the front property line will be required. As additional **conditions of approval** trees and shrubs will be required to be planted within the 5 foot landscaped space, including requiring all trees along the southern property line and at the entrance of Myran Drive to be 24 inch box trees. The applicant shall provide landscape plans which reflect this 5 foot landscape space and identify the location and type of the proposed trees and shrubs for that location. Building permits will not be issued until the preliminary landscape drawings are approved by the Planning Department.

- The Declaration of the Covenants, Conditions, and Restrictions (CC&Rs) is required to be filed on the property. The Small Lot Ordinance requires that all small lot subdivisions establish some form of self-governance through CC&Rs, maintenance associations, and/or homeowner's associations. In the City of Costa Mesa, the most common type of association is an incorporated homeowner's association. This is a corporation in which the members of the corporation vote for a board of directors which runs the affairs of the corporation. In this case, as a 2-unit small lot development, Code does not require that an HOA be established. The Small Lot Ordinance requires, at a minimum, that CC&Rs be recorded on the property. Because there are common areas for circulation, parking, or landscape purposes, a condition of approval requires that the CC&Rs shall contain the ground rules related to: architectural control over future building modifications or additions, architectural design and guidelines for the property, maintenance of common landscape area on the west side of Myran Drive, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts.
- The tentative parcel map meets are requirements for the subdivision. The density for the residential component is 9 units per acre (2 units), which complies with allowable density of 12 units per acre (2 units maximum) per the General Plan.

The proposed buildings include openings in an east-west direction so doors and windows allow for sea breezes. There are portions of the roof which are south facing therefore have the potential to provide for active solar heating and energy generation through the use of solar panels.

The proposed project does not interfere with the public right-of-way nor public utility right of way dedication or easements.

## **ENVIRONMENTAL DETERMINATION**

The project is exempt from the provisions of the California Environmental Quality Act under Section 15332 (Class 32), In-Fill Development.

The project is consistent with the General Plan and Zoning Code. No variances are

required. The site is less than five acres in area and the development would not result in any significant effects relating to traffic, noise, air quality, or water quality. All public utilities and services are available.

## **LEGAL REVIEW**

The draft resolutions have been reviewed and approved as to form by the City Attorney's Office.

## **PUBLIC NOTICE**

Pursuant to Title 13, Section 13-29(d), of the Costa Mesa Municipal Code, three types of public notification have been completed no less than 10 days prior to the date of the public hearing:

1. Mailed notice. A public notice was mailed to all property owners within a 500-foot radius of the project site. The required notice radius is measured from the external boundaries of the property. (See attached Notification Radius Map.)
2. On-site posting. A public notice was posted on each street frontage of the project site.
3. Newspaper publication. A public notice was published once in the Daily Pilot newspaper.

As of January 28, 2015, application PA-15-52 and PM-2015-158 has not received a communication from any property owner located within a 500-foot radius of the project site.

## **ALTERNATIVES**

The Planning Commission has the following alternatives:

1. Approve the project with modifications. The Planning Commission may suggest specific changes that are necessary to alleviate concerns. If any of the additional requested changes are substantial, the item should be continued to a future meeting to allow a redesign or additional analysis. In the event of significant modifications to the proposal, should the Planning Commission choose to do so, staff will return with a revised resolution incorporating new findings and/or conditions.
2. Deny the project. If the Planning Commission believes that there are insufficient facts to support the findings for approval, Planning Commission must deny the application and provide facts in support of denial to be included in the attached draft resolution for denial. If the project were denied, the applicant could not submit substantially the same type of application for six months.

**CONCLUSION**

The project is deemed to be high-quality residential development with no deviations from Code. Approval of the design review and tentative parcel map will initiate the review of a two-unit small lot subdivision and allow for development of the project for the two fee simple lots. Therefore it is consistent with the intent of the General Plan and Zoning Code. Staff recommends approval of the project. Resolutions for approval and denial of the project are attached for consideration by the Planning Commission.

  
\_\_\_\_\_  
DANIEL INLOES, AICP  
Associate Planner

  
\_\_\_\_\_  
CLAIRE FLYNN, AICP  
Assistant Director  
Development Services

- Attachments:
1. Vicinity, Zoning, and 500 FT Radius Map
  2. Site Photos
  3. Applicants Project Description
  4. Draft Planning Commission Resolutions and Exhibits
  5. Project Plans/ Elevations/ Perspectives

Distribution:

- Director of Economic & Development Services/Deputy CEO
- Senior Deputy City Attorney
- Public Services Director
- City Engineer
- Transportation Services Manager
- Fire Protection Analyst
- File (2)

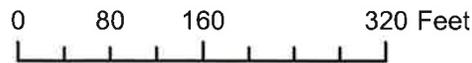
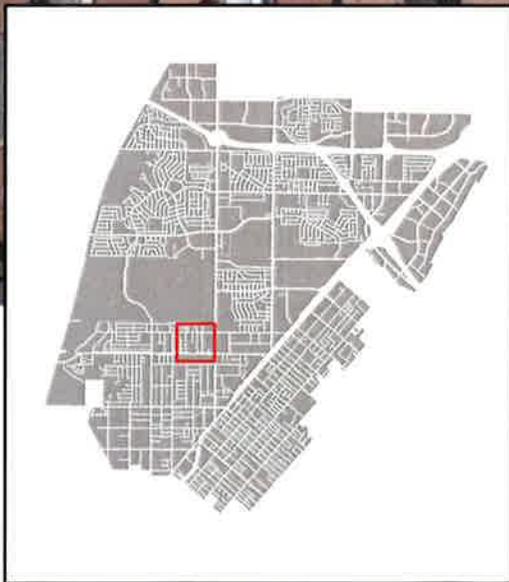
CC:

- Sam Khedraki  
7040 Scholarship  
Irvine, CA 92612
  
- Nolan Chan  
7040 Scholarship  
Irvine, CA 92612



VICTORIA ST

Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community



Vicinity of Site  
2156 Myran Drive

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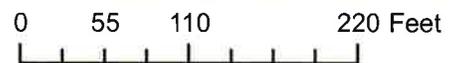
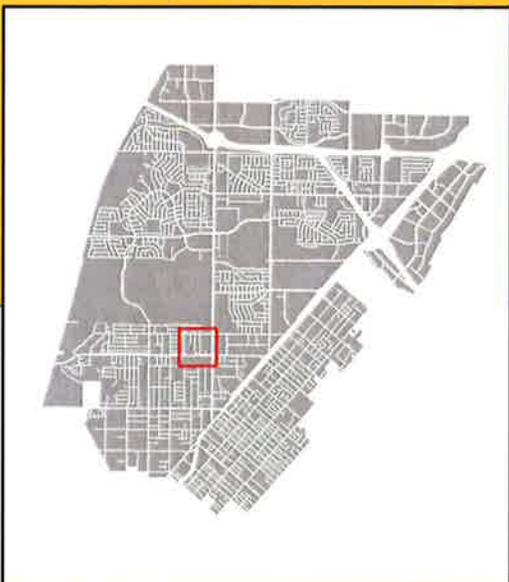
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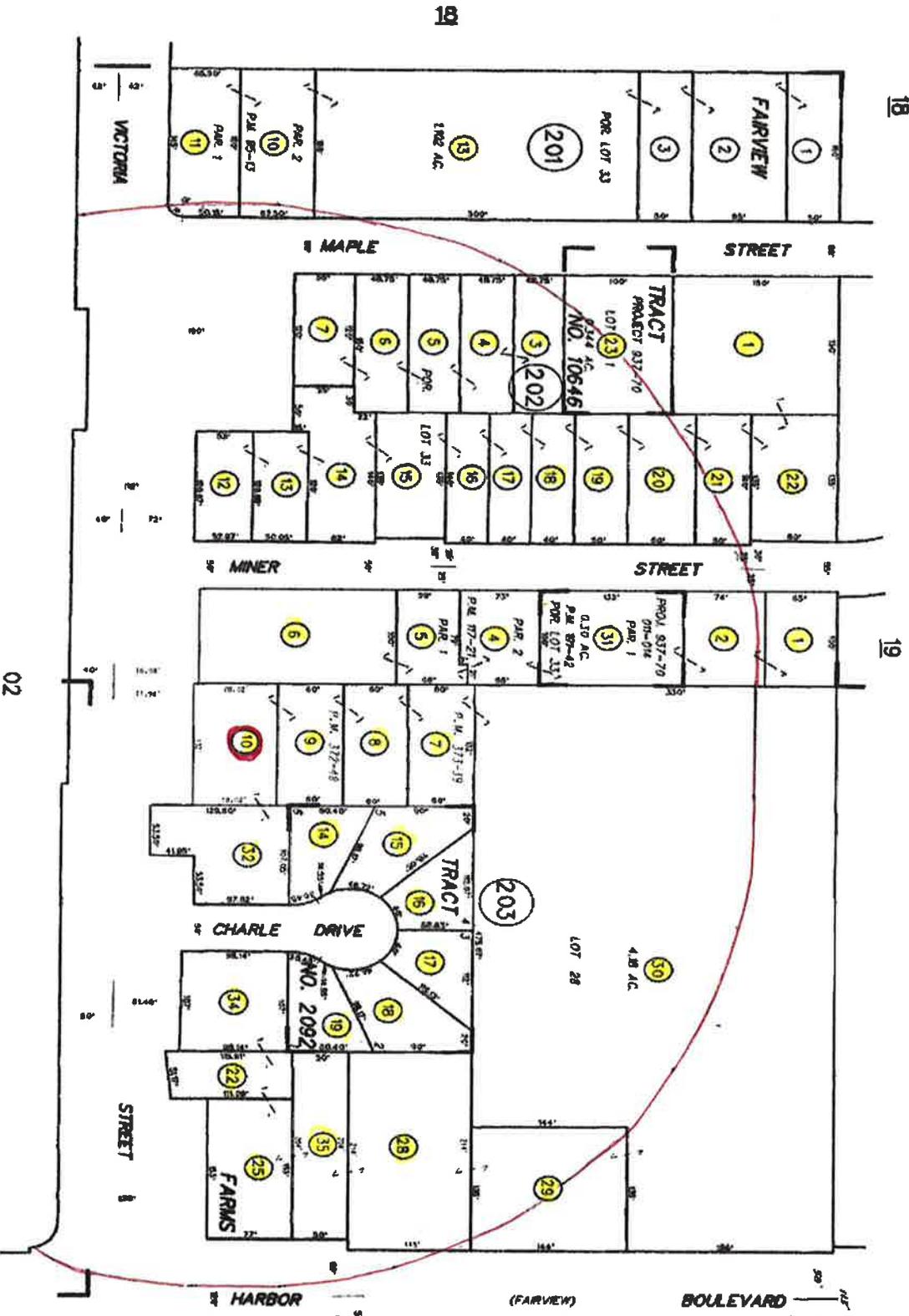
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Zoning for Site  
2156 Myran Drive

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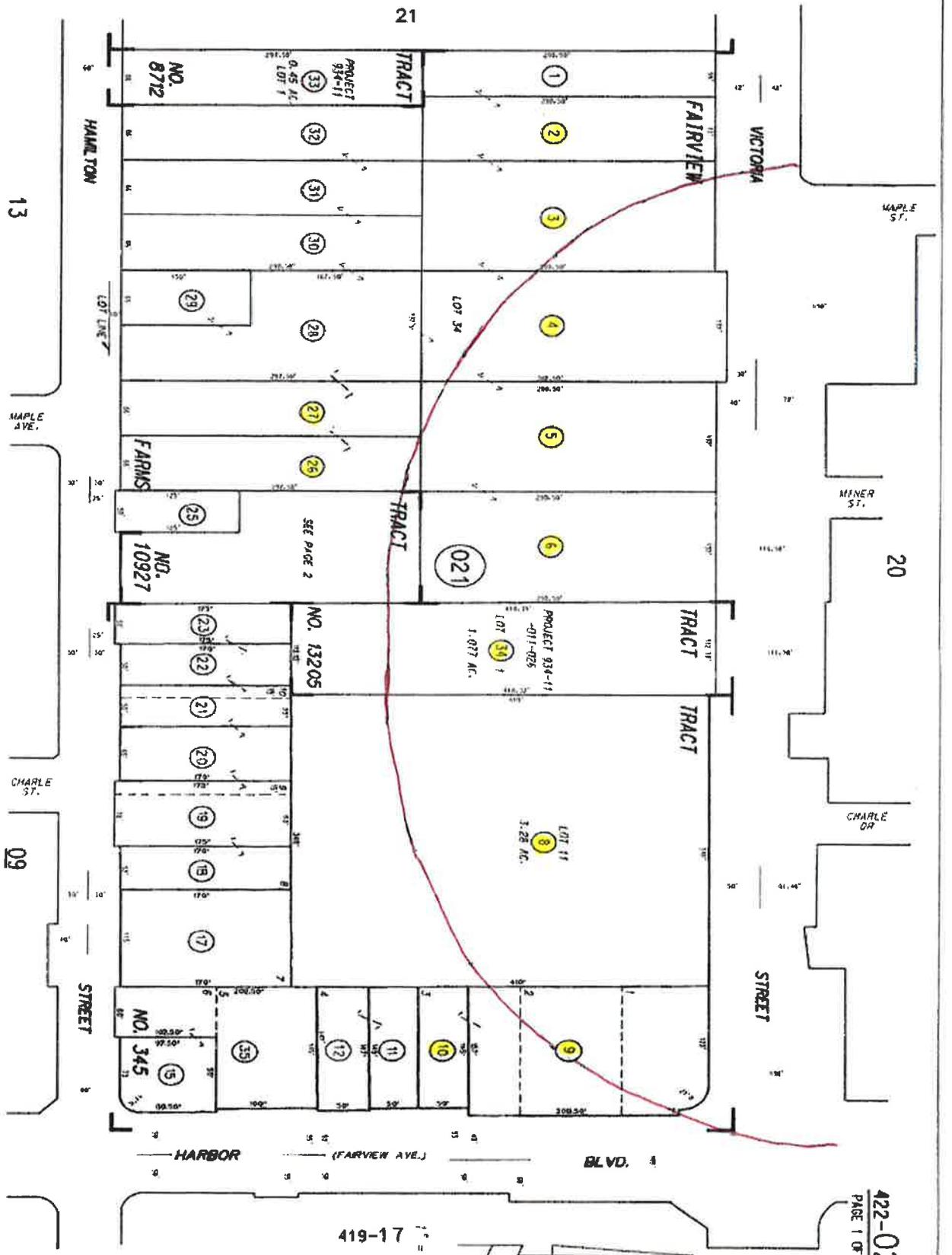
**FARVIEW FARMS**  
 TRACT NO. 2092  
 PARCEL MAPS  
 TRACT NO. 10646

**M.M. 8-71**  
 M.M. 80-49  
 P.M. 99-1317-2191-42  
 M.M. 431-36,37,38

NOTE - ASSESSOR'S BLOCK & PARCEL NUMBERS SHOWN IN CIRCLES

ASSESSOR'S MAP BOOK 422 PAGE 20  
 COUNTY OF ORANGE





MARCH 1975

FAIRVIEW FARMS  
 TRACT NO. 345  
 TRACT NO. 8712  
 TRACT NO. 10927  
 TRACT NO. 13205

M.M. 08 to 71 inc.  
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 M.M. 352-15 to 17 inc.  
 M.M. 472-44,45  
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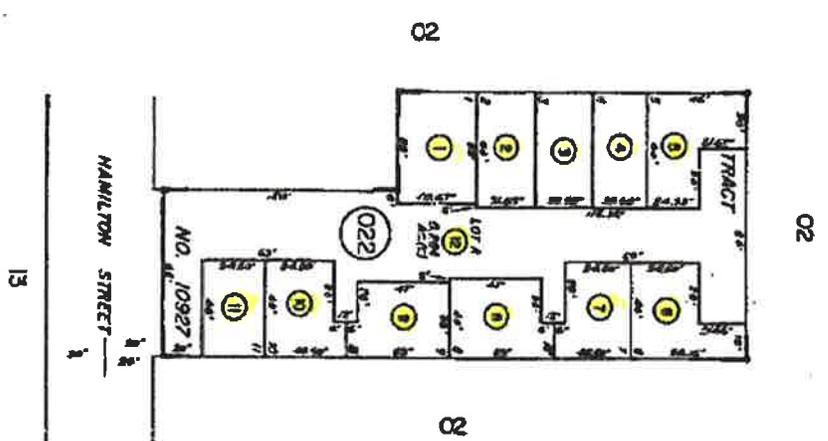
NOTE - ASSESSOR'S BLOCK & PARCEL NUMBERS SHOWN IN CIRCLES

ASSESSOR'S MAP BOOK 422 PAGE 02 COUNTY OF ORANGE

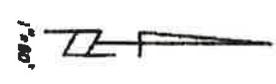
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ASSessor's MAP BOOK 452 PAGE 022 COUNTY OF ORANGE



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422-022  
PAGE 2 OF 2



14



End of Cul de Sac



2172 Myran Drive



West Property Line



2166 Myran Drive



Cul De Sac Looking Back towards Victoria



2160 Myran Drive



Start of Myran Drive Looking Towards Cul De Sac



Front of Proposed Development Lot



Myran Drive Facing Victoria Street



Second Story 5 Foot Setback ON Neighbor's Two-Story Residence



View from Pedestrian Path on Victoria Street Parkway



Development Lot Garage



Development Lot and Victoria Street Parkway Wall



Development Lot Front yard



Development Lot House



Development Lot

November 9, 2015

**APPLICANT LETTER**

To: City of Costa Mesa

Re: 2156 Myran Drive, Costa Mesa, CA 92627

Subject: Tentative Parcel Map

To Whom It May Concern:

The proposed project involves a 10,428 sq ft lot to be divided into two 5,214 sq ft lots each containing one single-family detached home. Development is on a 0.24-acre site located on Myran Drive, north of Victoria Street.

We request your review and approval of the subject plan.

Best Regards,



Michael Alladawi, President  
The Plaza Group  
7040 Scholarship  
Irvine, CA 92612  
949-272-1111  
[Alladawi@theplazagroupe.com](mailto:Alladawi@theplazagroupe.com)

**EXHIBIT A**  
Legal Description

The land hereinafter referred to is situated in the City of Costa Mesa, County of Orange, State of CA, and is described as follows:

Parcel 1:

That portion of Lot 28 of Fairview Farms, in the City of Costa Mesa, County of Orange, State of California, as per Map filed in Book 8, Page 71, of Miscellaneous Maps, in the Office of the County Recorder of said County, described as follows:

The Southerly 60 feet of the Northerly 240 feet of the Westerly Rectangular 1 Acre of the South one-half of said Lot 28 of Fair View Farms, in the City of Costa Mesa, County of Orange, State of California, as shown on a Map recorded in Book 8, Page 71, of Miscellaneous Maps, in the Office of the County Recorder of said County.

Together with the Westerly 1 Acre of the South half of Lot 28 of Fair View Farms, in the City of Costa Mesa, County of Orange, State of California, as shown on a Map recorded in Book 8, Page 71, of Miscellaneous Maps, in the Office of the County recorder of said County, excepting therefrom the Northerly 240.00 feet and the Southerly 46.98 feet.

Said legal description is shown as Parcel 1 of Lot line adjustment no. LL-07-02, recorded November 21, 2008, as Instrument No. 2008000545619, of Official Records.

Parcel 2:

A right-of-way for road purposes over the Westerly 25 feet of the South one-half of Lot 28 of Fair View Farms, as shown on a Map recorded in Book 8, Page 71, of Miscellaneous Maps, in the Office of the County Recorder of said County.

Except therefrom that portion included within hereinabove described Parcel 1.

APN: 422-203-10

## RESOLUTION NO. PC-16-

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING PLANNING APPLICATION PA-15-52 AND TENTATIVE PARCEL MAP PM-2015-158 AT 2156 MYRAN DRIVE IN THE R2-MD ZONE**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Sam Khedraki, as the authorized agent on behalf of the property owner, Nolan Chan, requesting approval of the following:

- 1) **Design Review PA-15-52** to construct a small lot subdivision consisting of two, two-story detached single family residences of approximately 3,036 square feet each with attached two-car garages;
- 2) **Tentative Parcel Map PM-2015-158**: A Residential Small Lot Subdivision consisting of two fee simple lots.

WHEREAS, a duly noticed public hearing held by the Planning Commission on February 8<sup>th</sup>, 2016 with all persons having the opportunity to speak for and against the proposal;

WHEREAS, the two-unit project is exempt from the provisions of the California Environmental Quality Act under Section 15332 (Class 32), In-Fill Development.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, and subject to the conditions of approval contained within Exhibit B, the Planning Commission hereby **APPROVES** Planning Application PA-15-52 and Tentative Parcel Map PM-15-158.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-15-52/ Tentative PM-2015-158 and the approval of a corresponding tentative parcel map to be provided and upon applicant's compliance with each and all of the conditions in Exhibit B, and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

BE IT FURTHER RESOLVED that if any section, division, sentence, clause, phrase or portion of this resolution, or the documents in the record in support of this resolution, are for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

**PASSED AND ADOPTED this 8<sup>th</sup> day of February, 2016.**

---

Robert L. Dickson Jr., Chair  
Costa Mesa Planning Commission



## EXHIBIT A

### FINDINGS

- A. The proposed project complies with Costa Mesa Municipal Code Section 13-29(g)(14) because:

**Finding:** The project complies with the City of Costa Mesa Zoning Code and meets the purpose and intent of the residential design guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.

**Facts in Support of Findings:** The creation of the subdivision is consistent with General Plan Land Use Objective LU-1A, A.4, 2 and 2A in that it creates new homeownership opportunities in an infill location which increases attractive housing options and improves the balance between renter and owner occupied housing in the City. The project design complies with all development standards of the Small Lot Subdivision Ordinance. The proposed project does not exceed the maximum density of less than 12 units per acre, and is consistent with the General Plan designation of Medium Density Residential.

As a **condition of approval** the project developer shall provide a new paved driveway surface within the private easement, extending from the subject property to Victoria Street, minimum 16 feet in width, subject to approval by the Planning Division and provide an additional 5 foot landscaping space on the west side of Myran Drive which shall be landscaped with trees and shrubs as well as all trees which are near the southern property line and/or entrance of Myran Drive shall be 24 inch box trees to provide aesthetic view sheds from Victoria, soften Myran Drives streetscape, and increase the privacy between units and the abutting multi-family units to the west.

**Finding:** The visual prominence associated with the construction of a two-story house or addition in a predominantly single-story neighborhood has been reduced through appropriate transitions between the first and second floors and the provision of second floor offsets to avoid flat two-story walls.

**Facts in Support of Finding:** The design of the two-story homes complies with the building mass and form, setbacks, elevation treatments, window placement, and architectural consistency guidelines. The proposed residences include elevations with varied roof forms and elevation treatments to enhance visual interest. The exterior elevations of the proposed homes incorporate front porches and pop-out or setback windows to provide visual interest. The use of horizontal siding, vertical siding, metal seam roofing, and decorative first floor

roof wrap arounds provides a vertical break between the first and second story increasing the overall aesthetic of the project.

The proposed project is not required to comply with an average second-story side setback of ten feet because the second story construction is consistent with the prevailing two-story design within the same residential neighborhood.

As a **condition of approval** the proposed project must not have modification(s) of the approved building elevations including, but not limited to, change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finished material(s) including but not limited to: pop-out windows, horizontal and/or vertical siding, water features, decorative materials providing relief between the first and second floor along the sides of the units, front porches, custom doors, and metal seam roofing. No changes shall be made during construction without prior Planning Division written approval.

- B. The proposed project complies with Costa Mesa Municipal Code Section 13-29(g)(13) because:

**Finding:** The creation of the subdivision and related improvements is consistent with the General Plan and the Zoning Code.

**Facts in Support of Findings:** The creation of the subdivision is consistent with General Plan Land Use Element in that the project complies with Objectives LU-1A, LU-1A.4, and LU-2 by developing owner-occupied housing to improve the balance between rental and ownership housing opportunities, the project provides sufficient amenities as a small lot subdivision development, and encourages increased private market investment that requires no greater demand for infrastructure.

**Finding:** The proposed use of the subdivision is compatible with the General Plan.

**Facts in Support of Findings:** The density for the residential component is 9 units per acre (2 units), which complies with allowable density of 12 units per acre (2 units maximum) per the General Plan.

**Finding:** The subject property is physically suitable to accommodate the subdivision in terms of type, design, and density of development, and will not result in substantial environmental damage nor public health problems, based on compliance with the Zoning Code and General Plan, and consideration of appropriate environmental information.

**Facts in Support of Findings:** The overall design reflects a quality project that is consistent with the intent of the Zoning Code and General Plan. The project site is developed with a residence, and does not have any sensitive environmental resources. The proposed project will provide for high-quality housing and not impede upon the health, safety, and welfare of the surrounding community.

**Finding:** The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code Section 66473.1.

**Facts in Support of Findings:** The proposed buildings include openings in an east-west direction toward sea breezes. There are portions of the roof which are south facing and, therefore, have the potential to provide for active solar heating and energy generation through the use of solar panels.

**Finding:** The subdivision and development of the property will not unreasonably interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.

**Facts in Support of Findings:** As conditioned, the proposed project does not interfere with the public right-of-way nor public utility right of way dedication or easements. The project will be required to underground utility wires which extend over the property.

**Finding:** The discharge of sewage from this subdivision into the public sewer system will not violate the requirements of the California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000 of the Water Code).

**Facts in Support of Findings:** The applicant will be required to comply with all regulations set forth by the Costa Mesa Sanitation District as well as the Irvine Water District.

C. **Finding:** The project is exempt from the provisions of the California Environmental Quality Act under Section 15332 (Class 32) for In-Fill Development.

**Facts in Support of Finding:** The project as mentioned above is consistent with the General Plan designation and zoning code development standards. The project site is not larger than five acres and is surrounded by urban uses. Due to the location and size of the property it has no value as a habitat for endangered, rare, or threatened species. The project only proposes one additional residential unit than what was previously existing in the property therefore no significant effects relating to traffic, noise, air quality, or water quality would occur. There is adequate access to all required utilities and public services for the proposed two units.

D. The project is exempt from Chapter XII, Article 3 Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

## EXHIBIT B

### CONDITIONS OF APPROVAL

- Plng.
1. The expiration of Planning Application PA-15-52 shall occur one year after the application approval. An extension request is needed to extend the expiration for each additional year.
  2. The conditions of approval for PA-15-52 shall be blueprinted on the face of the site plan as part of the plan check submittal package. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
  3. Prior to issuance of building permits, the applicant shall provide proof of recordation of Parcel Tract Map 2015-158.
  4. Street addresses shall be displayed on the fascia adjacent to the main entrance or front door in a manner visible from the private street. Numerals shall be a minimum 6 inches in height with not less than ½-inch stroke and shall contrast sharply with the background.
  5. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
  6. Prior to issuance of a certificate of occupancy, the applicant shall file and record a declaration of covenants, conditions, and restrictions (CC&Rs) on the property. The establishment of a homeowner's association shall be optional. Prior to issuance of a building permit, a draft of the CC&Rs shall be remitted to the Development Services Director and City Attorney's office for review and approval. Because there are no common areas for circulation, parking, or landscape purposes, the CC&Rs shall be limited to the ground rules related to: architectural control over future building modifications or additions, architectural design and guidelines for the property, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts. The Development Services Director has the discretion to request any other provisions in the CC&Rs to promote self-governance between the two property owners.
  7. Prior to issuance of grading or building permits, the applicant shall obtain approval of a hydrology and drainage study showing the method of disposal of storm water.
  8. The interior fences or walls between the individual dwelling units shall be a minimum of six feet in height.
  9. All future walls and fences within front yard setback along Myran Drive shall conform to the standards per the Walls, Fences, and Landscaping Standards and Specifications.
  10. Prior to final inspection, the applicant shall construct a minimum six-foot tall decorative masonry wall around the perimeter of the project site, unless otherwise approved by the Developer Services Director. Where walls on adjacent properties already exist, the applicant shall work with the adjacent property owner(s) to prevent side-by-side walls with gaps in between them and/or provide adequate privacy screening by trees and landscaping.

11. Prior to issuance of grading permits, developer shall submit for review and approval a Construction Management Plan. This plan features methods to minimize disruption to the neighboring residential uses to the fullest extent that is reasonable and practicable. The plan shall include construction parking and vehicle access and specifying staging areas and delivery and hauling truck routes. The plan should mitigate disruption to residents during construction. The truck route plan shall preclude truck routes through residential areas and major truck traffic during peak hours. The total truck trips to the site shall not exceed 200 trucks per day (i.e., 100 truck trips to the site plus 100 truck trips from the site) unless approved by the Development Services Director or Transportation Services Manager.
12. The subject property's ultimate finished grade level may not be filled/raised in excess of 30 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site storm water flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. Such alternatives may include subsurface tie-in to public storm water facilities, subsurface drainage collection systems and/or sumps with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties. Applicant is advised that recordation of a drainage easement across the private street may be required to fulfill this requirement.
13. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
14. No modification(s) of the approved building elevations including, but not limited to, change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. These architectural elements and building materials include but are not limited to change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finished material(s) including but not limited to: pop-out windows, horizontal and/or vertical siding, water features, decorative materials providing relief between the first and second floor along the sides of the units, front porches, custom doors, and metal seam roofing. No changes shall be made during construction without prior Planning Division written approval.
15. A minimum 20-foot by 20-foot clear inside dimension shall be provided for the two-car garages. The proposed garages shall be used for parking as required by code as it is not habitable space; further excess storage which prevents parking the required number of vehicles is prohibited.
16. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.

17. Prior to issuance of building permits, the applicant shall provide the Conditions, Covenants, and Restrictions (CC&Rs) to the Development Services Director and City Attorney's office for review. The CC&Rs must be in a form and substance acceptable to, and shall be approved by the Development Services Director and City Attorney's office.
  - a. The CC&R's shall contain restrictions requiring residents to park vehicles in garage spaces provided for each unit. Storage of other items may occur only to the extent that vehicles may still be parked within the required garage at the number for which the garage was originally designed and to allow for inspections by the association to verify compliance with this condition.
  - b. Any subsequent revisions to the CC&Rs related to these provisions must be reviewed and approved by the City Attorney's office and the Development Services Director before they become effective.
18. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.
19. Prior to issuance of occupancy permits, the Developer shall pay a park impact fee or dedicate parkland to meet the demands of the proposed development.
20. The landscaping of the site will include no less than 15 trees and all trees within ten feet of the southern property line and near the entrance of Myran Drive shall be 24" box trees to provide aesthetic view sheds from Victoria, soften Myran Drives streetscape, and increase the privacy between units and the abutting multi-family units to the west.
21. Prior to certification of occupancy the developer shall provide a new paved driveway surface within the private easement, extending from the subject property to Victoria Street, minimum 16 feet in width, subject to approval by the Planning Division.
22. Parking of vehicles within the private vehicle access easement shall not be permitted.
23. Property line walls or fences shall be constructed at the completion of the rough grading. At the time of removal of any separation barrier including, but not limited to existing fencing, structures or property line hedges, a temporary chain link security fence, minimum six feet high, shall be put in place prior to demolition permit being issued for the property, to separate the subject property from 2166 Myran Drive, which shall remain in place until property line walls or fences have been constructed.

24. Prior to building permits being issued the applicant must submit a revised site plan which incorporates a 5 foot landscaped section between the west property line and the driveway aisle, Myran Drive. With the inclusion of this five foot landscape space both residential units still must maintain a full 25 foot back out space for each parking space and each parking space must maintain their code required dimensions.
25. A revised landscape plan shall be submitted prior to building permits being issued. The plan must show the trees and shrubs to be planted within the 5 foot landscaped space. The applicant shall provide landscape plans which reflect this 5 foot landscape space and identify the location and type of the proposed trees and shrubs for that location.
26. Bathroom window on the north (left side) elevation for the building in proposed parcel #2 shall be elevated and frosted to relieve second story window conflict with the neighbor.
27. All proposed trees must be at least 24' box trees.
- Utilities 28. Prior to the issuance of a connection permit, the applicant shall pay the applicable water connection fees.
29. To avoid an alley-like appearance, the private street shall not be developed with a center concrete swale. The private street shall be complemented by stamped concrete or pervious pavers.
- Bldg 30. Submit separate Architectural plans for each parcel.
31. Submit a precise grading plans, an erosion control plan and a hydrology study.
32. Submit a soils report for this project. Soil's Report recommendations shall be blueprinted on both the architectural and the precise grading plans.
33. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus 2 percent. 2013 California Residential Code CRC 403.1.7.3
34. Lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. CRC R401.3
- Eng. 35. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
36. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
37. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
38. Obtain an encroachment permit from the Engineering Division for any work in the City public right-of-way. Pay required permit fee & cash deposit or surety bond to guarantee construction of off-site street

improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.

39. Fulfill Drainage Fee requirements per City of Costa Mesa Ordinance No. 06-19 prior to approval of Final Map/Approval of Plans.
40. Applicant is informed Victoria Street is under a "NO OPEN CUT" moratorium. Open cutting the street pavement during the moratorium period shall require special resurfacing requirements.

## **CODE REQUIREMENTS**

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. Building permits shall not be issued until a parcel map has been submitted and proof of recordation is provided.
  2. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
  3. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
  4. Development shall comply with all requirements of Section 13-32, Title 13, of the Costa Mesa Municipal Code relating to development standards for residential projects.
  5. All on-site utility services shall be installed underground.
  6. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
  7. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
  8. Two sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
  9. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
  10. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be

in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.

11. If present and/or projected exterior noise exceeds 60 CNEL, California Noise Insulation Standards, Title 25, California Code of Regulations require a maximum interior noise level of 45 CNEL for residential structures. If required interior noise levels are achieved by requiring that windows be inoperable or closed, the design for the structure must also specify the means that will be employed to provide ventilation, and cooling if necessary, to provide a habitable interior environment.
- Bldg. 12. Comply with the requirements of the adopted 2013 California Residential Code, 2013 California Building Code, 2013 California Electrical code, 2013 California Mechanical code, 2013 California Plumbing code, 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted, California Residential Code, California Building code, California Electrical code, California Mechanical code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
13. Submit grading plans, an erosion control plan and a hydrology study.
14. Submit precise grading plans, an erosion control plan and a hydrology study. A precise grading and a hydrology report plan shall not be required if any of the following are met:
  - 1- An excavation which does not exceed 50 CY on any one site and which is less than 2 ft. in vertical depth, or which does not create a cut slope greater than 1 ½:1 (excluding foundation area).
  - 2- A fill less than 1 foot in depth placed on natural grade with a slope flatter than 5:1, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
  - 3- A fill less than 3 ft. in depth, not intended to support structures, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
15. Submit a soil's report for the project. Soil's Report recommendations shall be blueprinted on both the architectural and the precise grading plans.
16. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge device a minimum of 12 inches plus two percent (2%). 2013 California Residential Code CRC 403.1.7.3
17. Lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of six inches within the first ten feet. CRC R401.3
18. Projections, including eaves, shall be one-hour fire resistive construction, heavy timber or of noncombustible material if they project into the five foot setback area from the property line. They may project a maximum of 12 inches beyond the three foot setback. CRC Tables R302.1(1) and R302.1(2).
- Fire 19. Street addresses shall be visible from the public street and may be displayed either on the front door, on the fascia adjacent to the main entrance, or on another prominent location. When the property has alley access, address numerals shall be displayed in a prominent location visible from the alley. Numerals shall be a minimum six (6) inches in

- height with not less than one-half-inch stroke and shall contrast sharply with the background.
- Trans. 20. Construct residential driveway approach at locations specified on submitted site plan. Drive approach dimensions shall be W=16 feet, X=4 feet, per City Standards.
21. Close unused drive approaches with full height curb and gutter per City Standards.
- Eng. 22. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
23. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
24. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
25. Obtain an encroachment permit from the Engineering Division for any work in the City public right-of-way. Pay required permit fee & cash deposit or surety bond to guarantee construction of off-site street improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.
26. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approaches per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager. ADA compliance required for new driveway approaches.
27. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb and sidewalk at applicant's expense.
28. Fulfill Drainage Fee requirements per City of Costa Mesa Ordinance No. 06-19 prior to approval of Final Map/Approval of Plans.
29. Applicant is informed Pacific Avenue is under a "NO OPEN CUT" moratorium. Open cutting the street pavement during the moratorium period shall require special resurfacing requirements.
30. Submit subdivision application and comply with conditions of approval and code requirements.

### **SPECIAL DISTRICT REQUIREMENTS**

The requirements of the following special districts are hereby forwarded to the applicant:

- |        |  |
|--------|--|
| Sani.  | <ol style="list-style-type: none"> <li>1. Applicant will be required to construct sewers to serve this project, at his own expense, meeting the approval of the Costa Mesa Sanitary District.</li> <li>2. County Sanitation District fees, fixture fees, inspection fees, and sewer permit are required prior to installation of sewer. To receive credit for buildings to be demolished, call (714) 754-5307.</li> <li>3. Applicant shall submit a plan showing sewer improvements that meets the District Engineer's approval to the Building Division as part of the plans submitted for plan check.</li> <li>4. The applicant is required to contact the Costa Mesa Sanitary District at (714) 754-5307 to arrange final sign-off prior to certificate of occupancy being released.</li> <li>5. Unless an off-site trash hauler is being used, applicant shall contact the Costa Mesa Sanitary District at (714) 754-5043 to pay trash collection program fees and arrange for service for all new residences. Residences using bin or dumpster services are exempt from this requirement.</li> <li>6. Applicant shall contact Costa Mesa Sanitary District at (949) 654-8400 for any additional district requirements.</li> </ol> |
| AQMD   | <ol style="list-style-type: none"> <li>7. Applicant shall contact the Air Quality Management District (AQMD) at (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.</li> </ol>   |
| School | <ol style="list-style-type: none"> <li>8. Pay applicable Newport Mesa Unified School District fees to the Building Division prior to issuance of building permits.</li> </ol>  |
| State  | <ol style="list-style-type: none"> <li>9. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.</li> </ol>   |
| Water  | <ol style="list-style-type: none"> <li>10. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District</li> </ol>  |

**RESOLUTION NO. PC-16-**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA DENYING PLANNING APPLICATION PA-15-52 AND TENTATIVE PARCEL MAP NO. PM-15-158 FOR PROPERTY AT 2156 MYRAN DRIVE IN THE R2-MD ZONE**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Sam Khedraki, as the authorized agent on behalf of the property owner, Nolan Chan, requesting approval of the following:

- 1) **Design Review PA-15-52** to construct a small lot subdivision consisting of two, two-story detached single family residences of approximately 3,036 square feet each with attached two-car garages;
- 2) **Tentative Parcel Map PM-2015-158**: A Residential Small Lot Subdivision consisting of two fee simple lots.

WHEREAS, a duly noticed public hearing held by the Planning Commission on February 8, 2016 with all persons having the opportunity to speak for and against the proposal;

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, the Planning Commission hereby **DENIES** Planning Application PA-15-52.

**DENIED this 8th day of February, 2016.**

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Robert L. Dickson Jr., Chair  
Costa Mesa Planning Commission

STATE OF CALIFORNIA )  
 )ss  
COUNTY OF ORANGE )

I, Claire Flynn, Secretary to the Planning Commission of the City of Costa Mesa, do hereby certify that the foregoing Resolution was passed and adopted at a meeting of the City of Costa Mesa Planning Commission held on February 8, 2016 by the following votes:

AYES: COMMISSIONERS

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS

ABSTAIN: COMMISSIONERS

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Claire L. Flynn, Secretary  
Costa Mesa Planning Commission

## EXHIBIT A

### FINDINGS (DENIAL)

- A. The proposed project does not comply with Costa Mesa Municipal Code Section 13-29(e) because:
1. A compatible and harmonious relationship does not exist between the proposed use and existing buildings, site development, and uses on surrounding properties.
  2. The proposed project does not comply with the performance standards as prescribed in the Zoning Code.
  3. The proposed project is not consistent with the General Plan or Zoning Code.
- C. The information presented does not comply with Costa Mesa Municipal Code Section 13-29(14) in that the project does not meet the purpose and intent of the Residential Design Guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.
- D. The subdivision of the property is not consistent with the City's General Plan and Zoning Code.
- E. The Costa Mesa Planning Commission has denied Planning Application PA-15-52 and Tentative Parcel Map No. PM-14-444. Pursuant to Public Resources Code Section 21080(b)(5) and CEQA Guidelines Section 15270(a) CEQA does not apply to this project because it has been rejected and will not be carried out.
- F. The project is exempt from Chapter IX, Article 11, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

# TENTATIVE PARCEL MAP No. 2015-158

BEING A SUBDIVISION OF A PORTION OF LOT 28 OF FAIR VIEW FARMS, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8, PAGE 71 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

AZIMI PARSALL & ASSOCIATES, INC. AU AZIMIJARSARAI P.L.S 7325  
REVISED JANUARY 22, 2016

**OWNER & SUBDIVIDER:**

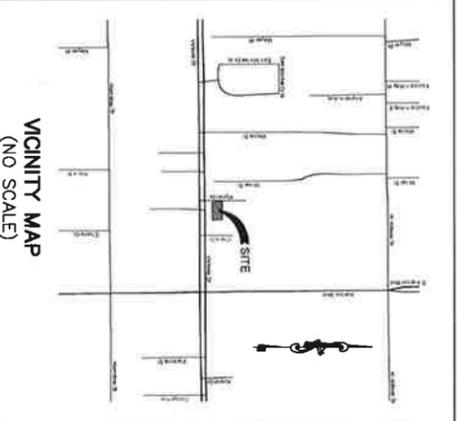
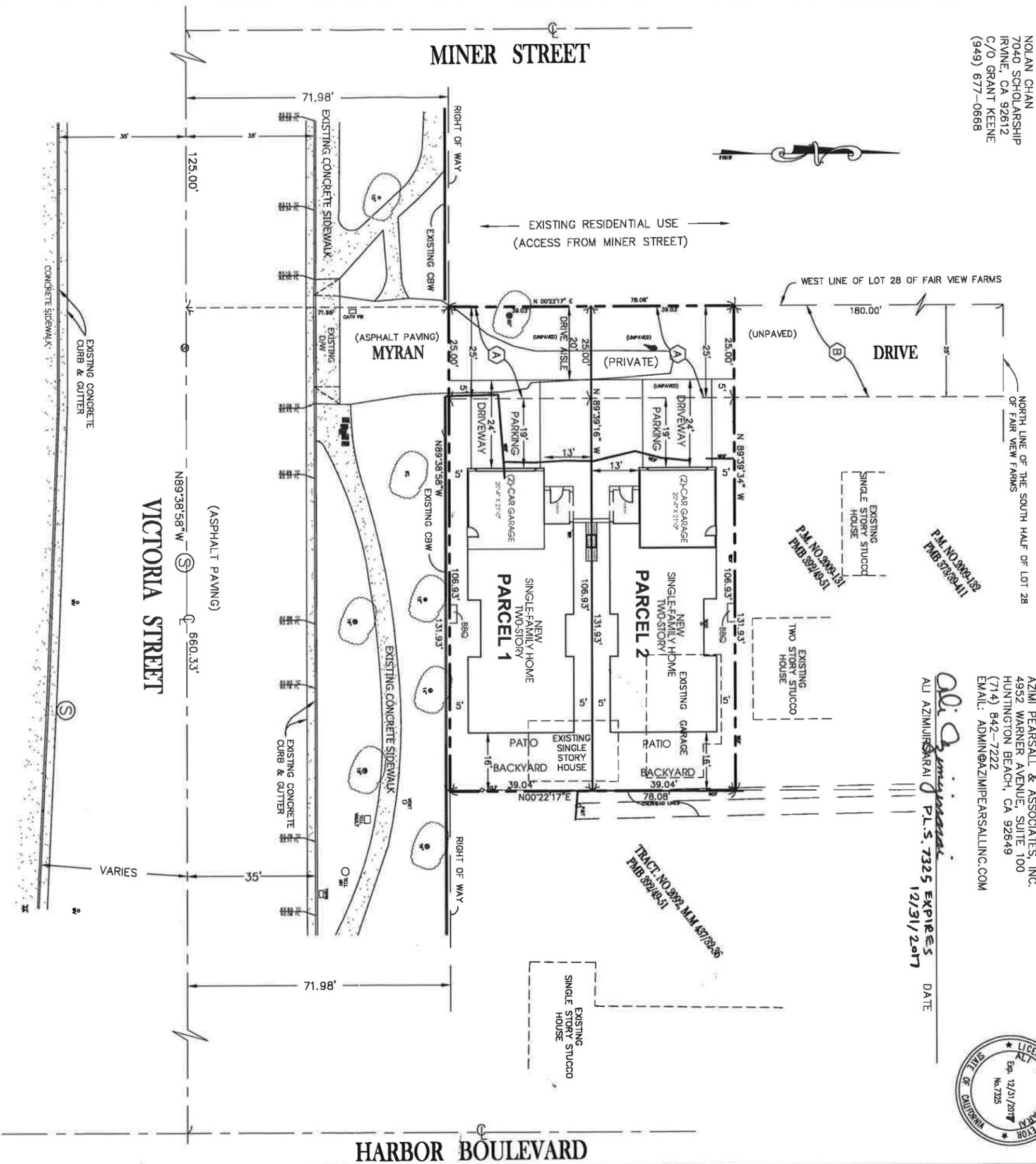
NOLAN CHAN  
7040 SCHOLARSHIP  
IRVINE, CA 92612  
C/O GRANT KEEFE  
(949) 677-0668

**SURVEYOR:**

AZIMI PARSALL & ASSOCIATES, INC.  
4952 WARNER AVENUE, SUITE 100  
HUNTINGTON BEACH, CA 92649  
(714) 842-7222  
EMAIL: ADMIN@AZIMIPARSALLINC.COM



*Ali Azimijarsarai*  
AU AZIMIJARSARAI P.L.S. 7325 EXPIRES 12/31/2017 DATE



**PROPOSED:**  
SUBDIVISION OF EXISTING SINGLE PARCEL INTO TWO SINGLE FAMILY RESIDENTIAL PARCELS, EACH WITH A TWO STORY HOUSE WITH A TWO CAR GARAGE.

**EASEMENTS:**  
(A) 25' WIDE EASEMENT FOR RIGHT OF WAY AND PUBLIC UTILITY EASEMENT PURPOSES PER PARCEL 2 OF DEED RECORDED NOVEMBER 21, 2008 AS INSTRUMENT NO. 2008000544702 OF OFFICIAL RECORD.  
(B) 25' WIDE RIGHT OF WAY FOR ROAD PURPOSES PER PARCEL 2 OF DEED RECORDED APRIL 13, 2015 AS INSTRUMENT NO. 2015000187810 OF OFFICIAL RECORDS.

**NOTES:**  
LAND AREAS:  
GROSS: 10,300 SQ.FT. = 0.236 ACRES (OVERALL)  
NET: 8,348 SQ. FT. = 0.192 ACRES (MINUS 25' EASEMENT)  
PARCEL 1  
GROSS: 5,150 SQ.FT. = 0.118 ACRES  
NET: 4,175 SQ. FT. = 0.096 ACRES  
PARCEL 2  
GROSS: 5,150 SQ.FT. = 0.118 ACRES  
NET: 4,175 SQ.FT. = 0.096 ACRES  
SEPARATE WATER, SEWER, AND GAS WILL BE PROVIDED FOR EACH PARCEL.  
LAND IS NOT SUBJECT TO OVERFLOW OR INUNDATION

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- SITE PLAN KEYNOTES**  
THE KEY NOTES DIRECTLY BELOW REFER TO THE SITE PLAN ONLY.
- 1 NEW CONCRETE DRIVEWAY
  - 2 EXISTING EASEMENT TO REMAIN
  - 3 EXISTING CMU TO REMAIN
  - 4 NEW PLANTER
  - 5 NEW FOUNTAIN
  - 6 NEW BACKYARD LANDSCAPE
  - 7 NEW CONCRETE PATIO
  - 8 NEW 6" HIGH CMU PERIMETER WALL
  - 9 NEW 36" WIDE WOOD GATE
  - 10 NEW CONCRETE WALK

**BUILDING SQUARE FOOTAGES**

PROJECT SQUARE FOOTAGE: OVERALL DEVELOPMENT

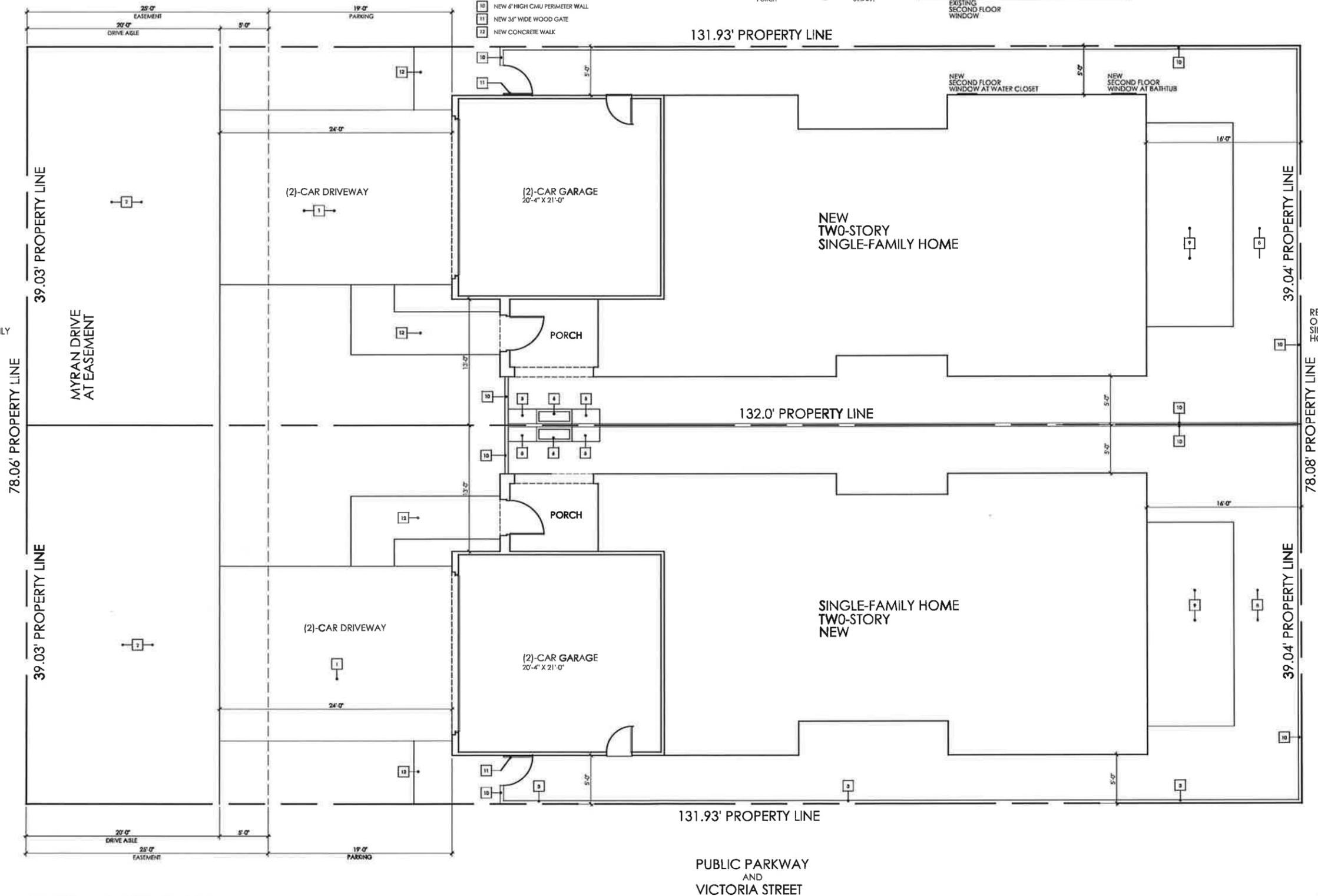
|               |   |             |
|---------------|---|-------------|
| FIRST FLOOR   | = | 2885.0 S.F. |
| SECOND FLOOR  | = | 3188.0 S.F. |
| TOTAL LIVABLE | = | 6073.0 S.F. |
| GARAGE        | = | 924.0 S.F.  |
| PORCH         | = | 163.0 S.F.  |

PROJECT SQUARE FOOTAGE: EACH NEW HOME

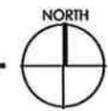
|               |   |             |
|---------------|---|-------------|
| FIRST FLOOR   | = | 1442.5 S.F. |
| SECOND FLOOR  | = | 1594.0 S.F. |
| TOTAL LIVABLE | = | 3036.5 S.F. |
| GARAGE        | = | 462.0 S.F.  |
| PORCH         | = | 81.5 S.F.   |

**SITE PLAN DATA**

|  |                                 |
|--|---------------------------------|
| LOT ZONING:                              | R2-MD                           |
| LOT SIZE:                                | 78.07' AVG. X 131.93'           |
| LOT AREA:                                | 10,299.78 S.F.                  |
| OPEN SPACE:                              | MINIMUM = 30.0% = 3089.93 S.F.  |
|  | PROPOSED = 34.2% = 3724.00 S.F. |
| LANDSCAPED AREA (TURF, SHRUBS AND TREES) | = 1886.00 S.F.                  |



**OVERALL SITE PLAN**  
SCALE: 1/4" = 1'-0"



**SITE PLAN**

SHEET NUMBER: T1

SET/ISSUE DATE: 16 JAN 16

PLAN CHECK NUMBER: 15021

PROJECT NUMBER: 15021

PURPOSE: REVIEW

OWNER: NOLAN CHAN  
7040 SCHOLARSHIP IRVINE, CA 92612

PROJECT: LOT SPLIT / (2) SPEC HOMES  
2156 MYRAN DRIVE COSTA MESA, CA 92627

PROJECT LOCATION: 5500 East 2nd Street, Suite 2  
Naples Island  
Long Beach, California 90803  
562.438.2380

www.sennikoffarchitects.com

**Sennikoff**  
ARCHITECTS

REGISTERED ARCHITECT  
PROFESSIONAL SEAL  
NO. 12789  
STATE OF CALIFORNIA  
EXPIRES 01/31/2017

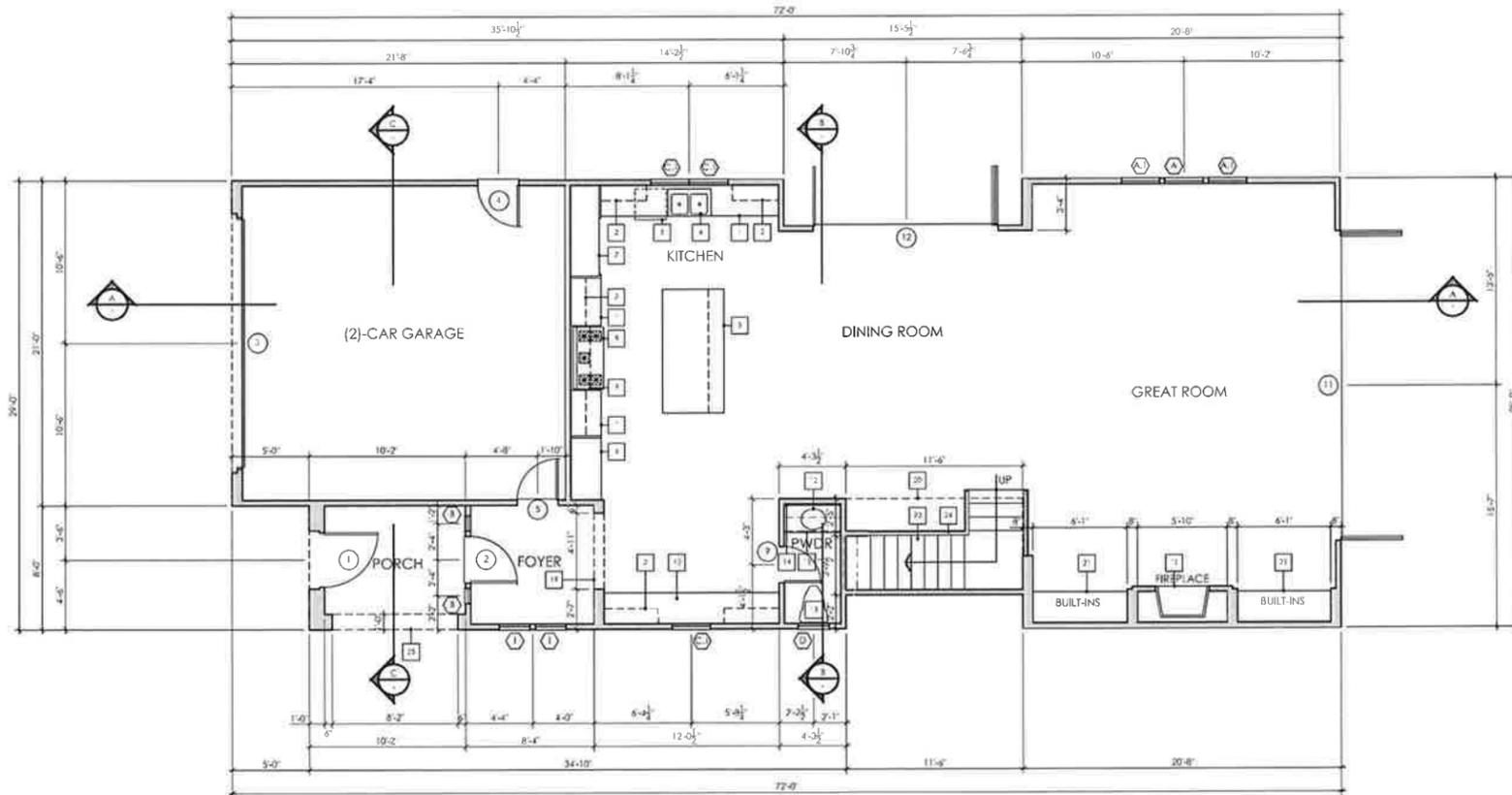
37

**FLOOR PLAN NOTES**

1. [Symbol] INDICATES NEW 2x4 WOOD FRAMED WALLS
2. [Symbol] INDICATES NEW 2x8 WOOD FRAMED WALLS
3. [Symbol] INDICATES NEW 2x8 WOOD FRAMED WALLS
4. [Symbol] INDICATES NEW 2x8 WOOD FRAMED WALLS
5. [Symbol] INDICATES NEW 2x8 WOOD FRAMED WALLS
6. [Symbol] INDICATES NEW 2x8 WOOD FRAMED WALLS
7. [Symbol] INDICATES NEW 2x8 WOOD FRAMED WALLS
8. [Symbol] INDICATES NEW 2x8 WOOD FRAMED WALLS
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28. [Symbol] INDICATES NEW 2x8 WOOD FRAMED WALLS
29. [Symbol] INDICATES NEW 2x8 WOOD FRAMED WALLS
30. [Symbol] INDICATES NEW 2x8 WOOD FRAMED WALLS
31. [Symbol] INDICATES NEW 2x8 WOOD FRAMED WALLS

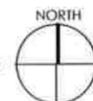
**FLOOR PLAN KEYNOTES**

- THE KEY NOTES DIRECTLY BELOW REFER TO THE FLOOR PLANS ONLY
1. 36" HIGH X 24" DEEP BASE CABINET WITH STONE TOP, EDGE AND SPLASH- OWNER TO SELECT CABINET MATERIAL, STYLE AND FINISH
  2. 12" DEEP UPPER CABINETS- OWNER TO SELECT CABINET MATERIAL, STYLE AND FINISH
  3. 4'-0" X 6'-0", 36" HIGH CABINET ISLAND WITH STONE TOP AND EDGE- OWNER TO SELECT CABINET ISLAND MATERIAL, STYLE AND FINISH
  4. KITCHEN SINK- OWNER TO SELECT
  5. DISHWASHER- OWNER TO SELECT
  6. REFRIGERATOR- OWNER TO SELECT
  7. BUILT-IN PANTRY- PROVIDE ADJUSTABLE SHELF SYSTEM- OWNERS TO SELECT
  8. FREESTANDING SLIDE-IN RANGE WITH INTEGRAL OVEN- OWNER TO SELECT
  9. EXHAUST HOOD- OWNERS TO SELECT
  10. DESK/DISPLAY/BOOKCASE- OWNERS TO SELECT
  11. FIREPLACE
  12. SINK- OWNER TO SELECT
  13. LOW-FLOW TOILET- OWNER TO SELECT
  14. TEMPERED GLASS MIRROR
  15. 34" HIGH X 24" DEEP BASE CABINET WITH STONE TOP, EDGE AND SPLASH- OWNERS TO SELECT CABINET MATERIAL, STYLE AND FINISH
  16. TILE/STONE SHOWER PAN AND CURB WITH TILE/STONE WALLS TO CURBING AND CLEAR TEMPERED GLASS ENCLOSURE. SET TILE/STONE OVER WATER RESISTANT GYPCBOARD OR EQUAL. OWNERS TO SELECT TILE/STONE AND FIXTURES
  17. TILE/STONE SEAT, 16" H. X 14" W. X LENGTH PER DRAINING. SET TILE/STONE OVER WATER RESISTANT GYPCBOARD OR EQUAL. OWNERS TO SELECT TILE/STONE.
  18. CLOSET STORAGE SYSTEM- OWNERS TO SELECT
  19. LINE OF SOFFIT ABOVE
  20. LINE CEILING CHANGE ABOVE
  21. BUILT-IN CABINETS- OWNERS TO SELECT
  22. LINEN CLOSET
  23. HARDWOOD STAIRS- REFER TO FLOOR PLAN NOTES
  24. CONTINUOUS STAIR HANDRAIL, 34" TO 38" ABOVE STAIR NOSING- OWNER TO SELECT MATERIAL, STYLE AND FINISH
  25. LINE OF EXTERIOR SOFFIT ABOVE
  26. WASHER SPACE- PROVIDE RECESSED HOSE CONNECTIONS- OWNERS TO SELECT APPLIANCE
  27. DRYER SPACE- PROVIDE VENT THROUGH FLOOR TO NEAREST OUTSIDE WALL- OWNERS TO SELECT APPLIANCE
  28. FORCED AIR HEATING UNIT IN ATRIC PER THE TILE-24 REPORT. INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS. PROVIDE PLYWOOD PLATFORM AT UNIT. PROVIDE PLYWOOD CATWALK FROM ATRIC ACCESS TO UNIT. PROVIDE LIGHT, SWITCH AND F.O.
  29. 36" WIDE X 70" LONG FREESTANDING BATH TUB- OWNERS TO SELECT FIXTURE AND ACCESSORIES- VERIFY DIMENSIONS WITH OWNERS' SELECTED TUB
  30. LAUNDRY SINK- OWNERS TO SELECT
  31. FIREGLASS TUB- OWNER COMBO TO BE SELECTED BY OWNER- INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS



**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**FIRST FLOOR PLAN**

|                |                |                   |               |
|----------------|----------------|-------------------|---------------|
| SHEET NUMBER   | SET ISSUE DATE | PLAN CHECK NUMBER | SET REVISIONS |
| <b>A1.2</b>    | 16 JAN 16      |                   |               |
| PROJECT NUMBER | PURPOSE        | REVIEW            |               |
| 15021          |                |                   |               |

OWNER:  
**NOLAN CHAN**  
7040 SCHOLARSHIP  
IRVINE, CA 92612

PROJECT:  
**LOT SPLIT / (2) SPEC HOMES**

**5500 East 2nd Street, Suite 2**  
**Naples Island**  
**Long Beach, California 90803**  
**562.438.2380**



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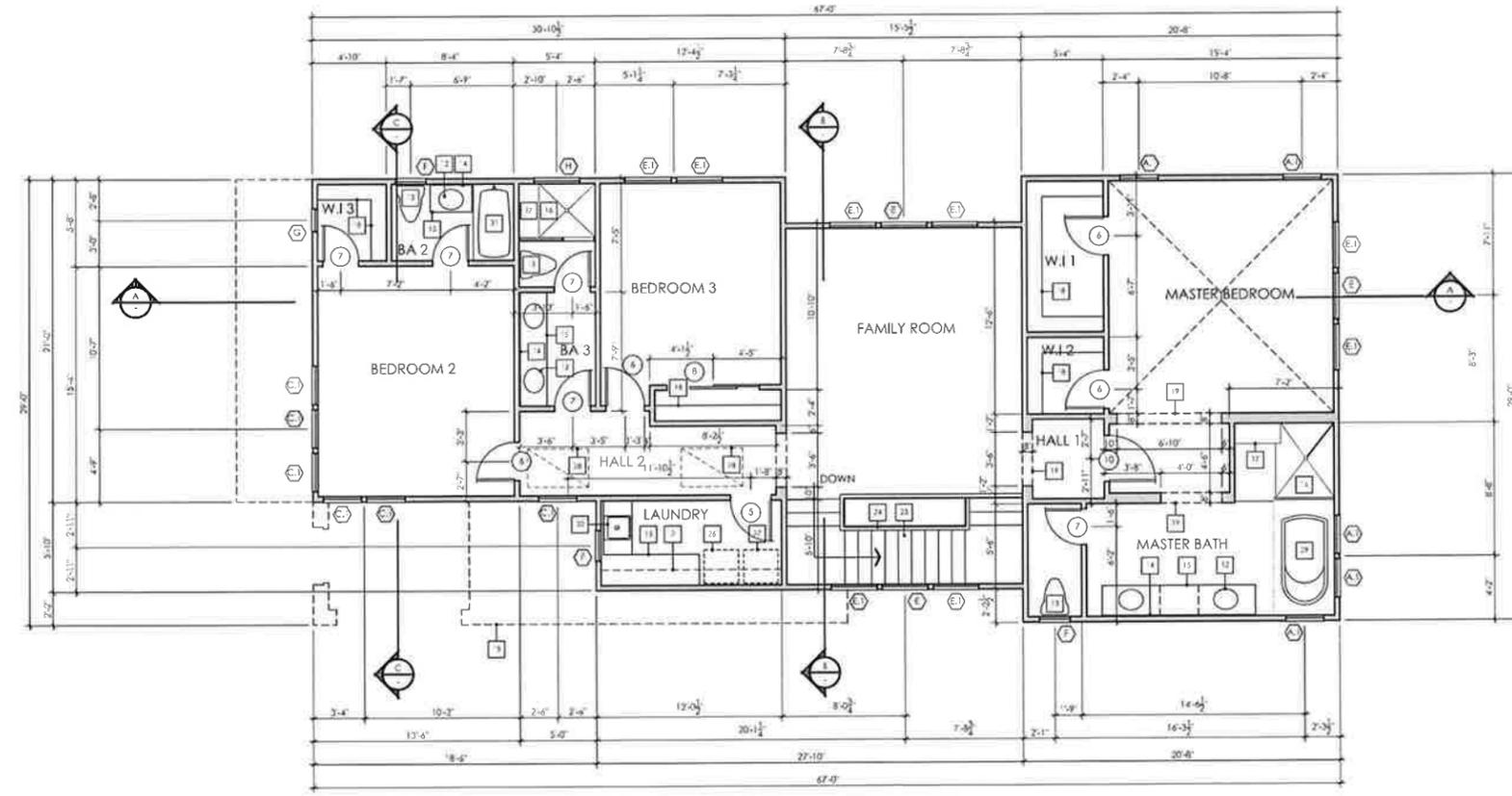
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FLOOR PLAN NOTES

- 1. [Symbol] INDICATES NEW 2x4 WOOD FRAMED WALLS
- 2. [Symbol] INDICATES NEW 2x6 WOOD FRAMED WALLS
- 3. [Symbol] INDICATES NEW 2x8 WOOD FRAMED WALLS
- 4. [Symbol] INDICATES W/4 SOFFITS OR CEILING AT THE FIRST AND SECOND FLOORS (U.N.O.)
- 5. [Symbol] INDICATES W/4 SOFFITS OR CEILING AT THE FIRST AND SECOND FLOORS (U.N.O.)
- 6. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE PERMANENTLY WIRED, INTERCONNECTED, AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. REFER TO UTILITY PLANS.
- 7. BATHS AND SHOWER FLOORS, WALLS ABOVE BATH-TUBS WITH SHOWER HEADS AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)
- 8. STAIRWAYS: MAXIMUM RISE OF 7.75" AND A MINIMUM RUN (HEAD) OF 10" STAIR SHALL BE PROVIDED WITH 0.75 TO 1.25" ROUNDOFF WHEN THE TREAD DEPTH IS LESS THAN 11"
- 9. STAIRWAYS: MINIMUM HEAD ROOM CLEARANCE SHALL BE 6'-8"
- 10. STAIRWAYS: HANDRAIL SHALL BE 34" TO 38" ABOVE THE NOSING OF TREADS. (THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25 INCHES FOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. IF HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NOT GREATER THAN 4.25 INCHES WITH A MAXIMUM CROSS-SECTION DIMENSION OF 2.25 INCHES.
- 11. STAIRWAYS: THE TRIANGULAR AREA FORMED BY THE RISER, TREAD AND BOTTOM OF GUARDRAIL SHALL BE SIZED SO THAT A 6 INCH SPHERE CAN NOT PASS THROUGH. (C.R.C. 312.3)
- 12. STAIRWAYS: THE INTERMEDIATE BALUSTERS SHALL BE SPACED SO A 4 INCH SPHERE CAN NOT PASS THROUGH.
- 13. PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED WATER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (C.R.C. 308)
- 14. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- 15. ALL FIREPLACES MUST BE DIRECT-VENTED AND SEALED COMBUSTION TYPE.
- 14. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.
- 15. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF OPENING GLAZED OPENINGS IN ACCORDANCE WITH SECTION R302.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- 16. DUCTS PENETRATING THE WALLS OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 28 GAUGE GALV. SHEET STEEL OR OTHER APPROVED MATERIAL AND THERE SHALL BE NO OPENINGS FROM THE DUCTS INTO THE GARAGE. (R302.5.2) OTHER PENETRATIONS OF GARAGE/DWELLING CEILING AND WALLS ARE TO BE PROTECTED AS REQUIRED BY SECTION R302.11 ITEM 4. (R302.3.3)
- 17. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY.
- 18. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.4)
  - A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOOR ASSEMBLIES.
  - B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
  - C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
    - 1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
    - 2. BOTTOM EDGE LESS THAN 18 INCHES ABOVE FLOOR.
    - 3. TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR.
    - 4. ONCE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.

FLOOR PLAN KEYNOTES

- THE KEY NOTES DIRECTLY BELOW REFER TO THE FLOOR PLANS ONLY
- 1. 36" HIGH X 24" DEEP BASE CABINET WITH STONE TOP, EDGE AND SPLASH-OWNER TO SELECT CABINET MATERIAL, STYLE AND FINISH
  - 2. 12" DEEP UPPER CABINETS- OWNER TO SELECT CABINET MATERIAL, STYLE AND FINISH
  - 3. 4'-0" X 6'-0", 3/4" HIGH CABINET ISLAND WITH STONE TOP AND EDGE- OWNER TO SELECT CABINET MATERIAL, STYLE AND FINISH
  - 4. KITCHEN SINK- OWNER TO SELECT
  - 5. DISHWASHER- OWNER TO SELECT
  - 6. REFRIGERATOR- OWNER TO SELECT
  - 7. BUILT-IN PANTRY- PROVIDE ADJUSTABLE SHELF SYSTEM- OWNERS TO SELECT
  - 8. FREE-STANDING SLIDE-IN RANGE WITH INTEGRAL OVEN- OWNER TO SELECT
  - 9. EX-AUX HOOD- OWNERS TO SELECT
  - 10. DESK/DISPLAY/BOOKCASE- OWNERS TO SELECT
  - 11. FIREPLACE
  - 12. SINK- OWNER TO SELECT
  - 13. LOW-FLOW TOILET- OWNER TO SELECT
  - 14. TEMPERED GLASS MIRROR
  - 15. 34" HIGH X 24" DEEP BASE CABINET WITH STONE TOP, EDGE AND SPLASH- OWNERS TO SELECT CABINET MATERIAL, STYLE AND FINISH
  - 16. TILE/STONE SHOWER PAN AND CURB WITH TILE/STONE WALLS TO CEILING AND CLEAR TEMPERED GLASS ENCLOSURE. SET TILE/STONE OVER WATER RESISTANT GYPSUM BOARD OR EQUAL. OWNERS TO SELECT TILE/STONE AND FIXTURES.
  - 17. TILE/STONE SEAT, 18" H. X 16" W. X LENGTH PER DRAWING. SET TILE/STONE OVER WATER RESISTANT GYPSUM BOARD OR EQUAL. OWNERS TO SELECT TILE/STONE.
  - 18. CLOSET STORAGE SYSTEM- OWNERS TO SELECT
  - 19. LINE OF SOFFIT ABOVE
  - 20. LINE CEILING CHANGE ABOVE
  - 21. BUILT-IN CABINETS- OWNERS TO SELECT
  - 22. LINEN CLOSET
  - 23. HARDWOOD STAIRS- REFER TO FLOOR PLAN NOTES
  - 24. CONTINUOUS STAIR HANDRAIL, 34" TO 38" ABOVE STAIR NOSING- OWNER TO SELECT MATERIAL, STYLE AND FINISH
  - 25. LINE OF EXTERIOR SOFFIT ABOVE
  - 26. WASHER SPACE- PROVIDE RECESSED HOSE CONNECTIONS- OWNERS TO SELECT APPLIANCE
  - 27. DRYER SPACE- PROVIDE VENT THROUGH FLOOR TO NEAREST OUTSIDE WALL- OWNERS TO SELECT APPLIANCE
  - 28. FORCED AIR HEATING UNIT IN ATTIC PER THE TITLE-24 REPORT. INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS. PROVIDE PLYWOOD PLATFORM AT UNIT. PROVIDE PLYWOOD CATWALK FROM ATTIC ACCESS TO UNIT. PROVIDE LIGHT SWITCH AND FG.
  - 29. 36" WIDE X 70" LONG FREE-STANDING BATH TUB- OWNERS TO SELECT FIXTURE AND ACCESSORIES- VERIFY DIMENSIONS WITH OWNERS' SELECTED TUB
  - 30. LAUNDRY SINK- OWNERS TO SELECT
  - 31. FIBERGLASS TUB/SHOWER COMBO TO BE SELECTED BY OWNER- INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS
  - 32. LINE OF BUILDING BELOW



SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

SECOND FLOOR PLAN

|                |                |                   |         |
|----------------|----------------|-------------------|---------|
| SHEET NUMBER   | SET ISSUE DATE | PLAN CHECK NUMBER | PURPOSE |
| A1.3           | 16 JAN 16      |                   | REVIEW  |
| PROJECT NUMBER |                |                   |         |
| 15021          |                |                   |         |

OWNER:  
**NOLAN CHAN**  
7040 SCHOLARSHIP  
IRVINE, CA. 92612

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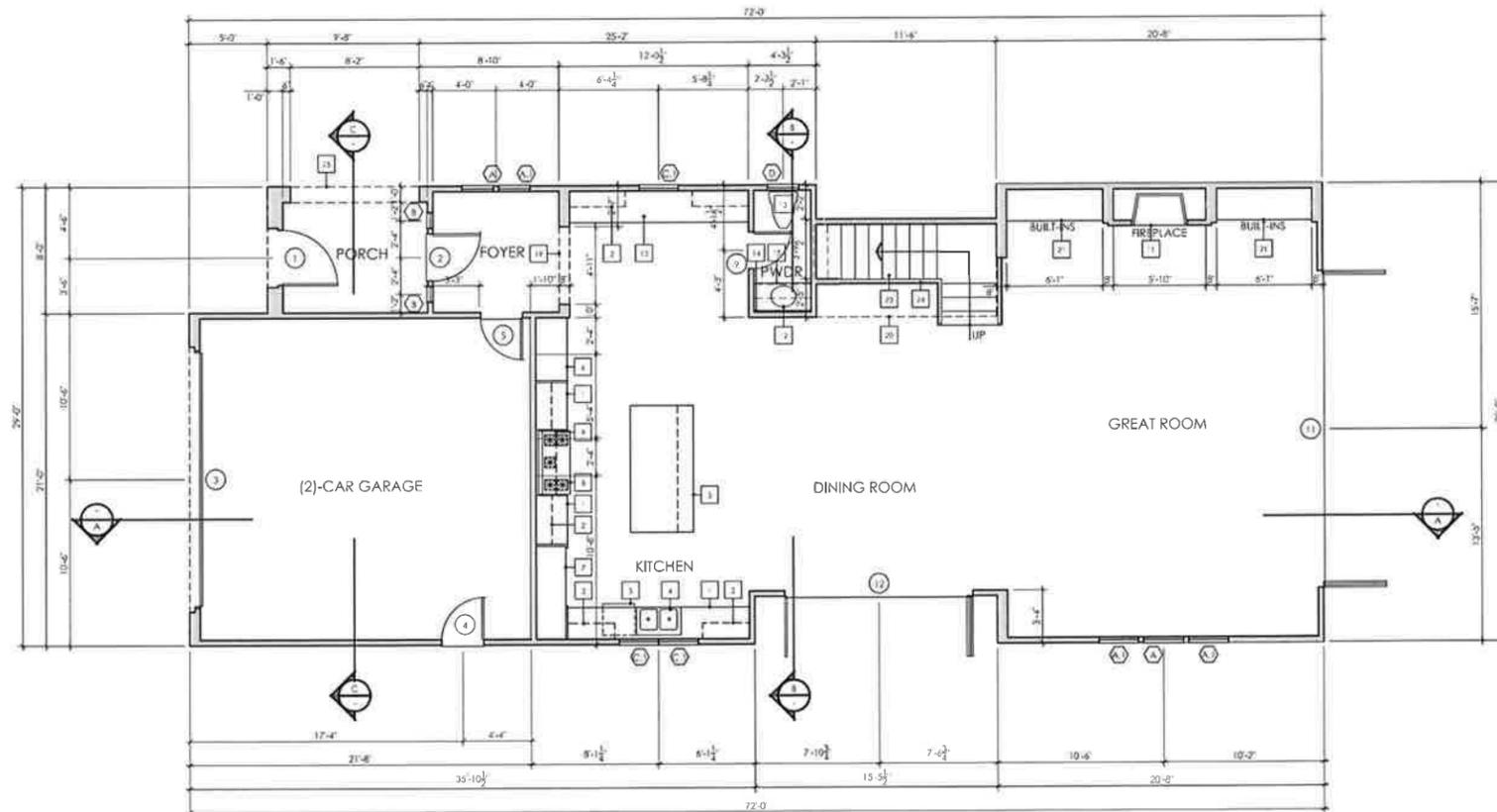
www.sennikoffarchitects.com

FLOOR PLAN NOTES

- INDICATES NEW 2x4 WOOD FRAMED WALLS
- INDICATES NEW 2x6 WOOD FRAMED WALLS
- INDICATES NEW 2x6 WOOD FRAMED WALLS
- INDICATES NEW SOFFITS OR CEILINGS AT THE FIRST AND SECOND FLOORS (UN.O.)
- INDICATES NEW SOFFITS OR CEILINGS AT THE FIRST AND SECOND FLOORS (UN.O.)
- INDICATES NEW SOFFITS OR CEILINGS AT THE FIRST AND SECOND FLOORS (UN.O.)
- SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE 1'0" PERMANENTLY WIRED, INTERCONNECTED, AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. REFER TO UTILITY PLANS.
- BATH AND SHOWER FLOORS: WALLS ABOVE BATHS WITH SHOWER HEADS AND 3'0" COUNTERS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR (R007.2)
- STAIRWAYS: MAXIMUM RISE OF 7.75" AND A MINIMUM RUN (TREAD) OF 10". STAIR SHALL BE PROVIDED WITH 0.75" TO 1.25" HOLES WHEN THE TREAD DEPTH IS LESS THAN 11".
- STAIRWAYS: MINIMUM HEADROOM CLEARANCE SHALL BE 6'-8".
- STAIRWAYS: HANDRAIL SHALL BE 34" TO 38" ABOVE THE NOSING OF TREADS. THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25 INCHES NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. IF HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF A LEAST 4 INCHES AND NOT GREATER THAN 6.25 INCHES WITH A MAXIMUM CROSS-SECTION DIMENSION OF 2.25 INCHES.
- STAIRWAYS: THE TRIANGULAR AREA FORMED BY THE RISE, TREAD AND BOTTOM OF GLAZED RAIL SHALL BE SIZED SO THAT A 6 INCH SPHERE CAN NOT PASS THROUGH. (IRC 312.3)
- STAIRWAYS: THE INTERMEDIATE BALUSTERS SHALL BE SPACED SO A 4 INCH SPHERE CAN NOT PASS THROUGH.
- PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (IRC 308)
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- ALL FIREPLACES MUST BE DIRECT-VENTED AND SEALED COMBUSTION TYPE.
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R003.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHTING THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 5 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R003.1)
- DUCTS PENETRATING THE WALLS OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAUGE GALV. SHEET STEEL OR OTHER APPROVED MATERIAL AND THERE SHALL BE NO OPENINGS FROM THE DUCTS INTO THE GARAGE. (R003.5) OTHER PENETRATIONS OF GARAGE DWELLING CEILING AND WALLS ARE TO BE PROTECTED AS REQUIRED BY SECTION R002.1, ITEM 4. (R003.5)
- GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY.
- GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R003.3 (SEE ELEVATIONS) (R003.3)
  - FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOOR ASSEMBLIES.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 48 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
    - EXPOSED AREA OF AN INDIVIDUAL PANEL GREATER THAN 9 SQUARE FEET.
    - BOTTOM EDGE LESS THAN 18 INCHES ABOVE FLOOR.
    - TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR.
    - ONCE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.

FLOOR PLAN KEYNOTES

- THE KEY NOTES DIRECTLY BELOW REFER TO THE FLOOR PLANS ONLY.
- 36" HIGH X 24" DEEP BASE CABINET WITH STONE TOP, EDGE AND SPLASH- OWNER TO SELECT CABINET MATERIAL, STYLE AND FINISH
  - 12" DEEP UPPER CABINETS- OWNER TO SELECT CABINET MATERIAL, STYLE AND FINISH
  - 4'-0" X 8'-0" 36" HIGH CABINET ISLAND WITH STONE TOP AND EDGE- OWNER TO SELECT CABINET MATERIAL, STYLE AND FINISH
  - KITCHEN SINK- OWNER TO SELECT
  - DISHWASHER- OWNER TO SELECT
  - REFRIGERATOR- OWNER TO SELECT
  - BUILT-IN PANTRY- PROVIDE ADJUSTABLE SHELF SYSTEM- OWNERS TO SELECT
  - FRESHENDING SLIDE-IN RANGE WITH INTEGRAL OVEN- OWNER TO SELECT
  - EXHAUST HOOD- OWNERS TO SELECT
  - DESK/DISPLAY/BOOKCASE- OWNERS TO SELECT
  - FIREPLACE
  - SINK- OWNER TO SELECT
  - LOW-FLOW TOILET- OWNER TO SELECT
  - TEMPERED GLASS MIRROR
  - 34" HIGH X 24" DEEP BASE CABINET WITH STONE TOP, EDGE AND SPLASH- OWNER TO SELECT CABINET MATERIAL, STYLE AND FINISH
  - TELESTONE SHOWER PAN AND CURB WITH TELESTONE WALLS TO CEILING AND CLEAR TEMPERED GLASS ENCLOSURE. SET TELESTONE OVER WATER RESISTANT GYFBOARD OR EQUAL. OWNERS TO SELECT TELESTONE AND FIXTURES
  - TELESTONE SEAT, 18" H. X 16" W. X LENGTH PER DRAWING. SET TELESTONE OVER WATER RESISTANT GYFBOARD OR EQUAL. OWNERS TO SELECT TELESTONE.
  - CLOSET STORAGE SYSTEM- OWNERS TO SELECT
  - LINE OF SOFFIT ABOVE
  - LINE CEILING CHANGE ABOVE
  - BUILT-IN CABINETS- OWNERS TO SELECT
  - LINEN CLOSET
  - HARDWOOD STAIRS- REFER TO FLOOR PLAN NOTES
  - CONTINUOUS STAIR HANDRAIL 34" TO 38" ABOVE STAIR NOSING- OWNER TO SELECT MATERIAL, STYLE AND FINISH
  - LINE OF EXTERIOR SOFFIT ABOVE
  - WASHER SPACE- PROVIDE RECESSED HOSE CONNECTIONS- OWNERS TO SELECT APPLIANCE
  - DRYER SPACE- PROVIDE VENT THROUGH FLOOR TO NEAREST OUTSIDE WALL- OWNERS TO SELECT APPLIANCE
  - FORCED AIR HEATING UNIT IN ATTIC PER THE BLUE-PRINT REPORT. INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS. PROVIDE PLYWOOD PLATFORM AT UNIT. PROVIDE PLYWOOD CATWALK FROM ATTIC ACCESS TO UNIT. PROVIDE LIGHT, SWITCH AND FG.
  - 36" WIDE X 70" LONG FRESHENDING BATH TUB- OWNERS TO SELECT FINISH AND ACCESSORIES- VERIFY DIMENSIONS WITH OWNER'S SELECTED TUB
  - LAUNDRY SINK- OWNERS TO SELECT
  - FIBERGLASS TUB/SHOWER COMBO TO BE SELECTED BY OWNER- INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS



FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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FIRST FLOOR PLAN

|                   |           |
|-------------------|-----------|
| SHEET NUMBER      | 15021     |
| SET ISSUE DATE    | 16 JAN 16 |
| PLAN CHECK NUMBER |           |
| SET REVISIONS     |           |
| PURPOSE           | REVIEW    |

A2.2

OWNER:  
**NOLAN CHAN**  
7040 SCHOLARSHIP  
IRVINE, CA 92612

PROJECT:  
**LOT SPLIT / (2) SPEC HOMES**

**5500 East 2nd Street, Suite 2**  
**Naples Island**  
**Long Beach, California 90803**  
**562.438.2380**



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**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**ELEVATION MATERIALS AND COLORS**

TRADITIONAL COASTAL STYLE ELEVATION WITH WHITE BOARD AND BATTEN SUSTAINABLE SIDING AT THE UPPER THIRD OF THE HOME. WITH A COMPLEMENTARY LIGHT COOL GRAY STUCCO BASE BELOW. WOOD TRIM ACCENTS PAINTED WHITE. WHITE VINYL WINDOWS, AND WHITE PAINTED DOORS. THE ROOF IS MEDIUM COOL GRAY STANDING SEAM METAL ROOF THAT IS HIGHLY DURABLE, SUSTAINABLE AND LONG LASTING.

- 1 STANDING SEAM METAL ROOF, CLASS A- MEDIUM COOL GRAY COLOR
- 2 2X WOOD SARGE BOARD - PRIMED AND PAINTED WHITE
- 3 2X WOOD FACIA BOARD AND TRIM - PRIMED AND PAINTED WHITE
- 4 CEMENT-BASED HARDIPANEL SMOOTH VERTICAL SIDING- WHITE
- 5 SMOOTH FINISHED STUCCO- LIGHT COOL GRAY
- 6 WHITE VINYL WINDOWS- DUAL GLAZED, HIGH EFFECENCY
- 7 DOORS PAINTED WHITE
- 8 CEMENT-BASED HARDIETRIM BOARDS, SMOOTH FINISH - WHITE
- 9 26 GAUGE GALV. METAL WEEP SCREED FOR WATER PENETRATION CONTROL
- 10 WOODEN GATE - PRIMED AND PAINTED WHITE
- 11 6' HIGH CONCRETE BLOCK WALL WITH SMOOTH STUCCO OVER- LIGHT COOL GRAY
- 12 HARDITRIM SMOOTH BATTEN BOARDS AT 18" O.C.- WHITE

**EXTERIOR ELEVATIONS**

SHEET NUMBER: **A2.6**  
 SET ISSUE DATE: 16 JAN 16  
 PLAN CHECK NUMBER: \_\_\_\_\_  
 PROJECT NUMBER: 15021  
 PURPOSE: REVIEW



OWNER:  
**NOLAN CHAN**  
 7040 SCHOLARSHIP  
 IRVINE, CA 92612

PROJECT:  
**LOT SPLIT / (2) SPEC HOMES**  
 2156 MYRAN DRIVE  
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**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

- ELEVATION MATERIALS AND COLORS**
- TRADITIONAL COASTAL STYLE ELEVATION WITH WHITE BOARD AND BATTON SUSTAINABLE SIDING AT THE UPPER THIRD OF THE HOME, WITH A COMPLEMENTARY LIGHT COOL GRAY STUCCO BASE BELOW, WOOD TRIM ACCENTS PAINTED WHITE, WHITE VINYL WINDOWS, AND WHITE PAINTED DOORS. THE ROOF IS A MEDIUM COOL GRAY STANDING SEAM METAL ROOF THAT IS HIGHLY DURABLE, SUSTAINABLE AND LONG LASTING.
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  - 5 SMOOTH FINISHED STUCCO- LIGHT COOL GRAY
  - 6 WHITE VINYL WINDOWS- DUAL GLAZED, HIGH EFFECIENCY
  - 7 DOORS PAINTED WHITE
  - 8 CEMENT-BASED HARDITRIM BOARDS, SMOOTH FINISH - WHITE
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  - 12 HARDITRIM SMOOTH BATTEN BOARDS AT 18" O.C.- WHITE

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EXTERIOR ELEVATIONS

|              |                |                   |               |
|--------------|----------------|-------------------|---------------|
| SHEET NUMBER | SET ISSUE DATE | PLAN CHECK NUMBER | SET REVISIONS |
| A2.7         | 16 JAN 16      |                   |               |
|              | PROJECT NUMBER | PURPOSE           |               |
|              | 15021          | REVIEW            |               |

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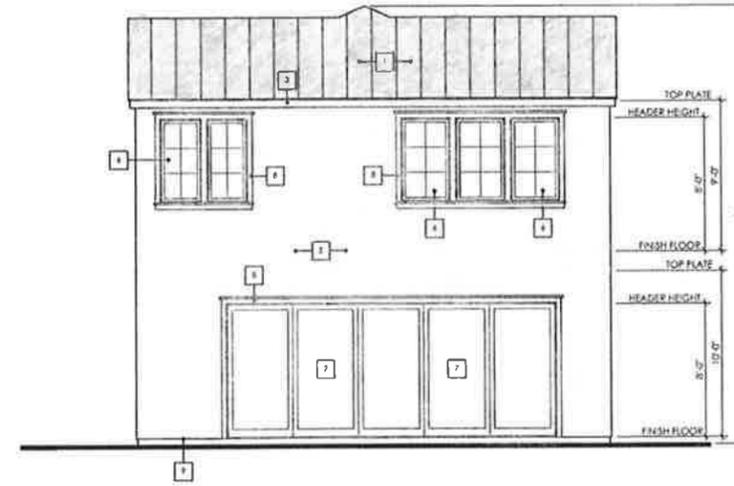
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**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

**ELEVATION MATERIALS AND COLORS**

TRADITIONAL STYLE ELEVATION WITH WARM BEIGE SUSTAINABLE SIDING AND COMPLEMENTARY WARM GRAY STUCCO, WOOD TRIM ACCENTS PAINTED WHITE, WHITE VINYL WINDOWS, AND BROWN PAINTED DOORS. THE ROOF IS A MEDIUM WARM GRAY STANDING SEAM METAL ROOF THAT IS HIGHLY DURABLE, SUSTAINABLE AND LONG LASTING.

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- 5 SMOOTH FINISHED STUCCO- LIGHT WARM GRAY
- 6 WHITE VINYL WINDOWS- DUAL GLAZED, HIGH EFFICIENCY
- 7 DOORS PAINTED BROWN
- 8 CEMENT-BASED HARDIETRIM BOARDS, SMOOTH FINISH - WHITE
- 9 26 GAUGE GALV. METAL WEEP SCREED FOR WATER PENETRATION CONTROL
- 10 WOODEN GATE - PRIMED AND PAINTED BROWN
- 11 6" HIGH CONCRETE BLOCK WALL WITH SMOOTH STUCCO OVER- LIGHT WARM GRAY

**EXTERIOR ELEVATIONS**

|                |                |                   |               |
|----------------|----------------|-------------------|---------------|
| SHEET NUMBER   | SET ISSUE DATE | PLAN CHECK NUMBER | SET REVISIONS |
| <b>A1.7</b>    | 16 JAN 16      |                   |               |
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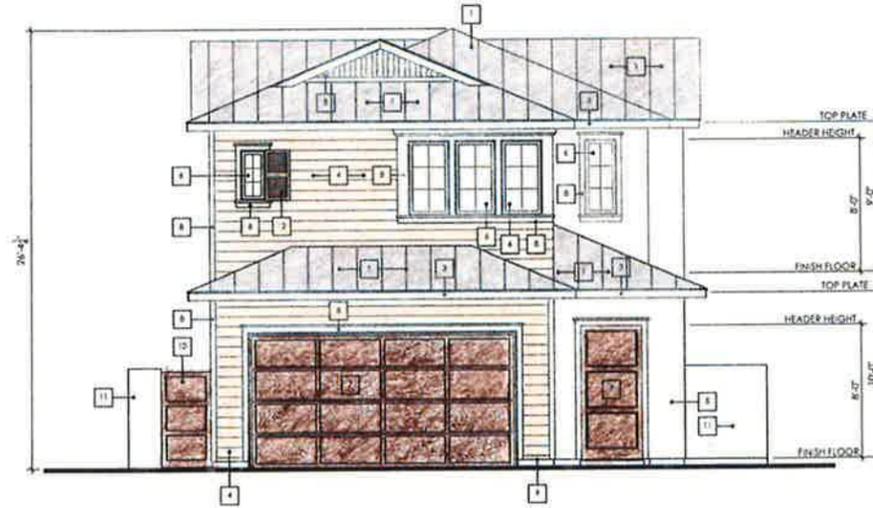


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**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**ELEVATION MATERIALS AND COLORS**

TRADITIONAL STYLE ELEVATION WITH WARM BEIGE SUSTAINABLE SIDING AND COMPLEMENTARY WARM GRAY STUCCO, WOOD TRIM ACCENTS PAINTED WHITE, WHITE VINYL WINDOWS, AND BROWN PAINTED DOORS. THE ROOF IS A MEDIUM WARM GRAY STANDING SEAM METAL ROOF THAT IS HIGHLY DURABLE, SUSTAINABLE AND LONG LASTING.

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- 9 26 GAUGE GALV. METAL WEEP SCREED FOR WATER PENETRATION CONTROL
- 10 WOODEN GATE - PRIMED AND PAINTED BROWN
- 11 6" HIGH CONCRETE BLOCK WALL WITH SMOOTH STUCCO OVER- LIGHT WARM GRAY
- 12 WOOD SLATTED SHUTTER- PRIMED AND PAINTED DARK GREEN

**EXTERIOR ELEVATIONS**

|                |                |                   |               |
|----------------|----------------|-------------------|---------------|
| SHEET NUMBER   | SET ISSUE DATE | PLAN CHECK NUMBER | SET REVISIONS |
| <b>A1.6</b>    | 16 JAN 16      |                   |               |
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**LANDSCAPE NOTE:**

ALL LANDSCAPE PLANS AND INSTALLATIONS SHALL COMPLY WITH THE CITY OF COSTA MESA DESIGN GUIDELINES, CODES AND REGULATIONS.

LOW VOLUME DISTRIBUTION IRRIGATION SYSTEM WITH WEATHER BASED AUTOMATIC IRRIGATION CONTROLLER SHALL BE USED IN COMPLIANCE WITH THE CITY WATER EFFICIENT LANDSCAPE GUIDELINES.

RAINBIRD SQ, STREAM BUBBLER, DRIP BUBBLER, AND HUNTER MP ROTATOR NOZZLES SHALL BE USED FOR LOW VOLUME IRRIGATION WATER DISTRIBUTION.

IRRIGATION SYSTEM WILL BE EQUIPPED WITH MASTER VALVE AND PRESSURE REGULATOR TO PREVENT WATER WASTE.

SPRINKLER HEADS SHALL BE EQUIPPED WITH PRESSURE REGULATOR AND CHECK VALVE TO PREVENT MISTING AND HEAD DRAINAGE.

TREES SHALL BE IRRIGATED SEPARATELY FROM SHRUBS AND GROUND COVERS.

SPRINKLER HEADS SHALL BE INSTALLED IN LOCATIONS WHERE IRRIGATION WATER IS CONTAINED WITHIN PERVIOUS SURFACE.

QUICK COUPLING VALVE SHALL BE LOCKING TYPE.

IRRIGATION SYSTEM SHALL BE MONITORED FOR LEAKS AND BREAKAGE WEEKLY.

WATERING SCHEDULE SHALL BE REVIEWED QUARTERLY.

90% OR MORE PLANT MATERIAL SHALL BE LOW OR VERY LOW WATER USE MATERIAL.

PLANTING MATERIAL SHALL MEET NURSERY STANDARD CROWN WIDTH AND HEIGHT FOR THE SPECIFIED CONTAINER SIZE.

ALL PLANTING AREA SHALL BE DRESSED WITH MIN. 3" LAYER OF MULCH.

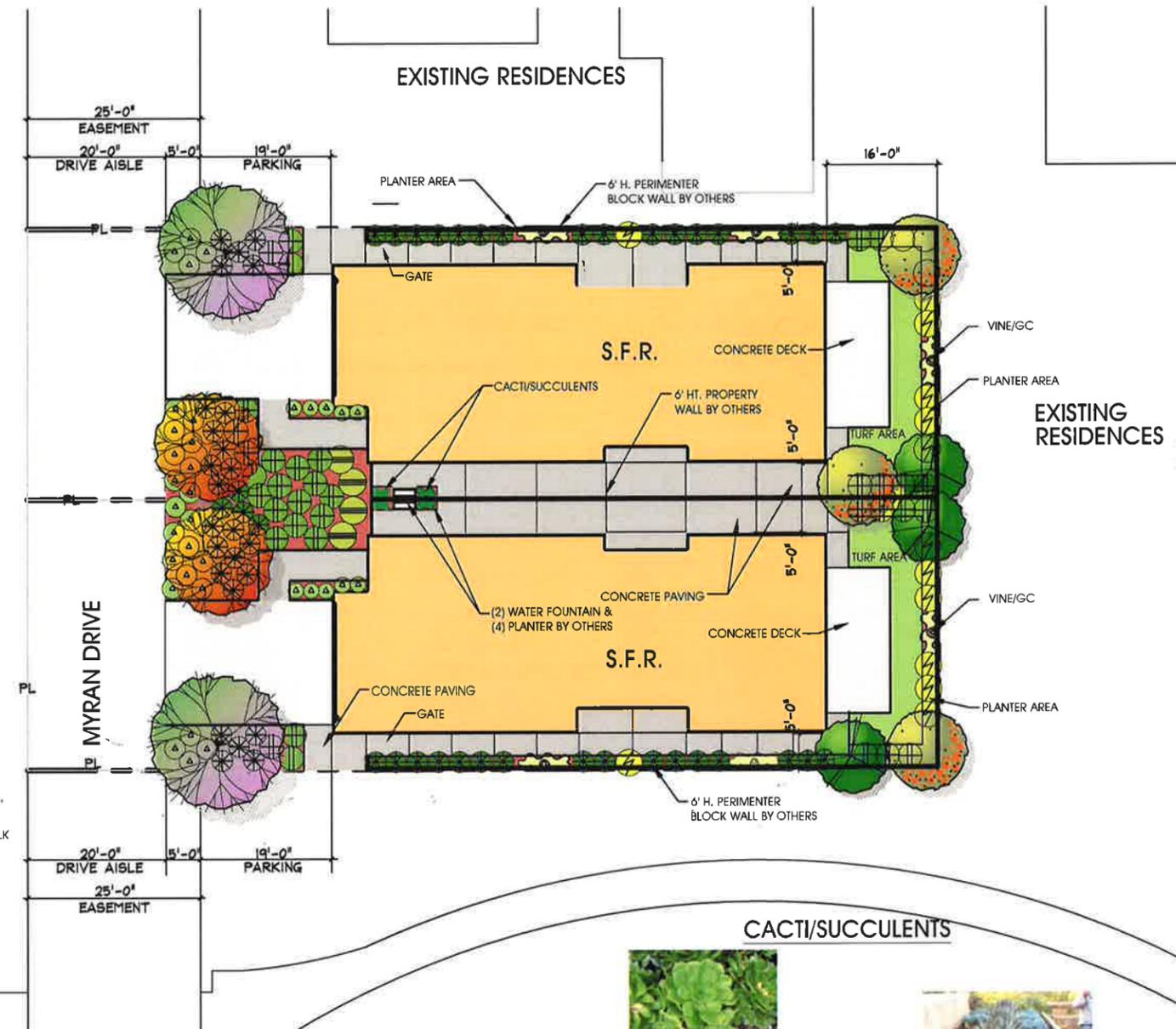
SITE SOIL SHALL BE TESTED FOR AGRICULTURAL SUITABILITY AND SOIL MANAGEMENT PURPOSES AFTER SITE GRADING, BUT PRIOR TO PLANTING. SITE SOIL IN PLANTING AREA SHALL BE ROTOTILLED AND AMENDED ACCORDING TO SOILS TEST RECOMMENDATIONS.

ALL ABOVEGROUND UTILITIES AND TRASH ENCLOSURES SHALL BE SCREENED WITH HEDGES, VINES, OR OTHER APPROVED ARCHITECTURAL OR LANDSCAPE TREATMENT.

LANDSCAPE AREAS SHALL BE PERMANENTLY MAINTAINED BY OWNER.

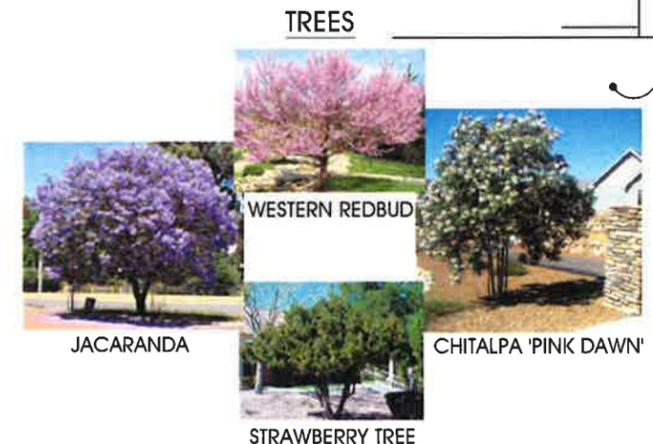
24" DEEP ROOT BARRIER SHALL BE INSTALLED WHERE TREES ARE PLANTED 5' OR LESS OF HARDSCAPE SURFACE.

EXISTING RESIDENCES



**PLANT PALETTE**

| Symbol                                  | Botanical Name                       | Common Name             | WUCOLS Region 4 |
|---|--------------------------------------|-------------------------|-----------------|
| <b>TREES</b>                            |                                      |                         |                 |
|   | <i>Arbutus unedo</i>                 | Strawberry Tree         | Low             |
|   | <i>Cercis occidentalis</i>           | Western Redbud          | Low             |
|   | <i>Chitalpa t. 'Pink Dawn'</i>       | Chitalpa                | Low             |
|   | <i>Jacaranda mimosifolia</i>         | Jacaranda               | Med             |
| <b>SHRUBS</b>                           |                                      |                         |                 |
|   | <i>Dodonaea v. 'Purpurea'</i>        | Hopsed Bush             | Low             |
|   | <i>Calycanthus occidentalis</i>      | Spice Bush              | Low             |
|   | <i>Leptospermum s. 'Snowwhite'</i>   | New Zealand Tea Tree    |                 |
|   | <i>Muhlenbergia lindheimeri</i>      | Lindheimer Muhly        | Low             |
|   | <i>Nassella pulchra</i>              | Purple Needle Grass     | Low             |
|   | <i>Helictotrichon sempervirens</i>   | Blue Oat Grass          | Med             |
|   | <i>Rhamnus alaternus</i>             | Mediterranean Buckthorn | Low             |
|   | <i>Carpenteria californica</i>       | Bush Anemone            | Low             |
| <b>GROUND COVER</b>                     |                                      |                         |                 |
|   | <i>Lantana montevidensis</i>         | Trailing Lantana        | Low             |
|   | <i>Senecio serpens</i>               | Blue Chalksticks        | Low             |
| <b>VINE/SUB-SHRUB COVER COMBINATION</b> |                                      |                         |                 |
|   | <i>Bougainvillea 'San Diego Red'</i> | Paperflorier            | Low             |
|   | <i>Bignonia capreolata</i>           | Crossvine               | Med             |
|   | <i>Verbena spp.</i>                  | Peruvian Verbena        | Low             |
|   | <i>Mahonia repens</i>                | Creeping Mahonia        | Low             |
| <b>CACTI/SUCCULENTS</b>                 |                                      |                         |                 |
|   | <i>Aeonium a. + cvs</i>              | Aeonium                 | Low             |
|   | <i>Agave spp.</i>                    | Agave                   | Low             |
|   | <i>Senecio spp.</i>                  | Senecio                 | Low             |
|   | <i>Yucca spp.</i>                    | Yucca                   | Low             |



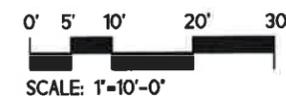
**CONCEPTUAL LANDSCAPE PLAN**

**LOT SPLIT/ (2) SPEC HOMES**

2156 MYRAN DR., COSTA MESA, CALIFORNIA

SHEET 1 OF 1  
DATE: 01-22-2016

OWNER: NOLAN CHAN  
7040 Scholarship  
Irvine, Ca. 92612



conceptual design & planning company  
3195-C Airport Loop Dr, Studio One, Costa Mesa, CA 92626  
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Conceptual Front Elevations

**Two Single Family Homes**

2156 Myran Drive  
Costa Mesa, California

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**Sennikoff Architects**

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562.438.2380

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