



# **PLANNING COMMISSION AGENDA REPORT**

MEETING DATE: MARCH 28, 2016

ITEM NUMBER: PH-2

**SUBJECT:** PLANNING APPLICATION PA-15-45 AND TENTATIVE TRACT MAP NO. TT-17958 FOR A DESIGN REVIEW AND SUBDIVISION MAP FOR A DETACHED 6-UNIT SMALL LOT DEVELOPMENT AT 592 HAMILTON STREET

**DATE:** MARCH 17, 2016

**FROM:** PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

**PRESENTATION BY:** MEL LEE, SENIOR PLANNER

**FOR FURTHER INFORMATION CONTACT:** MEL LEE, AICP (714) 754-5611  
mel.lee@costamesaca.gov

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## **DESCRIPTION**

The proposed project involves the following:

- 1) **Planning Application PA-15-45:** Urban master plan to construct a 6-unit, two-story, detached small lot development on a lot size of 19,635 sq. ft. in an R2-MD zone. The project is also within the Mesa West Residential Ownership Urban Plan. The project also includes the following:
  - a. Deviation from minimum required open parking spaces (12 open spaces required; the 12 required open spaces are proposed as 6 open spaces and 6 garage spaces). Overall number of parking spaces for the project meets code requirements (21 spaces required; 21 spaces proposed).
  - b. Minor modification to deviate from front building setback (20 feet required; 16 feet proposed).
  
- 2) **Tentative Tract Map TT-17958:** Tentative Tract Map for the subdivision of the property into fee simple lots, in accordance with the small lot subdivision standards.

## **AUTHORIZED AGENT**

The authorized agent is Nick Louis, who is also the property owner.

## **RECOMMENDATION**

Approve the project by adoption of Planning Commission resolution, subject to conditions.

**PLANNING APPLICATION SUMMARY**

Location: 592 Hamilton Street Application Number: PA-15-45 and TT-17958

Request: Urban master plan for a small lot residential development with deviations and a subdivision map.

<b>SUBJECT PROPERTY:</b>	<b>SURROUNDING PROPERTY:</b>
Zone: <u>R2-MD</u>	North: <u>R2-MD, Multi-Family Residential, Residential Use</u>
General Plan: <u>Medium Density Residential</u>	South: <u>(Acr. Hamilton St.) R2-HD, Multi-Family Residential, Residential Use</u>
Lot Dimensions: <u>66 FT X 297.5 FT</u>	East: <u>R2-MD, Multi-Family Residential, Residential Use</u>
Lot Area: <u>19,635 SF (.45 AC)</u>	West: <u>R2-MD, Multi-Family Residential, Residential Use</u>
Existing Development: <u>4 residential units (to be demolished)</u>	

**Development Standard Comparison - Small Lot Ordinance and Mesa West Residential Ownership Urban Plan**

<u>Development Standard</u>	<u>Required/Allowed</u>	<u>Proposed/Provided</u>
<b>Lot Size:</b>		
Lot Width	NA	66 FT
Lot Area	1 Acre	19,635 SF (.45 AC) (1)
<b>Maximum Density:</b>		
DU's/ Acre (Residential)	1 du/3,630 SF (12 DU's/Acre) Maximum 5 units	1 du/3,272 SF (13 DU's/Acre) Proposed 6 units (2)
<b>Building Coverage (Development Lot)</b>		
Buildings	NA	6,510 SF (33%)
Paving	NA	7,235 SF (37%)
Minimum Open Space	5,890 SF (30%)	5,890 SF (30%)
<b>TOTAL</b>	<b>NA</b>	<b>19,635 SF (100%)</b>
<b>Building Height</b>		
Building Height	3 Stories/Max. 45 FT	2 Stories/ 27 FT
Chimney Height	2 FT Above Max. Bldg. Ht.	NA
Private Open Space	200 SF/Min. 10 FT Min. Dim.	203 SF/11 FT
Distance Between Main Buildings	NA	11 FT
<b>Setbacks (Development Lot)</b>		
Front	20 FT	16 FT (3)
Side (left/right)	5 FT/5 FT	26 FT/5 FT
Rear	10 FT	15 FT
<b>Parking</b>		
Garage(s)	9	15
Open	12	6 (1)
<b>TOTAL</b>	<b>21 Spaces</b>	<b>21 Spaces</b>
Interior garage dimension	20 FT Min.	20 FT

- (1) Deviation Requested (See Staff Report Discussion)  
 (2) Density Bonus Allowed per the Urban Plan (See Staff Report Discussion)  
 (3) Minor Modification Requested (See Staff Report Discussion)  
 NA = Not Applicable or No Requirement

CEQA Status	Guidelines Section 15332/Class 32, Infill Development.
Final Action	Planning Commission

## **BACKGROUND**

### ***Project Site/Environs***

The 19,635 square foot project site is comprised of a single parcel containing 4 one-story residential units located on the north side of Hamilton Street, west of Maple Avenue. The units, originally constructed in the early 1960's, will be demolished to accommodate the proposed project. The property is zoned R2-MD with a General Plan Land Use Designation of Medium Density Residential. The property is also located within the Mesa West Residential Ownership Urban Plan.

### ***Urban Plan Screening Request***

Because the proposed project activates the development standards of the Mesa West Residential Ownership Urban Plan, the project was screened by the City Council on September 15, 2015, before the development application was submitted to the City. The purpose of the screening was for City Council to determine the following:

- Does the project meet City Council's expectations for projects in the Urban Plan Area?
- Does City Council have any comments on the required deviations?

The City Council determined that the project met the expectations for the Urban Plan. Below is a summary of the City Council comments:

- Provide additional architectural detailing for the elevation of the unit facing towards Hamilton Street.
- Provide code-compliant on-site parking with regard to minimum interior garage dimensions.
- Comply with standard condition of approval requiring an annual affidavit for providing parking spaces within the garages.
- No deviations from open space should be granted for this project.

The City Council agenda and screening report can be found on the City's website at the below link:

<http://www.costamesaca.gov/ftp/council/agenda/2015/2015-09-15/NB-1.pdf>

## **ANALYSIS**

### ***Design Review for PA-15-45***

The project involves the construction of a 6-unit, two-story residential development based on the Residential Small Lot Subdivisions Ordinance. The unit types and proposed density are summarized in the following table:

## Unit Type Summary

	Plan 1	Plan 2
Unit Size (Not Including Garage)	1,523 Sq. Ft.	1,700 Sq. Ft.
Total No. of Units	3	3
No. of Bedrooms/Baths	2 Bed/2.5 Bath	3 Bed/2.5 Bath
No. of Stories/Height	2 Stories/27 Ft.	2 Stories/27 Ft.
No. of Garage Spaces	6 Spaces (2 Per Unit)	9 Spaces (3 Per Unit)
No. of Open Spaces Required	12 Spaces	
No. Of Open Spaces Proposed	6 Spaces (Deviation Requested)	
Total Parking Spaces	21 Spaces (Complies With Code)	

### ***Site Design***

The site design consists of a single private drive from Hamilton Street, which provides vehicle access to the units. The unit which abuts Hamilton Street, as recommended by the City Council, will have enhanced elevations since it is most visible from the street, as well as additional landscape treatments.

### ***Building Architecture***

The proposed architecture is a ranch design with concrete tile roofs, horizontal lap siding accents, stucco finishes, and metal carriage-style garage doors. Private balconies are proposed for the units.

### ***Building Separation***

The Mesa West Residential Ownership Urban Plan does not identify a minimum separation between buildings; as a result, the Zoning Codes Small Lot Subdivision Standards would apply. The SLO standards also do not require a minimum separation between units; however, a minimum separation of 11 feet is provided, which complies with the provisions of the 2013 California Building Code.

### ***On-Site Parking***

As noted in the zoning summary table, the proposed development meets the Code-required overall parking (21 on-site parking spaces required; 21 parking spaces provided). However, because the majority of the code required parking spaces are provided within the garages, the project does not comply with the small lot ordinance standards with regard to open parking spaces (2 open spaces per unit, or 12 total, is required; 6 open parking spaces are proposed). As a result, a deviation from this requirement is requested (discussed later in this report).

The open parking spaces are located between the units and to the rear of the site, where a vehicle turnaround area will be provided as required by the Transportation Services Division. A condition of approval requires the open spaces to be unassigned and available for guests/tenants of the development. The garage spaces will be required to be subject to annual verification that they are not being used for storage purposes. The residential garages comply with the minimum interior dimensions per code. The vehicular circulation has been reviewed and approved by the City's Transportation Services Division.

### ***Perimeter Walls/Fences***

CMMC Section 13-75 requires a solid masonry wall around the perimeter of the proposed development lot. Where walls on adjacent properties already exist, the applicant shall work with the adjacent property owner(s) to prevent side-by-side walls with gaps in between them. The wall is also required to be decorative in design.

### ***Setbacks***

The proposed project satisfies the required SLO building setbacks on the side and rear yards. The front yard setback has a slightly reduced (16-foot) front yard setback, which, as explained later in this report, meets the intent of the deviations allowed through the Urban Plan. The building setback along Hamilton Street provides adequate space for specimen trees and a substantial landscape buffer from the public right-of-way. The landscape setback area along Hamilton Street is required to be landscaped a combination of trees and shrubs planted to provide the appearance of dense landscaping from the street. The landscape plan is required to contain additional 24-inch box trees above the minimum Code requirements and/or upgrading smaller sized trees to 24-inch box trees.

### ***Tentative Tract Map TT-17958***

The applicant proposes a tract map to allow the units to be sold separately. The map is consistent with City codes and the State Subdivision Map Act. Approval of the map will facilitate small lot development so each lot may be sold separately. All common areas including the driveway and open parking spaces will be used and maintained by a maintenance association or homeowners association as stipulated in the Conditions, Covenants, and Restrictions (CC&R's) for the development. The CC&R's will also include provisions requiring residents to park vehicles in the garage spaces provided for each unit.

### ***Residential Design Guidelines***

The proposed residences include elevations with varied roof forms. The homes incorporate varying exterior finishes to create an aesthetically pleasing façades. The window placement will to minimize privacy impacts from this project. Conditions of approval have been included which should mitigate these effects.

## **GENERAL PLAN, ZONING CODE, AND URBAN PLAN CONFORMANCE**

The proposed project involves a Master Plan. Pursuant to an approved Master Plan, the proposed project would be in conformance with the following planning documents:

- General Plan
- Zoning Code
- Mesa West Residential Ownership Urban Plan

### ***Conformance with the City of Costa Mesa General Plan***

Future development of all land within the City of Costa Mesa is guided by the General Plan adopted in 2002. The Land Use Element of the General Plan directs long-range development in the City by indicating the location and extent of development to be allowed. The General

Plan sets forth land use goals, policies, and objectives that guide new development. The General Plan land use designation for the project area is Medium Density Residential.

In April 2006, the City's General Plan was amended to allow development projects within the Mesa West Residential Ownership Urban Plan area. The General Plan identifies the Redevelopment of the subject property relates to the conversion of underutilized rental residential properties into ownership residential development, and is therefore consistent with the General Plan.

The following analysis evaluates the proposed project's consistency with specific goals, and objectives of the General Plan, Land Use Element.

- **Goal LU-1: Land Use:** *It is the goal of the City of Costa Mesa to provide its citizens with a balanced community of residential, commercial, industrial, recreational, and institutional uses to satisfy the needs of the social and economic segments of the population and to retain the residential character of the City; to meet the competing demands for alternative developments within each land use classification within reasonable land use intensity limits; and to ensure the long term viability and productivity of the community's natural and man-made environments.*

**Consistency:** The project would create ownership housing in the project area and provide additional housing opportunities. The infill nature of the proposed project protects the viability of the natural environment and decreases the need for significant infrastructure improvements. The project is consistent with this General Plan goal.

- **Objective LU-1A:** *Establish and maintain a balance of land uses throughout the community to preserve the residential character of the City at a level no greater than can be supported by the infrastructure.*

**Consistency:** The project is an infill redevelopment project. Adequate infrastructure would be available to serve the proposed project. Therefore, the project is consistent with this General Plan objective.

- **Goal LU-2: Development:** *It is the goal of the City of Costa Mesa to establish development policies that will create and maintain an aesthetically pleasing and functional environment and minimize impacts on existing physical and social resources.*

**Consistency:** The project would allow for the redevelopment of property containing an older residential development with minimal vegetation and streetscape. The proposed project would enhance the visual appearance of the site through implementation of the proposed landscape plan. In addition, the project would provide a high-quality architectural design to the project area. With significant landscaping required along the Hamilton Street frontage, the proposed project is supportive of this General Plan goal.

- **Objective LU-2A:** *Encourage new development and redevelopment to improve and maintain the quality of the environment.*

**Consistency:** Because the project is an infill development, it would not result in the loss of any habitat, or require extensive infrastructure improvements to provide service to the site. The project is consistent with this objective.

**Conformance with the Zoning Code**

The City Council enacted a zoning ordinance in April 2006 that applied an Overlay Zoning District to the Mesa West Residential Ownership Urban Plan area. The Zoning Code defers to the Urban Plan for certain development standards and other regulatory requirements. The project site is located within this overlay zone, and the proposed project is consistent with the Zoning Code.

**Conformance with the Mesa West Residential Ownership Urban Plan**

Density Bonus

The site is located within the Mesa West Residential Ownership Urban Plan area which allows up to 20 dwelling units on a one-acre site, subject to discretionary approval. The project site is zoned R2-MD, which would allow up to 5 units for the 19,635 square foot lot (.45 acres). A deviation from the 1 acre minimum requirement is proposed as part of the Master Plan approval.

The Urban Plan allows a density bonus for R2-MD zoned properties from 12 dwelling units per acre (existing) to 20 dwelling units per acre maximum (proposed). In this case, the Urban Plan allows a maximum of 4 additional units as an incentive to promote ownership housing in the Westside (1 additional unit is proposed for this project).

	Existing Zoning	Urban Plan/ General Plan	Proposed Project
Maximum Allowable Density	R2-MD Max. 12 du/acre	High Density Max. 20 du/acre	13 du/acre
Maximum Allowable Number of Units	5 Units	9 units	6 Units

**Expiration of Projects**

Per City Code, planning application approvals are valid for one year unless renewed. Per the State Subdivision Map Act, tentative tract map approvals are valid for 24 months. As a result, staff has incorporated a condition of approval allowing the planning application expiration to coincide with the expiration of the respective map. The planning application and map would expire in 24 months (February 2018). After the initial 24-month period, a time extension for these applications would be required to be processed for another 12-month period.

**JUSTIFICATIONS FOR APPROVAL**

Pursuant to Title 13, Section 13-29, *Planning Application Review Process*, of the Costa Mesa Municipal Code, the Planning Commission shall find that the evidence presented in the administrative record substantially meets specified findings. Staff recommends approval of

the project based on the following assessment of facts and findings which are also reflected in the draft resolution.

- The project has been revised since the Urban Plan screening to address the City Council's comments; and therefore, overall improvements in the development have been provided.

The following table highlights some of the revisions to the original concept based on Council feedback:

Council Feedback	Original Concept	Current Proposal
Provide more articulation and materials on elevations facing Hamilton Street.	Units adjacent to Hamilton Street provided minimal articulation and materials.	2-story units adjacent to Hamilton Street provides enhanced articulation and materials.
Provide code-compliant on-site parking with regard to minimum interior garage dimensions.	Less than 20 foot Dimension.	20 foot minimum dimension provided (meets Code).
Comply with standard condition of approval requiring an annual affidavit for providing garage parking spaces.	Condition incorporated.	No change required.
No deviations from open space should be granted for this project.	26% open space proposed.	30% open space provided (meets Code).

- The proposed project will provide homeownership opportunities within the City. The creation of the subdivision is consistent with General Plan Land Use Objective LU-1A.4 in that it creates new homeownership opportunities to improve the balance between renter and owner occupied housing in the City. The project design complies with the intent of the small lot ordinance and R2-MD development standards.
- The proposed project meets the purpose and intent of the Residential Design Guidelines. The design of the two-story homes comply with the building mass and form, setbacks, elevation treatments, window placement, and architectural consistency guidelines. The proposed residences include elevations with varied roof forms and elevation treatments to enhance visual interest.

As a condition of approval, the proposed project must not have modification(s) of the approved building elevations including, but not limited to, change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finished material(s) including but not limited to: modifications to the ranch design with concrete tile roofs, horizontal lap siding accents, stucco finishes, and metal carriage-style garage doors. No changes shall be made during construction without prior Planning Division written approval.

- The open space of this project meets code requirements. The residential development standards require a minimum of 30% of open space for a small lot subdivision development, which this project meets. The preliminary landscape plans propose a mixture of shrub and turf coverage. The shrubs are mostly drought tolerant. There are trees strategically placed throughout the property; staff will insure that the tree count and sizes complies with the City's landscape ordinance.

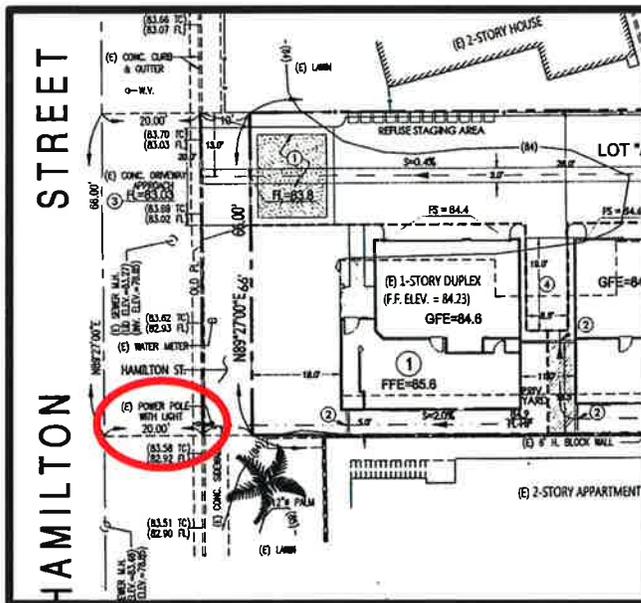
- The Declaration of the Covenants, Conditions, and Restrictions (CC&Rs) is required to be filed on the property. The Small Lot Ordinance requires that all small lot subdivisions establish some form of self-governance through CC&Rs, maintenance associations, and/or homeowner's associations. In the City of Costa Mesa, the most common type of association is an incorporated homeowner's association. This is a corporation in which the members of the corporation vote for a board of directors which runs the affairs of the corporation. The Small Lot Ordinance requires, at a minimum, that CC&Rs be recorded on the property.
- The deviations from front building setback and open parking spaces are considered less than significant and can be supported to apply the flexibility allowed by the Urban Plan provisions.
  - The strict interpretation and application of the required 20-foot building setback and minimum lot size would result in practical difficulty inconsistent with the purpose and intent of the General Plan and Mesa West Residential Ownership Urban Plan. Specifically, increased setbacks would result in an overall reduction in the number of on-site parking spaces, as well as the amount of open space throughout the project site. Adherence to the minimum lot size is not practical due to the inability to consolidate the subject property with adjacent parcels, which contain residential developments. All open parking spaces shall be required to be unassigned and available for guests, and all garages spaces are required to be maintained for the parking of vehicles. Therefore, the deviations allow for a development that better achieves the purposes and intent of the General Plan and the Urban Plan with regard to on-site parking, open space, and density. The requested deviations can be allowed since it would still result in a well-designed project that is compatible with the neighborhood.
  - The granting of the deviations results in a development that exhibits excellence in design, site planning, integration of uses and structures, and compatibility standards for residential ownership units. Additionally, the project meets the on-site parking requirements, private and common open space requirements, and overall density/intensity requirements of the Urban Plan. Furthermore, a condition of approval requires that the property be self-governed by Covenants, Conditions, and Restrictions (CC&Rs) through a Maintenance Association or other entity. The City Attorney's office will approve the draft CC&Rs as to form and content.
  - The granting of the deviations will not be detrimental to the public health, safety, or welfare, or be materially injurious to properties or improvements in the vicinity. The development will be required to comply with all applicable Building and Fire Safety regulations to ensure that no adverse impact to the public health, safety, or welfare is created as a result of this project.
- Any use of the property for short-term/long-term vacation rentals, bed&breakfast room, or boardinghouse purposes shall be expressly prohibited in the CC&Rs and subject to civil citations for any infraction.

Transient occupancy is expressly prohibited pursuant to the following condition of approval:

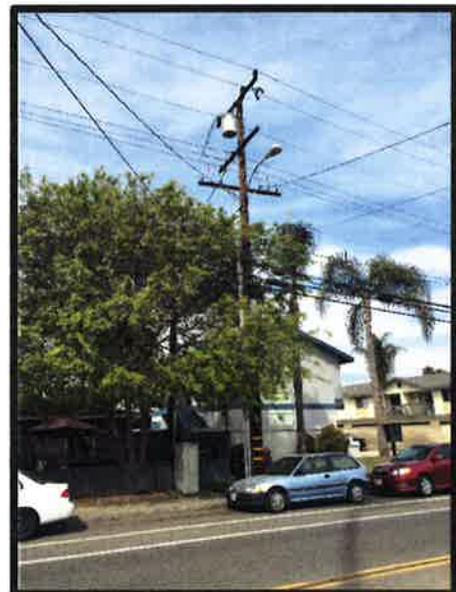
Prior to issuance of a final certificate of occupancy for the first unit, the City Attorney's office shall review and approve the CC&R provisions related to transient occupancy. These include any and all types of vacation rentals, short-term or long-term rentals, bed and breakfast lodging, boardinghouse, residency hotel, etc. If the violation is not rectified within 30 days by either eviction of the tenant(s), the owner shall be subject to a first citation of \$150, including fines as adopted by the City Council. (At this time fines range from \$150 for the first infraction to \$500 for three plus infractions.) The Development Services Director may apply fines not to exceed \$500 per day for violations that are not resolved.

### **Requirement to Underground Overhead Utilities**

Zoning Code requires existing on-site overhead utilities to be undergrounded for the project, which has been agreed to by the applicant. Additionally, the Public Services Department has incorporated a condition of approval (Condition No. 25) requiring the existing overhead utility pole in the public right-of-way of this property to be removed based on the number of units proposed for this project (6 units are proposed – 5 is the minimum for the requirement for removal of poles within the right-of-way). The applicant is requesting that this requirement be waived, a copy of which is attached to this report (Attachment 4). The Planning Commission may waive the requirement to remove the pole if they believe the applicant's request is justified.



**Existing Utility Pole Location**



**Photo of Utility Pole**

At the February 22, 2016 Planning Commission meeting, a similar waiver was granted by the Commission for a proposed 8-unit detached small lot residential development at 133-139 East 21<sup>st</sup> Street (PA-15-57 and TT-17998). The waiver of the requirement to remove the pole was called up for review by the City Council, which will consider the project at their April 5, 2016, City Council meeting.

## ENVIRONMENTAL DETERMINATION

The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15332 for In-Fill Development Projects. This exemption allows for the construction of multi-family residential structures in urbanized areas, which have been determined not to have a significant effect on the environment.

## PUBLIC NOTICE

Pursuant to Title 13, Section 13-29(d), of the Costa Mesa Municipal Code, three types of public notification have been completed no less than 10 days prior to the date of the public hearing:

1. Mailed Notice. A public notice was mailed to all property owners within a 500-foot radius of the project site. The required notice radius is measured from the external boundaries of the property. (See attached Notification Radius Map)
2. On-site posting. A public notice was posted on the street frontage of the project site.
3. Newspaper publication. A public notice was published once in the Daily Pilot newspaper.

## ALTERNATIVES

The Planning Commission has the following alternatives:

1. Approve the project with modifications. The Planning Commission may suggest specific changes that are necessary to alleviate concerns. If any of the additional requested changes are substantial, the item should be continued to a future meeting to allow a redesign or additional analysis. In the event of significant modifications to the proposal, should the Planning Commission choose to do so, staff will return with a revised resolution incorporating new findings and/or conditions.
2. Deny the project. If the Planning Commission believes that there are insufficient facts to support the findings for approval, Planning Commission must deny the application and provide facts in support of denial to be included in the attached draft resolution for denial. If the project were denied, the applicant could not submit substantially the same type of application for six months.

## CONCLUSION

Approval of the Design Review and Tentative Tract Map, as conditioned, will allow the development of the project which is consistent with the Residential Development Standards and Design Guidelines Resolutions. Staff recommends approval of this project.

  
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MEL LEE, AICP  
Senior Planner

  
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CLAIRE FLYNN, AICP  
Asst. Development Services Director

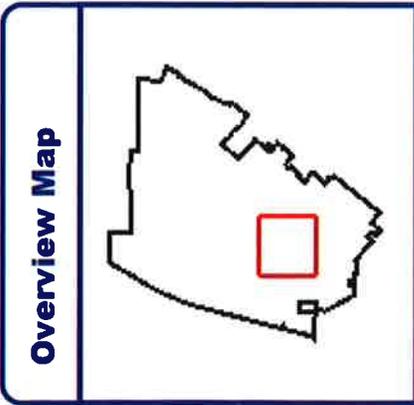
- Attachments:
1. Vicinity, Zoning, and 500 Ft. Radius Maps
  2. Site Photos
  3. Applicant's Project Description
  4. Applicant's Request to Waive Condition Requiring Removal of Utility Pole in Public ROW (Condition No. 25)
  5. Draft Planning Commission Resolutions and Exhibits
  6. Project Plans/Elevations/Perspectives

Distribution: Director of Economic & Development Services/Deputy CEO  
Senior Deputy City Attorney  
Public Services Director  
City Engineer  
Transportation Services Manager  
Fire Protection Analyst  
File (2)

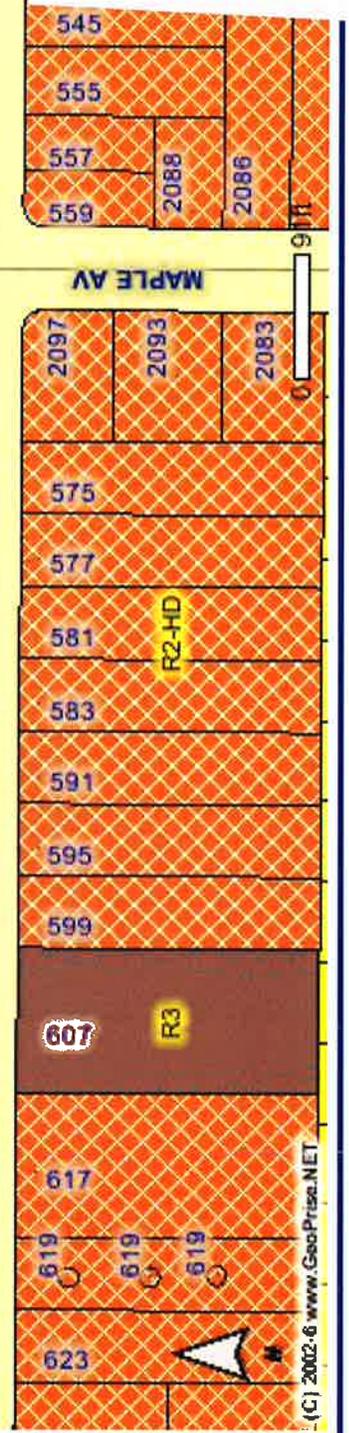
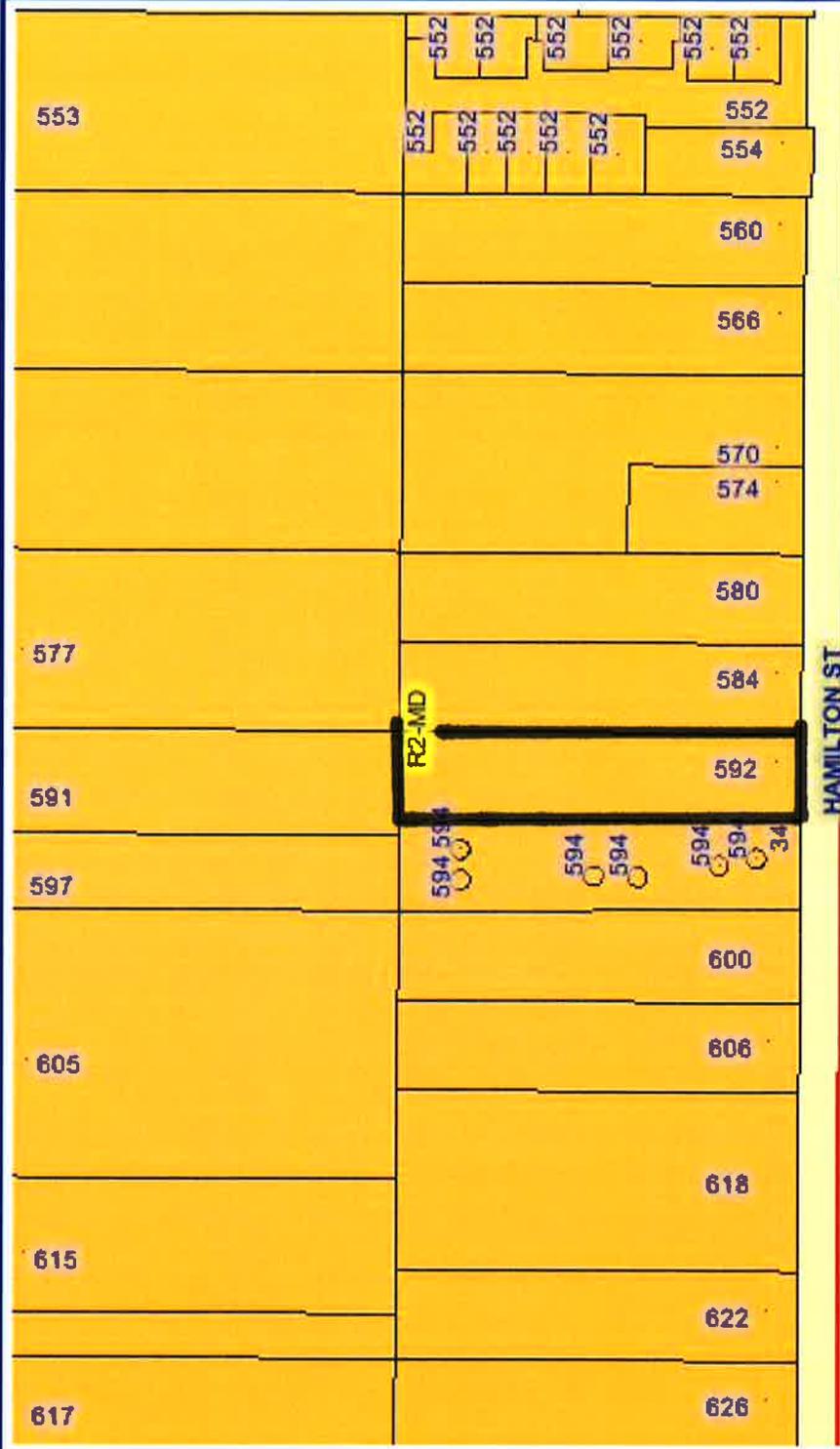
Nicholas A. Louis  
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Newport Beach, CA 92663

**City of Costa Mesa**

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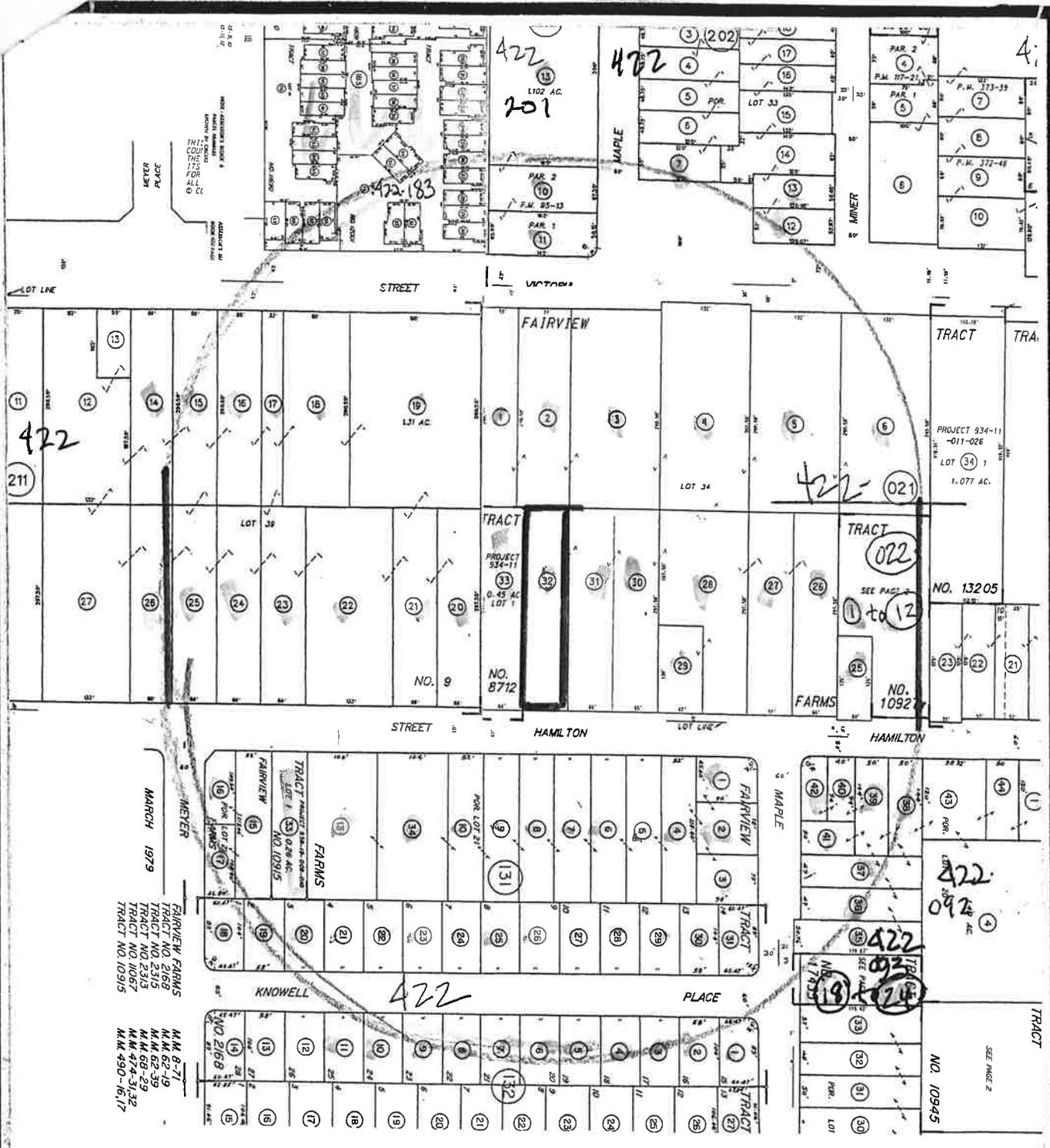
**Map Display**



**Legend**

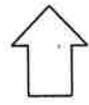
- Address Medium
- Address Points
- Freeway
- Roads
- Collector
- Freeway
- Major
- Newport Blvd
- (Cont)
- Primary Secondary
- Hydrology
- Channels
- Street Names
- Street Centerlines





**Map Preparer:**  
**SUSAN W. CASE, INC.**  
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[susancaseinc@yahoo.com](mailto:susancaseinc@yahoo.com)

**FILE # 152138**  
**592 HAMILTON ST**  
**COSTA MESA CA**  
**JULY 22 2015**  
**500' OWNERS**  
**422 021 32**



NORTH













**REVISED: March 3, 2016**

City of Costa Mesa

Planning Department

Application: **PLANNING APPLICATION PA-15-45 AND TT-17958**

**592 HAMILTON STREET, COSTA MESA**

This letter is in reference to the revisions requested on November 15<sup>th</sup> 2015 for our planning application at 592 Hamilton Street. We have made some of the requested changes and are requesting deviations for others. Regarding the planning changes, we have met the 30% minimum open space requirement (when considering the open space at grade plus balconies, as per our conversation with Stephanie Roxas). We have also added the revisions identified in the "plans checklist."

Regarding the front setbacks and exterior parking spaces provided, we are requesting deviations for these items. Regarding the parking requirement, it would be 12 exterior spaces for the homes (proposed-7 exterior), which we could accommodate if we put 1 car garages on the 2 bedroom units and put the other spaces outdoors. We were advised by the city when originally submitting that we should ask for this deviation. No one would want to buy a house with a one car garage. Additionally, we are over the total # of required parking spaces for the project, it is just that some of them are interior, instead of exterior. We have 22, when only 21 are required.

Per the Residential Ownership Urban Plan, we feel that our request for these deviations is supported by the following additional amenities we are providing below:

- a. Our interior garages minimize the visual vehicular impact of the cars on Hamilton Street, which is already overpopulated with automobiles.
- b. We intend to comply with the City Energy Star Program for residential structures.
- h. We intend to provide landscaping that primary consists of California native species. Moreover, we have hired a licensed landscape profession to ensure our design is both appealing and professional.
- j. We have changed the front elevations (as well as all elevations to enhance the beauty of the project and provide a better façade at a material expense to the developer).
- k. We intend to implement the use of stamped concrete or pavers at entrances and driveway intersections.
- m. We intend to upgrade windows and exterior doors for noise reduction and energy conservation.
- p. Our units are oriented away from the street at our project.
- q. We intend to provide adequate lighting for security at the property.

Also of note is that we have provided one more parking space than was required (22 vs. 21). Obviously, this is something that will benefit everyone in that community. Finally, and most importantly, we have

stuck to our 2 level design that was well received by City Council at our screening and resulted in their 5-0 approval for our project to move forward.

If you have any questions, please contact me at 949.903.5707

Sincerely,

A handwritten signature in cursive script, appearing to read "Nick Louis".

Nick Louis

February 12, 2016

City of Costa Mesa  
Planning Department

Application: **PLANNING APPLICATION PA-15-45 AND TT-17958**  
**592 HAMILTON STREET, COSTA MESA**

After submission of my revisions, I realized that I had not specifically requested the waiver of the underground utilities for my project at 592 Hamilton St. On Wednesday February 10<sup>th</sup>, 2016, I met out at the property with Damon Humphrey of Southern California Edison. Based on our discussion, there are phone, cable as well as primary and secondary power services on the pole in the public right of way that would need to be moved underground. The items below are what he outlined, at minimum, which would need to be corrected in order to make such a move feasible:

- Trenching to the adjacent poles down Hamilton toward Harbor Blvd and Placentia for a total of about 600 yards so that we could “dead end” said pole.
- Trenching across Hamilton to 4 separate properties currently served by pole
- Trenching to one property next door served by pole
- Undergrounding the utilities at 5 other properties, excluding the subject
- Guy lines to support the poles on each side of subject which would block driveway entrances to existing homes.
- Abating transformer in front of subject property pole and installing pad mount on ground
- Set new street light since light is affixed to pole

Damon informed me that SCE would not prepare a letter regarding the feasibility of the undergrounding of the pole. He did say that the cost would be “well in excess of \$500,000.” Damon can be reached at 714.895.0534 and he mentioned that he would be willing to discuss details with the commission, if necessary.

In short, we have found this request to be cost prohibitive for a project of this size. It will drastically affect the marketability if we are to factor in the additional cost and would, most likely, lower the quality of the project as a whole.

If you have any questions, please contact me at 949.903.5707

Sincerely,



Nick Louis

## RESOLUTION NO. PC-16-

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING PLANNING APPLICATION PA-15-45 AND TENTATIVE TRACT MAP TT-17958 FOR A DETACHED, 6-UNIT SMALL LOT DEVELOPMENT PROJECT LOCATED AT 592 HAMILTON STREET IN THE R2-MD ZONE**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Nick Louis, the property owner, requesting approval of the following:

- 1) **Planning Application PA-15-45:** Urban master plan to construct a 6-unit, two-story, detached small lot development on a lot size of 19,635 sq. ft. in an R2-MD zone. The project is also within the Mesa West Residential Ownership Urban Plan. The project also includes the following:
  - a. Deviation from minimum required open parking spaces (12 open spaces required; the 12 required open spaces are proposed as 6 open spaces and 6 garage spaces). Overall number of parking spaces for the project meets code requirements (21 spaces required; 21 spaces proposed).
  - a. Minor modification to deviate from front building setback (20 feet required; 16 feet proposed).
- 2) **Tentative Tract Map TT-17958:** Tentative Tract Map for the subdivision of the property into fee simple lots, in accordance with the small lot subdivision standards.

WHEREAS, a duly noticed public hearing held by the Planning Commission on March 28, 2016 with all persons having the opportunity to speak for and against the proposal.

WHEREAS, the project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City of Costa Mesa Environmental Guidelines, and has been found to be categorically exempt from CEQA under Section 15332 for In-Fill Development Projects.

WHEREAS, the CEQA categorical exemption for this project reflects the independent judgment of the City of Costa Mesa.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, and subject to the conditions of approval contained within Exhibit

B, the Planning Commission hereby **APPROVES** Planning Application PA-15-45 and Tentative Tract Map TT-17958.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-15-45 and Tentative Tract Map TT-17958 and upon applicant's compliance with each and all of the conditions in Exhibit B, and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

BE IT FURTHER RESOLVED that if any section, division, sentence, clause, phrase or portion of this resolution, or the documents in the record in support of this resolution, are for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

**PASSED AND ADOPTED this 28th day of March, 2016**

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Robert L. Dickson Jr., Chair  
Costa Mesa Planning Commission



## EXHIBIT A

### FINDINGS

- A. The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(5):

**Finding:** The master plan meets the broader goals of the General Plan, any applicable specific plan and the zoning code by exhibiting excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development.

**Facts in Support of Findings:** The project is consistent with the following goals and objectives of the General Plan, Land Use Element.

- **Goal LU-1: Land Use:** *It is the goal of the City of Costa Mesa to provide its citizens with a balanced community of residential, commercial, industrial, recreational, and institutional uses to satisfy the needs of the social and economic segments of the population and to retain the residential character of the City; to meet the competing demands for alternative developments within each land use classification within reasonable land use intensity limits; and to ensure the long term viability and productivity of the community's natural and man-made environments.*

**Consistency:** The project would create ownership housing in the project area and provide additional housing opportunities. The infill nature of the proposed project protects the viability of the natural environment and decreases the need for significant infrastructure improvements. The project is consistent with this General Plan goal.

- **Objective LU-1A:** *Establish and maintain a balance of land uses throughout the community to preserve the residential character of the City at a level no greater than can be supported by the infrastructure.*

**Consistency:** The project is an infill redevelopment project. Adequate infrastructure would be available to serve the proposed project. Therefore, the project is consistent with this General Plan objective.

- **Goal LU-2: Development:** *It is the goal of the City of Costa Mesa to establish development policies that will create and maintain an aesthetically pleasing and functional environment and minimize impacts on existing physical and social resources.*

**Consistency:** The project would allow for the redevelopment of property containing an older residential development with minimal vegetation and streetscape. The proposed project would enhance the visual appearance of the site through implementation of the proposed landscape plan. In addition, the project would provide a high-quality architectural design to the project area. With significant landscaping along the Hamilton Street frontage, the proposed project is supportive of this General Plan goal.

- **Objective LU-2A:** *Encourage new development and redevelopment to improve and maintain the quality of the environment.*

**Consistency:** Because the project is an infill development, it would not result in the loss of any habitat, or require extensive infrastructure improvements to provide service to the site. The project is consistent with this objective.

**Facts in Support of Findings:** The minimum required open space for SLO developments is 30 percent; the project provides 30% percent open space (not including balconies).

The project has been revised since the Urban Plan screening to address the City Council's comments; and therefore, overall improvements in the development have been provided.

- *The project is consistent with the General Plan, meets the purpose and intent of the overlay district, and the stated policies of the Urban Plan as applicable.* The Mesa West Residential Ownership Urban Plan envisioned modern architecture and infill development that will be complementary to an urban setting. The proposed architecture and site design will enhance the street views on Hamilton Street. The overall architectural design promotes excellence and compatibility. Although the development is not subject to the City's Residential Design Guidelines, the variety of building elevations, materials and staggered massing diminishes the boxy design appearance consistent with the guidelines.

Specifically, the proposed architecture is a ranch design with concrete tile roofs, horizontal lap siding accents, stucco finishes, and metal carriage-style garage doors. Private balconies are proposed for the units. To ensure that there are no significant changes that would change the appearance of these proposed structures, these surface materials and features are included as a condition of approval.

- *The proposed parking meets the minimum parking required; all open parking shall be required to be unassigned and available for guests, and all garage spaces are required to be maintained for the parking of vehicles.*

All parking spaces which are not located within the two-car garage shall be open and unassigned. These open parking spaces shall be available to all tenants/guests for parking. A condition of approval requires the open spaces to be unassigned and available for guests/tenants of the development. The garage spaces will be required to be subject to annual verification that they are not being used for storage purposes. This limitation shall be reflected in the CC&Rs of the development and these parking areas shall be adequately signed.

- *The deviation from building setback, minimum lot size, and open parking spaces can be supported to apply the flexibility allowed by the Urban Plan provisions.*
  - The strict interpretation and application of the required 20-foot building setback and minimum lot size would result in practical difficulty inconsistent with the purpose and intent of the General Plan and Mesa

West Residential Ownership Urban Plan. Specifically, increased setbacks would result in an overall reduction in the number of on-site parking spaces, as well as the amount of open space throughout the project site. Adherence to the minimum lot size is not practical due to the inability to consolidate the subject property with adjacent parcels, which contain residential developments. All parking spaces which are not located within the garages shall be open and unassigned. These open parking spaces shall be available to all tenants/guests for parking. A condition of approval requires the open spaces to be unassigned and available for guests/tenants of the development. The garage spaces will be required to be subject to annual verification that they are not being used for storage purposes. Therefore, the deviations allow for a development that better achieves the purposes and intent of the General Plan and the Urban Plan with regard to on-site parking, open space, and density. The requested deviations can be allowed since it would still result in a well-designed project that is compatible with the neighborhood.

- The granting of the deviations results in a development that exhibits excellence in design, site planning, integration of uses and structures, and compatibility standards for residential ownership units. Additionally, the project meets the on-site parking requirements, private and common open space requirements, and overall density/intensity requirements of the Urban Plan. Furthermore, a condition of approval requires that the property be self-governed by a Maintenance Association or similar entity. The City Attorney's office shall approve the draft CC&Rs as to form and content.
- The granting of the deviations will not be detrimental to the public health, safety, or welfare, or be materially injurious to properties or improvements in the vicinity. The development will be required to comply with all applicable Building and Fire Safety regulations to ensure that no adverse impact to the public health, safety, or welfare is created as a result of this project.

B. The proposed project complies with Costa Mesa Municipal Code Section 13-29(g)(13) because:

**Finding:** The creation of the subdivision and related improvements is consistent with the General Plan and the Zoning Code.

**Facts in Support of Finding:** The creation of the subdivision is consistent with General Plan Land Use Objective LU-1A.4 in that it creates ownership opportunities to improve the balance between renter and owner occupied housing in the City. The project design complies with the Residential Development Standards and the Residential Design Guidelines. This project will add an additional ownership property within the City.

**Finding:** The proposed use of the subdivision is compatible with the General Plan.

**Facts in Support of Finding:** The proposed project has a density of 11 units

per acre, consistent with the General Plan designation of Medium Density Residential.

**Finding:** The subject property is physically suitable to accommodate the subdivision in terms of type, design, and density of development, and will not result in substantial environmental damage nor public health problems, based on compliance with the Zoning Code and General Plan, and consideration of appropriate environmental information.

**Facts in Support of Finding:** The project is exempt from the provisions of the California Environmental Quality Act under Section 15332 (Class 32), Infill Development. The project is within the maximum allowed density for the site and provides adequate open space, parking, and setbacks from adjacent properties.

**Finding:** The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code Section 66473.1.

**Facts in Support of Finding:** The site plan places the yard areas along the north and south side property line in an east-west orientation to ensure natural and passive heating from the sun exposure. Trees will be required to help provide passive cooling opportunities.

**Finding:** The subdivision and development of the property will not unreasonably interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.

**Facts in Support of Finding:** The proposed project does not interfere with the public right of way. As a condition of approval all utilities on the private property will be undergrounded.

**Finding:** The discharge of sewage from this subdivision into the public sewer system will not violate the requirements of the California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000 of the Water Code).

**Facts in Support of Finding:** The applicant will be required to comply with all regulations set forth by the Costa Mesa Sanitation District as well as the Mesa Water District.

C. **Finding:** The project is exempt from the provisions of the California Environmental Quality Act under Section 15332 (Class 32) for Infill Development.

**Facts in Support of Finding:** This exemption allows for the construction of multi-family residential structures in urbanized areas, which have been determined not to have a significant effect on the environment.

D. The project is exempt from Chapter XII, Article 3 Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

## EXHIBIT B

### CONDITIONS OF APPROVAL

- Plng.
1. The expiration of Planning Application PA-15-45 shall coincide with the expiration of the approval of the Tentative Tract Map TT-17958 which is valid for two years. An extension request will be required to extend the expiration for each additional year after the initial two-year period.
  2. The conditions of approval shall be blueprinted on the face of the site plan as part of the plan check submittal package. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
  3. Prior to issuance of a certificate of occupancy, the applicant shall file and record a declaration of covenants, conditions, and restrictions (CC&Rs) on the property. The establishment of a homeowner's association shall be optional. Prior to issuance of a building permit, a draft of the CC&Rs shall be remitted to the Development Services Director and City Attorney's office for review and approval. Because there are no common areas for circulation, parking, or landscape purposes, the CC&Rs shall be limited to the ground rules related to: architectural control over future building modifications or additions, architectural design and guidelines for the property, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts. The Development Services Director has the discretion to request any other provisions in the CC&Rs to promote self-governance between the two property owners.
  4. The applicant shall submit a detailed wall and fence plan for review. The location and heights of fences/walls shall comply with Code requirements, as well as any visibility standards for traffic safety related to ingress and egress. The private, interior fences or walls between the homes shall be a minimum of six feet in height.
  5. Prior to issuance of building permits, developer shall contact the U.S. Postal Service with regard to location and design of mail delivery facilities. Such facilities shall be shown on the site plan, landscape plan, and/or floor plan.
  6. Prior to final inspection, the applicant shall construct a minimum six-foot tall decorative masonry wall around the perimeter of the project site. Where walls on adjacent properties already exist, the applicant shall work with the adjacent property owner(s) to prevent side-by-side walls with gaps in between them and/or provide adequate privacy screening by trees and landscaping.
  7. Prior to issuance of grading permits, developer shall submit for review and approval a Construction Management Plan. This plan features methods to minimize disruption to the neighboring residential uses to the fullest extent that is reasonable and practicable. The plan shall include construction parking and vehicle access and specifying staging areas and delivery and hauling truck routes. The plan should mitigate disruption to residents during construction. The truck route plan shall preclude truck routes through residential areas and major truck traffic during peak hours. The total truck trips to the site shall not exceed 200 trucks per day (i.e., 100

- truck trips to the site plus 100 truck trips from the site) unless approved by the Development Services Director or Transportation Services Manager.
8. To avoid an alley-like appearance, the driveway shall not be developed with a center concrete swale. The driveway shall be complemented by stamped concrete in order to reduce damage caused by sanitary trucks entering site for trash pickup.
  9. The open, unassigned parking spaces shall be clearly marked as guest parking space only. Signage shall be posted to indicate that this space is available only to guests and visitors and not used for resident parking.
  10. The subject property's ultimate finished grade level may not be filled/raised in excess of 30 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site storm water flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. Such alternatives may include subsurface tie-in to public storm water facilities, subsurface drainage collection systems and/or sumps with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties. Applicant is advised that recordation of a drainage easement across the private street may be required to fulfill this requirement.
  11. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
  12. Trash facilities shall be screened from view, and designed and located appropriately to minimize potential noise and odor impacts to residential areas
  13. No modification(s) of the approved building elevations including, but not limited to, change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. This includes any modification not consistent with the proposed modifications to the ranch design with concrete tile roofs, horizontal lap siding accents, stucco finishes, and metal carriage-style garage doors. Private balconies are proposed for the units. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process or a variance, or in the requirement to modify the construction to reflect the approved plans. Elevations facing the street shall have enhanced architectural materials and detailing, subject to approval by the Planning Division.
  14. Second floor windows will be offset from neighboring residence windows to avoid privacy issues to the second story windows of abutting properties. Windows which cannot be offset must be frosted or elevated to maintain privacy.

15. A minimum 20-foot by 20-foot clear inside dimension shall be provided for the two-car garages. The proposed garages shall be used for parking as required by code as it is not habitable space; further excess storage which prevents parking the required number of vehicles is prohibited.
16. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
17. Prior to issuance of building permits, the applicant shall provide the Conditions, Covenants, and Restrictions (CC&Rs) to the Development Services Director and City Attorney's office for review. The CC&Rs must be in a form and substance acceptable to, and shall be approved by the Development Services Director and City Attorney's office.
  - a. The CC&R's shall contain restrictions requiring residents to park vehicles in garage spaces provided for each unit. Storage of other items may occur only to the extent that vehicles may still be parked within the required garage at the number for which the garage was originally designed and to allow for inspections by the association to verify compliance with this condition.
  - b. Any subsequent revisions to the CC&Rs related to these provisions must be reviewed and approved by the City Attorney's office and the Development Services Director before they become effective.
18. The Homeowner's Association or Maintenance Association shall submit a signed affidavit to the City of Costa Mesa on an annual basis to certify the following:
  - a. The two-car garages in the residential community are being used for vehicle parking by the resident(s).
  - b. The vehicle parking areas within the garage are not obstructed by storage items, including but not limited to, toys, clothing, tools, boxes, equipment, etc.
  - c. The resident(s) have consented to voluntary inspections of the garage to verify the parking availability, as needed.

The form and content of the affidavit shall be provided by the City Attorney's office. Failure to file the annual affidavit is considered a violation of this condition.

19. The CC&Rs shall contain provisions requiring that the maintenance or homeowner's association effectively manage parking and contract with a towing service to enforce the parking regulations.
20. The CC&Rs shall contain a notice that the open parking space (not leading to a garage) shall be unassigned and available for visitors. The CC&Rs shall also contain provisions related to use, preservation and maintenance of the common drive aisle and open space areas in perpetuity by the maintenance or homeowner's association.
21. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents,

officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.

22. Prior to issuance of a final certificate of occupancy for the first unit, the City Attorney's office shall review and approve the CC&R provisions related to transient occupancy. These include any and all types of vacation rentals, short-term or long-term rentals, bed and breakfast lodging, boardinghouse, residency hotel, etc. If the violation is not rectified within 30 days by eviction of the tenant(s), the owner shall be subject to a first citation of \$150, including fines as adopted by the City Council. (At this time fines range from \$150 for the first infraction to \$500 for three plus infractions.) The Development Services Director may apply fines not to exceed \$500 per day for violations that are not resolved.
- Eng. 23. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
24. Comply with the requirements contained in the letter prepared by the City Engineer (Exhibit B1).
25. The applicant shall be required to underground utilities in the public right-of-way along Hamilton Street of the development site. The applicant shall submit an application to Southern California Edison (SCE) for a determination on the design and all other logistical requirements for the undergrounding. Unless the proposed undergrounding is not considered feasible by Southern California Edison (i.e. SCE determines that the pole must remain above ground for specified reasons), the Public Services Director shall require compliance with this condition of approval. If the applicant requests a waiver from this undergrounding requirement, the request shall be brought to the Planning Commission for consideration (re-submittal of the Planning Application/Tentative Tract Map is not required).

### **CODE REQUIREMENTS**

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- PIng. 1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
2. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following

Federal holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.

3. Development shall comply with all requirements of Section 13-32, Title 13, of the Costa Mesa Municipal Code relating to development standards for residential projects.
4. Prior to issuance of building permits, the applicant shall provide proof of recordation of Tentative Tract Map T-17958.
5. All on-site utility services shall be installed underground.
6. Planning Commission action on PA-15-45 and TT-17958 shall not become final until seven days following final action.
7. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
8. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
9. Two (2) sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
10. The landscaping of this project shall comply with the City's landscaping requirements and guidelines.
11. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
12. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
13. If present and/or projected exterior noise exceeds 60 CNEL, California Noise Insulation Standards, Title 25, California Code of Regulations require a maximum interior noise level of 45 CNEL for residential structures. If required interior noise levels are achieved by requiring that windows be inoperable or closed, the design for the structure must also specify the means that will be employed to provide ventilation, and cooling if necessary, to provide a habitable interior environment.
14. Prior to issuance of any permit for buildings, the Developer shall pay a park impact fee or dedicate parkland to meet the demands of the proposed development.
15. Comply with the requirements of the adopted 2013 California Residential Code, 2013 California Building Code, 2013 California Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted, California Residential Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and

- California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
16. Submit a precise grading plan, an erosion control plan, and a hydrology study.
  17. Submit a soil's report for the project. Soil's Report recommendations shall be blueprinted on both the architectural and the precise grading plans.
  18. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus two percent (2%). 2013 California Residential Code CRC 403.1.7.3
  19. The ground adjacent immediately to the foundation shall be sloped away from the building at a slope of not less than 5% for a minimum distance of 10 feet measured perpendicular to the face of the wall CBC sec. 1804.3. See also exception.
  20. Lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. CRC R401.3.
  21. During demolition, grading, and excavation, workers shall comply with the requirements of Title 8 of the California Code of Regulations, Section 1532.1, which provides for exposure limits, exposure monitoring, respiratory protection, and good working practice by workers exposed to lead. Lead-contaminated debris and other wastes shall be managed and disposed of in accordance with the applicable provision of the California Health and Safety Code.
  22. During demolition, grading, and excavation, workers shall comply with the requirements of Title 8 of the California Code of Regulations, Section 1529, which provides for exposure limits, exposure monitoring, respiratory protection, and good working practices by workers exposed to asbestos. Asbestos-contaminated debris and other wastes shall be managed and disposed of in accordance with the applicable provision of the California Health and Safety Code.
  23. All construction contractors shall comply with South Coast Air Quality Management District (SCAQMD) regulations, including Rule 403, Fugitive Dust. All grading (regardless of acreage) shall apply best available control measures for fugitive dust in accordance with Rule 403. To ensure that the project is in full compliance with applicable SCAQMD dust regulations and that there is no nuisance impact off the site, the contractor would implement each of the following:
    - a. Moisten soil not more than 15 minutes prior to moving soil or conduct whatever watering is necessary to prevent visible dust emissions from exceeding 100 feet in any direction.
    - b. Apply chemical stabilizers to disturbed surface areas (completed grading areas) within five days of completing grading or apply dust suppressants or vegetation sufficient to maintain a stabilized surface.
    - c. Water excavated soil piles hourly or covered with temporary coverings.
    - d. Water exposed surfaces at least twice a day under calm conditions. Water as often as needed on windy days when winds are less than 25 miles per day or during very dry weather in order to maintain a

- surface crust and prevent the release of visible emissions from the construction site.
- e. Wash mud-covered tires and under-carriages of trucks leaving construction sites.
  - f. Provide for street sweeping, as needed, on adjacent roadways to remove dirt dropped by construction vehicles or mud, which would otherwise be carried off by trucks departing project sites.
  - g. Securely cover loads with a tight fitting tarp on any truck leaving the construction sites to dispose of debris.
  - h. Cease grading during period when winds exceed 25 miles per hour.
- Fire 24. Street addresses shall be visible from the public street and may be displayed either on the front door, on the fascia adjacent to the main entrance, or on another prominent location. When the property has alley access, address numerals shall be displayed in a prominent location visible from the alley. Numerals shall be a minimum six (6) inches in height with not less than one-half-inch stroke and shall contrast sharply with the background.
25. Prior to the issuance of a Building Permit, the City of Costa Mesa Fire Department shall review and approve the project design features to assess compliance with the California Building Code and California Fire Code.
26. The project shall provide an automatic fire sprinkler system according to NFPA 13D.
- Trans. 27. Construct residential drive approach on Hamilton Street as shown on the site plan. Comply with minimum clearance requirements from property lines and any vertical obstructions.
28. Fulfill mitigation of off-site traffic impacts at the time of issuance of occupancy by submitting to the Planning Division the required traffic impact fee pursuant to the prevailing schedule of charges adopted by the City Council. The traffic impact fee is calculated including credits for all existing uses. NOTE: The Traffic Impact Fee will be recalculated at the time of issuance of building permit/certificate of occupancy based upon any changes in the prevailing schedule of charges adopted by the City Council and in effect at that time.
- Utilities 29. Prior to the issuance of a connection permit, the applicant shall pay the applicable water connection fees.
- Street Trees 30. Applicant shall plant one 24-inch box tree in the public right-of-way on Hamilton Street. Species may be proposed by the applicant, with Maintenance Services approval, or selected from the list below without further approval:
- Bradford Pear.
  - Queen Palm.
  - Crape Myrtle.
  - Purple Orchid Tree.
  - Western Redbud "Forest Pansy".

## **SPECIAL DISTRICT REQUIREMENTS**

The requirements of the following special districts are hereby forwarded to the applicant:

- Sani. 1. Applicant will be required to construct sewers to serve this project, at his own expense, meeting the approval of the Costa Mesa Sanitary District.
- 2. County Sanitation District fees, fixture fees, inspection fees, and sewer permit are required prior to installation of sewer. To receive credit for buildings to be demolished, call 949-645-8400.
- 3. Applicant shall submit a plan showing sewer improvements that meets the District Engineer's approval to the Building Division as part of the plans submitted for plan check.
- 4. The applicant is required to contact the Costa Mesa Sanitary District at (949) 645-8400 to arrange final sign-off prior to certificate of occupancy being released.
- 5. Unless an off-site trash hauler is being used, applicant shall contact the Costa Mesa Sanitary District at 949-645-8400 to pay trash collection program fees and arrange for service for all new residences. Residences using bin or dumpster services are exempt from this requirement.
- 6. Applicant shall contact Costa Mesa Sanitary District at (949) 654-8400 for any additional district requirements.
- AQMD 7. Applicant shall contact the Air Quality Management District (AQMD) at (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.
- School 8. Pay applicable Newport Mesa Unified School District fees to the Building Division prior to issuance of building permits.
- State 9. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
- Water 10. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District
- Cable 11. The applicant shall contact the current cable company prior to issuance of building permits to arrange for pre-wiring for future cable communication service.



# CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

FROM THE DEPARTMENT OF PUBLIC SERVICES/ENGINEERING DIVISION

March 18, 2016

Costa Mesa Planning Commission  
 City of Costa Mesa  
 77 Fair Drive  
 Costa Mesa, CA 92626

SUBJECT: Tract No. 17958  
 LOCATION: 592 Hamilton Street

Dear Commissioners:

Tentative Tract Map No. 17958 as furnished by the Planning Division for review by the Public Services Department, consists of a subdivision of one lot into six (6) numbered lots and one lettered lot, two-story units per the Small Lot Subdivision Ordinance. Tentative Tract Map No. 17958 meets with the approval of the Public Services Department, subject to the following conditions:

1. The Tract shall be developed in full compliance with the State Map Act and the City of Costa Mesa Municipal Code (C.C.M.M.C.), except as authorized by the Costa Mesa City Council and/or Planning Commission. The attention of the Subdivider and his engineer is directed to Section 13-208 through 13-261 inclusive, of the Municipal Code.
2. The Subdivider shall conduct soil investigations and provide the results to the City of Costa Mesa Engineering and Building Divisions pursuant to Ordinance 97-11.
3. Two copies of the Final Tract Map shall be submitted to the Engineering Division for checking. Map check fee shall be paid per C.C.M.M.C. Section 13-231.
4. A current copy of the title search shall be submitted to the Engineering Division with the first submittal of the Final Tract Map.
5. Dedicate an ingress/egress easement to the City for emergency and public security vehicles purposes only. Maintenance of easement shall be the sole responsibility of a Homeowners Association formed to conform to Section 13-41 (e) of the C.C.M.M.C.
6. Vehicular and pedestrian access rights to Hamilton Street shall be released and relinquished to the City of Costa Mesa except at approved access locations.
7. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approach per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager.
8. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. residential sidewalk per City of Costa Mesa Standards as shown on the Offsite Plan, including four (4) feet clear around obstructions in the sidewalk.

9. Submit for approval to the City of Costa Mesa preliminary plans that shows the undergrounding of the utility lines along Hamilton Street and to the extent practical or feasible.
10. The Subdivider shall submit a cash deposit of \$350 for street sweeping at time of issuance of a Construction Access permit. Full amount of deposit shall be maintained on a monthly basis prior to and during construction until completion of project.
11. Fulfill the drainage fee ordinance requirements prior to the approval of the Tract Map.
12. The Subdivider shall furnish to the Engineering Division a storm runoff study showing existing and proposed facilities and the method of draining this area and tributary areas without exceeding the capacity of any street or drainage facility on-site or off-site to the satisfaction of the City Engineer. This study to be furnished with the first submittal of the Final Map. Cross lot drainage shall not occur. Ownership and maintenance of the private on-site drainage facilities and parkway culverts and other common areas shall be transferred by the owner to the Homeowners Association to be formed pursuant to C.C.M.M.C. Section 13-41 (e).
13. Sewer improvements shall meet the approval of the Costa Mesa Sanitary District; call (949) 631-1731 for information.
14. Water system improvements shall meet the approval of Mesa Water District; call (949) 631-1200 for information.
15. Dedicate easements as needed for public utilities.
16. Prior to recordation of a Final Tract Map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor in a manner described in Subarticle 12, Section 7-9-337 of the Orange County Subdivision Code.
17. Prior to recordation of a Final Tract Map, the surveyor/engineer preparing the map shall submit to the County Surveyor a digital-graphics file of said map in a manner described in Subarticle 12, Section 7-9-337 of the Orange County Subdivision Code.
18. Survey monuments shall be preserved and referenced before construction and replaced after construction, pursuant to Section 8771 of the Business and Profession Code.
19. The elevations shown on all plans shall be on Orange County benchmark datum.
20. Prior to recordation of a Final Tract Map, submit required cash deposit or surety bond to guarantee monumentation. Deposit amount to be determined by the City Engineer.
21. Prior to occupancy on the Tract, the surveyor/engineer shall submit to the City Engineer a Digital Graphic File, reproducible mylar of the recorded Tract Map, and approved off-site plan and nine copies of the recorded Tract Map.

Planning Commission  
2016

Sincerely,

A handwritten signature in black ink, appearing to read "Baltazar Mejia". The signature is written in a cursive style with a prominent initial "B" and a long, sweeping underline.

Baltazar Mejia, P. E.  
Acting City Engineer

(Engr. 2016/Planning Commission Tract 17958)

**RESOLUTION NO. PC-16-**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA DENYING PLANNING APPLICATION PA-15-45 AND TENTATIVE TRACT MAP TT-17958 FOR A DETACHED, 6-UNIT SMALL LOT DEVELOPMENT PROJECT LOCATED AT 592 HAMILTON STREET IN THE R2-MD ZONE**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Nick Louis, the property owner, requesting approval of the following:

- 1) **Planning Application PA-15-45:** Urban master plan to construct a 6-unit, two-story, detached small lot development on a lot size of 19,635 sq. ft. in an R2-MD zone. The project is also within the Mesa West Residential Ownership Urban Plan.

The project also includes the following:

- a. Deviation from minimum required open parking spaces (12 open spaces required; the 12 required open spaces are proposed as 6 open spaces and 6 garage spaces). Overall number of parking spaces for the project meets code requirements (21 spaces required; 21 spaces proposed).
  - a. Minor modification to deviate from front building setback (20 feet required; 16 feet proposed).
- 2) **Tentative Tract Map TT-17958:** Tentative Tract Map for the subdivision of the property into fee simple lots, in accordance with the small lot subdivision standards.

WHEREAS, a duly noticed public hearing held by the Planning Commission on March 28, 2016 with all persons having the opportunity to speak for and against the proposal.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, the Planning Commission hereby **DENIES** Planning Application PA-15-45 and Tentative Tract Map No. TT-17958.

**PASSED AND ADOPTED this 28th day of March, 2016**

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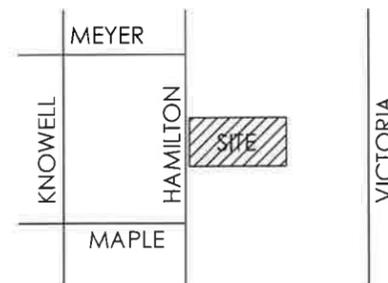
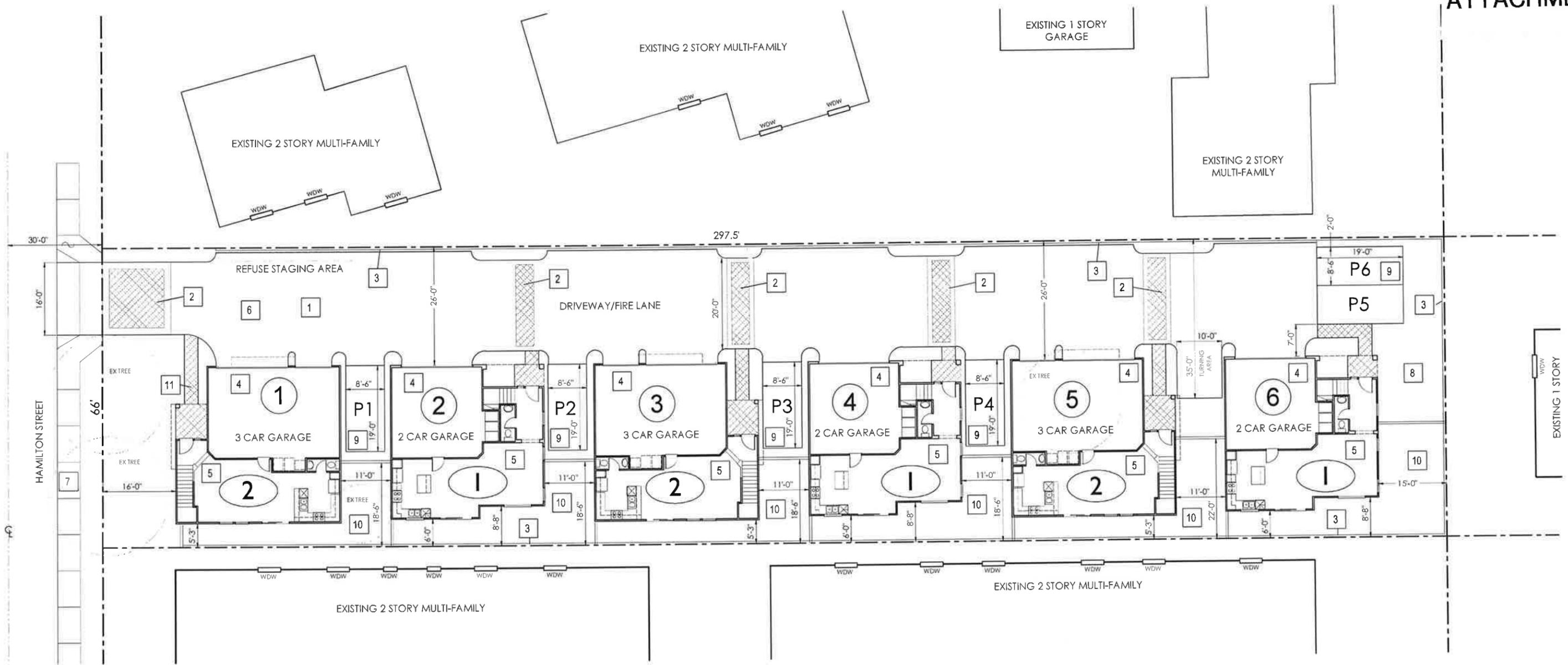
Robert L. Dickson Jr., Chair  
Costa Mesa Planning Commission



## EXHIBIT A

### FINDINGS (DENIAL)

- A. The information presented does not comply with Costa Mesa Municipal Code Section 13-29(g)(5) because:
  - 1. The master plan does not meet the broader goals of the General Plan, any applicable specific plan and the zoning code by exhibiting excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development.
- B. The information presented does not comply with Costa Mesa Municipal Code Section 13-29(14) in that the project does not meet the purpose and intent of the Residential Design Guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.
- C. The subdivision of the property is not consistent with the City's General Plan and Zoning Code.
- D. The Costa Mesa Planning Commission has denied Planning Application PA-15-45 and Tentative Tract Map No. TT-17958. Pursuant to Public Resources Code Section 21080(b)(5) and CEQA Guidelines Section 15270(a) CEQA does not apply to this project because it has been rejected and will not be carried out.
- E. The project is exempt from Chapter IX, Article 11, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.



**SITE PLAN NOTES**

- 1 FIRE LANE
- 2 DECORATIVE CONCRETE PAVERS
- 3 6' HIGH SPLIT FACE CONCRETE BLOCK WALL - TAN COLOR
- 4 GARAGE WITH 16' WIDE DOOR
- 5 2 STORY DWELLING, TYP.
- 6 CONDUCT SITE DRAINAGE TO APPROVED DRAINAGE OUTLET
- 7 EXISTING SIDEWALK
- 8 COMMON LANDSCAPE AREA
- 9 8.5' X 19' MIN. GUEST PARKING STALL
- 10 200 S.F. MIN (10' MIN. DIMENSION) PRIVATE OPEN SPACE
- 11 CONCRETE WALKWAY

**PROJECT SUMMARY**

SITE AREA	19,635 S.F.
DENSITY	13.33 DU/ACRE
PRODUCT	2 STORY DETACHED HOMES - 3 UNITS W/ 3 BDRM @ 1,700 S.F. 3 UNITS W/ 2 BDRM @ 1,523 S.F.
HEIGHT	27' TO RIDGE, TYPICAL

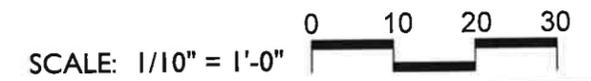
**OPEN SPACE CALCULATION**

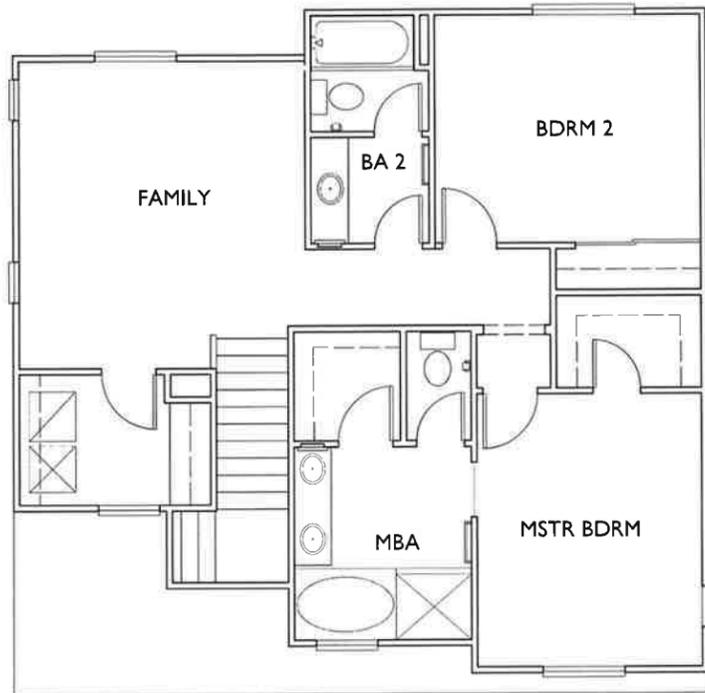
DRIVES	6,266 S.F.
BLDGS	6,510 S.F.
PARKING	969 S.F.
OPEN	5,890 S.F. AT GRADE (30.0%)

**PARKING SUMMARY**

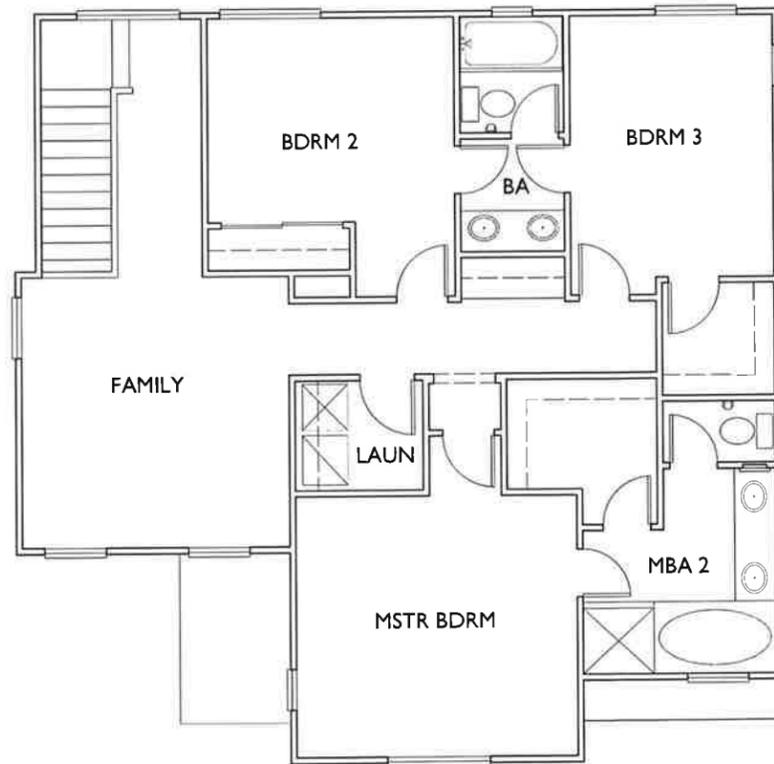
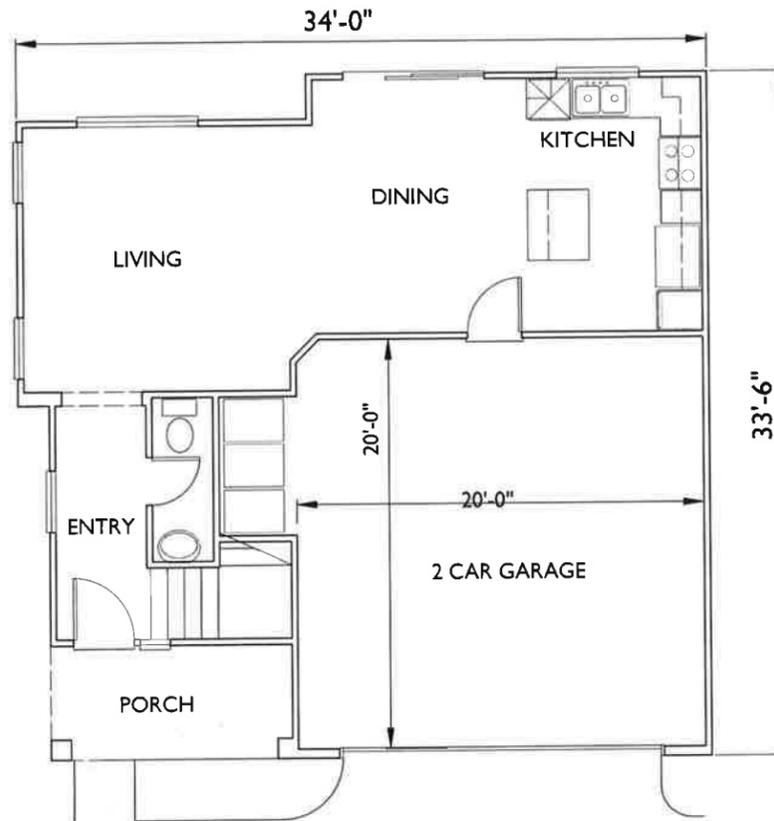
3 UNITS W/ 2 CAR GARAGE =	6 STALLS
3 UNITS W/ 3 CAR GARAGE =	9 STALLS
OPEN STALLS =	6 STALLS
TOTAL PROVIDED	21 STALLS
<b>PARKING REQUIRED</b>	
3 UNITS @ 3 BDRM =	12 STALLS (4 PER UNIT)
3 UNITS @ 2 BDRM =	9 STALLS (3 PER UNIT)
	21 STALLS

**Site Plan**

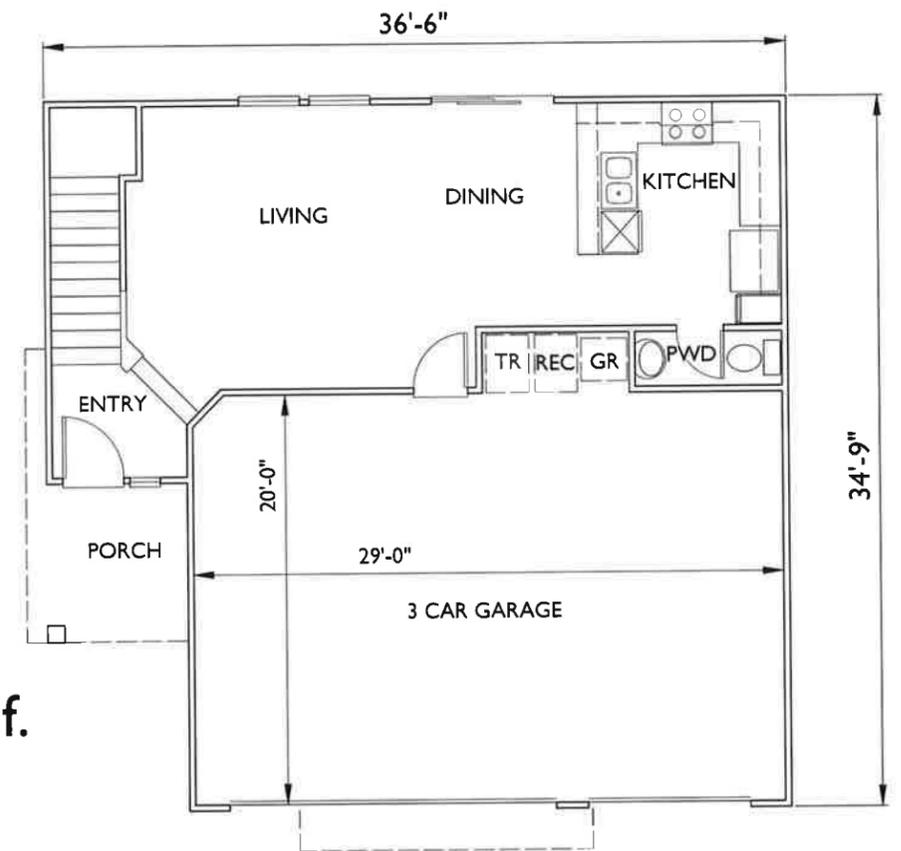




**Plan 1 -  
1,523 s.f.**



**Plan 2  
1,700 s.f.**



**Floor Plans**

SCALE: 1/4" = 1'-0"



RIGHT



REAR

**MATERIAL SCHEDULE**

- 1 ROOF - SHAKE PATTERN CONCRETE TILE
- 2 FASCIA - 2 X 6 RESAWN WOOD
- 3 WALL - SAND FINISH STUCCO
- 4 WALL - 6" HORIZONTAL LAP SIDING
- 5 WALL - 1X2 BOARD & BATTEN
- 6 TRIM - 2 X RESAWN WOOD
- 7 TRIM - 2 X STUCCO O/ SHAPED FOAM
- 8 RAILING - DECORATIVE WROUGHT IRON
- 9 DECORATIVE WOOD SHUTTERS
- 10 STONE VENEER
- 11 DECORATIVE GABLE OUTLOOKER
- 12 CARRIAGE STYLE METAL GARAGE DOOR
- 13 FASCIA - 2 X EXPOSED RESAWN TAILS



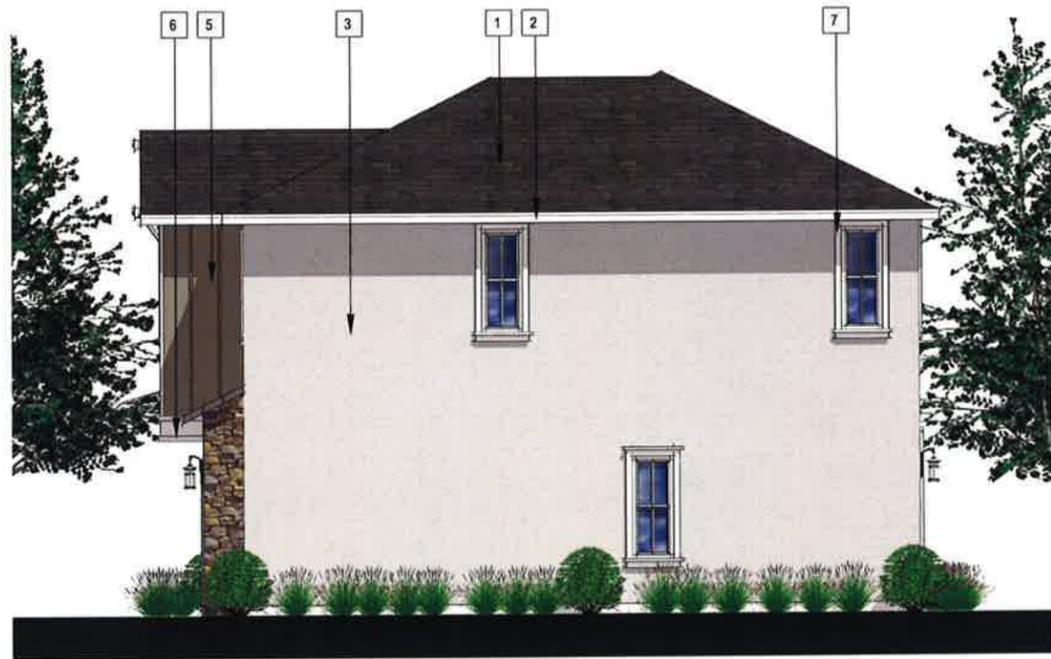
LEFT



FRONT

**PLAN I ELEVATIONS**

SCALE: 1/4" = 1'-0"



RIGHT



REAR

**MATERIAL SCHEDULE**

- 1 ROOF - SHAKE PATTERN CONCRETE TILE
- 2 FASCIA - 2 X 6 RESAWN WOOD
- 3 WALL - SAND FINISH STUCCO
- 4 WALL - 6" HORIZONTAL LAP SIDING
- 5 WALL - 1X2 BOARD & BATTEN
- 6 TRIM - 2 X RESAWN WOOD
- 7 TRIM - 2 X STUCCO O/ SHAPED FOAM
- 8 RAILING - DECORATIVE WROUGHT IRON
- 9 DECORATIVE WOOD SHUTTERS
- 10 STONE VENEER
- 11 DECORATIVE GABLE OUTLOOKER
- 12 CARRIAGE STYLE METAL GARAGE DOOR
- 13 FASCIA - 2 X EXPOSED RESAWN TAILS



LEFT



FRONT

**PLAN 2 ELEVATIONS**

SCALE: 1/4" = 1'-0"



Plan 1



Plan 2

Perspectives



10 AM - JUNE 21



2 PM - JUNE 21



10 AM - DECEMBER 21



2 PM - DECEMBER 21

## Shadow Study



## View From Hamilton

NAL Financial Inc.  
420 31st Street Ste #B1  
Newport Beach, CA 92663  
tel: 949 645 6253

**592 HAMILTON ST**  
**6 UNIT DETACHED SUBDIVISION**

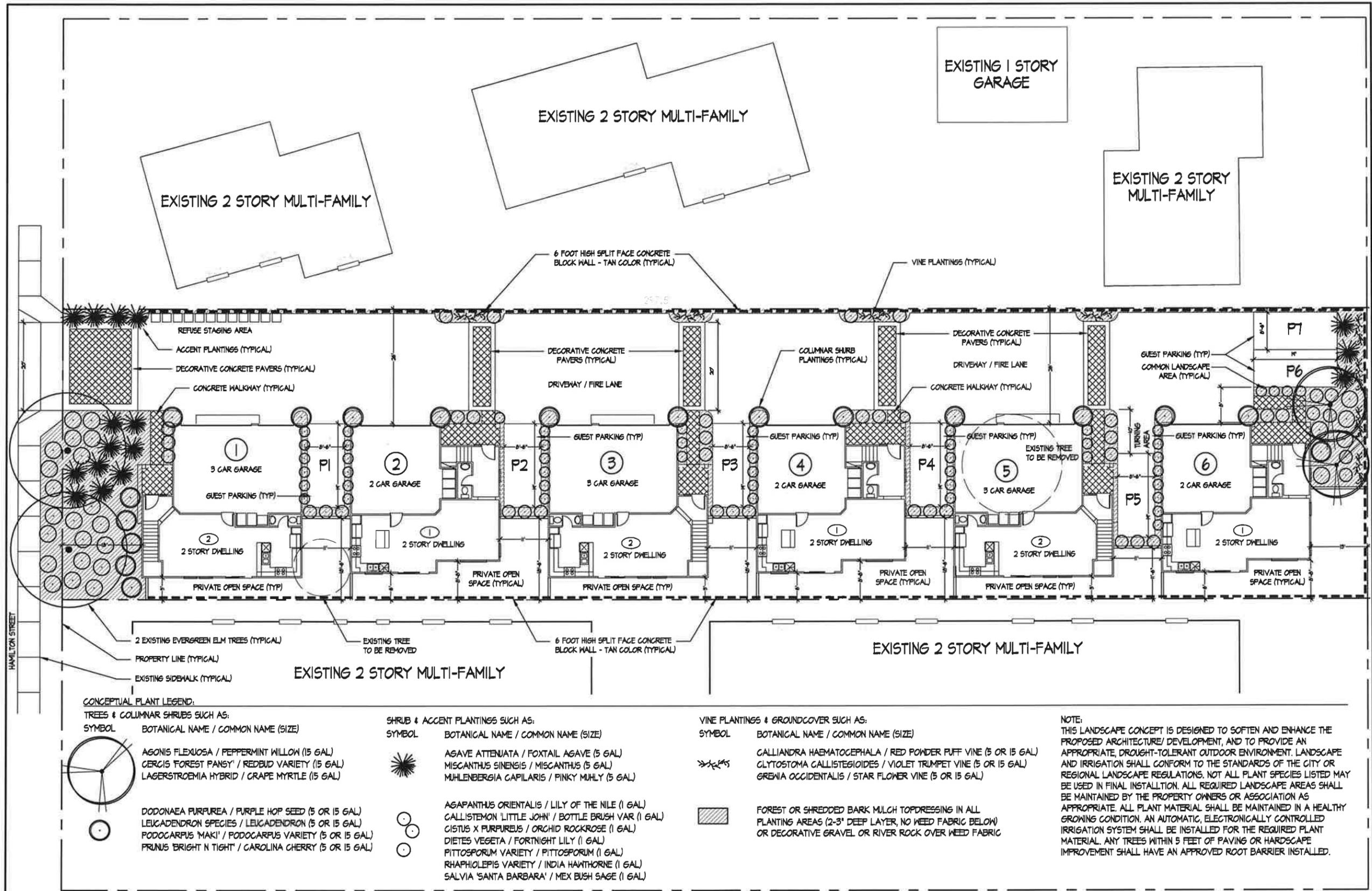
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Costa Mesa, California

December 1, 2015

**SUMMA**  
ARCHITECTURE

5256 S. MISSION ROAD, SUITE 404  
BONSALL, CA 92003  
www.summarch.com  
760.724.1198



SHEET TITLE:  
**CONCEPTUAL LANDSCAPE  
 SITE PLAN**

PROJECT:  
**592 HAMILTON STREET  
 6 UNIT DETACHED SUBDIVISION  
 FOR NAL FINANCIAL INC.  
 COSTA MESA, CA 92627**

CITY PROJECT #  
 REVISIONS:  
 ORIG. DATE 1-14-16  
 SCALE AS SHOWN  
 LANDSCAPE ARCHITECT:  
 GREGORY C. WYSONG  
 LLA NO. 4665  
 PHONE: 614-322-4966  
 ALT. PH: 614-201-4166  
 SHEET 1 OF 1

**CONCEPTUAL PLANT LEGEND:**

TREES & COLUMNAR SHRUBS SUCH AS:

SYMBOL	BOTANICAL NAME / COMMON NAME (SIZE)
	AGONIS FLEXUOSA / PEPPERMINT WILLOW (15 GAL)
	CERCIS 'FOREST PANSY' / REDBUD VARIETY (5 GAL)
	LAGERSTROEMIA HYBRID / CRAPE MYRTLE (15 GAL)
	DODONAEA PURPUREA / PURPLE HOP SEED (5 OR 15 GAL)
	LEUCADENDRON SPECIES / LEUCADENDRON (5 OR 15 GAL)
	PODOCARPUS 'MAKI' / PODOCARPUS VARIETY (5 OR 15 GAL)
	PRUNUS 'BRIGHT N TIGHT' / CAROLINA CHERRY (5 OR 15 GAL)

SHRUB & ACCENT PLANTINGS SUCH AS:

SYMBOL	BOTANICAL NAME / COMMON NAME (SIZE)
	AGAVE ATTENUATA / FOXTAIL AGAVE (5 GAL)
	MISCANTHUS SINENSIS / MISCANTHUS (5 GAL)
	MUHLENBERGIA CAPILARIS / PINKY MUHLY (5 GAL)
	AGAPANTHUS ORIENTALIS / LILY OF THE NILE (1 GAL)
	CALLISTEMON 'LITTLE JOHN' / BOTTLE BRUSH VAR (1 GAL)
	CISTUS X PURPUREUS / ORCHID ROCKROSE (1 GAL)
	DIETES VEGETA / FORTNIGHT LILY (1 GAL)
	PITTOSPORUM VARIETY / PITTOSPORUM (1 GAL)
	RHAPHIOLEPIS VARIETY / INDIA HAWTHORNE (1 GAL)
	SALVIA 'SANTA BARBARA' / MEX BUSH SAGE (1 GAL)

VINE PLANTINGS & GROUNDCOVER SUCH AS:

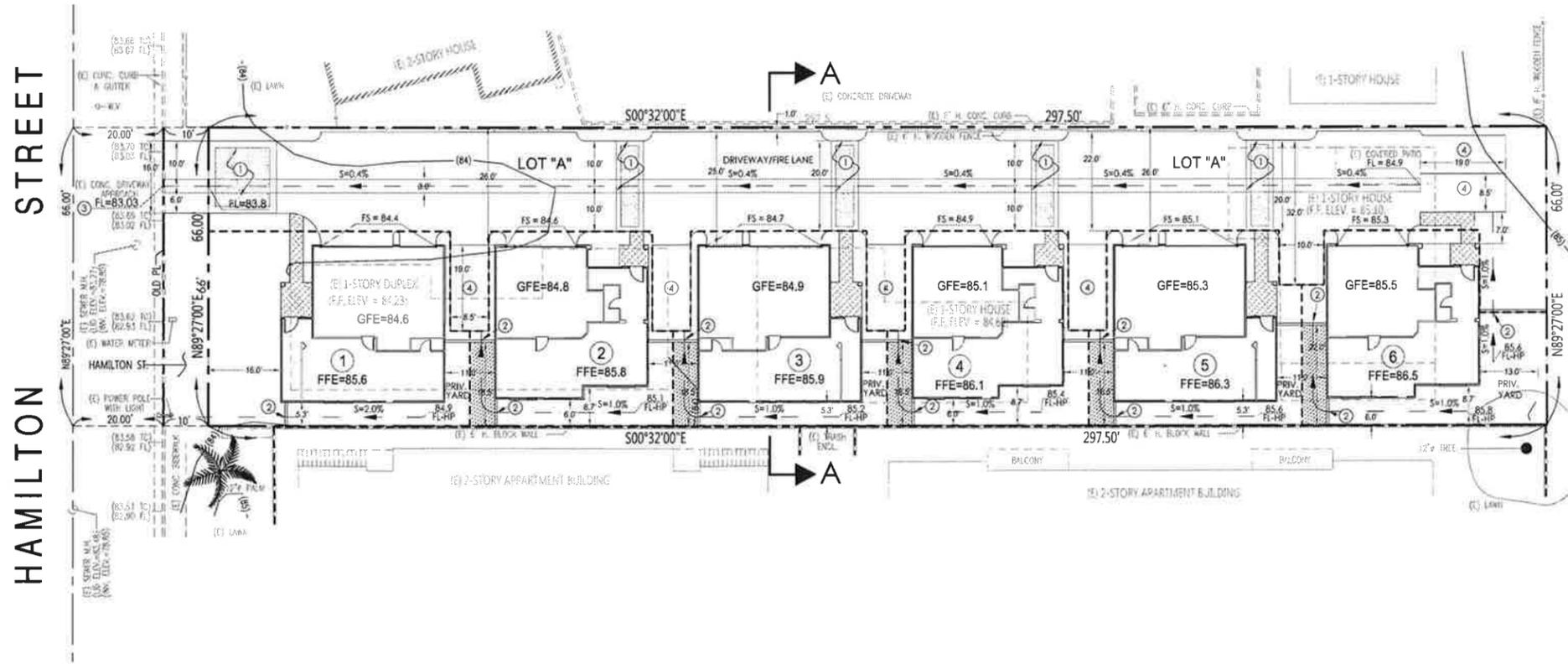
SYMBOL	BOTANICAL NAME / COMMON NAME (SIZE)
	CALLIANDRA HAEMATOCEPHALA / RED POWDER PUFF VINE (5 OR 15 GAL)
	CLYTOSTOMA CALLISTEGIOIDES / VIOLET TRUMPET VINE (5 OR 15 GAL)
	GRENIA OCCIDENTALIS / STAR FLOWER VINE (5 OR 15 GAL)
	FOREST OR SHREDDED BARK MULCH TOPDRESSING IN ALL PLANTING AREAS (2-3' DEEP LAYER, NO WEED FABRIC BELOW) OR DECORATIVE GRAVEL OR RIVER ROCK OVER WEED FABRIC

**NOTE:**  
 THIS LANDSCAPE CONCEPT IS DESIGNED TO SOFTEN AND ENHANCE THE PROPOSED ARCHITECTURE/ DEVELOPMENT, AND TO PROVIDE AN APPROPRIATE, DROUGHT-TOLERANT OUTDOOR ENVIRONMENT. LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY OR REGIONAL LANDSCAPE REGULATIONS. NOT ALL PLANT SPECIES LISTED MAY BE USED IN FINAL INSTALLATION. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNERS OR ASSOCIATION AS APPROPRIATE. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. AN AUTOMATIC, ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE INSTALLED FOR THE REQUIRED PLANT MATERIAL. ANY TREES WITHIN 5 FEET OF PAVING OR HARDSCAPE IMPROVEMENT SHALL HAVE AN APPROVED ROOT BARRIER INSTALLED.

OWNER AND CONTRACTOR AGREE TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT OWNER AND CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE LANDSCAPE ARCHITECT.



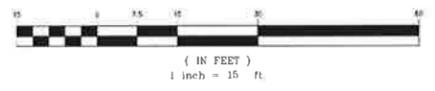
TENTATIVE TRACT MAP AND PRELIMINARY GRADING PLAN  
 TTM No. 17958  
 592 HAMILTON STREET – COSTA MESA, CA 92627  
 A.P.N. 422-021-32



VICINITY MAP



NORTH  
GRAPHIC SCALE



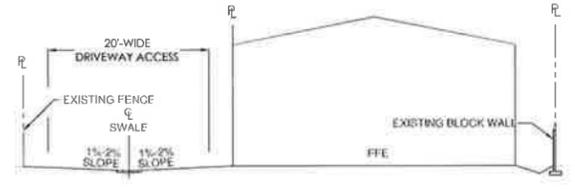
- FFE FINISHED FLOOR ELEVATION
- GFF GARAGE FINISHED FLOOR
- TC TOP OF CURB
- FL FLOWLINE
- TW TOP OF WALL
- FF FINISH FLOOR
- P.A. PLANTING AREA
- FS FINISH SURFACE
- FG FINISH GRADE
- MIN. MINIMUM
- H. HIGH
- BW BACK OF WALK
- x 76.52 SPOT ELEVATION

- PROPOSED CONCRETE PAVING
- PROPOSED INTERLOCKING PERVIOUS PAVERS
- PROPOSED EXCLUSIVE USE EASEMENT

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- PROPOSED DRAINAGE SWALE
- CONTOUR LINE

- SITE PLAN NOTES**
- ① CONSTRUCT INTERLOCKING PERVIOUS PAVERS
  - ② REMOVE BLOCK FROM WALL FOR CONVEYANCE OF DRAINAGE SWALE
  - ③ CONSTRUCT DRIVEWAY APPROACH PER CITY OF COSTA MESA STANDARDS
  - ④ CONSTRUCT 8.5' X 19' GUEST PARKING STALL

COMMON AREA MAINTENANCE TO BE PROVIDED BY COMMUNITY HOMEOWNERS ASSOCIATION (HOA).



SECTION A-A (NTS)

**SITE ADDRESS:**  
 592 HAMILTON STREET  
 COSTA MESA, CA 92627  
 A.P.N. 422-021-32

**LEGAL DESCRIPTION**  
 THE EAST 86 FEET OF THE WEST 132 FEET OF THE SOUTH HALF OF LOT 34 OF FAIRVIEW FARMS, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 8, PAGE 71 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**OWNER:**  
 NICHOLAS LOUIS / TAMIRA CLAYTON  
 219 CEDAR STREET  
 NEWPORT BEACH, CA 92663

**SURROUNDING LAND USE**  
 NORTH: RESIDENTIAL  
 EAST: RESIDENTIAL  
 SOUTH: RESIDENTIAL  
 WEST: RESIDENTIAL  
 THERE ARE NO ADJOINING SUBDIVISIONS

**SUBDIVIDER:**  
 NICHOLAS LOUIS / TAMIRA CLAYTON  
 219 CEDAR STREET  
 NEWPORT BEACH, CA 92663

**PLANS PREPARED BY:**  
 HAMILTON LAND DEVELOPMENT, INC.  
 2147 IRIS PLACE  
 COSTA MESA, CA 92627  
 (O) 949.791.8401

**ACREAGE**  
 0.45 ACRES (19,635 SF) GROSS  
 0.45 ACRES (19,635 SF) NET

**EXISTING WATERCOURSES:**  
 NONE

**FLOODING POTENTIAL**  
 FEMA FLOODPLAIN MAP No. 06059CO268J SHOWS NO FLOOD HAZARD ON THIS SITE

**PROPOSED LAND USE**  
 SINGLE FAMILY RESIDENTIAL

**NUMBER OF PROPOSED LOTS**  
 SEVEN (7)  
 LOT 1 = 2,399 SF  
 LOT 2 = 1,742 SF  
 LOT 3 = 1,859 SF  
 LOT 4 = 1,748 SF  
 LOT 5 = 1,895 SF  
 LOT 6 = 2,011 SF  
 LOT "A" = 7,892 SF

- GENERAL NOTES:**
1. ALL EXISTING STRUCTURES, PAVEMENT AND TREES ON-SITE TO BE REMOVED
  2. BLANKET EASEMENT FOR UTILITY AND PUBLIC ACCESS PURPOSES WILL BE PROVIDED OVER ROADWAYS (LOT A)
  3. ALL OPEN SPACE AREAS, INCLUDING GUEST PARKING STALLS, WALKWAYS, LANDSCAPE AREAS AND TRASH ENCLOSURES WILL HAVE A BLANKET COMMON AREA MAINTENANCE AND ACCESS AGREEMENT IN FAVOR OF THE HOMEOWNERS ASSOCIATION (HOA)
  4. FINAL MAP SHALL PROVIDE FOR EASEMENT AREAS
  5. STORM DRAIN SYSTEM TO BE DESIGNED ON FINAL IMPROVEMENT PLANS
  6. PAD ELEVATIONS SHOWN HEREON MAY BE ADJUSTED +/- 2 FEET

**BENCHMARK:**

DESIGNATION: 1F-174-04	NAVD 88 (FT)	YEAR LEVELED
PAGE/GRID: 888 J-2	81.69	2005

CITY/LOCATION: COSTA MESA  
 DESCRIPTION:  
 DESCRIBED BY OCS 2005-FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "1F-174-04"  
 SET IN THE SOUTHWESTERLY CORNER OF A 4 FT. BY 6 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED SOUTHWESTERLY CORNER OF THE INTERSECTION OF HARBOR BLVD. AND VICTORIA ST., 77 FT SOUTHERLY OF THE CENTERLINE OF VICTORIA AND 41 FT WESTERLY OF THE CENTERLINE OF HARBOR BLVD. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

FOR PLANNED RESIDENTIAL DEVELOPMENT PURPOSES	
SUBMITTAL DATE: MARCH, 2016	PLAN CHECK NO. 3
TENTATIVE TRACT MAP AND PRELIMINARY GRADING PLAN No. 17958 592 HAMILTON STREET – COSTA MESA, CA 92627 A.P.N. 422-021-32	TRACKING NO.
COSTA MESA COUNTY OF ORANGE, CALIFORNIA USA	SHEET 1 OF 1



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