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PLANNING COMMISSION AGENDA REPORT

MEETING DATE: FEBRUARY 22, 2016

ITEM NUMBER: *PA-2*

SUBJECT: PLANNING APPLICATION PA-15-31 AND TENTATIVE PARCEL MAP NO. 15-137
FOR A TWO-UNIT RESIDENTIAL DEVELOPMENT AT 146 E. 18TH STREET

DATE: FEBRUARY 12, 2016

FROM: PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

PRESENTATION BY: RYAN LOOMIS, ASSOCIATE PLANNER

FOR FURTHER INFORMATION CONTACT: RYAN LOOMIS (714) 754-5608
ryan.loomis@costamesaca.gov

DESCRIPTION

The proposed project involves the following:

- 1. Planning Application PA-15-31:** Design review to construct a two-unit, two-story, small lot subdivision on an 8,839 sq. ft. lot in the R2-HD zone. The two-story detached homes are proposed at approximately 2,800 square feet, including garage, and consist of 3 bedrooms, 3 and ½ bathrooms, and a two car garage with minimum interior dimensions of 20 feet by 20 feet. The two-story residential development will be developed per the residential small lot development standards with the following deviation from code requirements:
 - a. Minor modification for front yard setback along East 18th Street (20 feet required; 16 feet proposed for a proposed covered front porch). The main residence building is located at a 20-foot setback and complies with Code.

- 2. Tentative Parcel Map TPM 2015-137:** A subdivision in accordance with the small lot subdivision standards to create two fee simple lots.

APPLICANT

The applicant/authorized agent is TAG Design Works, authorized agent for the property owner, 146 E. 18th Street LLC.

RECOMMENDATION

Approve the project by adoption of Planning Commission resolution, subject to conditions.

PLANNING APPLICATION SUMMARY

Location:	146 E. 18 th Street	Application Number:	PA-15-31/PM-15-137
Request:	Design Review of a two unit two-story residential development per Small Lot Ordinance.		

SUBJECT PROPERTY:

SURROUNDING PROPERTY:

Zone:	R2-HD	North:	R2-HD, Multi-Family Residential, Medium Density
General Plan:	HDR	South: (across E. 18 th Street)	R2-HD: Multi-Family Residential, Medium Density; R3: Multi-Family Residential
Lot Dimensions:	127 FT x 70 FT	East:	R2-HD, Multi-Family Residential, Medium Density
Lot Area:	8,839 square feet (gross)	West: (across Fullerton Ave)	R2-HD, Multi-Family Residential, Medium Density
Existing Development:	One parcel with two single-story residential units		

DEVELOPMENT STANDARD COMPARISON

Development Standard	Required/Allowed R2-HD zone/Small Lot Ord.	Proposed/Provided
Lot Area	12,000 SF new lots <u>or</u> No minimum per Small Lot Subdivision Standards	Parcel 1 (Unit A)- 4,519 SF Parcel 2 (Unit B)- 3,985 SF
Open space (development lot)	30% of total lot area per Small Lot Subdivision Standards	3,845 SF (44%)
Open space (individual unit)	200 SF with no dimension less than 10 feet per Small Lot Subdivision Standards	>200 SF with no dimension less than 10 feet for each unit
Density:		
High Density Residential Land Use Zone – R2-HD	Max. 12 units per acre 1 du/3,000 SF Max. 2 dwelling units	10 units per acre 1 du/4,420 SF 2 dwelling units
Building Height	Two-stories / 27 ft.	Two-stories /26'-8"
ratio of 2nd floor to 1st floor %	100%	Parcel 1 (Unit A)- 77% Parcel 2 (Unit B)- 77%
Distance between main buildings	No Minimum /SLO	Appx. 8 ft.
Building Setbacks:		
Front (E. 18 th St)	20 ft.	16 ft.* to covered front porch 20 ft. to main residence (Parcel 1, Unit A)
Exterior Side (Fullerton Ave)	10 ft.	Min. 10 ft. (Parcel 2, Unit B)
Side (interior)	5 ft.	8 ft. (Parcel 1, Unit A)
Rear (alley)	5 ft.	7 ft. (Parcel 2, Unit B)
Driveway Length	19 ft.	19 ft. (Parcel 1, Unit A)
Parking	Two garage and two open per unit	Two garage and two open per unit
Total	8 spaces	8 spaces
*Minor Modification required for covered front porch		
Final Action	Planning Commission	
CEQA Review	Exempt, Class 3 for new construction	

BACKGROUND

Project Site/Environs

The subject project site is an 8,839 square-foot parcel located on the north side of East 18th Street, between Orange and Fullerton Avenues. The project site is currently developed with two residential units (146 East 18th Street and 1804 Fullerton Ave), which will be replaced by the proposed project. Existing driveway and access is provided off Fullerton Avenue. The existing property contains a two-car garage and open parking for 2 cars, for a total of 4 on-site parking spaces. The property is zoned R2-HD with a maximum development potential of 2 dwelling units (14.5 dwelling units per acre).

The property to the west across Fullerton Ave (138 E. 18th Street) of the subject property is zoned R2-HD and is developed as a two-story senior living facility (Cross Creek Cottages). The property to the east (150 E. 18th Street) is zoned R2-HD and is developed with a one-story duplex. The properties to the north of the subject property (across the alley) are zoned R2-HD and are developed with two-story multi-family residences. The properties to the south across East 18th Street (145-161 E. 18th Street) are developed with two-story multi-unit apartment complexes.

ANALYSIS

Design Review PA-15-31

The proposed project consists of two detached, single-family residences with attached two-car garages. The property would be subdivided into two separate fee simple lots, and the proposed residences will have an approximate 8-foot building separation. The table below provides a complete development summary.

PA-15-31 Development Summary							
	Net Lot Area	Building Area	No. Bed/Bath	Garage	Parking	Private Open Space	Building Height
Parcel 1 Unit A	4,519 SF	2,322 SF	3bed/3.5bath	470 SF	4 total- (2 garage & 2 open)	>200 SF	+/-26'-8"/ 2 stories
Parcel 2 Unit B	3,985 SF	2,333 SF	3bed/3.5bath	470 SF	4 total- (2 garage & 2 open)	>200 SF	+/-26'-8"/ 2 stories
Total	8,504 SF	4,655 SF	6bed/7bath	940 SF	8		

The project requests approval of a Minor Modification to allow for a maximum 20% reduction in front yard setback, or 16-foot front setback between the front property line and the support posts of the covered front porch for Unit A along East 18th Street. The two proposed units each have similar floor plans, and include three bedrooms, three and a half bathrooms, and an open plan for living, dining, and kitchen areas. Each unit includes a small powder room on the first floor and a laundry room on the second floor. Two-car garages and two open parking spaces will be provided for each unit. Unit A will include open parking along a 19 ft. x 16 ft. driveway. Unit B will include two open parking spaces adjacent to the garage along the public alley and will have adequate back up space (25 feet) within the alley. The trash bins for each unit can be stored out of public view.

The design of the proposed project was created by TAG Design Works. Each home is developed with a contemporary architectural style utilizing stucco finish, wood trellis, vinyl windows, and combination of metal roofing and fiberglass shingle roofing. The homes are custom designed to blend harmoniously into the surrounding environment. The location and orientation of all buildings are arranged to preserve an existing large conifer tree, which will remain on the development lot near Unit A. Both residences will be oriented toward Fullerton Ave with garage access for Unit A off Fullerton Avenue, and off the adjoining alley for Unit B.

Residential Design Guidelines

The design of the proposed residences meet the intent of the City's Residential Development Standards and Design Guidelines. The design of the two-story homes, as conditioned, will comply with the second-story design standards, provide appropriate building mass and form, meet second-story setback requirements, provide unique elevation treatments and roof forms, considers window placement guidelines, preserves natural features, and will be consistent in architectural design. Building mass and form were considered, as offsets and building projections were made an integral part of the design. The two story structures are designed with articulation and off-sets on all elevations to avoid a boxy appearance from the street and neighboring views. The two units are staggered and provide individual and identifiable entries to add interest and variety to the streetscene. Elevations are enhanced with combination of materials, varied roof forms, front entry porches, as well as accents and details. A combination stucco finish and siding with varying colors, along with enhanced windows and wood trellises along the perimeter of both units will be provided for visual interest. Roofing materials include fiberglass shingle roofing for the second-story roof, and metal roofing along the first-story roof. The residences are two stories in height and will not exceed the 27-foot height maximum requirements. Window placement will not be an issue, as the property is surrounded on three sides by two streets and an alley. The second-story windows for Unit A will have an 8-foot setback from the property line of the neighboring single story residence to the east, and Unit B will have a 19-foot setback.

Minor Modification

The project requests a Minor Modification to allow for a 20% reduction in required front yard, which would allow for a 16-foot front yard setback from the front property line to the support posts of the covered front porch for Unit A. The covered front porch is an open trellis and not a solid structure, therefore is less impactful than a solid structure. The covered front porch will enhance the project, and is not expected to interfere with the visual line of site related to vehicular travel along East 18th Street. The main residence building of Unit A will abide by the 20-foot setback. Also, a 6-foot fence is proposed at a 10-foot setback, which is permitted by Code. The garage for Unit A is proposed along the street side property line, and will remain set back a minimum of 19 feet from the proposed 3-foot sidewalk easement along Fullerton Ave.

Tentative Parcel Map

The proposed tentative tract map is for a two-unit subdivision per Small Lot Subdivision Ordinance. The project proposes to divide one large development lot into two new parcels along Fullerton Avenue. Unit A (Parcel 1) is proposed as the southerly portion of the development lot along the corner of East 18th Street and Fullerton Ave, and includes a net

lot area of 4,519 square feet. Unit B (Parcel 2) is proposed on the northerly portion of the development lot adjacent to the alley, and includes a net lot area of 3,985 square feet.

The proposed tentative tract map requires a 2.5-foot alley dedication to provide increased vehicular access along the rear public alley. Unit B will maintain a minimum 7-foot rear setback along the publicly dedicated alley, and the open parking will remain set back a minimum of 19 feet from the proposed 2.5-foot dedication along the public alley.

The project also requires a 3-foot sidewalk easement along Fullerton Avenue and East 18th Street for future sidewalk. The garage for Unit A is proposed along the Fullerton Avenue street side property line, and the driveway will remain set back a minimum of 19 feet from the proposed 3-foot sidewalk easement along Fullerton Avenue.

All common areas including the driveway and open parking spaces will be used and maintained by a maintenance association or homeowners association as stipulated in the Conditions, Covenants, and Restrictions (CC&R's) for the development. The CC&R's will also include provisions requiring that the open parking space be unassigned and available for visitors and requiring residents to park vehicles in the garage spaces provided for each unit.

General Plan Conformance

The proposed development is a small lot subdivision development of two detached single family residences. The project is consistent with the maximum allowable General Plan density of 1 dwelling unit per 3,000 square feet, or 14.5 dwelling units per acre per the R2-HD zone and HDR (High Density Residential) General Plan land use designation. The proposed project will develop with one dwelling unit per 4,420 square feet, or 10 dwelling units per acre, which is below the 14.5 dwelling units per acre allowed in the High Density Residential land use designation.

The following analysis evaluates the proposed project's consistency with specific goals, and objectives of the General Plan, Land Use Element.

1. **Objective LU-1A:** *Establish and maintain a balance of land uses throughout the community to preserve the residential character of the City at a level no greater than can be supported by the infrastructure.*

Consistency: The project is an infill residential project within the allowable density for high-density development. Adequate infrastructure exists to serve the proposed project. Therefore, the project is consistent with this General Plan objective.

2. **Objective LU-1A.4:** *Strongly encourage the development of ... owner-occupied housing where feasible to improve the balance between rental and ownership housing opportunities.*

Consistency: Because the proposed project is for ownership units, the project is consistent with this General Plan goal.

3. **Goal LU-2: Development:** *It is the goal of the City of Costa Mesa to establish development policies that will create and maintain an aesthetically pleasing and*

functional environment and minimize impacts on existing physical and social resources.

Consistency: The project would allow for the redevelopment of a property which used to contain a marginal residential development. The proposed project would add a quality architectural design to the project area. The project includes front entry porches, ornamental site landscaping, and decorative perimeter wall treatments will be provided throughout the project. Elevations are enhanced with premium materials, wall offsets, gable roofs, combination of materials, as well as accents and details. As a result, the proposed project is supportive of this General Plan goal.

4. **Objective LU-2A:** *Encourage new development and redevelopment to improve and maintain the quality of the environment.*

Consistency: Because the project is an infill development, it would not result in the loss of any habitat, or require extensive infrastructure improvements to provide service to the site. In addition, the proposed project will replace an older duplex unit and redevelop the property with new housing stock. Consequently the project is consistent with this objective.

JUSTIFICATIONS FOR APPROVAL

Pursuant to Title 13, Section 13-29, *Planning Application Review Process*, of the Costa Mesa Municipal Code, the Planning Commission shall find that the evidence presented in the administrative record substantially meets specified findings. Staff recommends approval of Design Review PA-15-31 and Parcel Map PM-15-137, based on the following assessment of facts and findings which are also reflected in the draft resolution.

- *The proposed project complies with the General Plan and with the Zoning Code standards.* The creation of the subdivision is consistent with General Plan Land Use Objectives LU-1A, LU-1A.4, and LU-2A in that adequate infrastructure exists to serve the proposed project; the project promotes homeownership opportunities to improve the balance between renter and owner occupied housing in the City; and the project would not result in the loss of any habitat, or require extensive infrastructure improvements to provide service to the site. The proposed project does not exceed the maximum density of 14.5 units per acre, and therefore is consistent with the General Plan designation for High Density Residential and R2-HD zone. The project design complies with development standards of the Small Lot Subdivision Ordinance, with the exception of the requested a Minor Modification to allow for a maximum 20% decrease from the required front yard setback to accommodate a covered front porch.
- *The proposed project meets the purpose and intent of the Residential Design Guidelines.* The design of the two-story homes, as conditioned, will comply with the second-story design standards and setback requirements; develop with appropriate building mass and form; provide unique elevation treatments and roof forms; considers window placement guidelines; preserves natural features; and will be consistent in architectural design.

In regards to second-story design standards, the second-story floor areas for each unit will not exceed 100% of the first-story floor area; the ratio of 2nd floor to 1st floor

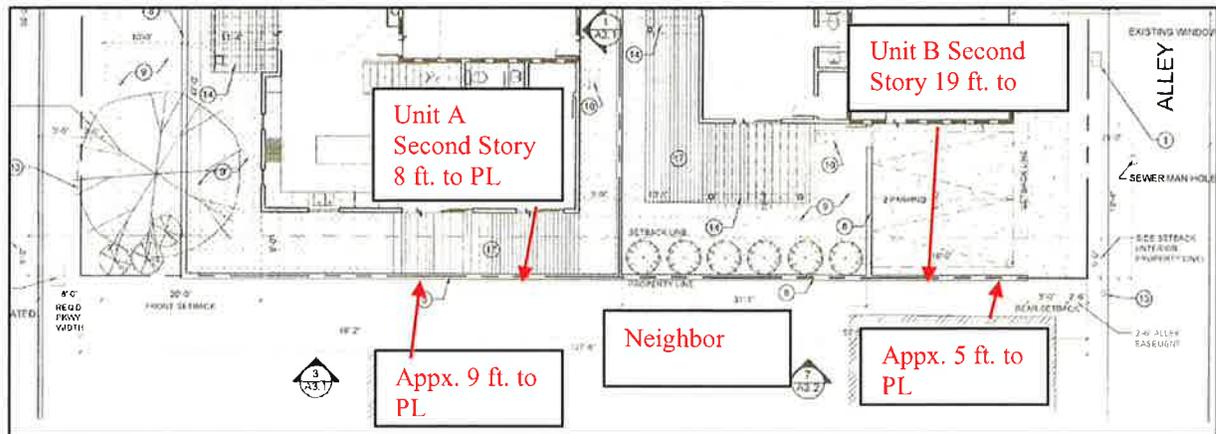
for both units is 77%. The Small Lot Subdivision Ordinance allows for a minimum 5-foot interior side setback for single stories and second stories when less than 2,700 square feet. The proposed buildings are less than 2,700 square feet and are placed on the property with sufficient interior side setbacks (8 feet for Unit A and 19 feet for Unit B) to provide private useable open space, and to minimize the potential privacy impacts to surrounding properties.

The proposed project provides variation to street-facing elevations to reduce visual prominence, provide visual interest and relief from monotony. Building mass and form were considered, as offsets and building projections were made an integral part of the design. Recesses in building plane have been incorporated into the design to provide visual relief, including a variation in roof forms, orientation and pitch. The two units are staggered from one another, and provide individual and identifiable entries to add interest and variety to the streetscene. The two story structures are designed with articulation on all elevations to avoid a boxy appearance from the street and neighboring views. Elevations are enhanced with combination of materials, varied roof forms, front entry porches, as well as accents and details. Roofing materials include fiberglass shingle roofing for the second-story roof, and metal roofing along the first-story roof. Each unit is two stories in height and will not exceed the 27-foot height maximum requirements.



The setbacks of existing neighboring structures, and visual impacts from second story windows were considered with regard to the side yard of the abutting home, and places the homes to maximize distances from the adjacent dwellings. Window placement will not be an issue, as the property is surrounded on three sides by two streets and an alley. A single story duplex is located along the easterly property line. The second-story windows for Unit A will have an 8-foot setback from the property line of the neighboring single story residence to the east, and Unit B will have a 19-foot setback. Specifically, the proposed units maintain adequate setback to the easterly interior side property line. The unit on Parcel 2 proposes a 19-foot side setback along the first story and second story. The only windows along the second story portion of Parcel 2, will be set back 13 feet behind the property line. The residences to east are single story structures and are approximately 5 feet from the property line. Therefore,

the project minimizes the potential privacy impacts to surrounding properties along the easterly property.



The location and orientation of all buildings are arranged to preserve natural feature, including a large conifer tree, which will remain on the development lot near Unit A. The project will include consistent architectural design, as each unit includes a combination stucco finish and siding with varying colors, use of vinyl windows, and wood trellises will be built along the perimeter of both units to provide visual interest.

- The proposed project is conditioned to include a 3-foot sidewalk easement along Fullerton Avenue and East 18th Street right-of-ways. To maintain ADA compliant sidewalks per the Public Services Division, the project will require a 3-foot easement along the front property line abutting both Fullerton Avenue and East 18th Street right-of-ways. The proposed project still provides for a 19-foot driveway for Unit A. The project is requesting a Minor Modification to allow for a maximum 20% decrease from the required front yard setback to allow for a covered front porch.
- The proposed project is conditioned to include a 2.5-foot alley dedication. To maintain increased vehicular access along the rear public alley, the project will include a 2.5-foot alley dedication while still maintaining a minimum 5-foot rear setback for properties abutting a public dedicated alley. Unit B (Parcel 2) will have a rear setback of 7 feet to the new property line due to the 2.5-foot dedication.
- The proposed subdivision is consistent with the General Plan and Zoning Code. The subdivision complies with General Plan Land Use Objective LU-1A.4 in that it allows the units to be sold independent of one another and creates home ownership opportunities. The subdivision is consistent with applicable development standards contained in the Zoning Code. The subdivision also provides for future natural heating and cooling; the units are designed to in a north-south position allowing for narrow portion of homes along the southern elevation to minimize sun exposure. The project also provides private open space areas under trellises and entry canopies. Open space also incorporates landscaping, such as trees, to ensure natural and passive heating and cooling from the sun exposure. An existing large conifer tree will remain on the development lot along the southerly property line of Unit A (Parcel 1) to further provide shade for the two units.

- The project exceeds the development lot minimum open space requirement (30% required, 44% proposed). A total of 44 percent of the development lot area will be provided as open space and landscaping, which exceeds the required 30% development lot open space requirement. This open space includes a minimum of 200 square feet of private open space for each parcel. Both private open space areas will be located within the rear portions of each unit, and be accessed from the adjacent great room and living room.
- The landscape concept plan is consistent with the City's standards for multi-family development. Specifically, the plan includes landscaping within the private open space areas, and along the driveway and parking areas for each unit. The concept plan shows preservation of a mature coniferous tree within Parcel 1 (Unit A), along with three 24-inch box Strawberry trees and a 24-inch Sweetbay tree along the front and street side setbacks for both units, and mixture of drought tolerant shrubs and groundcover along the driveway, walkways, and side property lines to encourage privacy and greenery. In addition the project includes wood decks and hardscape surrounding the units.
- The Declaration of the Covenants, Conditions, and Restrictions (CC&Rs) is required to be filed on the property. The Small Lot Ordinance requires that all small lot subdivisions establish some form of self-governance through CC&Rs, maintenance associations, and/or homeowner's associations. In the City of Costa Mesa, the most common type of association is an incorporated homeowner's association. This is a corporation in which the members of the corporation vote for a board of directors which runs the affairs of the corporation. In this case, as a 2-unit small lot development, Code does not require that an HOA be established. The Small Lot Ordinance requires, at a minimum, that CC&Rs be recorded on the property. Because there are no common areas for circulation, parking, or landscape purposes, a condition of approval requires that the CC&Rs shall contain the ground rules related to: architectural control over future building modifications or additions, architectural design and guidelines for the property, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts.
- New Perimeter Block Walls Required. Code requires a 6-foot high masonry wall around the perimeter of the proposed development lot. Staff is applying the Code-required block wall along the interior side property line as well as a portion of the rear property line, which is further described pursuant to a condition of approval.

Minor Modification Findings

The appropriate findings can be made for the requested code deviations. Code Section 13-29(g)(6) requires the following findings for the minor modification, as described at the beginning of this report :

1. *The improvement will not be materially detrimental to the health, safety, and general welfare of persons residing or working within the immediate vicinity of the project or to property and improvements within the neighborhood.*
2. *The improvement is compatible and enhances the architecture and design of the existing and anticipated development in the vicinity. This includes the site planning,*

land coverage, landscaping, appearance, scale of structures, open space, and any other applicable features relative to a compatible and attractive development.

- *The proposed project's request for a Minor Modification to allow a 20% or less reduction in the front setback will not be materially detrimental to the health, safety and general welfare of persons residing or working within the immediate vicinity of the project or to property and improvements within the neighborhood. The proposed project is compatible and enhances the architecture and design of the existing and anticipated development in the vicinity.* The project is requesting a Minor Modification to allow for a maximum 20% decrease from the required front yard setback to allow for a covered front porch. The Small Lot Subdivision Ordinance requires a minimum 20-foot front setback, however a 20% reduction in front yard setback would allow for a 16-foot setback. Unit A is the only unit proposed along the development lot's front setback.

The setbacks of existing neighboring structures were considered with regard to the project's proposed modification to both front and rear setback. The project is requesting a reduction from 20 feet to 16 feet for the front setback along the front (southerly) property line for Unit A. This reduction would allow the projecting covered front porch along the front entryway of Unit A to project 4 feet into required 20-foot front setback. The covered front porch will enhance the project and is not expected to interfere with the visual line of site related to vehicular travel along East 18th Street, as a 6-foot fence is proposed at a 10-foot setback. Also, the covered front porch is an open trellis and not a solid structure, therefore is less impactful than if a solid structure, such as a building or enclosed entryway. The main residence building of Unit A will abide by the 20-foot setback. The garage for Unit A is proposed along the street side property line, and will remain set back a minimum of 19 feet from the proposed 3-foot sidewalk easement along Fullerton Ave.

In regards to design, the proposed units are designed to be consistent with the materials, massing, scale and articulation of the multi-family residential area for maximum compatibility. The design of the units are well articulated with deep overhangs, roof dormers, stepped floor plans. In addition, the proposed project provides for adequate landscaping with trees, shrubs, and groundcover to enhance the project site. The the project will preserve a large existing mature conifer tree, which will remain on the development lot near Unit A.

Tentative Parcel Map PM-2015-137

The applicant proposes a parcel map in compliance with the City's Small Lot Subdivision Ordinance to allow the formation of two fee simple lots. The proposed property is suitable to accommodate the proposed small lot subdivision. There are no interferences with the City's or other utility agencies' right-of-way areas and/or easements. The map is consistent with City codes and the State Subdivision Map Act.

Expiration of Projects

Per City Code, planning application approvals are valid for one year unless renewed. Per the State Subdivision Map Act, tentative tract map approvals are valid for 24 months. As a result, staff has incorporated a condition of approval allowing the planning application

expiration to coincide with the expiration of the respective map. The planning application and map would expire in 24 months (February 2018). After the initial 24-month period, a time extension for these applications would be required to be processed for another 12-month period.

ENVIRONMENTAL DETERMINATION

The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3), New Construction or Conversion of Small Structures. In urbanized areas, up to three single-family residences may be constructed or converted under the Class 3 exemption.

LEGAL REVIEW

The draft resolutions have been reviewed and approved as to form by the City Attorney's Office.

PUBLIC NOTICE

Pursuant to Title 13, Section 13-29(d), of the Costa Mesa Municipal Code, three types of public notification have been completed no less than 10 days prior to the date of the public hearing:

1. Mailed notice. A public notice was mailed to all property owners within a 500-foot radius of the project site. The required notice radius is measured from the external boundaries of the property. (See attached Notification Radius Map.)
2. On-site posting. A public notice was posted on each street frontage of the project site.
3. Newspaper publication. A public notice was published once in the Daily Pilot newspaper.

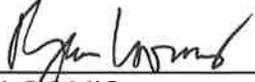
ALTERNATIVES

The Planning Commission has the following alternatives:

1. Approve the project with modifications. The Planning Commission may suggest specific changes that are necessary to alleviate concerns. If any of the additional requested changes are substantial, the item should be continued to a future meeting to allow a redesign or additional analysis. In the event of significant modifications to the proposal, should the Planning Commission choose to do so, staff will return with a revised resolution incorporating new findings and/or conditions.
2. Deny the project. If the Planning Commission believes that there are insufficient facts to support the findings for approval, Planning Commission must deny the application and provide facts in support of denial to be included in the attached draft resolution for denial. If the project were denied, the applicant could not submit substantially the same type of application for six months.

CONCLUSION

Approval of the Design Review and Tentative Parcel Map will allow development of a two-unit small lot subdivision. The project is deemed to be a high-quality development, therefore it is consistent with the intent of the General Plan and Zoning Code. Resolutions for approval and denial of the project are attached for consideration by the Planning Commission.



RYAN LOOMIS
Associate Planner



CLAIRE FLYNN, AICP
Assistant Director
Development Services

- Attachments:
1. Vicinity Map, Zoning Map and 500' Radius Map
 2. Existing Color Site Photos
 3. Applicant's Project Description
 4. Draft Planning Commission Resolutions and Exhibits
 5. Project Plans/ Color Elevations/Tentative Parcel Map

Distribution:

- Director of Economic & Development Services/Deputy CEO
- Senior Deputy City Attorney
- Public Services Director
- City Engineer
- Transportation Services Manager
- Fire Protection Analyst
- File (2)

Applicant: TAG Design Works
c/o Shawn Fang
411 E Huntington Drive, #308
Arcadia, CA 91006

Owner: 146 E. 18th Street LLC
1528 Brookhollow Drive, #100
Santa Ana, CA 92705

Overview Map



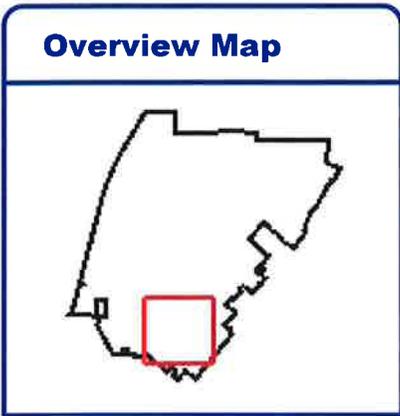
Legend

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| Address Points | Roads | Major Newport BLVD | SECONDARY Hydrology Channels |
| Freeway | Collector Freeway (cont) | Primary (cont) | |

Map Display

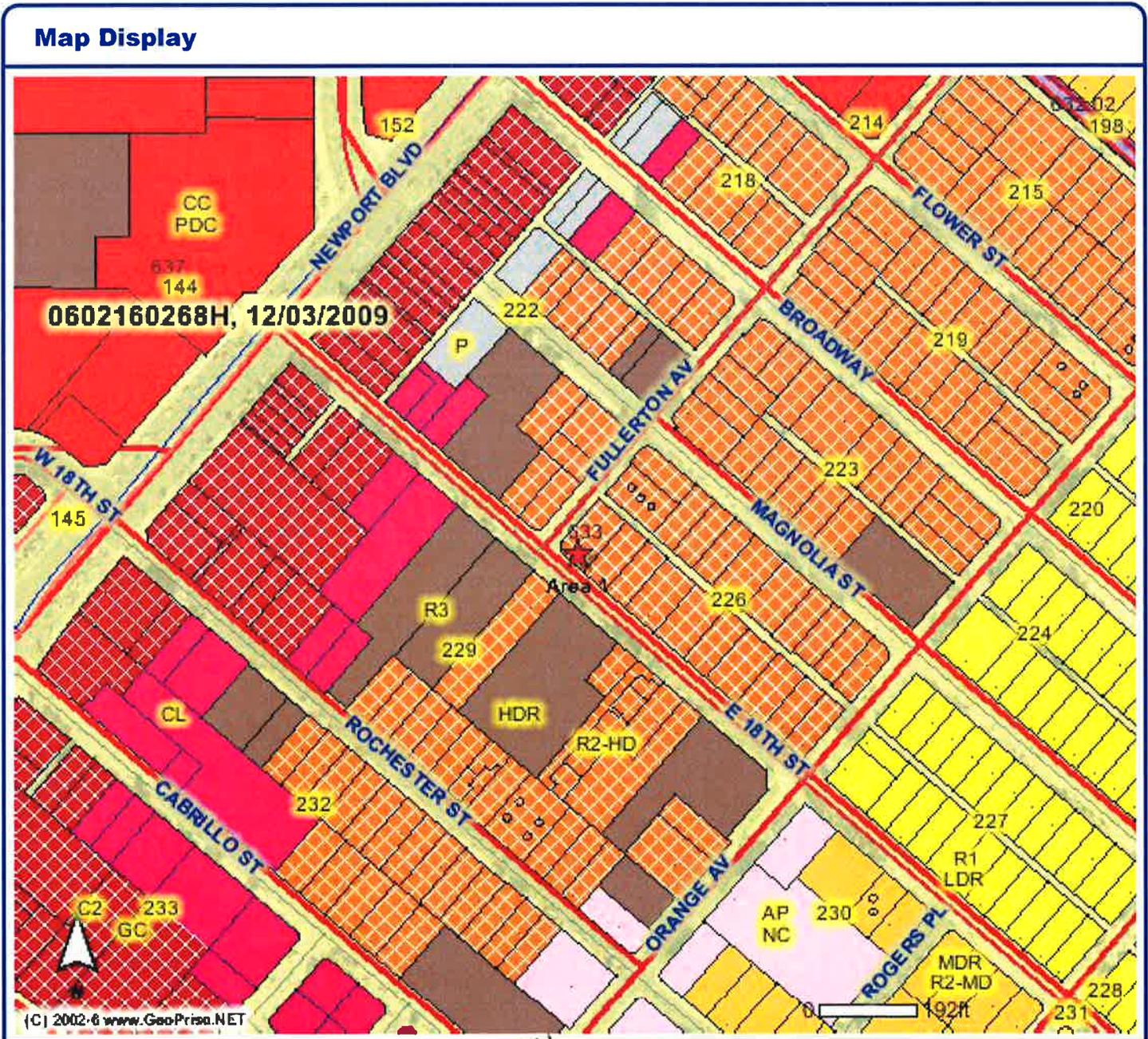


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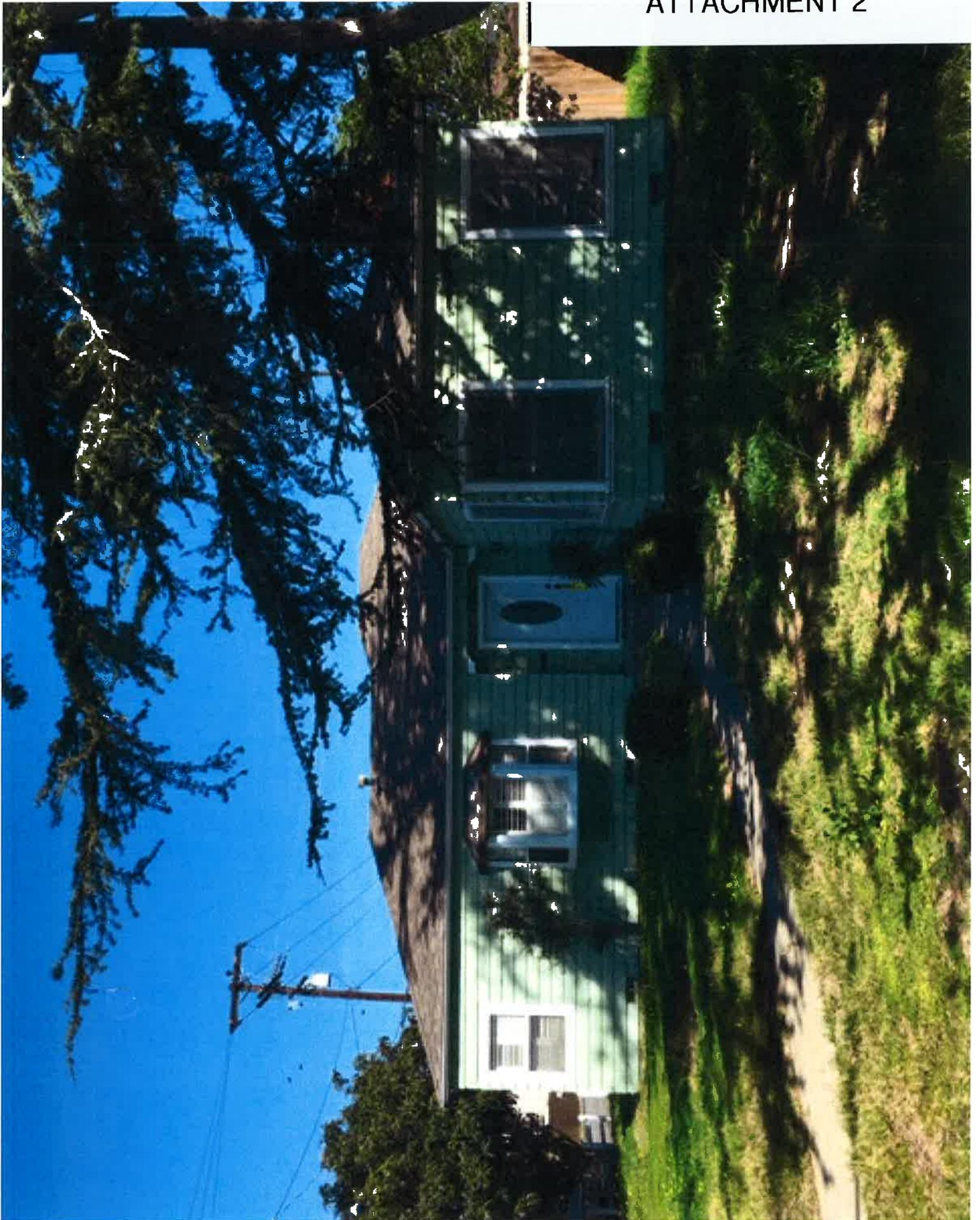


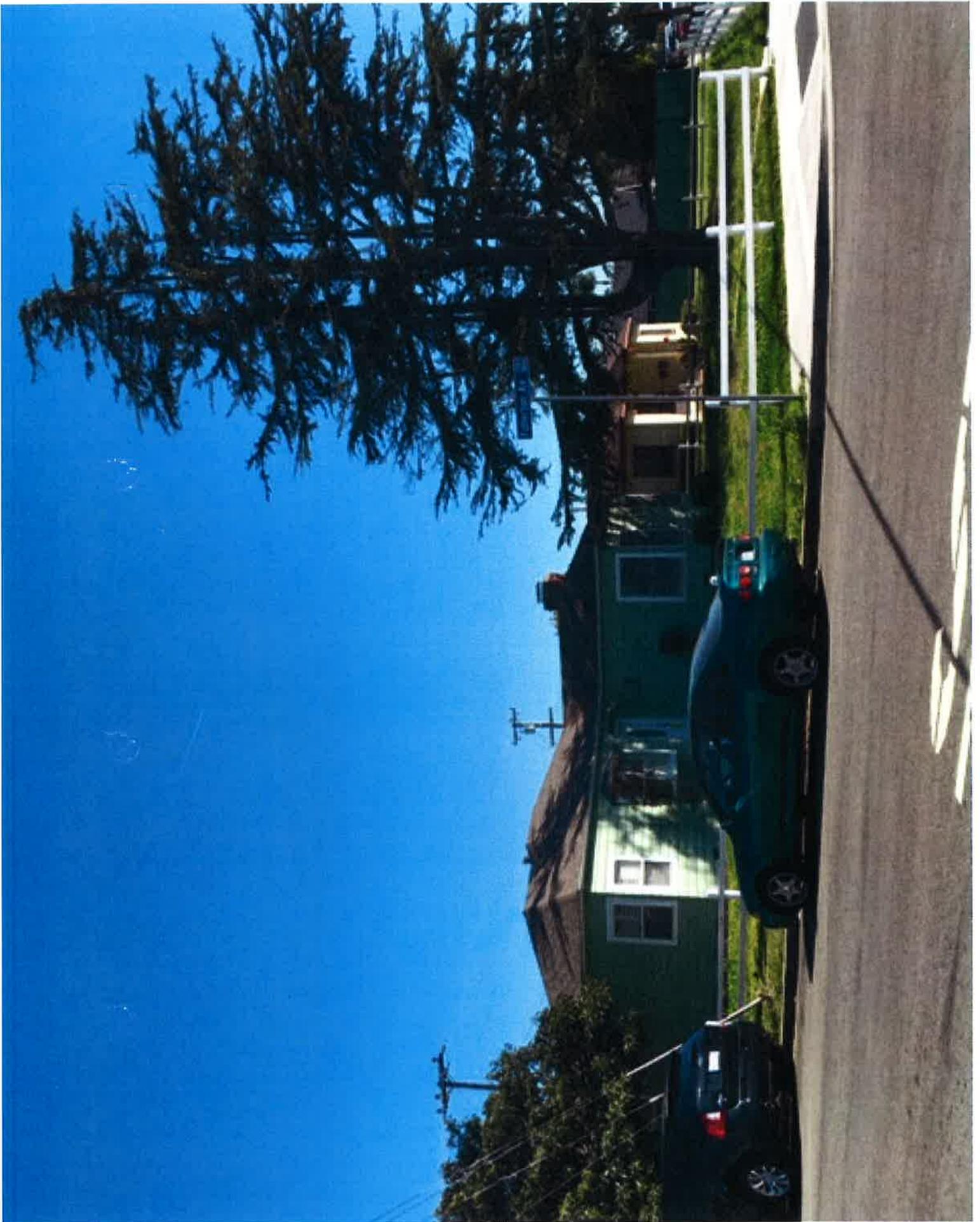
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Address Points	Newport BLVD	Parcel Lines	C1-S
Freeway	Primary	City Boundary	C2
Roads	SECONDARY	Water Ways Zoning	CL
Collector Freeway	Hydrology Channels	AP	I&R-S
Major (cont)	Street Names	C1 (cont)	MG
	Street Centerlines	P	MP
		PDC (cont)	



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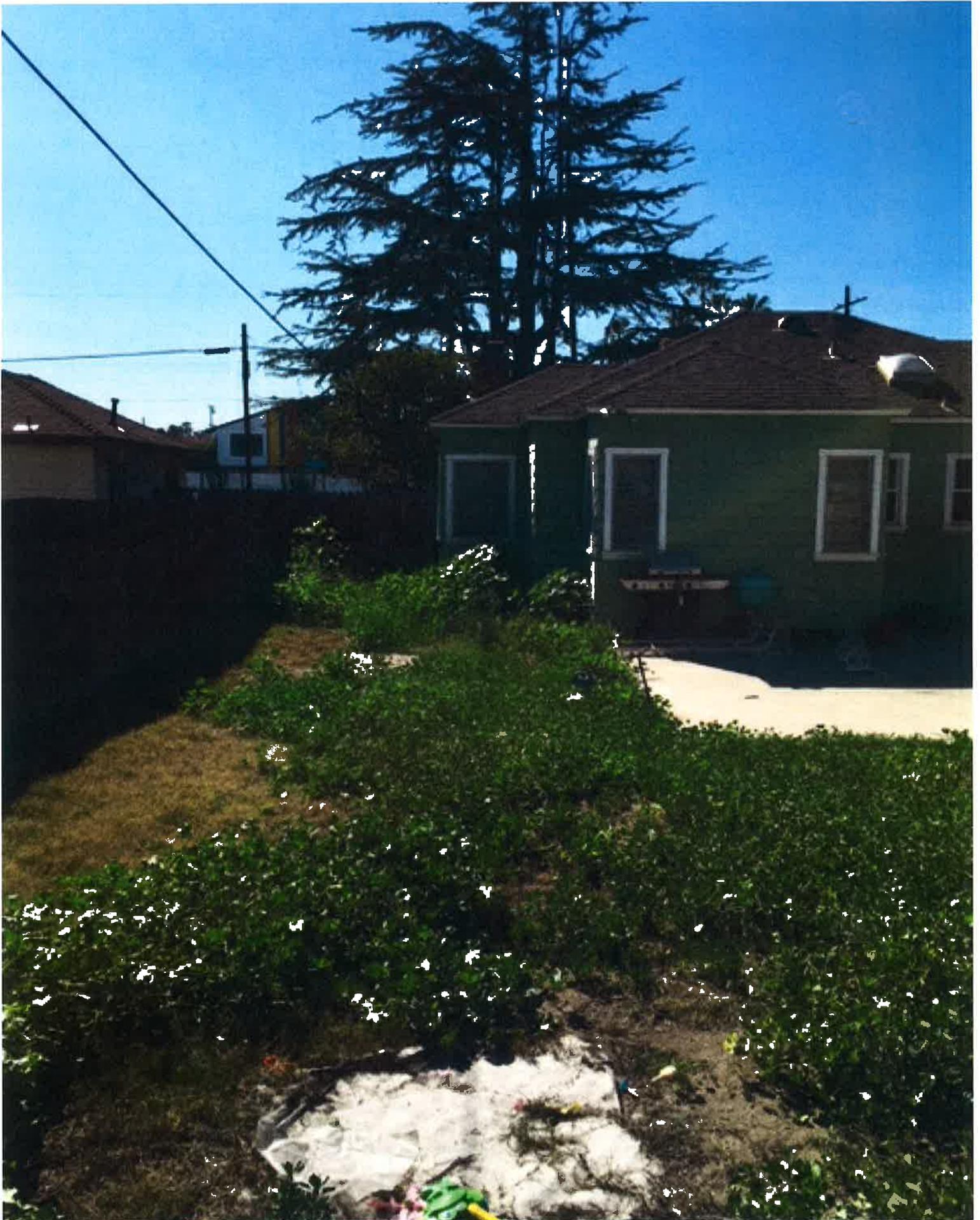












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August 18, 2015
Costa Mesa Planning Department
City of Costa Mesa
77 Fair Drive
Costa Mesa, CA 92628

Re: 146 E. 18th Street Project Description and Justification

Dear Costa Mesa Planning Department,

146 E. 18th LLC is proposing the development of two single family dwelling units at 146 E. 18th Street in Costa Mesa. The property is located in a R2-HD zone, and the proposed project currently meets all current requirements in regard to setback, building height, and lot coverage restrictions.

In addition to the development proposal, we are also proposing the subdivision of the land, from a single 8,839 square foot lot into two separate lots, at 4,391 square feet and 4,448 square feet.

Each unit is designed with materials, detailing, and massing that meet the expectations of the Design Review Guideline, and are compatible with the existing characteristics of the multi-family residential neighborhood that they reside in. The following examples convey the intents of the project to comply with its surroundings:

- Varied façade elements on the street facing views of the project, featuring wooden trellises, and outdoor porch that emphasizes the main entry of the project.
- Variation in roofline emphasized in the street facing view of the project, combining gable and shed roofing.
- Mirrored floor plans between the units in order to avoid a street view that would otherwise risk over repetition in its design. This move is also made in consideration of privacy between the units. Less openings are given to the façade where the units face each other, and the short distance between the buildings (10') would raise a concern in privacy.
- Windows and openings occur the most on the street sides, where there is a relief distance for privacy.
- Window opening locations give consideration to the immediate neighbors of the project. Views that are directed into neighboring buildings are minimized, and the larger openings on the first floor are screened by a surrounding wood fence.

The small lot subdivision proposed for the site provides a few benefits to the sites as outlined:

- It is considerate of current market demand for new housing
- The smaller sized lots are more affordable for the average household, and are still comfortably sized for a growing family at over 4,000 square feet each lot.
- Its smaller and more affordable lot size promotes ownership housing.

Thank you for considering this project proposal.

Sincerely,



Shawn Chang, Principle
TAG Design Works

ATTACHMENT 4

RESOLUTION NO. PC-16-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING PLANNING APPLICATION PA-15-31 AND TENTATIVE PARCEL MAP NO. PM-15-137 FOR PROPERTY AT 146 EAST 18TH STREET IN THE R2-HD ZONE

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by TAG Design Works, authorized agent for the property owner, 146 E. 18th Street LLC, the property owner, requesting approval of the following:

1. **Planning Application PA-15-31:** Design review to construct a two-unit, two-story, small lot subdivision on an 8,839 sq. ft. lot in the R2-HD zone. The two-story detached homes are proposed at approximately 2,800 square feet, including garage, and consist of 3 bedrooms, 3 and ½ bathrooms, and a two car garage with minimum interior dimensions of 20 feet by 20 feet. The two-story residential development will be developed per the residential small lot development standards with the following deviation from code requirements:
 - a. Minor modification for front yard setback distance along East 18th Street (20 feet required; 16 feet proposed for a proposed covered front porch). The main residence building is located at a 20-foot setback and complies with Code.
2. **Tentative Parcel Map TPM 2015-137:** A subdivision in accordance with the small lot subdivision standards to create two fee simple lots.

WHEREAS, a duly noticed public hearing held by the Planning Commission on February 22nd, 2016 with all persons having the opportunity to speak for and against the proposal;

WHEREAS, the two-unit project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3), Construction and Conversion of Small Structures.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, and subject to the conditions of approval contained within Exhibit

B, the Planning Commission hereby **APPROVES** Planning Application PA-15-31 and Tentative Parcel Map PM-15-137.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-15-31 and Tentative Parcel Map PM-15-137 and upon applicant's compliance with each and all of the conditions in Exhibit B, and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

BE IT FURTHER RESOLVED that if any section, division, sentence, clause, phrase or portion of this resolution, or the documents in the record in support of this resolution, are for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

PASSED AND ADOPTED this 22nd day of February, 2016.

Robert L. Dickson Jr., Chair
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS

- A. The proposed project complies with Costa Mesa Municipal Code Section 13-29(g)(14) because:

Finding: The project complies with the City of Costa Mesa Zoning Code and meets the purpose and intent of the Residential Design Guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.

Facts in Support of Findings: The design of the two-story homes complies with the building mass and form, window placement, setbacks, elevation treatments, and architectural consistency guidelines. The proposed residences include elevations with varied roof forms and elevation treatments to enhance visual interest. The buildings are placed on the property with sufficient setbacks to provide private useable open space and minimizes the potential privacy impacts to surrounding properties. The location of the units takes into consideration the side yards of the abutting homes. The second-story windows for Unit A will have an 8-foot setback from the property line of the neighboring single story residence to the east, and Unit B will have a 19-foot setback. The residences to east are single story structures and are approximately 5 feet from the property line. The exterior elevations of the proposed homes also incorporate enhanced windows, including a variety of sizes and window trim to provide visual interest. In addition, a required six-foot tall decorative block wall along the perimeter of the development lot will improve the aesthetics of the site and the abutting properties. The location and orientation of all buildings are arranged to preserve natural feature, including a large conifer tree, which will remain on the development lot near Unit A. The project will include consistent architectural design, as each unit includes a combination stucco finish and siding with varying colors, use of vinyl windows, and wood trellises will be built along the perimeter of both units to provide visual interest.

Finding: The visual prominence associated with the construction of a two-story house or addition in a predominantly single-story neighborhood has been reduced through appropriate transitions between the first and second floors and the provision of second floor offsets to avoid flat two-story walls.

Facts in Support of Finding: The subject site is in a neighborhood with both single-story and two-story residences. The proposed project provides variation to street-facing elevations to reduce visual prominence, provide visual interest and relief from monotony. Building mass and form were considered, as offsets and building projections were made an integral part of

the design. Recesses in building plane have been incorporated into the design to provide visual relief, including a variation in roof forms, orientation and pitch. The two units are staggered from one another, and provide individual and identifiable entries to add interest and variety to the streetscene. The two story structures are designed with articulation on all elevations to avoid a boxy appearance from the street and neighboring views. Elevations are enhanced with combination of materials, varied roof forms, front entry porches, as well as accents and details. Roofing materials include fiberglass shingle roofing for the second-story roof, and metal roofing along the first-story roof. Staff is requiring further enhancement to exterior elevations to differentiate the two units. The project will include consistent architectural design, as each unit includes a combination stucco finish and siding with varying colors, use of vinyl windows, and wood trellises will be built along the perimeter of both units to provide visual interest.

- B. The proposed project complies with Costa Mesa Municipal Code Section 13-29(g)(13) because:

Finding: The creation of the subdivision and related improvements is consistent with the General Plan and the Zoning Code.

Facts in Support of Finding: The creation of the subdivision is consistent with General Plan Land Use Objectives LU-1A, LU-1A.4, and LU-2A in that adequate infrastructure exists to serve the proposed project; the project promotes homeownership opportunities to improve the balance between renter and owner occupied housing in the City; and the project would not result in the loss of any habitat, or require extensive infrastructure improvements to provide service to the site. The project design complies with development standards of the Small Lot Subdivision Ordinance, however the project is requesting a Minor Modification to allow for a maximum 20% decrease from the required front yard setback to allow for a front porch.

Finding: The proposed use of the subdivision is compatible with the General Plan.

Facts in Support of Finding: The proposed project has a density of 10 units per acre, consistent with the General Plan designation of High Density Residential, which allows 14.5 dwelling units per acre.

Finding: The subject property is physically suitable to accommodate the subdivision in terms of type, design, and density of development, and will not result in substantial environmental damage nor public health problems, based on compliance with the Zoning Code and General Plan, and consideration of appropriate environmental information.

Facts in Support of Finding: The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3), New Construction or Conversion of Small Structures. The project complies with the maximum allowed density for the site and provides adequate open space,

parking and setbacks from adjacent properties.

Finding: The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code Section 66473.1.

Facts in Support of Finding: The project provides private open space areas under partial roof canopies and incorporates landscaping, such as trees, to ensure natural and passive heating and cooling from the sun exposure. The units are designed to in a north-south position allowing for narrow portion of homes along the southern elevation to minimize sun exposure. The project also provides private open space areas under trellises and entry canopies. An existing large conifer tree will remain on the development lot along the southerly property line of Unit A (Parcel 1) to further provide shade for the two units.

Finding: The subdivision and development of the property will not unreasonably interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.

Facts in Support of Finding: The proposed project does not interfere with the public right of way. Per the Public Services Division, the project will require a 3-foot sidewalk easement along the front property line abutting both Fullerton Avenue and East 18th Street right-of-ways. The proposed project is conditioned to include a 2.5-foot alley dedication to maintain increased vehicular access along the rear public alley.

Finding: The discharge of sewage from this subdivision into the public sewer system will not violate the requirements of the California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000 of the Water Code).

Facts in Support of Finding: The applicant will be required to comply with all regulations set forth by the Costa Mesa Sanitation District as well as the Mesa Water District.

- C. The proposed project complies with Costa Mesa Municipal Code Section 13-29(g)(6) because:

Finding: The improvement will not be materially detrimental to the health, safety and general welfare of persons residing or working within the immediate vicinity of the project or to property and improvements within the neighborhood.

Facts in Support of Finding: The project is requesting a Minor Modification to allow for a maximum 20% decrease from the required front yard setback to allow for a front porch. The Small Lot Subdivision Ordinance requires a minimum 20-foot front setback, however a 20% reduction in front yard setback would allow for a 16-foot setback. Unit A is the only unit proposed along the development lot's front setback.

The setbacks of existing neighboring structures were considered with regard to the project's proposed modification to both front and rear setback. The project is requesting a reduction from 20 feet to 16 feet for the front setback along the front (southerly) property line for Unit A. This reduction would allow the projecting covered front porch along the front entryway of Unit A to project 4 feet into required 20-foot front setback. The front porch will enhance the project and is not expected to interfere with the visual line of site related to vehicular travel along East 18th Street, as a 6-foot fence is proposed along the front setback within the allowable 10-foot setback required for walls over 3 feet. Also, the covered front porch is an open trellis and not a solid structure, therefore is less impactful than if a solid structure, such as a building or enclosed entryway. The main residence of Unit A will abide by the 20-foot setback.

Finding: The improvement is compatible and enhances the architecture and design of the existing and anticipated development in the vicinity. This includes the site planning, land coverage, landscaping, appearance, scale of structures, open space and any other applicable features relative to a compatible and attractive development.

Facts in Support of Finding: In regards to design, the proposed units are designed to be consistent with the materials, massing, scale and articulation of the multi-family residential area for maximum compatibility. The design of the units are well articulated with deep overhangs, roof dormers, stepped floor plans. The covered front porch is an open trellis and not a solid structure, therefore is less impactful than if a solid structure, such as a building or enclosed entryway. The main residence of Unit A will abide by the 20-foot setback. In addition, the proposed project provides for adequate landscaping with trees, shrubs, and groundcover to enhance the project site. The project will preserve a large existing mature conifer tree, which will remain on the development lot near Unit A. Therefore, the proposed project will enhance the architecture and design of the existing and anticipated development in the vicinity.

- C. **Finding:** The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3) for New Construction or Conversion of Small Structures.

Facts in Support of Finding: In urbanized areas, up to three single-family residences may be constructed under the Class 3 exemption. The project proposes to construct two residential units and therefore qualifies for a Class 3 exemption.

- D. The project is exempt from Chapter XII, Article 3 Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

EXHIBIT B

CONDITIONS OF APPROVAL

- Plng.
1. The expiration of Planning Application PA-15-31 shall coincide with the expiration of the approval of the Tentative Parcel Map PM-15-137 which is valid for two years. An extension request is needed to extend the expiration for each additional year after the initial two-year period.
 2. The conditions of approval for PA-15-31 and Tentative Parcel Map PM-15-137 shall be blueprinted on the face of the site plan as part of the plan check submittal package. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
 3. No lot may be sold, leased, or financed, nor shall permits be issued or construction commenced prior to the recordation of the final map with the County Recorder. Building permits may be issued and construction may be commenced prior to recordation of the final map only with prior approval from the Development Services Director.
 4. Prior to issuance of building permits, the applicant shall provide the Conditions, Covenants, and Restrictions (CC&Rs) to the Development Services Director and City Attorney's office for review. The CC&Rs must be in a form and substance acceptable to, and shall be approved by the Development Services Director and City Attorney's office.
 - a. The CC&R's shall contain restrictions requiring residents to park vehicles in garage spaces provided for each unit. Storage of other items may occur only to the extent that vehicles may still be parked within the required garage at the number for which the garage was originally designed and to allow for inspections by the homeowner's or maintenance association, as applicable, to verify compliance with this condition. Any subsequent revisions to the CC&Rs related to these provisions must be reviewed and approved by the City Attorney's office and the Development Services Director before they become effective.
 5. The Homeowner's Association or Maintenance Association, as applicable, shall submit a signed affidavit to the City of Costa Mesa on an annual basis to certify the following:
 - a. The two-car garages in the residential community are being used for vehicle parking by the resident(s).
 - b. The vehicle parking areas within the garage are not obstructed by storage items, including but not limited to, toys, clothing, tools, boxes, equipment, etc.
 - c. The resident(s) have consented to voluntary inspections of the garage to verify the parking availability, as needed.

The form and content of the affidavit shall be provided by the City Attorney's office. Failure to file the annual affidavit is considered a violation of this condition.
 6. Prior to issuance of a certificate of occupancy, the applicant shall file and record a declaration of covenants, conditions, and restrictions (CC&Rs) on the property. The establishment of a Homeowner's Association is optional. Prior to issuance of a building permit, a draft of the CC&Rs shall be

remitted to the Development Services Director and City Attorney's office for review and approval. Because there are no common areas for circulation, parking, or landscape purposes, the CC&Rs shall be limited to the ground rules related to: architectural control over future building modifications or additions, architectural design and guidelines for the property, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts. The Development Services Director has the discretion to request any other provisions in the CC&Rs to promote self-governance between the two property owners.

7. With specific regard to the interior fencing between the two new homes (not outside development lot perimeter), the applicant shall submit a detailed wall and fence plan for review. The location and heights of fences/walls shall comply with Code requirements, as well as any visibility standards for traffic safety related to ingress and egress. The private, interior fences or walls between the homes shall be a minimum of six feet in height.
8. Code requires a 6-foot high masonry wall around the perimeter of the proposed development lot along interior property lines. Where walls on adjacent properties already exist, the applicant shall work with the adjacent property owner(s) to prevent side-by-side walls with gaps in between them and/or provide adequate privacy screening by trees and landscaping.
9. Prior to issuance of grading permits, developer shall submit for review and approval a Construction Management Plan. This plan features methods to minimize disruption to the neighboring residential uses to the fullest extent that is reasonable and practicable. The plan shall include construction parking and vehicle access and specifying staging areas and delivery and hauling truck routes. The plan should mitigate disruption to residents during construction. The truck route plan shall preclude truck routes through residential areas and major truck traffic during peak hours. The total truck trips to the site shall not exceed 200 trucks per day (i.e., 100 truck trips to the site plus 100 truck trips from the site) unless approved by the Development Services Director or Transportation Services Manager.
10. The subject property's ultimate finished grade level may not be filled/raised in excess of 30 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site storm water flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. Such alternatives may include subsurface tie-in to public storm water facilities, subsurface drainage collection systems and/or sumps with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties. Applicant is advised that recordation of a drainage easement across the private street may be required to fulfill this requirement.
11. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.

12. Applicant shall provide additional (non-structural) elevation work to each unit for the window pop-outs along the public right of way and alley (portions currently shown as gray in color elevations) in order to differentiate the second-story elevations from one another, including the use of different finished materials such as wood siding.
13. No modification(s) of the approved building elevations including, but not limited to, change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process or a variance, or in the requirement to modify the construction to reflect the approved plans.
14. A minimum 20-foot by 20-foot clear inside dimension shall be provided for the two-car garages. The proposed garages shall be used for parking as required by code as it is not habitable space; further excess storage which prevents parking the required number of vehicles is prohibited.
15. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
16. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.
17. The ground floor exterior decks shall not be built higher than 6 inches above natural grade.
- Utilities 18. Prior to the issuance of a connection permit, the applicant shall pay the applicable water connection fees.
- Eng. 19. Dedicate a 2.5-foot wide easement for public alley right of way purposes.
- Eng. 20. Dedicate a 3-foot sidewalk easement to the City of Costa Mesa behind the right-of-way line on E.18th Street and Fullerton Avenue.
- Eng. 21. Submit subdivision application and comply with conditions of approval and code requirements.
- Eng. 22. Applicant is informed E. 18th Street is under a "NO OPEN CUT" moratorium. Open cutting the street pavement during the moratorium period shall require resurfacing requirements.

- Eng. 23. Per requirements of Real Property, City of Costa Mesa, Engineering Division, dedicate a diagonal corner cut-off at the corner of 18th Street and Fullerton Avenue.
- Eng. 24. Release and relinquish all vehicular and pedestrian access rights to E 18th Street, Fullerton Avenue and alley to the City of Costa Mesa except at approved locations.

CODE REQUIREMENTS

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng. 1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
2. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
3. Development shall comply with all requirements of Section 13-32, Title 13, of the Costa Mesa Municipal Code relating to development standards for residential projects.
4. All on-site utility services shall be installed underground.
5. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
6. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
7. Two (2) sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
8. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
9. If present and/or projected exterior noise exceeds 60 CNEL, California Noise Insulation Standards, Title 25, California Code of Regulations require a maximum interior noise level of 45 CNEL for residential structures. If required interior noise levels are achieved by requiring that windows be inoperable or closed, the design for the structure must also specify the means that will be employed to provide ventilation, and cooling if necessary, to provide a habitable interior environment.

10. Prior to issuance of occupancy permits, the Developer shall pay a park impact fee or dedicate parkland to meet the demands of the proposed development.
- Bldg. 11. Comply with the requirements of the adopted 2013 California Residential Code, 2013 California Building Code, 2013 California Electrical code, 2013 California Mechanical code, 2013 California Plumbing code, 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted, California Residential Code, California Building code, California Electrical code, California Mechanical code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
12. Submit precise grading plans, an erosion control plan and a hydrology study. If it is determined that a grading plan is not required, a drainage plan shall be provided. Each parcel and address shall have a separate precise grading plan. A precise grading and a hydrology report plan shall not be required if any of the following are met:
 - 1- An excavation which does not exceed 50 CY on any one site and which is less than 2 ft in vertical depth, or which does not create a cut slope greater than 1 ½:1 (excluding foundation area).
 - 2- A fill less than 1 foot in depth placed on natural grade with a slope flatter than 5:1, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
 - 3- A fill less than 3 ft. in depth, not intended to support structures, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
13. Submit a soil's report for the project. Soil's Report recommendations shall be blueprinted on both the architectural and the precise grading plans.
14. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge device a minimum of 12 inches plus two percent (2%). 2013 California Residential Code CRC 403.1.7.3
15. Lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of six inches within the first ten feet. CRC R401.3
16. Projections, including eaves, shall be one-hour fire resistive construction, heavy timber or of noncombustible material if they project into the five foot setback area from the property line. They may project a maximum of 12 inches beyond the three foot setback. CRC Tables R302.1(1) and R302.1(2).
- Fire 17. Prior to the issuance of a Building Permit, the City of Costa Mesa Fire Department shall review and approve the project design features to assess compliance with the California Building Code and California Fire Code.
18. The project shall provide an automatic fire sprinkler system according to NFPA 13D.
19. Street addresses shall be visible from the public street and may be displayed either on the front door, on the fascia adjacent to the main entrance, or on another prominent location. When the property has alley access, address numerals shall be displayed in a prominent location

visible from the alley. Numerals shall be a minimum six (6) inches in height with not less than one-half-inch stroke and shall contrast sharply with the background.

- Trans. 20. Construct residential driveway approach at locations specified on submitted site plan. Drive approach dimensions shall be W=16 feet, X=4 feet, per City Standards.
21. Close unused drive approaches with full height curb and gutter per City Standards.
- Eng. 22. Two copies of the Final Map and one copy of the Property Boundary closure calculations shall be submitted to the City of Costa Mesa Engineering Division for checking.
23. Submit updated Title Report of the subject property.
24. The Parcel Map shall be developed in full compliance of CCMMC Sec 13-208 through 13-261 inclusive.
25. Submit seven copies, one duplicate mylar and an electronic copy of recorded map or signed plan to Engineering Division, City of Costa Mesa, prior to occupancy.
26. Prior to recordation of a final map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor and shall submit to the City Engineer and the County Surveyor a digital-graphic file of said map in a manner described in Subarticle 11/12, Sections 7-9-330/7-9-337 of the Orange County Subdivision Code.
27. Survey Monuments shall be preserved and referenced or set pursuant to Section 8771 of the Professional Land Surveyors Act and Business and Professional code.
28. Submit cash deposit or surety bond to guarantee monumentation prior to approval of the map. Amount to be determined by City Engineer.
29. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
30. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
31. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
32. A Construction Access Permit and deposit of \$580 will be required by City of Costa Mesa, Engineering Division, prior to start of any on-site work, necessary during construction for street sweeping and to guarantee replacement costs in case of damage to existing public improvements.
33. Obtain an encroachment permit from the Engineering Division for any work in the City public right-of-way. Pay required permit fee & cash deposit or surety bond to guarantee construction of off-site street

improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.

34. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approaches per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager. ADA compliance required for new driveway approaches.
35. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. Residential sidewalk per City of Costa Mesa Standards as shown on the Off-site Plan, including four (4) feet clear around obstructions in the sidewalk.
36. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb and sidewalk at applicant's expense.
37. Fulfill Drainage Fee requirements per City of Costa Mesa Ordinance No. 06-19 prior to approval of Final Map/Approval of Plans.
38. In order to comply with the 2003 Drainage Area Management Plan (DAMP), the proposed Project shall prepare a Water Quality Management Plan conforming to the Current National Pollution Discharge Elimination System (NPDES) and the Model WQMP, prepared by a Licensed Civil Engineer or Environmental Engineer, which shall be submitted to the Department of Public Works for review and approval.
 - a) A WQMP (Priority or Non-Priority) shall be maintained and updated as needed to satisfy the requirements of the adopted NPDES program. The plan shall ensure that the existing water quality measures for all improved phases of the project are adhered to.
 - b) Location of BMPs shall not be within the public right-of-way.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- Sani.
1. Applicant will be required to construct sewers to serve this project, at his own expense, meeting the approval of the Costa Mesa Sanitary District.
 2. County Sanitation District fees, fixture fees, inspection fees, and sewer permit are required prior to installation of sewer. To receive credit for buildings to be demolished, call (949) 654-8400.
 3. Applicant shall submit a plan showing sewer improvements that meets the District Engineer's approval to the Building Division as part of the plans submitted for plan check.
 4. The applicant is required to contact the Costa Mesa Sanitary District at (949) 654-8400 to arrange final sign-off prior to certificate of occupancy being released.
 5. Unless an off-site trash hauler is being used, applicant shall contact the Costa Mesa Sanitary District at (949) 654-8400 to pay trash collection program fees and arrange for service for all new residences. Residences using bin or dumpster services are exempt from this requirement.

6. Applicant shall contact Costa Mesa Sanitary District at (949) 654-8400 for any additional district requirements.
- AQMD 7. Applicant shall contact the Air Quality Management District (AQMD) at (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.
- School 8. Pay applicable Newport Mesa Unified School District fees to the Building Division prior is issuance of building permits.
- State 9. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
- Water 10. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District

RESOLUTION NO. PC-16-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA DENYING PLANNING APPLICATION PA-15-31 AND TENTATIVE PARCEL MAP NO. PM-15-137 FOR PROPERTY AT 146 EAST 18TH STREET IN THE R2-HD ZONE

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by TAG Design Works, authorized agent for the property owner, 146 E. 18th Street LLC, the property owner, requesting approval of the following:

1. **Planning Application PA-15-31:** Design review to construct a two-unit, two-story, small lot subdivision on an 8,839 sq. ft. lot in the R2-HD zone. The two-story detached homes are proposed at approximately 2,800 square feet, including garage, and consist of 3 bedrooms, 3 and ½ bathrooms, and a two car garage with minimum interior dimensions of 20 feet by 20 feet. The two-story residential development will be developed per the residential small lot development standards with the following deviation from code requirements:
 - a. Minor modification for front yard setback distance along East 18th Street (20 feet required; 16 feet proposed for a proposed covered front porch). The main residence building is located at a 20-foot setback and complies with Code.
2. **Tentative Parcel Map TPM 2015-137:** A subdivision in accordance with the small lot subdivision standards to create two fee simple lots.

WHEREAS, a duly noticed public hearing held by the Planning Commission on February 22, 2016 with all persons having the opportunity to speak for and against the proposal;

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, the Planning Commission hereby **DENIES** Planning Application PA-15-31 and Tentative Parcel Map No. PM-15-137.

DENIED this 22nd day of February, 2016.

Robert L. Dickson Jr., Chair
Costa Mesa Planning Commission

STATE OF CALIFORNIA)
)ss
COUNTY OF ORANGE)

I, Claire Flynn, Secretary to the Planning Commission of the City of Costa Mesa, do hereby certify that the foregoing Resolution was passed and adopted at a meeting of the City of Costa Mesa Planning Commission held on February 22nd, 2016 by the following votes:

- AYES: COMMISSIONERS
- NOES: COMMISSIONERS
- ABSENT: COMMISSIONERS
- ABSTAIN: COMMISSIONERS

Claire L. Flynn, Secretary
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS (DENIAL)

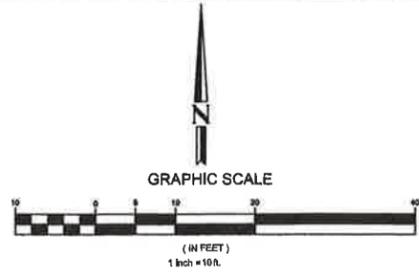
- A. The proposed project does not comply with Costa Mesa Municipal Code Section 13-29(e) because:
1. A compatible and harmonious relationship does not exist between the proposed use and existing buildings, site development, and uses on surrounding properties.
 2. The proposed project does not comply with the performance standards as prescribed in the Zoning Code.
 3. The proposed project is not consistent with the General Plan or Zoning Code.
- B. The proposed project does not comply with Costa Mesa Municipal Code Section Code Section 13-29(g)(13) because:
1. There creation of the subdivision and related improvements is not consistent with the General Plan, any applicable specific plan, and this Zoning Code.
 2. The proposed use of the subdivision is not compatible with the General Plan.
 3. The subject property is not physically suitable to accommodate the subdivision in terms of type, design and density of development, and will result in substantial environmental damage or public health problems, based on noncompliance with the Zoning Code and General Plan, and consideration of appropriate environmental information.
 4. The design of the subdivision does not provide for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code Section 66473.1.
 5. The division and development will interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.
 6. The discharge of sewage from this land division into the public sewer system will violate the requirements of the State Regional Water Quality Control Board pursuant to Division 7 (commencing with State Water Code Section 13000).
- C. The information presented does not comply with Costa Mesa Municipal Code Section 13-29(14) in that the project does not meet the purpose and intent of the Residential Design Guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.
- D. The subdivision of the property is not consistent with the City's General Plan and Zoning Code.
- E. The Costa Mesa Planning Commission has denied Planning Application PA-15-31 and Tentative Parcel Map No. PM-15-137. Pursuant to Public Resources Code Section 21080(b)(5) and CEQA Guidelines Section 15270(a) CEQA does not apply to this project because it has been rejected and will not be carried out.

- F. The project is exempt from Chapter IX, Article 11, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.



TENTATIVE PARCEL MAP 2015-137

TWO SINGLE FAMILY RESIDENCES



LEGEND:

- PROPERTY BOUNDARY
- - - OFFSITE R/W
- - - PROPOSED LOT LINE
- - - EXISTING LOT LINE
- - - CENTERLINE
- - - EASEMENT LINE
- - - STORM DRAIN
- - - SEWER LINE
- - - WATER LINE

LEGAL DESCRIPTION

FOR APN/PARCEL ID(S): 425-231-01
 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:
 THE NORTHWESTERLY 75 FEET OF THE SOUTHWESTERLY 127.5 FEET LOT 132 OF "NEWPORT HEIGHTS," IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 4, PAGE 83 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE RECORDER OF SAID COUNTY.
 THIS DESCRIPTION DESCRIBES ALL THAT REAL PROPERTY DESCRIBED IN TITLE REPORT IDENTIFIED AS CHICAGO TITLE COMPANY, TITLE NO. 58601503843-JA, DATED MARCH 25, 2015.

EASEMENT PLOTTED

TITLE REPORT EXCEPTIONS: CHICAGO TITLE COMPANY, TITLE NO. 8801503843-JA, DATED MARCH 25, 2015.
 (E) EASEMENT(S) FOR STREET AND HIGHWAY AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT, RECORDED APRIL 6, 1960, IN BOOK 5181, PAGE 435, OFFICIAL RECORDS.

BASIS OF BEARING:

THE BEARING NORTH 40°38'08" EAST BEING THE SOUTHEASTERLY RIGHT OF WAY LINE OF FULLERTON AVENUE AS SHOWN ON PARCEL MAP NO. 2007-150, FILED IN BOOK 363, PAGES 47 AND 48 OF PARCEL MAPS IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

GENERAL NOTES:

PROJECT ADDRESS: 146 E. 18TH STREET
 COSTA MESA, CA 92627
 EXISTING ZONING: RESIDENTIAL
 EXISTING LAND USE: RESIDENTIAL
 PROPOSED LAND USE: RESIDENTIAL
 DEVELOPMENT AREA: GROSS AREA: 9,572 SF, 0.220 AC
 NET AREA: 8,873 SF, 0.199 AC
 DATE MAP PREPARED: JULY, 2015
 EXISTING TREES: THERE ARE TWO EXISTING PINE TREES ON SITE
 THERE ARE NO INDIGENOUS NATIVE OAK TREES ON SITE AS SHOWN
 NUMBERED LOTS: 2 LOTS SINGLE FAMILY RESIDENCE

DEVELOPER / OWNER:

MR. JOHNNY LIU
 146 E. 18TH STREET
 COSTA MESA, CA 92627

UTILITY PURVEYORS:

ELECTRICITY
 SOUTHERN CALIFORNIA EDISON CO.
 800 WEST CENEGA AVENUE
 SAN DIEGO, CA 91773
 909-592-3715
 800-855-4555

GAS
 SOUTHERN CALIFORNIA GAS CO.
 1919 SOUTH STATE COLLEGE BLVD
 ANAHEIM, CA 92808
 714-834-3217
 800-427-2200

WATER
 TIM BEAMAN
 MESA WATER DISTRICT
 1988 PLACENTA AVE
 COSTA MESA, CA 92627
 949-207-483

BUILDING OFFICIAL
 CITY OF COSTA MESA
 BUILDING DIVISION
 77 FAIR DRIVE
 COSTA MESA, CA 92628
 (714) 754-5807

SEWER DISTRICT
 JANEL JACKSON
 COSTA MESA SANITARY DISTRICT
 628 W. 18TH STREET
 COSTA MESA, CA 92627-2718
 (949) 645-8400 PH

NOTE:

PARCEL A INDICATES EASEMENTS DEDICATION FOR STREET AND HIGHWAY PURPOSES GRANT TO CITY OF COSTA MESA

BENCHMARK:

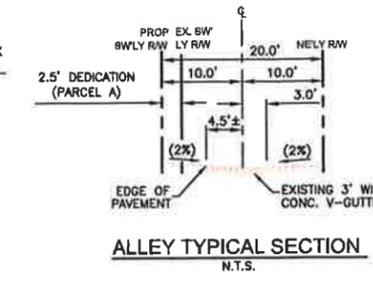
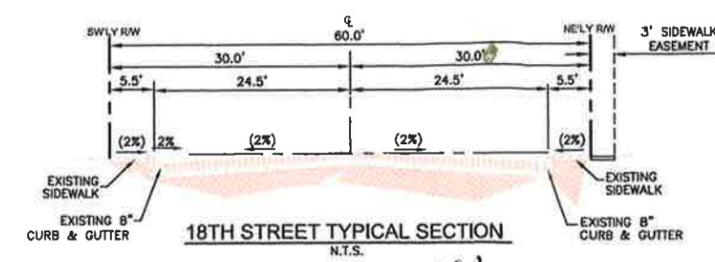
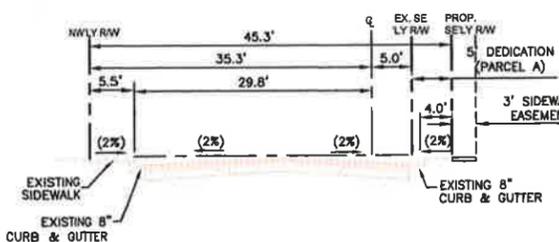
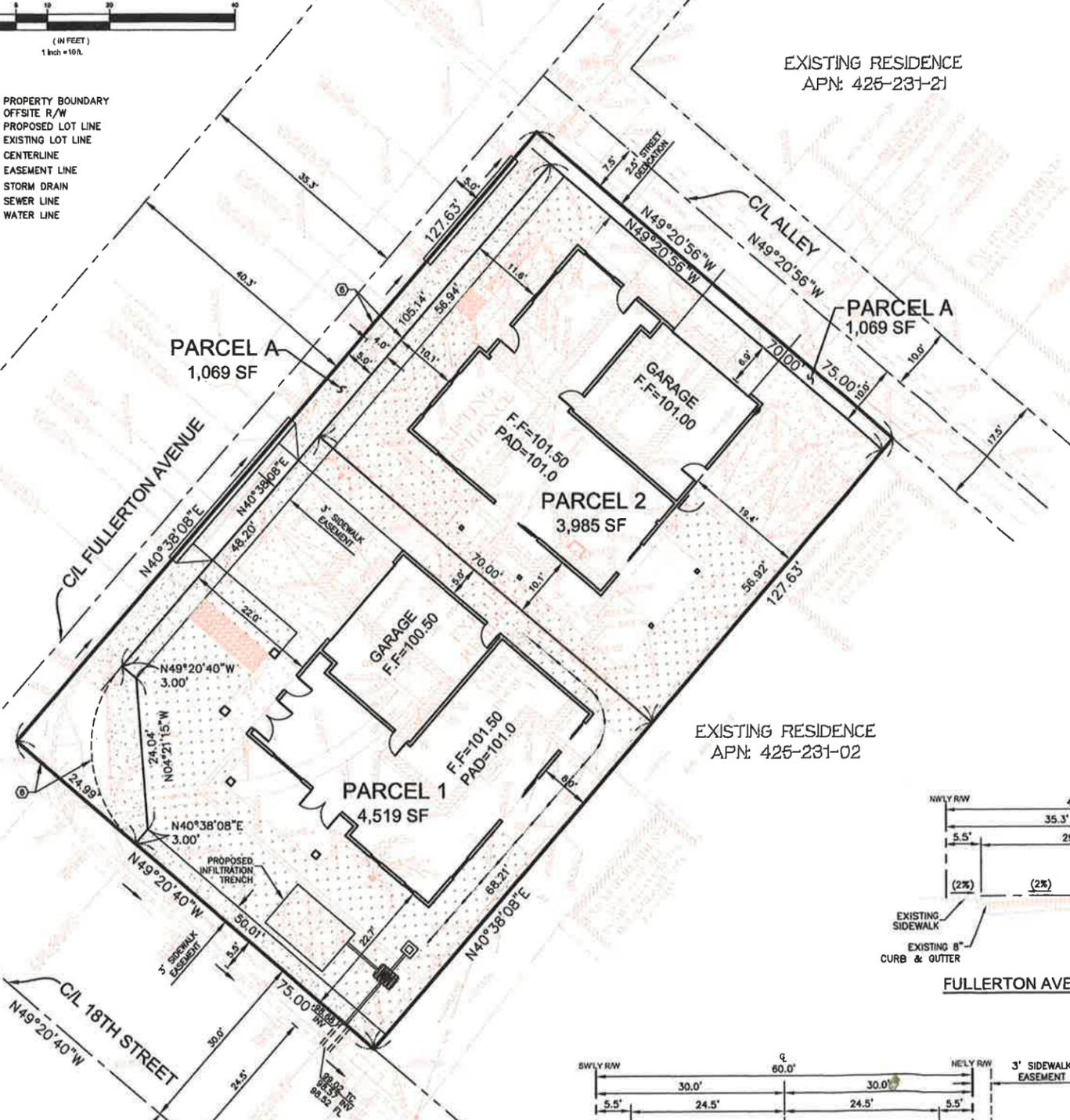
ORANGE COUNTY B.M. #CM-48-89
 DESCRIBED BY OCS 2001 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "CM-48-89", SET IN THE NORTHERLY CORNER OF A 4 FOOT BY 8 FOOT CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHERLY CORNER OF THE INTERSECTION OF SANTA ANA AVENUE AND BROADWAY, 24.8 FEET NORTHWESTERLY OF THE CENTERLINE OF SANTA ANA AVENUE AND 83.8 FEET NORTHEASTERLY OF THE CENTERLINE OF BROADWAY. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION: 95.838 (NAVD 88, YEAR LEVELED 2005)

W&W Land Design Consultants, Inc
 Civil Engineering • Subdivision • Land Planning
 2335 W. FOOTHILL BLVD., SUITE 1, UPLAND, CA 91786
 TEL: (909) 608-7118 • FAX: (909) 946-1137



NO.:	REVISION:	DATE:



2 LOTS RESIDENTIAL SUBDIVISION
 146 E. 18TH STREET
 COSTA MESA, CA 92627
 TENTATIVE PARCEL MAP 2015-137

ISSUE: 07/22/2016
 DATE: 07/22/2016
 CHECKED: WL DRAWN: STAFF
 DRAWING FILE: 15201M01
 PROJECT NO.: 1520
 SHEET NUMBER: 1
 OF 1 SHEETS
 SCALE: 1"=10'-0"

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46

COSTA MESA

STREET CORNER VIEW



SHEET INDEX

ARCHITECTURE

- T1.0 COVER SHEET
- A1.0 SITE/LANDSCAPE PLAN
- A2.1 GROUND FLOOR PLAN
- A2.2 SECOND FLOOR PLAN
- A2.3 ROOF PLAN
- A3.0 EXTERIOR ELEVATIONS

SURVEYOR

- 1 TOPOGRAPHIC AND BOUNDARY
- 2 TOPOGRAPHIC AND BOUNDARY

PROJECT SUMMARY

PROJECT DESCRIPTION	DEMOLISH EXISTING BUILDING ON SITE AND PROPOSE 2 NEW SINGLE FAMILY DWELLINGS
ADDRESS	146 E. 18TH ST. & 1804 FULLERTON AVE. COSTA MESA, CA 92627
OWNER NAME	146 E 18TH LLC
OWNER ADDRESS	1528 BROOKHOLLOW DRIVE, SUITE 100 SANTA ANA, CA 92705
ZONING	R2-HD
EXISTING	
BUILDING SF	1,220 SF MAIN BUILDING 101 SF SECONDARY BUILDING 100 SF GARAGE 1,421 SF TOTAL
NUMBER OF UNITS	2 (TO BE DEMOLISHED)
NUMBER OF STORIES	1
PROPOSED	
CONSTRUCTION TYPE	V-B
NUMBER OF STORIES	2
PROPOSED BUILDING HEIGHT	26'-8" (27'-0" MAX. ALLOWED)
PROPOSED SETBACKS	FRONT: 20'-0" (20'-0" MIN. ALLOWED) SIDE: 5'-0" REAR: 10'-0" (15'-0" MIN. ALLOWED) 5'-0" (5'-0" MIN. ALLOWED)
OCCUPANCY (UNIT A)	R3: SF U: SF
(UNIT B)	R3: SF U: SF
FIRE SPRINKLERS	NFPA 13D (OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION)
LOT AREA	8,839 S.F.
LOT COVERAGE	3,234 SF / 8,839 SF = 37%
PROPOSED UNITS	2 UNITS, 3 BEDROOMS PER UNIT
<u>UNIT A</u>	
1ST FLOOR	1,575 SF (1,105 SF WITHOUT GARAGE)
2ND FLOOR	1,217 SF
GARAGE	470 SF
TOTAL	2,792 SF (2,322 SF WITHOUT GARAGE)
<u>UNIT B</u>	
1ST FLOOR	1,586 SF (1,116 SF WITHOUT GARAGE)
2ND FLOOR	1,217 SF
GARAGE	470 SF
TOTAL	2,803 SF (2,333 SF WITHOUT GARAGE)
PARKING	
UNIT A	2 GARAGE SPACES, 2 DRIVEWAY SPACES
UNIT B	2 GARAGE SPACES, 2 UNCOVERED SPACES
OPEN SPACE	3,845 SF / 8,839 SF = 43% (30% MIN. ALLOWED)

PROJECT CONSULTANTS

ARCHITECT
TAG DESIGN WORKS
JOHNNY LIU, AIA, LEED AP, C30396
411 E. HUNTINGTON DR., SUITE 308
ARCADIA, CA 91006
T: 626.446.5300

CIVIL
W&W LAND DESIGN CONSULTANTS, INC.
WINSTON LIU
2335 W. FOOTHILL BLVD., SUITE 1
UPLAND, CA 91786
T: 909.608.7118
F: 909.946.1137
E: WINSTONLIU@WW-TECHNOLOGIES.COM

SOIL
EGA CONSULTANTS
DAVID A WORTHINGTON, CEG 2124
375-C MONTE VISTA AVE.
COSTA MESA, CA 92627
T: 949.642.9309
E: WORTHY10@AOL.COM

SURVEYOR
OHANA LAND SURVEYING
TEDDY OHANA, LS 8583
9 SPRINGTIDE
LAGUNA NIGUEL, CA 92677
T: 949.233.0739
E: Teddy@OhanaPLSLand.com



VICINITY MAP
SCALE: NTS

47 1

PROJECT ADDRESS:
146 E. 18TH STREET
COSTA MESA, CA 92627

ARCHITECT:
TAG design works
411 EAST HUNTINGTON DRIVE
SUITE 308
ARCADIA, CALIFORNIA 91006
PHN: (626) 446-5300



Job No.:
Drawn:
Checked:
BID Date:

Date: Issues / Revisions:

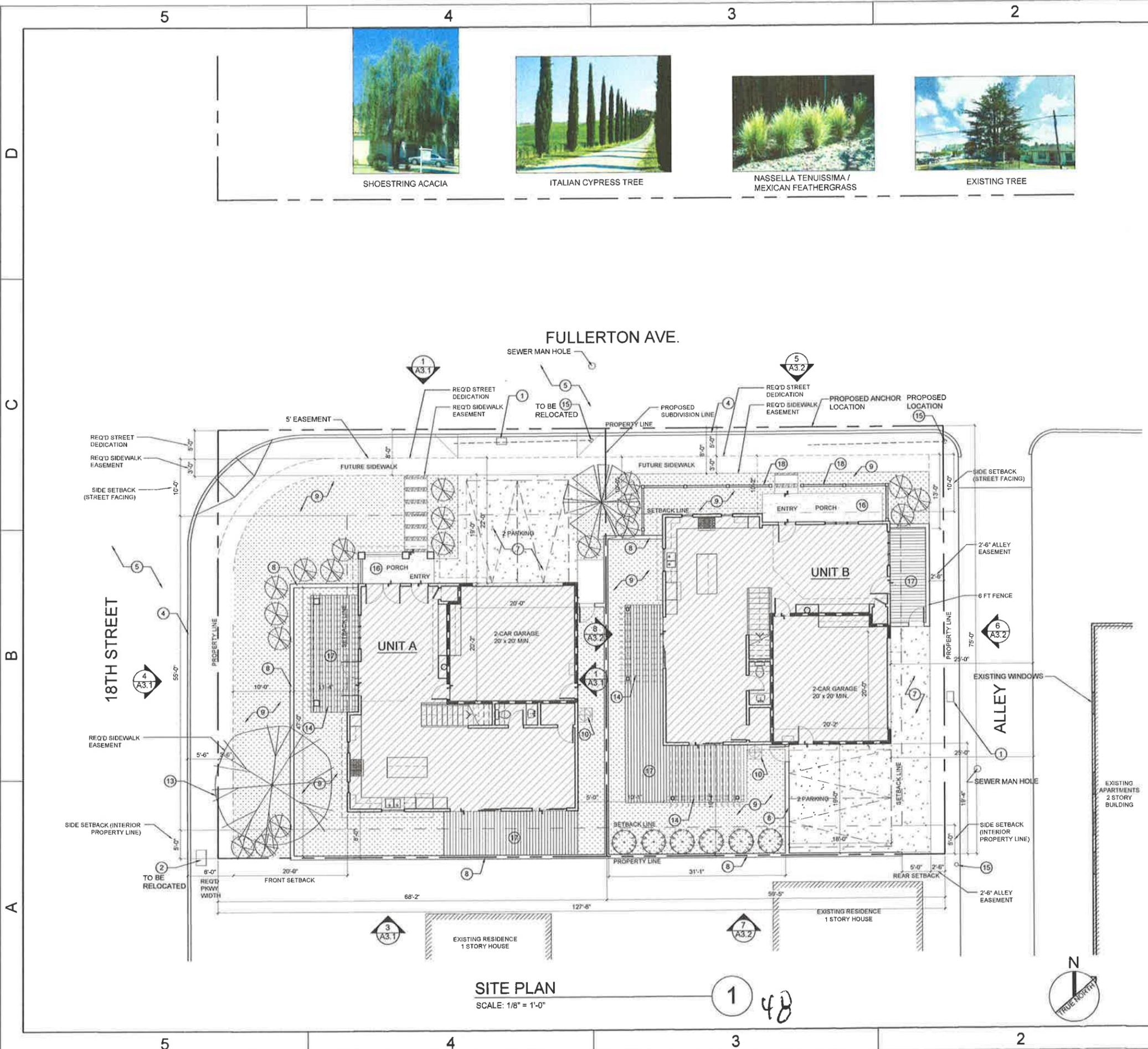
SHEET TITLE:

COVER SHEET
PROJECT
INFORMATION

SHEET #

T-1.0

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



SITE PLAN
SCALE: 1/8" = 1'-0"

1 48



SHOESTRING ACACIA



ITALIAN CYPRESS TREE



NASSELLA TENUISSIMA / MEXICAN FEATHERGRASS



EXISTING TREE

KEYNOTES

SYMBOL	DESCRIPTION	DETAIL
1	WATER METER	
2	GAS METER	
3	ELECTRIC METER	
4	STREET CURB	
5	A.C. PAVING	
6	CONCRETE SIDEWALK	
7	CONCRETE DRIVEWAY	
8	6 FT. FENCE - MEASURED FROM EXISTING GRADING	14 /A6.1
9	LANDSCAPE AREA - SEE LANDSCAPE PLANS	
10	CONDENSATE UNIT	
11	GUARDRAIL	11 & 12 /A-6.2
12	TRASH/RECYCLE BIN STORAGE	
13	EXISTING TREE	
14	WOOD TRELLIS	
15	POLE UTILITY	
16	SMOOTH CONCRETE FINISH	
17	WOOD DECK	
18	3 FT. FENCE - MEASURED FROM EXISTING GRADING	13 /A6.1
19		
20		
21		
22		
23		
24		
25		
26		

LEGEND

- CONCRETE PAVING
- GRASS COVER
- NASSELLA TENUISSIMA / MEXICAN FEATHERGRASS
- BUILDING FOOTPRINT
- EXISTING TREE
- SHOESTRING ACACIA
- ITALIAN CYPRESS TREE

LOT AREA: 8,839 SF
 OPEN SPACE: 3,845 SF / 8,839 SF = 43% (30% MIN.)
 LOT COVERAGE: 3,234 SF / 8,839 SF = 37%
 (UNIT A = 1,648 SF, UNIT B = 1,586 SF)

PROJECT ADDRESS:
146 E. 18TH STREET
COSTA MESA, CA 92627

ARCHITECT:
TAG design works
411 EAST HUNTINGTON DRIVE
SUITE 308
ARCADIA, CALIFORNIA 91006
PHN: (626) 446-5300

DESIGN WORKS



Job No.:
Drawn:
Checked:
BiD Date:

Date: Issues / Revisions:

SHEET TITLE:

SITE PLAN

SHEET #
A1.0

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146 E. 18TH STREET
COSTA MESA, CA 92627

ARCHITECT:
TAG design works
411 EAST HUNTINGTON DRIVE
SUITE 308
ARCADIA, CALIFORNIA 91006
PHN: (626) 446-5300



Job No.:
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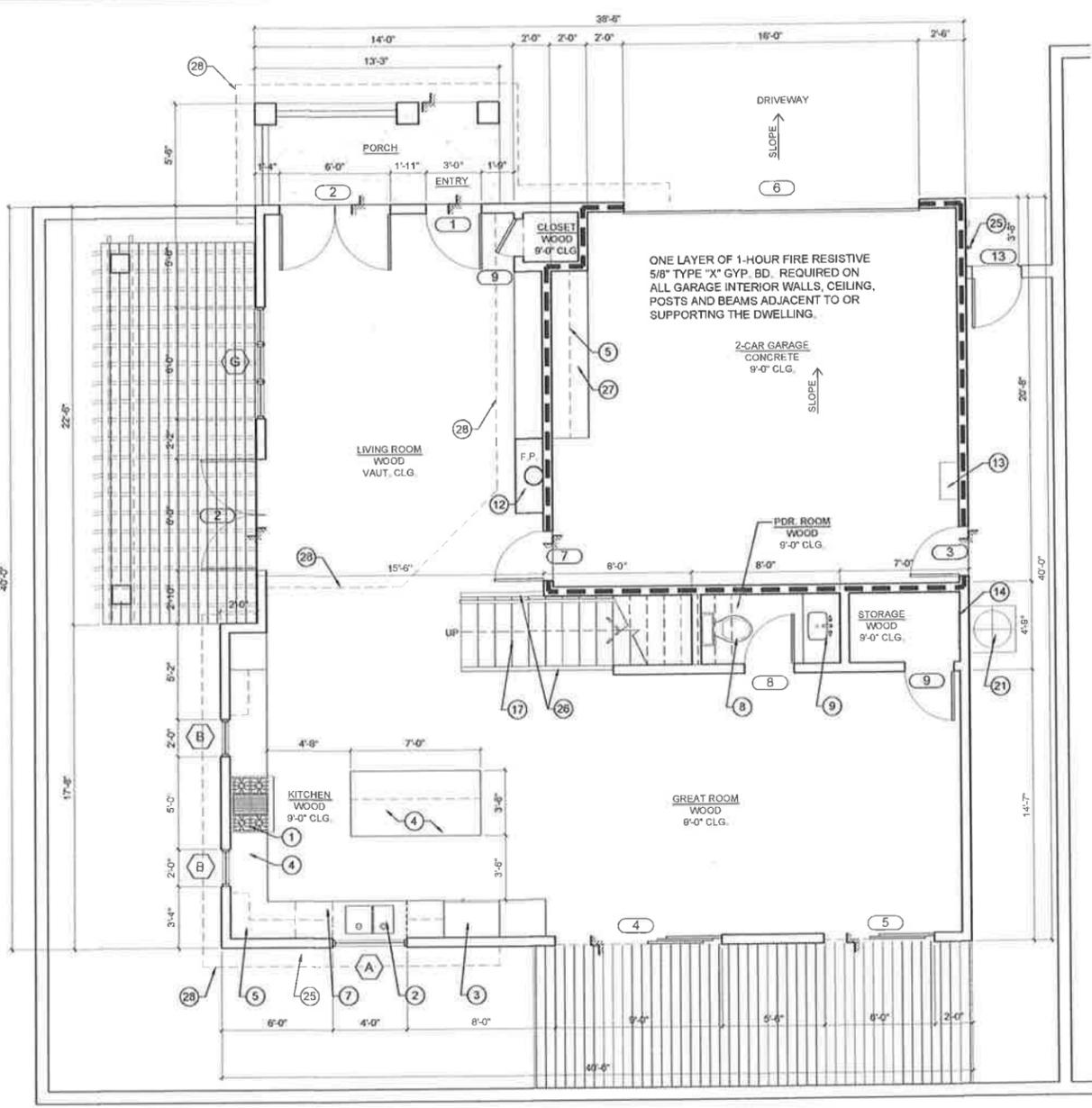
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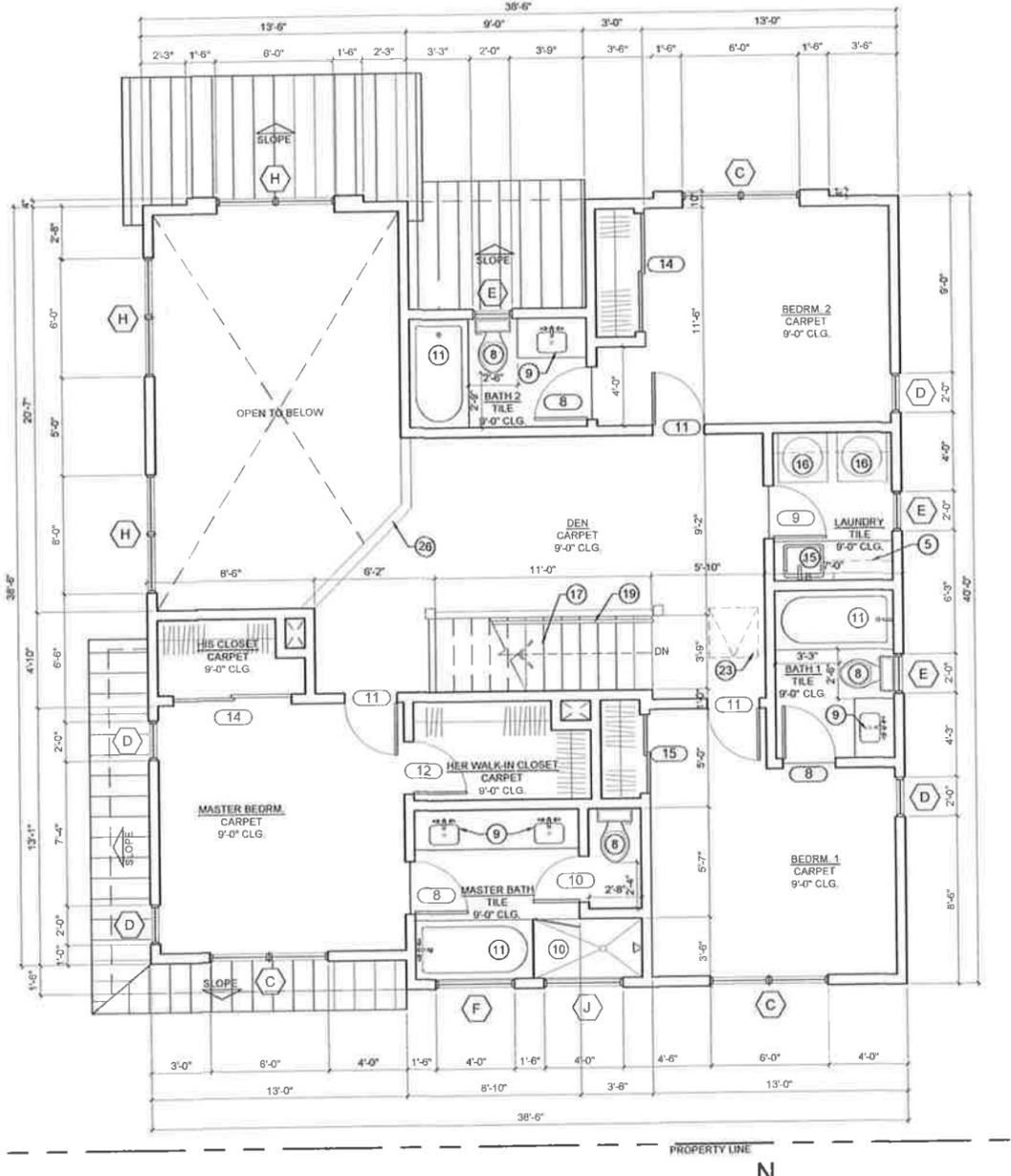
FLOOR PLANS
UNIT A

SHEET #

A2.1



FIRST FLOOR: UNIT A
SCALE: 1/4" = 1'-0"



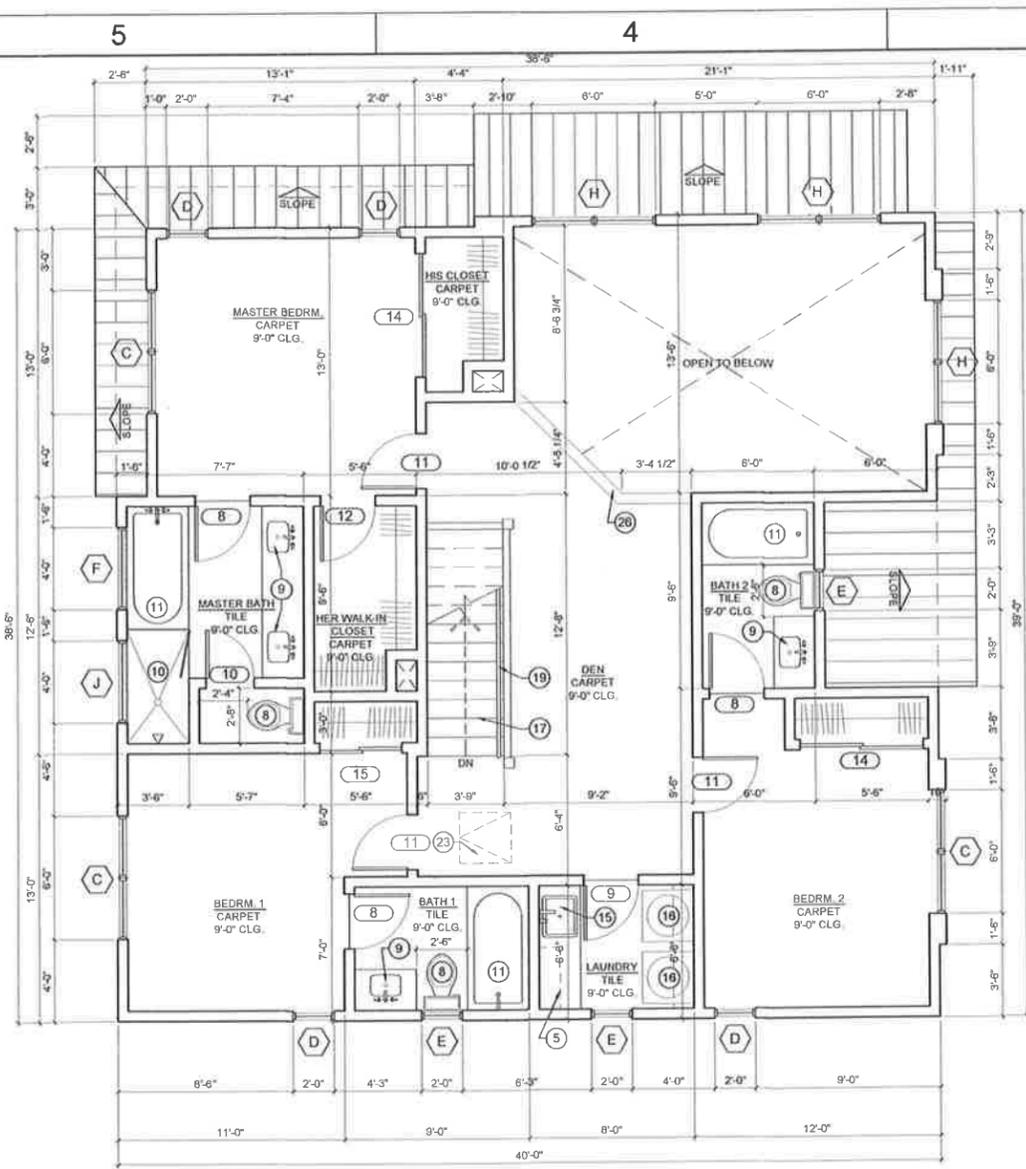
SECOND FLOOR: UNIT A
SCALE: 1/4" = 1'-0"

KEYNOTES

SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL	TYPE	SYMBOL	DESCRIPTION
(25)	HOSE BIBB		(13)	TANKLESS WATER HEATER- ELEVATED A MINIMUM OF 4 FT. ABOVE THE SLAB AND WITHIN THE FRONT 4 FT. OF A PARKING SPACE	16/A6.1	(1)	COOK RANGE WITH EXHAUST HOOD ABOVE WITH MINIMUM 100 CFM EXHAUST RATE		(W)	(W)	8" CMU WALL -SOLID GROUT, SEE STRUCT. PLAN FOR INFO. SEE ELEV. PLAN FOR SURFACE FINISH, 2 HR. RATED
(26)	GLASS GUARDRAIL		(14)	ELECTRICAL PANEL 200 AMPS. KEEP 3 FEET CLEAR FROM FACE OF ELECTRICAL PANEL TO ANY WALL SURFACE OR OBSTRUCTION		(2)	DOUBLE SINK WITH GARBAGE DISPOSAL		(W)	(W)	CONCRETE FOUNDATION / RETAINING / SHEAR WALL, SEE STRUCT. PLAN FOR THICKNESS, 4 HR. RATED PER CBC TABLE 720.1(2)
(27)	GARAGE CABINET SYSTEM		(15)	LAUNDRY SINK		(3)	REFRIGERATOR WITH WATER SUPPLY		(W)	(W)	1 HR. RATED WALL/PARTY WALL W/ WOOD STUD W ONE LAYER TYPE 'X' GYP. BD. ON EACH SIDE
(28)	ROOF / FLOOR ABOVE		(16)	WASHER/DRYER- PROVIDE WASTE, HOT WATER, COLD WATER AND DRYER VENT TO OUTSIDE.		(4)	GRANITE COUNTERTOP		(W)	(W)	2 HR. RATED WALL/PARTY WALL W/ WOOD STUD W TWO LAYERS TYPE 'X' GYP. BD. ON EACH SIDE
(29)			(17)	STAIR	1 /A6.2	(5)	UPPER CABINET STORAGE		(W)	(W)	WALL W/ WOOD STUD W ONE LAYER GYP. BD. ON EACH SIDE
(30)			(18)	42" GUARDRAIL SYSTEM	11 & 12 /A6.2	(6)	CABINETS				
(31)			(19)	HANDRAIL- 34" TO 38" HIGH ABOVE ADJACENT NOSING	3 & 6 /A6.2	(7)	DISHWASHER				
(32)			(20)	42" LOW WALL		(8)	TOILET				
(33)			(21)	HVAC UNIT		(9)	VANITY SINK				
			(22)	ATTIC F.A.U.- SEE F.A.U. NOTE		(10)	SHOWER PAN - CERAMIC TILE FINISH UP TO 6'-0" ABOVE DRAIN MIN. WITH TEMPERED GLASS ENCLOSURE				
			(23)	30" X 30" ATTIC ACCESS WITH 30" MIN. HEADROOM		(11)	BATHTUB - CERAMIC TILE FINISH UP TO 6'-0" ABOVE DRAIN MIN. WITH TEMPERED GLASS ENCLOSURE				
			(24)	SMOOTH CONCRETE FINISH		(12)	GAS FIREPLACE (DIRECT VENT). EXHAUST SHALL NOT BE DIRECTED INTO WALKWAYS.				

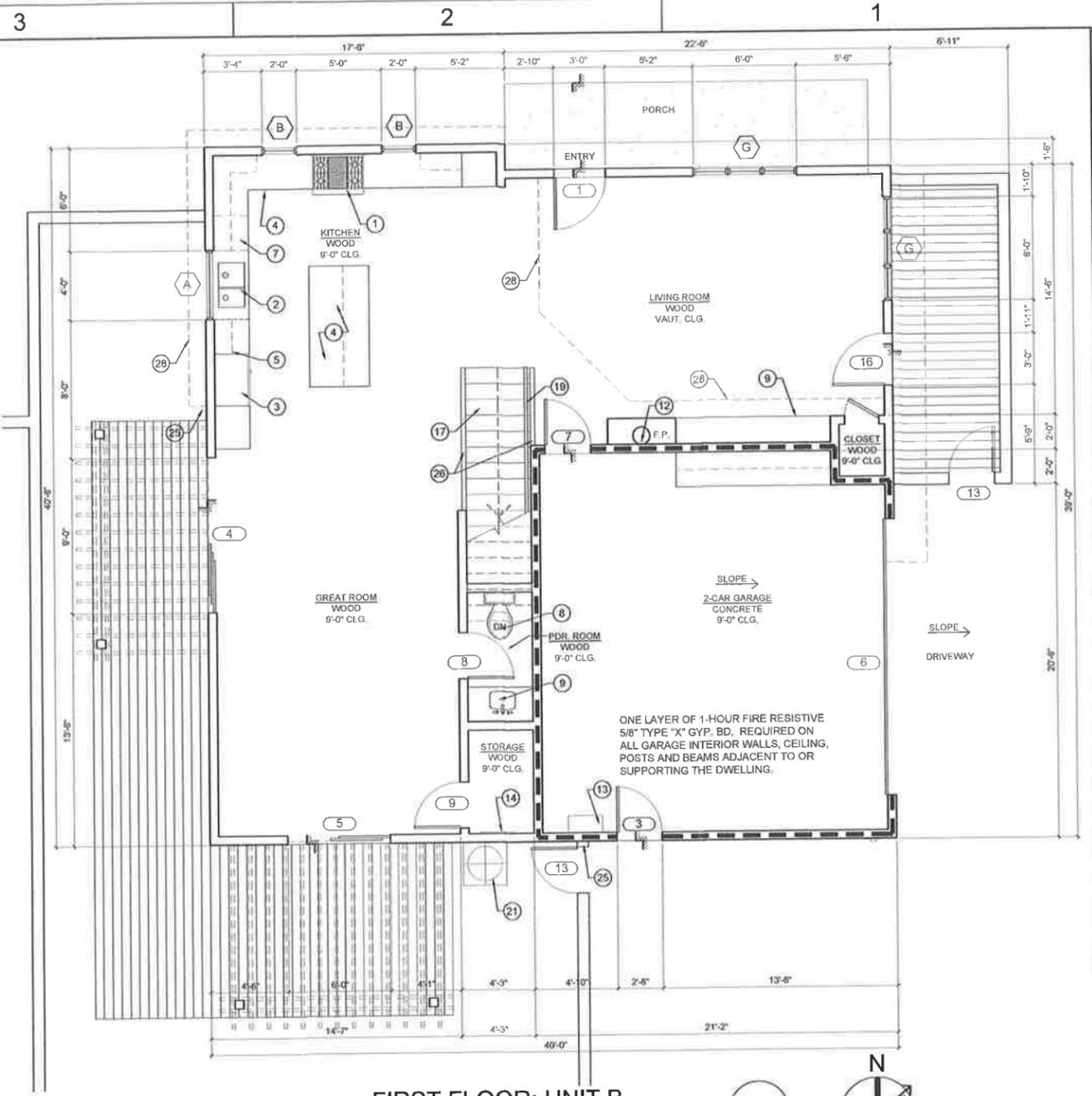
LEGEND

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SECOND FLOOR: UNIT B
SCALE: 1/4" = 1'-0"

2



FIRST FLOOR: UNIT B
SCALE: 1/4" = 1'-0"

1



KEYNOTES

SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL
25	HOSE BIBB		13	TANKLESS WATER HEATER- ELEVATED A MINIMUM OF 4 FT. ABOVE THE SLAB AND WITHIN THE FRONT 4 FT. OF A PARKING SPACE	18/AB.1	1	COOK RANGE WITH EXHAUST HOOD ABOVE WITH MINIMUM 100 CFM EXHAUST RATE	
26	GLASS GUARDRAIL		14	ELECTRICAL PANEL 200 AMPS. KEEP 3 FEET CLEAR FROM FACE OF ELECTRICAL PANEL TO ANY WALL SURFACE OR OBSTRUCTION		2	DOUBLE SINK WITH GARBAGE DISPOSAL	
27	GARAGE CABINET SYSTEM		15	LAUNDRY SINK		3	REFRIGERATOR WITH WATER SUPPLY	
28	ROOF / FLOOR ABOVE		16	WASHER/DRYER- PROVIDE WASTE, HOT WATER, COLD WATER AND DRYER VENT TO OUTSIDE.		4	GRANITE COUNTERTOP	
29			17	STAIR	1 / AB.2	5	UPPER CABINET STORAGE	
30			18	42" GUARDRAIL SYSTEM	11 & 12 / AB.2	6	CABINETS	
31			19	HANDRAIL- 34" TO 38" HIGH ABOVE ADJACENT NOSING	3 & 6 / AB.2	7	DISHWASHER	
32			20	42" LOW WALL		8	TOILET	
33			21	HVAC UNIT		9	VANITY SINK	
			22	ATTIC F.A.U.- SEE F.A.U. NOTE		10	SHOWER PAN - CERAMIC TILE FINISH UP TO 6'-0" ABOVE DRAIN MIN. WITH TEMPERED GLASS ENCLOSURE	
			23	30" X 30" ATTIC ACCESS WITH 30" MIN. HEADROOM		11	BATHTUB - CERAMIC TILE FINISH UP TO 6'-0" ABOVE DRAIN MIN. WITH TEMPERED GLASS ENCLOSURE	
			24	SMOOTH CONCRETE FINISH		12	GAS FIREPLACE (DIRECT VENT). EXHAUST SHALL NOT BE DIRECTED INTO WALKWAYS.	

LEGEND

TYPE	SYMBOL	DESCRIPTION
WI		8" CMU WALL - SOLID GROUT. SEE STRUCT. PLAN FOR INFO., SEE ELEV. PLAN FOR SURFACE FINISH, 2 HR. RATED
WF		CONCRETE FOUNDATION / RETAINING / SHEAR WALL, SEE STRUCT. PLAN FOR THICKNESS, 4 HR. RATED PER CBC TABLE 720.1(2)
WD		1 HR. RATED WALL/PARTY WALL W/ WOOD STUD W/ ONE LAYER TYPE 'X' GYP. BD. ON EACH SIDE
WE		2 HR. RATED WALL/PARTY WALL W/ WOOD STUD W/ TWO LAYERS TYPE 'X' GYP. BD. ON EACH SIDE
WF		WALL W/ WOOD STUD W/ ONE LAYER GYP. BD. ON EACH SIDE

PROJECT ADDRESS:
146 E. 18TH STREET
COSTA MESA, CA 92627

ARCHITECT:
TAG DESIGN WORKS
411 EAST HUNTINGTON DRIVE
SUITE 308
ARCADIA, CALIFORNIA 91006
PHN: (626) 446-5300



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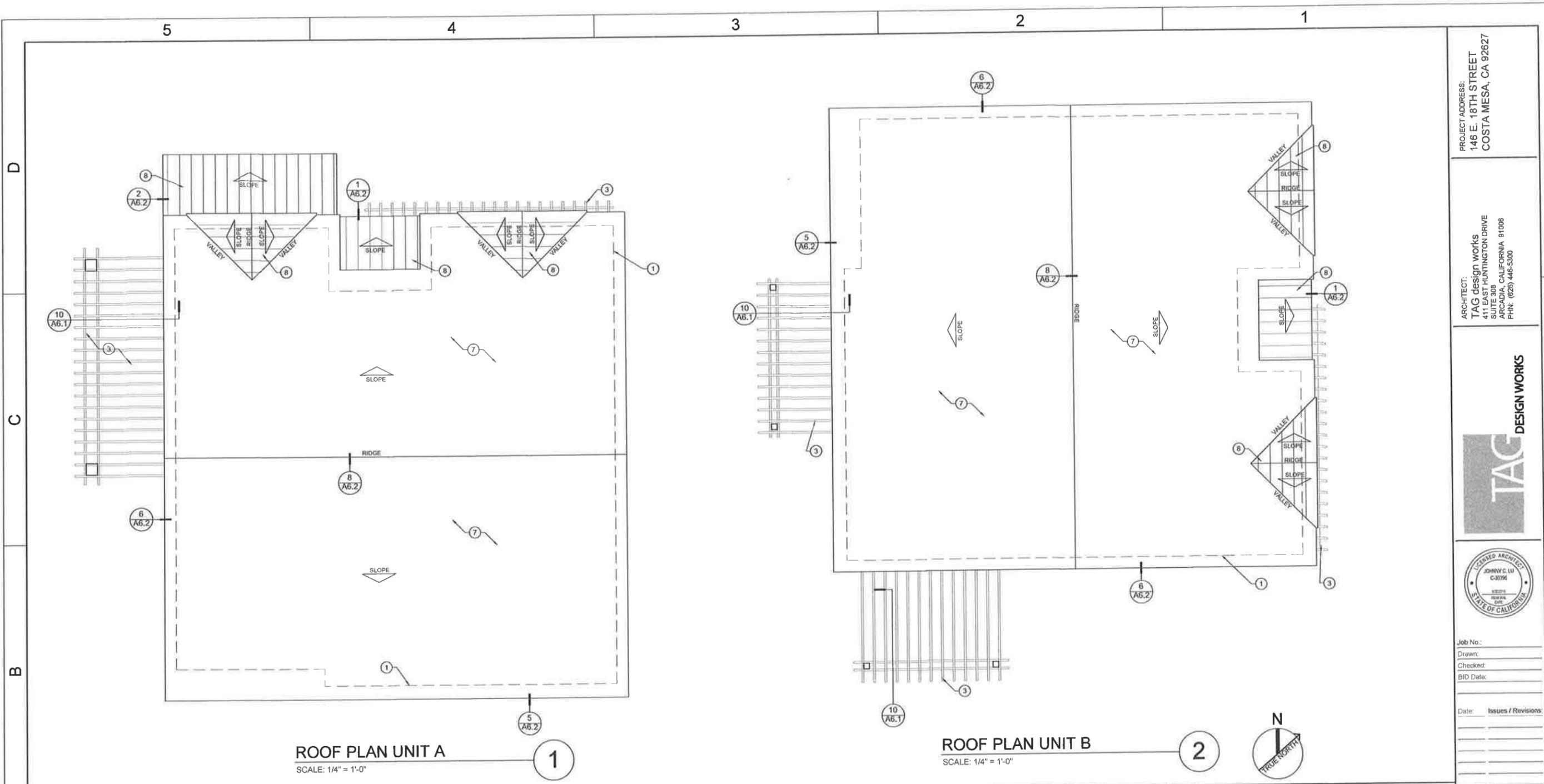
SHEET TITLE:

FLOOR PLANS
UNIT B

SHEET #

A2.2

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ROOF PLAN UNIT A
SCALE: 1/4" = 1'-0"

ROOF PLAN UNIT B
SCALE: 1/4" = 1'-0"

KEYNOTES		
SYMBOL	DESCRIPTION	DETAIL
1	LINE OF WALL BELOW	
2	CHIMNEY - EXTEND 2 FT. ABOVE ROOF WITHIN 10 FT.	
3	TRELLIS	
4	DOWNSPOUT	
5	GALVANIZED METAL SHEET CRICKET OR WATERPROOFING	
6	DIRECT VENT FOR GAS FIREPLACE	
7	ASPHALT SHINGLE	
8	METAL ROOF	
9	GUTTER	
10		
11		
12		

ROOF MATERIAL:
PAC-CLAD
SNAP ON STANDING SEAM

ASTM TESTS
• ASTM E283/1690 TESTED
• ASTM E331/1646 TESTED
• ASTM E1592 TESTED
• ASTM 331-283 TESTED

UL CLASSIFICATION
• UL-580 CLASS 90 RATED OVER SOLID SUBSTRATE
• UL-1887 WIND UPLIFT
• UL-790 CLASS A FIRE RATED
• UL-263 FIRE RESISTANCE RATED
• UL-2218 IMPACT RESISTANCE RATED
• UL-90 RATED ALUMINUM PANEL UP TO 18" O.C.

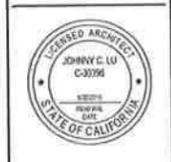
ASPHALT SHINGLES
BY OWENS CORNING

FIRE CLASSIFICATION:
OWENS CORNING ASPHALT SHINGLES HAVE BEEN TESTED FOR FIRE CLASSIFICATION CLASS A IN ACCORDANCE WITH UL790 (ASTM E108). SHINGLES TESTED IN ACCORDANCE WITH UL790 (ASTM E108) QUALIFY FOR USE UNDER SECTION 1505.1 OF THE 2012, 2009 AND 2006 IBC AND SECTION R902.1 OF THE 2012, 2009 AND 2006 IRC.

ICC-# ESR 1372
ICC-# ESR 3229
UL ER2453-01

PROJECT ADDRESS:
146 E. 18TH STREET
COSTA MESA, CA 92627

ARCHITECT:
TAG design works
411 EAST HUNTINGTON DRIVE
SUITE 308
ARCADIA, CALIFORNIA 91006
PHN: (925) 446-5300



Job No.:
Drawn:
Checked:
BID Date:
Date: Issues / Revisions:

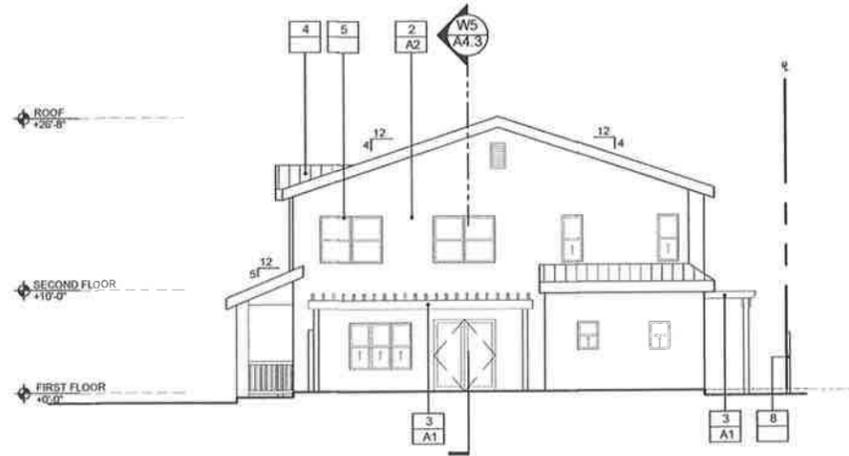
SHEET TITLE:

ROOF PLAN

SHEET #
A2.3

51

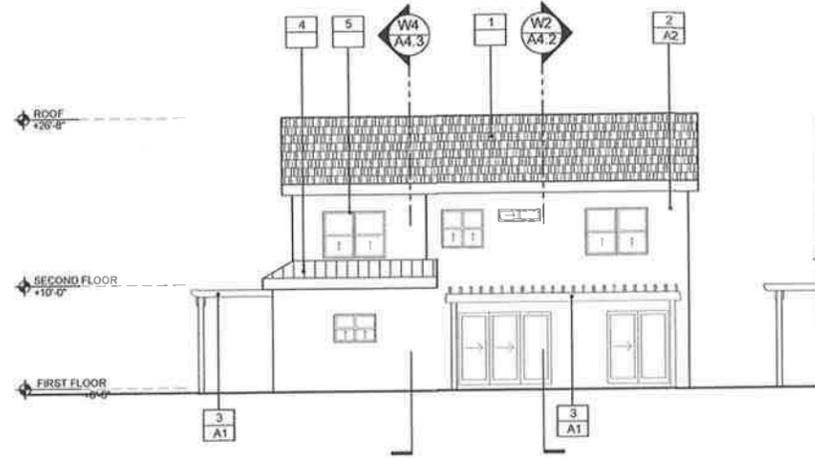
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WEST (STREET) ELEVATION

SCALE: 1/8" = 1'-0"

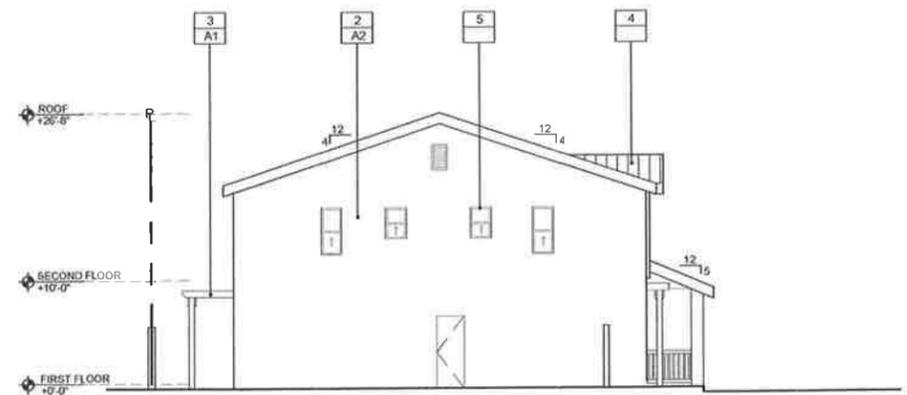
4



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

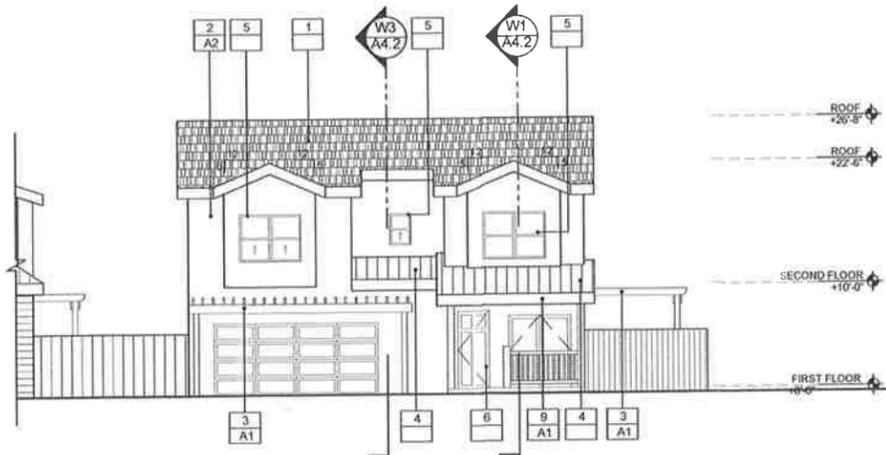
3



EAST ELEVATION

SCALE: 1/8" = 1'-0"

2



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

1

MATERIAL		
SYMBOL	DESCRIPTION	DETAIL
1	FIBERGLASS SHINGLE ROOFING	
2	STUCCO FINISH	
3	WOOD TRELLIS	
4	METAL ROOFING	
5	VINYL WINDOW	
6	FRONT DOOR	
7	GLASS SLIDING DOOR	
8	WOOD FENCE	
9	SIDING	

COLOR		
SYMBOL	DESCRIPTION	DETAIL
A1	"EXTRA WHITE" SW 7006	
A2	"PURE WHITE" SW 7005	
A3	"BALANCED BEIGE" SW 7037	
A4	DARK GREY	

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SHEET TITLE:

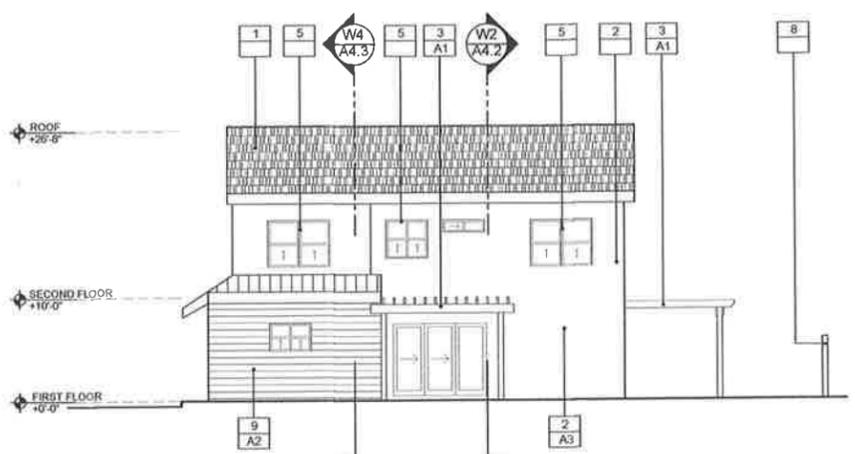
EXTERIOR ELEVATIONS UNIT A

SHEET #

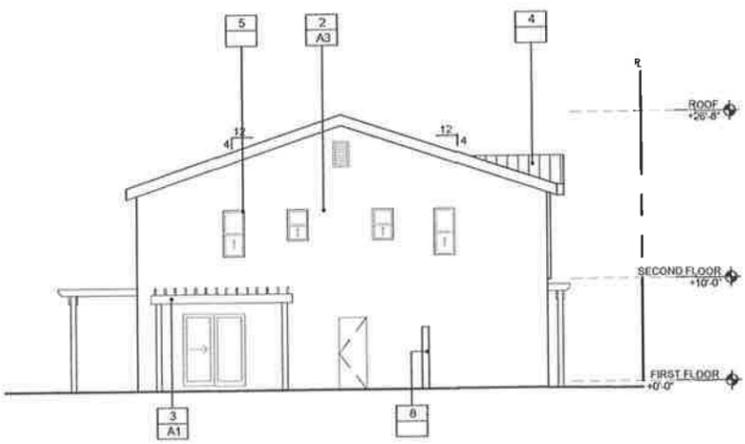
A3.1

52

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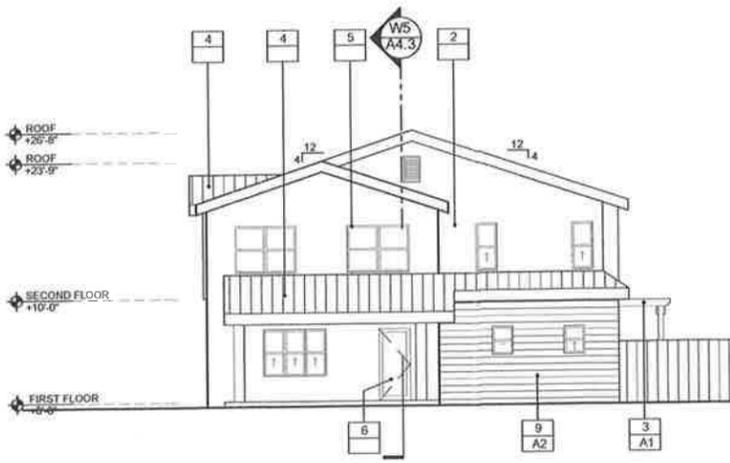
WEST ELEVATION
SCALE: 1/8" = 1'-0" 8



SOUTH ELEVATION
SCALE: 1/8" = 1'-0" 7



EAST (ALLEY) ELEVATION
SCALE: 1/8" = 1'-0" 6



NORTH ELEVATION
SCALE: 1/8" = 1'-0" 5

53

MATERIAL		
SYMBOL	DESCRIPTION	DETAIL
1	FIBERGLASS SHINGLE ROOFING	
2	STUCCO FINISH	
3	WOOD TRELLIS	
4	METAL ROOFING	
5	VINYL WINDOW	
6	FRONT DOOR	
7	GLASS SLIDING DOOR	
8	WOOD FENCE	
9	SIDING	

COLOR		
SYMBOL	DESCRIPTION	DETAIL
A1	"EXTRA WHITE" SW 7006	
A2	"PURE WHITE" SW 7005	
A3	"BALANCED BEIGE" SW 7037	
A4	DARK GREY	

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EXTERIOR ELEVATIONS UNIT B

SHEET #
A3.2

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SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

4

WEST ELEVATION
SCALE: 1/8" = 1'-0"

2

NORTH ELEVATION
SCALE: 1/8" = 1'-0"

3

EAST ELEVATION
SCALE: 1/8" = 1'-0"

1

54

MATERIAL

SYMBOL	DESCRIPTION	DETAIL
1	FIBERGLASS SHINGLE ROOFING	
2	STUCCO FINISH	
3	WOOD TRELLIS	
4	METAL ROOFING	
5	ALUMINUM FRAMED WINDOW	
6	FRONT DOOR	
7	GLASS SLIDING DOOR	
8	WOOD FENCE	

COLOR

SYMBOL	DESCRIPTION	DETAIL
A1	WHITE	
A2	BLACK	
A3	GREY	
A4	DARK GREY	
A5	BEIGE	

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COLOR ELEVATIONS

SHEET #

A3.3

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS
⊗	Agonis f. 'Jervis Bay Afterdark'	After Dark Peppermint Tree	24"box	1	
⊙	Arbutus 'Marina'	Strawberry Tree	24"box	3	
○	Laurus nobilis	Sweet Bay	15-gal	12	hedge
⊗	Laurus nobilis	Sweet Bay	24"box	1	

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS
▨	Carex divulsa	Berkeley Sedge	5-gal	24"oc	
⊙	Carpenteria californica	Bush Anemone	5-gal	11	
⊙	Dietes bicolor	Fortnight Lily	5-gal	41	
⊙	Dadonea viscosa 'Purpurea'	Hopseed Bush	5-gal	11	
⊙	Euphorbia characias		5-gal	13	
⊙	Grevillea l. 'Long John'		5-gal	4	
▨	Nassella pulchra	Purple Needlegrass	1-gal	18"oc	
▨	Sedum r. 'Angelina'	Angelina Stonecrop	1-gal	18"oc	
⊙	Senecio vitalis		5-gal	9	

NOTE:
All groundcover areas where plants are 4'oc or greater to have 2 layers of geotextile fabric in 2 different directions geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.

All trees to be planted with commercial root barriers. 2" deep shredded Cedar bark to spread between plants.

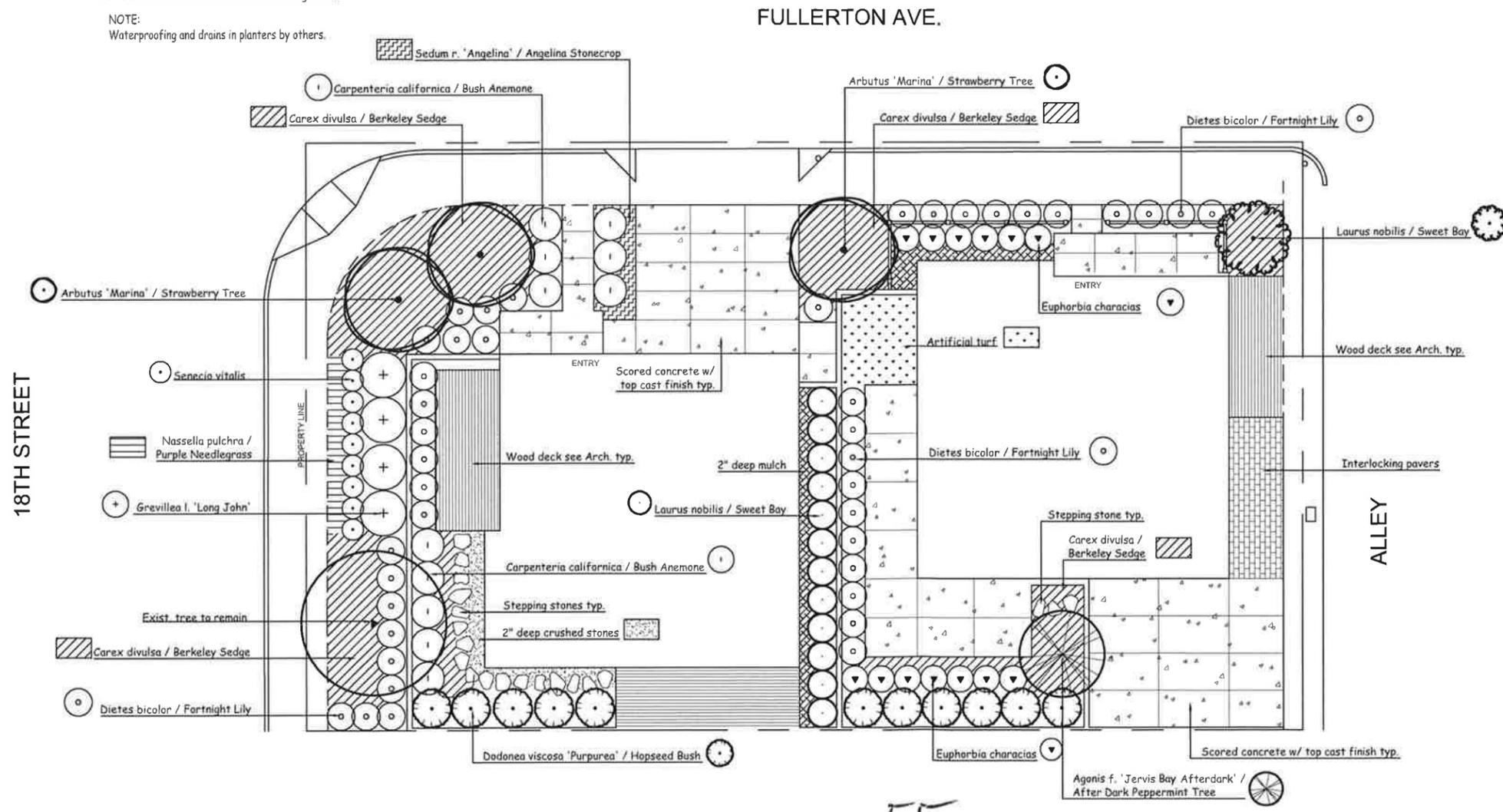
NOTE:
Waterproofing and drains in planters by others.

PLANTING NOTES

- DRAWING IS DIAGRAMMATIC; CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER, PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 3" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA, ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
 - *150 LBS. GRO-POWER
 - *3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
 - *ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.
- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80% SOIL OF SITE AND 20% FIR BARK, AS DEFINED IN #6. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

5 GAL	6-8
24" box	14-16

 PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.
- ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.
- CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.
- SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.



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REVISIONS	DATE
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	

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1804 FULLERTON AVE
COSTA MESA, CA 92627

PLANTING PLAN



DATE: DEC. 2, 2015
SCALE: 1/8"=1'-0"
JOB NUMBER: SUNNYSLOPE
DRAWN BY:

