



PLANNING COMMISSION AGENDA REPORT

MEETING DATE: JUNE 13, 2016

ITEM NUMBER: PH-2

SUBJECT: PLANNING APPLICATION PA-16-24 FOR CONDITIONAL USE PERMIT TO ALLOW SHARED PARKING BETWEEN 201-225 PAULARINO AVENUE AND 3159-3169 RED HILL AVENUE

DATE: JUNE 03, 2016

FROM: PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

PRESENTATION BY: RYAN LOOMIS, ASSOCIATE PLANNER

**FOR FURTHER INFORMATION CONTACT: RYAN LOOMIS, AICP (714) 754-5608
ryan.loomis@costamesaca.gov**

PROJECT DESCRIPTION

The applicant is requesting approval of a conditional use permit (CUP) for shared parking between the properties at 201-225 Paularino Avenue (APN 427-011-03) and 3159-3169 Red Hill Avenue (APN 427-011-04). The building at 235 Paularino Avenue (APN 427-011-03) will be removed as part of a major remodel of 3159-3169 Red Hill Avenue. A total of 86,790 square feet of building area is proposed to remain between the two properties. Required parking is 260 spaces; 298 spaces are proposed.

APPLICANT

The applicant is Trico Rents, which is also the property owner.

RECOMMENDATION

Approve by adoption of Planning Commission resolution, subject to conditions of approval.

BACKGROUND

Project Site/Environs

The project consists of two adjacent parcels, including 201-235 Paularino Avenue (APN 427-011-03) and 3159-3169 Red Hill Avenue (APN 427-011-04). The properties are zoned MP (Industrial Park) and have a General Plan designation of Industrial Park. Surrounding properties adjacent to the project site consist of the following:

- **North:** Paularino Avenue borders the site to the north, with industrial uses located north of the street. The properties north of the project site are zoned MP and have a General Plan designation of Industrial Park.
- **East:** Red Hill Avenue borders the site to the east, with office development across Red Hill Avenue. These properties are zoned CL (Commercial Limited) and have a General Plan designation of Industrial Park.
- **South:** Industrial uses bound the site to the south. This area is zoned MP and has a General Plan designation of Industrial Park.
- **West:** Industrial uses bound the site to the west. This area is zoned MP and has a General Plan designation of Industrial Park.

The two properties were developed in the late 1960's as a multi-tenant complex. Over the years, the complex has been occupied by various lessees. By the early 2000's, Ceradyne company entered into a major lease for the entire complex. Ceradyne was purchased by Minnesota Mining and Manufacturing Company (3M) in 2012, which has since been operating at the two properties. 3M will be vacating the property, and as a result, the owner of the properties is proposing to renovate the site to meet current building codes, modernize the facility, and demolish the 12,000 square-foot building at 235 Paularino Avenue to accommodate additional parking.

A reciprocal driveway access exists between the two properties, which are owned by the same entity (Trico Rents); however, there is no shared parking between the two lots. The two properties are currently under-parked based on the industrial use parking requirements (3 spaces/1,000 SF) and corresponding building size. Approximately 131 on-site parking spaces are provided for the 3159-3169 Red Hill Avenue property; the property is required to have 188 spaces based on a 62,790 square-foot industrial building. The 201-225 Paularino Avenue building, and existing 235 Paularino Avenue building, currently provide approximately 53 on-site parking spaces; the property is required to have 108 spaces based on 24,000 and 12,000 square-foot industrial buildings. As such, both properties are legal non-conforming in regards to parking. Reciprocal parking is requested, necessitating this CUP application.

ANALYSIS

Conditional Use Permit PA-16-24

Conditional use permit PA-16-24 is a request for shared parking between the properties at 201-225 Paularino Avenue and 3159-3169 Red Hill Avenue. As shown in the table below, approximately 260 spaces are required between the two properties based on industrial land use; 298 spaces are proposed as a result of demolition of 235 Paularino Avenue building and reconfiguration of the parking lot. Approval of the CUP will allow the extra 38 parking spaces to be allocated for possible businesses requiring higher parking ratio (i.e. business office not related to industrial uses) at both properties; however, per the conditions of approval (condition No. 1), any new general office use proposed will first require review by the Planning Division, in order to assess current parking supply and validate whether an adequate parking supply exists.

Address	Building Size	Required Parking¹	Proposed Parking¹
3159-3169 Red Hill Ave (APN 427-011-04)	62,790 SF	188 spaces	131 spaces
201-225 Paularino Ave (APN 427-011-03)	24,000 SF ²	72 spaces	167 spaces
	86,790 SF	260 spaces	298 spaces
¹ Based on parking ratio of 3 spaces per 1,000 SF for industrial uses. ² The 12,000 SF building at 235 Paularino Avenue to be demolished.			

Along with demolishing the 235 Paularino Avenue building for additional parking, the project includes renovations to both existing buildings to meet current building codes and modernize the facility. The proposed renovations include new storefront glazing, smooth exterior plaster façade, and new exterior metal canopies. The project does not include any additions to the existing building footprints, however a new open second-story deck, new elevator and circular stairway is proposed along the east elevation of the 3159-3169 Red Hill Avenue building. Because the renovations do not include additions and meet the development standards for the MP zone, no further development review is required.

Reciprocal Parking and Access Agreement

Code Section 13-93(m) requires on-site parking to be located on the same property as the proposed use. As discussed, the Red Hill Avenue property is legal non-conforming in regards to parking. The Paularino property will comply with Code with the demolition of the building at 235 Paularino and subsequent parking/stripping of the area. Approval of the CUP will allow the parking to be shared between the two properties; both properties would then satisfy current parking requirements with additional parking available, should higher parking demand uses be proposed. To ensure the parking remains available for both properties in the event that either property is sold separately, a shared parking agreement will be required to be recorded between the two properties.

Staff Justifications for Approval

Staff supports the above requests based on the following:

- *The proposed use, as conditioned, is compatible with the uses in the surrounding area.* The property is zoned for industrial uses, and the additional parking proposed by the project will allow adequate parking for future tenants. The properties are located more than 500 feet away from the nearest residentially-zoned properties (125 Baker Street). The additional parking, as conditioned, will not generate adverse noise, traffic, or parking impacts that are unusual for industrially-zoned properties. In fact, the additional parking will help reduce potential parking impacts. Compliance with the conditions of approval will allow the properties to operate with minimal impact on surrounding properties and uses. The following conditions will further ensure potential impacts:
 - The use shall be limited to the uses permitted by the MP zone. Any change in the operational characteristics including, but not limited to, uses that may incur higher parking demand (i.e. general office not associated with industrial uses), shall require review by the Planning Division and may require an amendment to the conditional use permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change. As a ministerial action through a zoning verification letter, the Development Services Director may authorize minor amendments to the Conditional Use Permit relating to minor general office tenants after a parking assessment is completed and adequate parking supply is validated. The applicant is reminded that Code allows the Planning Commission to modify or revoke any planning application based on findings related to public nuisance and/or noncompliance with conditions of approval [Title 13, Section 13-29(o)] (condition no. 1).
 - Customer and employee parking shall occur on-site and not within surrounding streets. If parking problems arise, the operator shall institute whatever operational measures are necessary to minimize or eliminate the problem. (condition no. 3).

The project will include renovations to the two properties. The proposed renovations include new storefront glazing, smooth exterior plaster façade, and new exterior metal canopies. Also, a new open second-story deck, new elevator and circular stairway is proposed along the east elevation of the 3159-3169 Red Hill Avenue building. These renovations will improve the aesthetics of the buildings, and improve the overall appearance of the surrounding area.

- *No adverse parking impacts are anticipated.* The two properties are currently under-parked based on the industrial use parking requirements (3 spaces/1,000 SF) and corresponding building size. As such, both properties are legal non-conforming for parking. The demolition of 235 Paularino Avenue and request for shared parking will provide surplus parking. Conditions of approval require a reciprocal parking and

access agreement to be recorded on both properties to reflect the proposed sharing of the parking lots at 201-225 Paularino Avenue and 3159-3169 Red Hill Avenue. The combined total of 298 parking spaces will be exclusively available to the future or existing tenants. This agreement will be required to be approved by the Development Services Director and the City Attorney's office and recorded against both properties. The following conditions will further ensure potential impacts:

- The use shall be limited to the uses permitted by the MP zone. Any change in the operational characteristics including, but not limited to, uses that may incur higher parking demand (i.e. general office not associated with industrial uses), shall require review by the Planning Division and may require an amendment to the conditional use permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change. As a ministerial action through a zoning verification letter, the Development Services Director may authorize minor amendments to the Conditional Use Permit relating to minor general office tenants after a parking assessment is completed and adequate parking supply is validated. The applicant is reminded that Code allows the Planning Commission to modify or revoke any planning application based on findings related to public nuisance and/or noncompliance with conditions of approval [Title 13, Section 13-29(o)] (condition no. 1).
- A reciprocal parking and access agreement shall be recorded on both properties to reflect the proposed sharing of the parking lots at 201-225 Paularino Avenue (APN 427-011-03) and 3159-3169 Red Hill Avenue (APN 427-011-04). The combined total of 298 parking spaces shall be exclusively available to the existing and/or future tenants of both properties. The applicant shall prepare and submit a parking agreement for approval by the Development Services Director and the City Attorney's office and recorded against both properties prior to final inspection (condition no. 4).
- New landscaping for parking areas will be required per the Zoning Code landscaping standards. The proposed project includes new parking areas to accommodate parking requirements for industrial uses. Parking areas are to be screened by landscaping to contribute to the enhancement of the surrounding area. Staff is requiring, as a condition of approval, that the site landscaping for both properties be brought into compliance with current Code requirements and installed prior to final inspection. (condition no. 7).
- Other condition. An additional condition of approval is also proposed:
 - All lots where parking is provided shall be equipped with lighting of sufficient power to illuminate and make easily discernable the appearance and conduct of all persons on or about the parking lot (condition no. 2).

ENVIRONMENTAL DETERMINATION

If approved, the project would be exempt from the provisions of the California Environmental Quality Act under Section 15311 for Accessory Structures. If the use is denied, they would be exempt from the provisions of the California Environmental Quality Act (CEQA) Section 15270(a) for projects which are disapproved.

GENERAL PLAN CONFORMITY

With the recommended conditions of approval, the use will be consistent with surrounding uses, as specified in Objective LU-1F.5 of the General Plan Land Use Element.

LU-1F.5 Protect opportunities for the development of well-planned and designed projects which, through vertical or horizontal integration, provide for the development of compatible residential, commercial, industrial, institutional, or public uses within a single project or neighborhood.

The proposed project will provide for additional parking for two existing properties that are currently legal non-conforming in regards to parking. The demolition of 235 Paularino Avenue, in combination with the proposed shared parking through a Reciprocal Parking and Access Agreement, will promote a well-planned and designed project.

ALTERNATIVES

Resolution of approval or denial are attached. The denial of the request for a conditional use permit shall include denial findings by the Planning Commission, as expressed at the public hearing.

CONCLUSION

Conditional Use Permit PA-16-24 is a request for shared parking between the properties at 201-225 Paularino Avenue and 3159-3169 Red Hill Avenue. Approval of the CUP will bring both properties into compliance with current parking requirements and will provide excess parking that can be allocated for future lessees at both properties. It is staff's opinion that the project, as conditioned, will be compatible with surrounding properties. Therefore, staff recommends approval of the project.



RYAN LOOMIS, AICP
Associate Planner



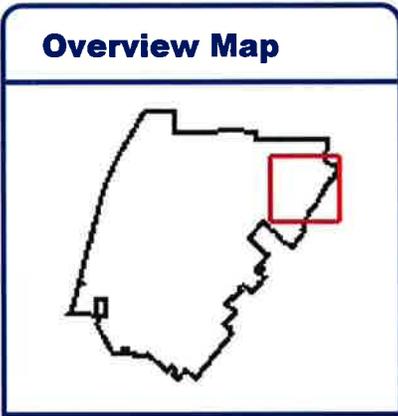
CLAIRE FLYNN, AICP
Asst. Development Services Director

Attachments:

1. Vicinity, Zoning, and 500 Radius Maps
2. Site Photos
3. Applicant's Project Description
4. Draft Planning Commission Resolutions and Exhibits
5. Project Plans

cc: Director of Economic & Development Services/Deputy CEO
Senior Deputy City Attorney
Public Services Director
City Engineer
Transportation Services Manager
Fire Protection Analyst
File (2)

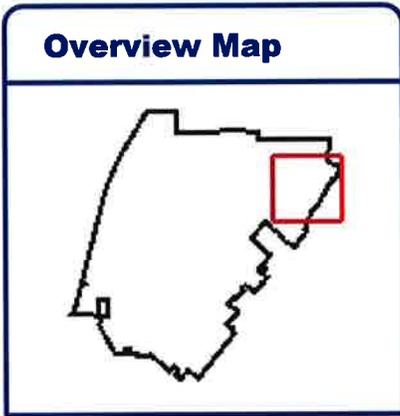
Applicant/Owner: Clarence Turner
Trico Rents LP
3100 Pullman Street, Unit A
Costa Mesa, CA 92626



Legend

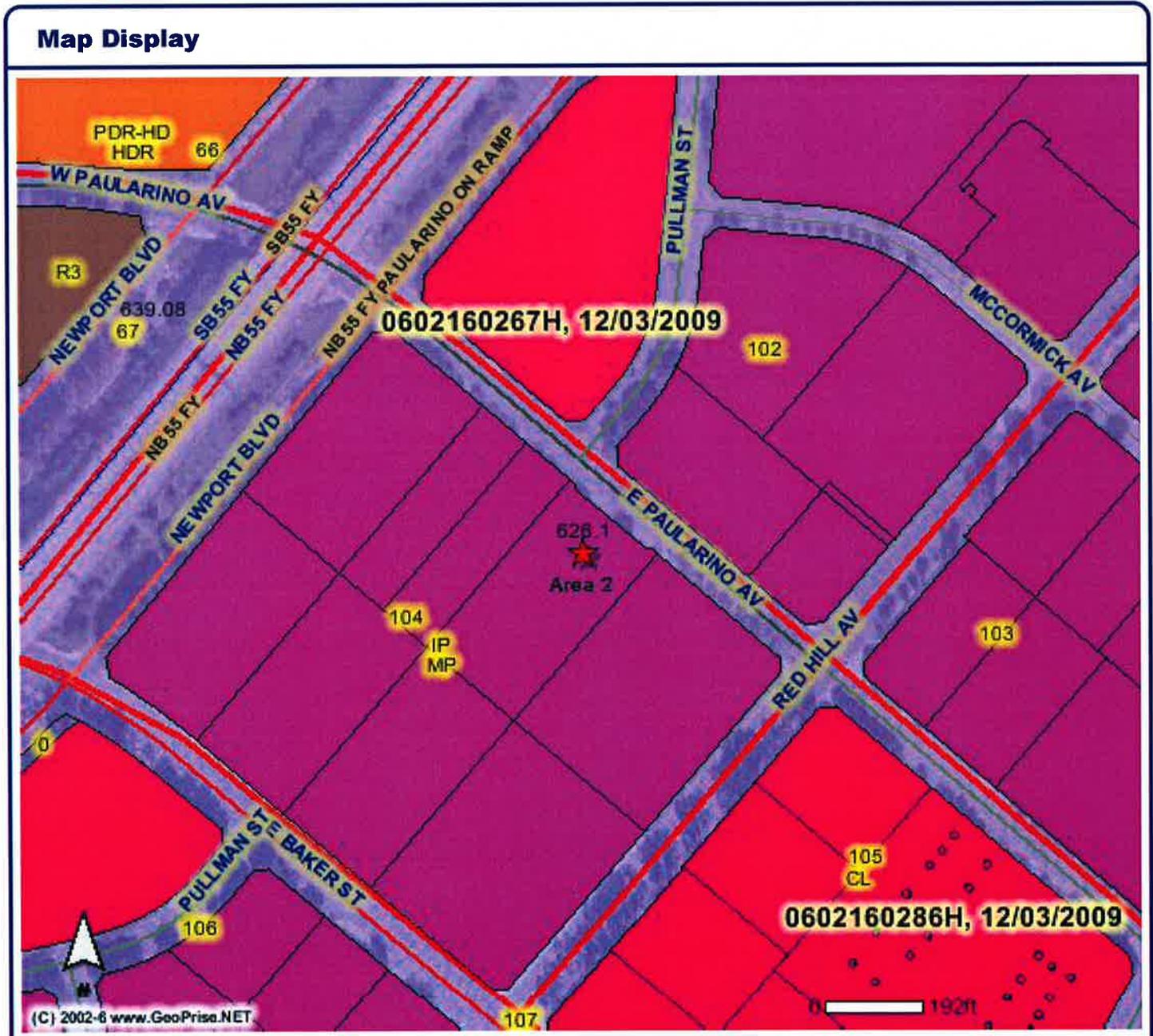
Address Points	Freeway	Collector Freeway (cont)	Major Newport BLVD Primary (cont)
Freeway	Collector Freeway (cont)	Major Newport BLVD Primary (cont)	SECONDARY Hydrology Channels





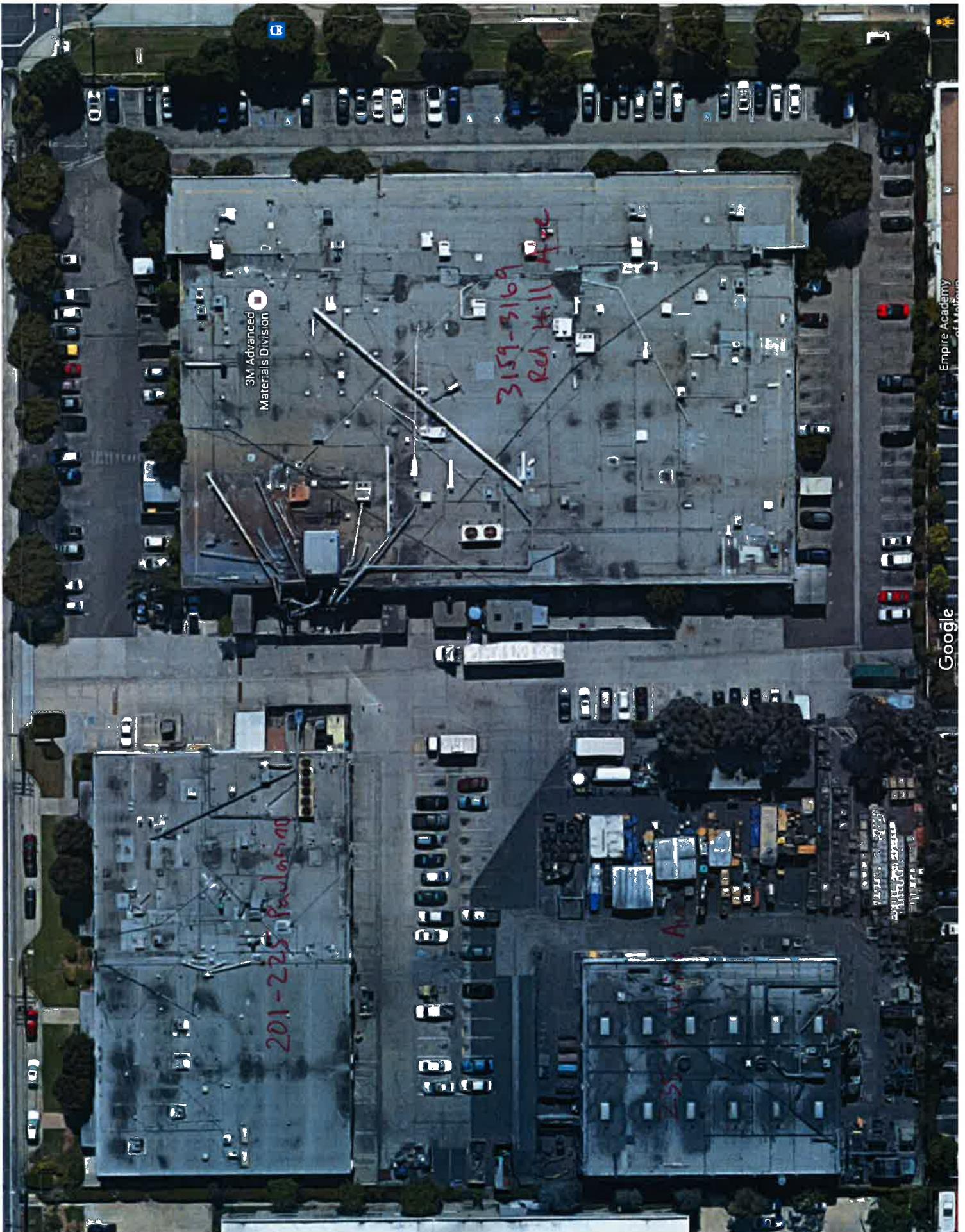
Legend

Address Points	Newport BLVD	Parcel Lines	City Boundary	C1-S
Freeway	Primary	City Boundary	Water Ways	C2
Roads	SECONDARY	Parcel Lines	Zoning	CL
Collector	Hydrology	Parcel Lines	Zoning	I&R
Freeway	Channels	Parcel Lines	Zoning	I&R-S
Major (cont)	Street Names	Parcel Lines	Zoning	MG
	Street Centerlines	Parcel Lines	Zoning	MP
		Parcel Lines	Zoning	P
		Parcel Lines	Zoning	PDC (cont)



ATTACHMENT 2







Memo

DATE: April 12, 2016

TO: City of Costa Mesa
Development Services Department
77 Fair Drive
Costa Mesa, CA 92626

FROM: Clarence J. Turner, Chairman
Trico Realty
3100 Pullman Street, Unit A
Costa Mesa, CA 92626
(714) 751-4420

PURPOSE: Request for Approval of a Conditional Use Permit (CUP)
Project Location: 201-205-225-235 Paularino Avenue (APN 427-011-03)
3159A, 3159B, 3161, 3163, 3165, 3169A, 3169B Red Hill (APN 427-011-04)

Note: Properties are on the SOUTHWEST CORNER OF PAULARINO AND RED HILL

PROJECT JUSTIFICATION:

The Paularino Avenue property was built in 1967 as a multi-tenant complex. The Red Hill site was built in 1969-1970 as a multi-tenant complex as well. Over the intervening years the complex has been occupied by various Lessees which culminated in a major lease with Ceradyne for the entire complex. In 2012 Ceradyne was purchased by Minnesota Mining and Manufacturing Company (3M). 3M will soon be vacating the premises. When that happens, Trico Rents, LP, the property owner, will remodel the entire complex to meet current building codes while at the same time modernizing the interior and exteriors of the facilities.

13

Brokerage / Development / Management

3100-A Pullman Street, Costa Mesa, CA 92626 (714) 751-4420 Fax (714) 540-4579

www.tricorealty.com BRE I.D. 00342120

The building located 235 Paularino, a 12,000 square foot building that is not shown on the accompanying plans, will be torn down due to contamination and will not be replaced. The result will provide additional parking above that required for the remaining 24,000 square feet on the Paularino site.

The request for the approval of the CUP is to allow the excess parking on the Paularino site to be allocated for as yet unknown parking requirements for future lessees of the Red Hill site or the Paularino site as may be determined at some future time.

Parking requirements for the proposed remodel project are shown on the plans submitted along with data showing the amount of excess parking that will be generated as a result of the demolition at 235 Paularino

Attachments: The following attachments are:

1. Public notification requirements
 - a. Radius Map
 - b. Mailing Labels
 - c. Certification letter
2. Processing Fee check in the amount of one thousand ten dollars (\$1,010.00) made payable to the City of Costa Mesa.

ATTACHMENT 4

RESOLUTION NO. PC-16-___

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING CONDITIONAL USE PERMIT PA-16-24 FOR THE SHARED PARKING BETWEEN THE PROPERTIES AT 201-225 PAULARINO AVENUE AND 3159-3169 RED HILL AVENUE

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Trico Rents, owner of property located at 201-225 Paularino Avenue and 3159-3169 Red Hill Avenue, for a conditional use permit for shared parking between the properties at 201-225 Paularino Avenue and 3159-3169 Red Hill Avenue. The building at 235 Paularino Avenue will be removed as part of a major remodel of 3159-3169 Red Hill Avenue. A total of 86,790 square feet of industrial uses are proposed to remain between the two properties. Required parking is 260 spaces; 298 spaces are proposed.

WHEREAS, a duly noticed public hearing was held by the Planning Commission on June 13, 2016, with all persons having the opportunity to speak for and against the proposed project.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, the Planning Commission hereby **APPROVES** PA-16-24

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for PA-16-24 and upon applicant's compliance with each and all of the conditions contained in Exhibit B as well as with compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

PASSED AND ADOPTED this 13th day of June, 2016.

Robert L. Dickson Jr., Chair
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS

- A. The proposed project complies with Costa Mesa Municipal Code Section 13-29(e) because:

Finding: A compatible and harmonious relationship exists between the proposed use and existing buildings, site development, and uses that exist or have been approved for the general neighborhoods.

Facts in Support of Findings: The proposed project is compatible and harmonious with uses both on site as well as those on surrounding properties. The proposed project will provide additional parking for two existing properties that are currently legal non-conforming in regards to parking. The demolition of 235 Paularino Avenue, in combination with the proposed shared parking through a Reciprocal Parking and Access Agreement, will promote a well-planned and designed project that provides surplus parking for existing and future tenants. The project also includes renovations to the two properties, which will improve the aesthetics of the buildings, and improve the overall appearance of the surrounding area.

Finding: Safety and compatibility of the design of the parking areas, landscaping, luminaries, and other site features including functional aspects of the site development such as automobile and pedestrian circulation have been considered.

Facts in Support of Findings: All staff and regular customer parking shall be on the subject properties. Outdoor lighting is to be provided for the parking lot to improve safety. In addition, landscaping will be required throughout the parking lot to improve aesthetics.

Finding: Compliance with any performance standards as prescribed elsewhere in Zoning Code.

Facts in Support of Findings: The proposed project will be compliant with performance standards as prescribed in the Zoning Code. The additional parking and shared parking agreement will allow the properties to be in conformance with regards to the parking requirements for industrial uses per the Zoning Code.

Finding: The use is consistent with the General Plan.

Facts in Support of Findings: The project is consistent with the General Plan land use designation of Industrial Park. This designation is intended for large, concentrated industrial areas where the aim of development is to create a spacious environment in a park-like setting. The proposed project is insulated from sensitive land uses, and abuts industrial uses on the north, south, and west, and commercial uses on the east (across Red Hill Avenue). The nearest residentially zoned property is located more than 500 feet away, located at 125

Baker Street. The additional parking, as conditioned, will not generate adverse noise, traffic, or parking impacts that are unusual for industrially-zoned properties. In fact, the additional parking will reduce parking impacts for the two properties.

Finding: The planning application is for a project-specific case and is not to be construed to be setting a precedent for future development.

Facts in Support of Findings: The planning application is for a project-specific case and does not establish a precedent for future development. Approval will apply to this project-specific location. Conditions have been included that are specific to the proposed project.

- B. The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(2) with regard to the conditional use permit because:

Finding: The proposed use is substantially compatible with developments in the same general area and would not be materially detrimental to other properties within the area.

Facts in Support of Finding: The proposed project includes the demolition of an existing building for additional parking. In addition, a shared parking agreement is proposed between the two properties to maximize parking and bring the properties into conformance. Compliance with the conditions of approval will allow the existing and future uses to operate with minimal impact on surrounding properties and uses. The proposed use, as conditioned, will not generate adverse noise, traffic, or parking impacts that are unusual for industrially-zoned properties. The project will also include exterior renovations to the two properties, which will improve the overall appearance of the surrounding area.

Finding: Granting the conditional use permit will not be materially detrimental to the health, safety, and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood.

Facts in Support of Finding: The proposed use, as conditioned, will not generate adverse noise, traffic, or parking impacts that are unusual for industrially-zoned properties. The property is more than 500 feet away from the nearest residentially-zoned properties (125 Baker Street). Landscaping will be required within the parking areas to enhance the surrounding area. The project will also include exterior renovations to the two properties, which will improve the overall appearance of the surrounding area.

Finding: Granting the conditional use permit will not allow a use, density, or intensity which is not in accordance with the General Plan designation and any applicable specific plan for the property.

Facts in Support of Finding: The conditional use permit is for demolition of an

existing industrial building for additional parking and a shared parking agreement between two industrially zoned properties. As such, the conditional use permit will reduce the intensity of the project site. The properties are surrounded by industrial zoned properties, and the majority of the businesses within the area are general industrial uses. The project will include renovations to the two properties, including new storefront glazing, smooth exterior plaster façade, and new exterior metal canopies. No new additions to the existing building footprints are proposed, however a new open second-story deck, new elevator and circular stairway is proposed along the east elevation of the 3159-3169 Red Hill Avenue building. These renovations will improve the aesthetics of the buildings, and improve the overall appearance of the surrounding area. As such, the conditional use permit will not create a use, density, or intensity which is not in accordance with the General Plan designation.

- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines; and the City's environmental procedures, and has been found to be exempt from CEQA under Section 15311 for Accessory Structures.
- D. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

EXHIBIT B

CONDITIONS OF APPROVAL

- Plng. 1. The use shall be limited to the uses permitted by the MP zone. Any change in the operational characteristics including, but not limited to, uses that may incur higher parking demand (i.e. general office not associated with industrial uses), shall require review by the Planning Division and may require an amendment to the conditional use permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change. As a ministerial action through a zoning verification letter, the Development Services Director may authorize minor amendments to the Conditional Use Permit relating to minor general office tenants after a parking assessment is completed and adequate parking supply is validated. The applicant is reminded that Code allows the Planning Commission to modify or revoke any planning application based on findings related to public nuisance and/or noncompliance with conditions of approval [Title 13, Section 13-29(o)].
2. All lots where parking is provided shall be equipped with lighting of sufficient power to illuminate and make easily discernable the appearance and conduct of all persons on or about the parking lot.
3. Customer and employee parking shall occur on-site and not within surrounding streets. If parking problems arise, the operator shall institute whatever operational measures are necessary to minimize or eliminate the problem, including, but not limited to, providing free on-site valet service.
4. A reciprocal parking and access agreement shall be recorded on both properties to reflect the proposed sharing of the parking lots at 201-225 Paularino Avenue (APN 427-011-03) and 3159-3169 Red Hill Avenue (APN 427-011-04). The combined total of 298 parking spaces shall be exclusively available to the existing and/or future tenants of both properties. The applicant shall prepare and submit a parking agreement for approval by the Development Services Director and the City Attorney's office and recorded against both properties prior to final inspection.
5. A copy of the conditions of approval for the conditional use permit must be kept on premises and presented to any authorized City official upon request. New business/property owners shall be notified of conditions of approval upon transfer of business or ownership of land.
6. The conditions of approval of planning application PA-16-24 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
7. Landscaping shall be installed in accordance with the renovations and new parking areas prior to final inspection. This applies to both properties 201-225 Paularino Avenue and 3159-3169 Red Hill Avenue.
8. The applicant shall contact the Planning Division to arrange Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
9. On-site signs shall comply with the provisions of the Costa Mesa Sign Ordinance.

10. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.

CODE REQUIREMENTS:

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Ping.
1. Approval of the planning application is valid for one year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by obtaining a business license and legally establishes the business. If the applicant is unable to establish the use within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the planning application.
 2. Permits shall be obtained for all signs according to the provisions of the Costa Mesa Sign Ordinance.
 3. Use shall comply with all requirements of Articles 5 and 9, Chapter V, Title 13 of the Costa Mesa Municipal Code relating to industrial development standards.
 4. Parking stalls shall be double-striped in accordance with City standards.
 5. Trash enclosure(s) or other acceptable means of trash disposal shall be provided. Design of trash enclosure(s) shall conform with City standards. Standard drawings are available from the Planning Division.
 6. Two (2) sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits. Landscaping per the above conditions of approval shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
 7. Street address shall be displayed on the fascia or store front adjacent to the main entrance of the building, in a manner visible to the public street.

Numerals shall be a minimum 12" in height with not less than 3/4" stroke and shall contrast sharply with the background. Identification of individual units shall be provided adjacent to the unit entrances. Letters or numerals shall be 4" in height with not less than 1/4" stroke and shall contrast sharply with the background.

- Bus. Lic. 8. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
- Bldg. 9. Comply with the requirements of the following adopted codes Code, 2013 California Building Code, 2013 California Electrical code, 2013 California Mechanical code , 2013 California Plumbing code , 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted, California Residential Code, California Building code California Electrical code, California Mechanical code California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Requirements for accessibility to sites, facilities, buildings and elements by individuals with disability shall comply with chapter 11B of the 2013 California Building Code.
10. Submit a precise grading plans, an erosion control plan and a hydrology study. If it is determined that a grading plan is not required a drainage plan shall be provided. A precise grading plan shall not be required if any of the following are met:
- 1- Construct pavement in access of 3000 sf
 - 2- An excavation which does not exceed 50 CY on any one site and which is less than 2 ft. in vertical depth, or which does not create a cut slope greater than 1 1/2:1 (excluding foundation area).
 - 3- A fill less than 1 foot in depth placed on natural grade with a slope flatter than 5:1, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
 - 4- A fill less than 3 ft. in depth, not intended to support structures, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
11. Submit a soils report for this project. Soil's Report recommendations shall be blueprinted on both the architectural and the precise grading plans.
12. The ground adjacent immediately to the foundation shall be slopes away from the building at a slope of not less than 5% for a minimum distance of 10 feet measured perpendicular to the face of the wall CBC sec. 1804.3. See also exception.
On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus 2 percent 2013 California Building Code sec. 1808.7.4.
13. Prior to issuing the Building permit the conditions of approval shall be required to be incorporated on the approved Architectural plans.
- Eng. 14. At the time of the development submit for approval a Site and Grading Plan to the Engineering and Building Divisions that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology

calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa.

15. Pay all required plan check fees per Section 13-231 of the C.C.M.M.C. prior to Engineering Permits being issued by the City of Costa Mesa.
16. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
17. Obtain an encroachment permit from the Engineering Division for any work in the City public right-of-way. Pay required permit fee and cash deposit or surety bond to guarantee construction of off-site street improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- Sanit.
1. Applicant shall contact the Air Quality Management District (AQMD) at (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.
 2. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
 3. Fulfill mitigation of off-site traffic impacts at the time of issuance of occupancy by submitting to the Planning Division the required traffic impact fee pursuant to the prevailing schedule of charges adopted by the City Council. The traffic impact fee is calculated including credits for all existing uses. At the current rate per trip end, the traffic impact fee is estimated at \$4,025.00. NOTE: The Traffic Impact Fee will be recalculated at the time of issuance of building permit/certificate of occupancy based upon any changes in the prevailing schedule of charges adopted by the City Council and in effect at that time.
- SCAQMD
4. Prior to demolition contact South Coast Air Quality Management District located at:
21865 Copley Dr.
Diamond Bar, CA 91765-4178
Tel: 909- 396-2369

RESOLUTION NO. PC-16__

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA DENYING CONDITIONAL USE PERMIT PA-16-24 FOR THE SHARED PARKING BETWEEN THE PROPERTIES AT 201-225 PAULARINO AVENUE AND 3159-3169 RED HILL AVENUE

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Trico Rents, owner of property located at 201-225 Paularino Avenue and 3159-3169 Red Hill Avenue, for a conditional use permit for shared parking between the properties at 201-225 Paularino Avenue and 3159-3169 Red Hill Avenue. The building at 235 Paularino Avenue will be removed as part of a major remodel of 3159-3169 Red Hill Avenue. A total of 86,790 square feet of industrial uses are proposed to remain between the two properties. Required parking is 260 spaces; 298 spaces are proposed.

WHEREAS, a duly noticed public hearing was held by the Planning Commission on June 13, 2016, with all persons having the opportunity to speak for and against the proposed project.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, the Planning Commission hereby **DENIES** PA-16-24 with respect to the property described above.

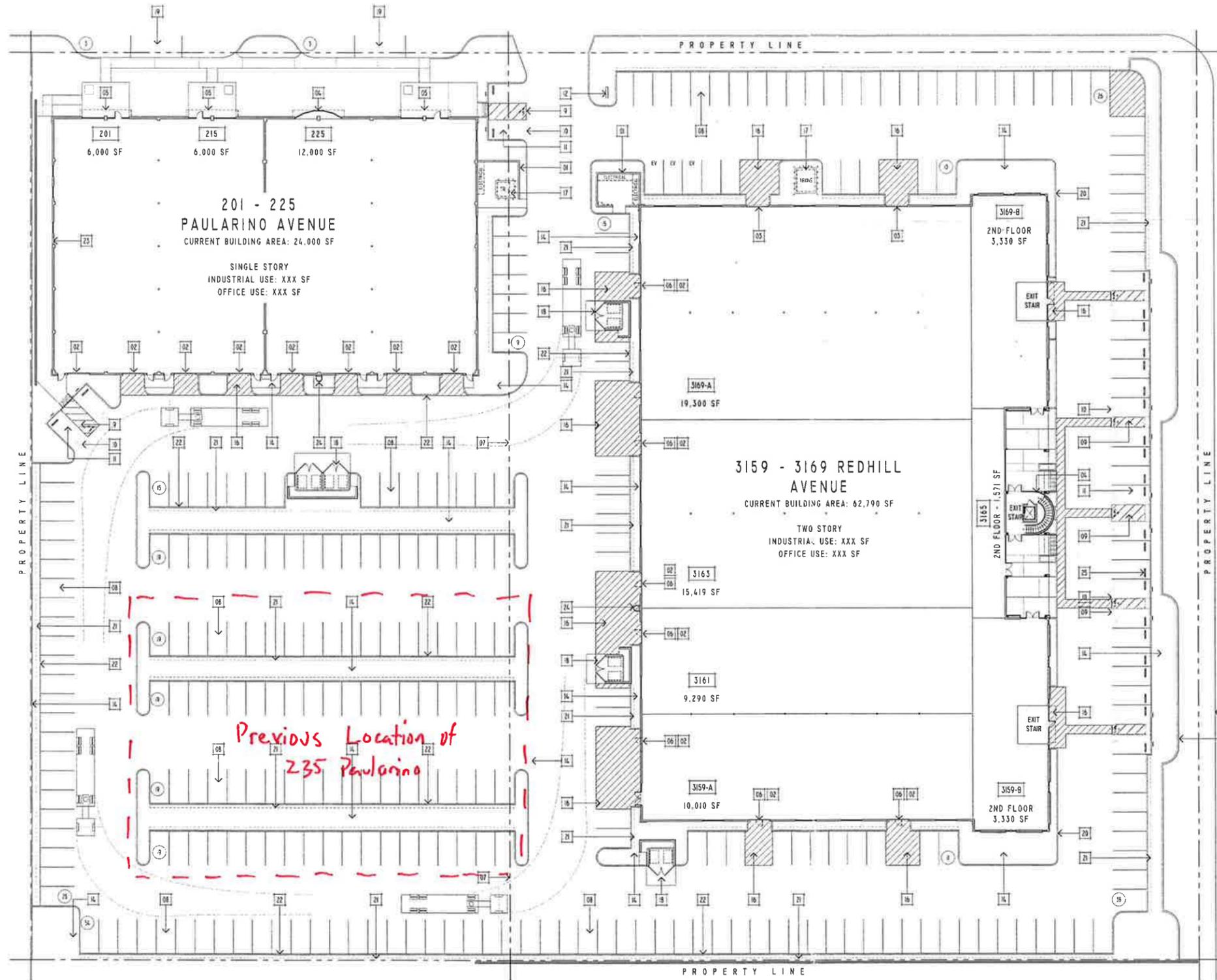
PASSED AND ADOPTED this 13th day of June, 2016.

Robert L. Dickson Jr., Chair
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS (DENIAL)

- A. The proposed project does not comply with Costa Mesa Municipal Code Section 13-29(e) because:
 - 1. A compatible and harmonious relationship does not exist between the proposed use and existing buildings, site development, and uses on surrounding properties.
 - 2. The proposed use is not consistent with the General Plan.
- B. The information presented does not comply with Costa Mesa Municipal Code Section 13-29(g)(2) with regard to the conditional use permit in that the proposed use is not compatible with developments in the same general area. Granting the request will be materially detrimental to the health, safety, and general welfare of the public or otherwise injurious to properties or improvements within the immediate neighborhood.
- C. The Costa Mesa Planning Commission has denied Planning Application PA-16-24. Pursuant to Public Resources Code Section 21080(b)(5) and CEQA Guidelines Section 15270(a) CEQA does not apply to this project because it has been rejected and will not be carried out.
- D. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.



LEGAL DESCRIPTION

ALL THAT CERTAIN LAND SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF ORANGE, CITY OF COSTA MESA, DESCRIBED AS FOLLOWS:
 LOT 1 OF TRACT NO. 5769 AS PER RECORDED IN BOOK 210, PAGES 9 AND 10 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
 PARCEL 1: LOT 2 OF TRACT NO. 5769, AS PER MAP RECORDED IN BOOK 210, PAGES 9 AND 10 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE RECORDER OF SAID COUNTY.
 PARCEL 2: AN EASEMENT FOR INGRESS AND EGRESS OVER THE NORTHEASTERLY 259.72 FEET OF THE NORTHWESTERLY 40.00 FEET OF LOT 1 TRACT NO. 5769 AS PER MAP RECORDED IN BOOK 210, PAGES 9 AND 10 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARKING REQUIRED

USE	AREA	PARKING RATIO	PARKING SPACES
OFFICE	25,57 SF	4.0 SPACES PER 1000 SF	100.6 SPACES
INDUSTRIAL - FIRST 25K SF	25,000 SF	3.0 SPACES PER 1000 SF	75.0 SPACES
INDUSTRIAL - 25K TO 50K SF	25,000 SF	2.0 SPACES PER 1000 SF	50.0 SPACES
INDUSTRIAL - OVER 50K SF	11,633 SF	1.5 SPACES PER 1000 SF	17.4 SPACES
TOTAL:	86,190 SF		243 SPACES

PARKING PROVIDED

USE	PARKING SPACES
STANDARD - ON SITE SPACES: 9'-0" X 18'-0"	284 SPACES
DISABLED - ON SITE SPACES: CAR ACCESSIBLE - 60' LANDING AREA	11 SPACES
DISABLED - ON SITE SPACES: VAN ACCESSIBLE - 94' LANDING AREA	3 SPACES
STANDARD - OFF SITE SPACES: 9'-0" X 18'-0"	6 SPACES
TOTAL ON-SITE SPACES:	304 SPACES

PROPOSED SITE PLAN



SCALE: 1" = 20'-0"

01. NEW SITE SCREEN A BUILDING - ATTL TO
02. EXISTING ROLL-UP DOOR TO REMAIN
03. REPLACE EXISTING ROLL-UP DOOR WITH NEW GLASS AND ALUMINUM SECTIONAL DOOR - FINISH TO MATCH EXISTING STOREFRONT
04. NEW BUTT GLAZED SECTIONAL STOREFRONT SYSTEM
05. LINE OF EXTERIOR METAL CANOPIES
06. EXISTING SERVICE DOOR TO REMAIN - DOOR SYSTEM IS EQUIPPED WITH MAN DOOR FOR EXITING
07. EXISTING PANEL LINE
08. 2 INCH WIDE PAINTED STRIPES TO DESIGNATE PARKING SPACES
09. 3 INCH WIDE PAINTED STRIPES TO DESIGNATE PASSENGER LOADING ZONE AT ACCESSIBLE PARKING STALL
10. PAINTED DISABLED ACCESS SYMBOL - COMPLY WITH APPLICABLE DISABLED ACCESS REGULATIONS
11. VAN ACCESSIBLE PARKING STALL
12. AN ADDITIONAL SIGN SHALL ALSO BE POSTED, IN A CONSPICUOUS PLACE, AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE. THE SIGN SHALL BE NOT LESS THAN 17 INCHES BY 22 INCHES IN SIZE WITH LETTERING NOT LESS THAN 1 INCH IN HEIGHT, WHICH CLEARLY AND CONSPICUOUSLY STATES THE FOLLOWING:
 UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING Distinguishing PLACARDS OR LICENSE PLATES, ISSUED FOR PERSONS WITH DISABILITIES, MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT _____ OR BY TELEPHONING _____
13. EXISTING PLANTER TO REMAIN - PROTECT IN PLACE - INSTALL NEW LANDSCAPING
14. NEW LANDSCAPING PLANTER AND IRRIGATION
15. EXISTING PLANTER WALL TO REMAIN - PROTECT IN PLACE
16. PAINTED STRIPING TO DESIGNATE ACCESS FOR ROLL-UP DOOR OR NO PARKING
17. EXISTING TRANSFORMER TO REMAIN
18. TRASH ENCLOSURE TO COMPLY WITH CITY STANDARD
19. EXISTING ON-STREET PARKING SPACES TO REMAIN
20. EXISTING CURB TO REMAIN - PROTECT IN PLACE
21. LINE OF 2'-0" BUMPER OVERSIDE
22. LINE OF NEW CONCRETE CURB
23. REVISE DOOR AND FRAME AND RE-ILL EXISTING OPENING WITH CMU - PROVIDE SMOOTH EXTERIOR PLASTER FINISH AND PAINT TO MATCH ADJACENT WALL SURFACE
24. EXISTING ROOF ACCESS LADDER TO REMAIN - PROTECT IN PLACE
25. NEW CONCRETE WHEELSTOP

architects
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 PHONE 714.283.1905
 FAX 714.455.1913

RICHARD N. TANAKA ARCHITECT
 MICHAEL N. RILEY ARCHITECT

SITE AND BUILDING RENOVATIONS
 TRICO REALTY - REDHILL AND PAULARINO
 SITE RECONFIGURATION AND BUILDING REMODEL
 201-225 PAULARINO AVENUE AND
 3159 - 3169 REDHILL AVENUE
 COSTA MESA, CALIFORNIA 92626

PARKING REQUIREMENTS

- PARKING REQUIREMENT - OFFICE USES:
 • 4 SPACES PER 1000 SQUARE FEET
- PARKING REQUIREMENT - INDUSTRIAL USES:
 • 3 SPACES PER 1000 SQUARE FEET OF GROSS FLOOR AREA FOR FIRST 25,000 SQUARE FEET
 • 2 SPACES PER 1000 SQUARE FEET OF GROSS FLOOR AREA BETWEEN 25,000 SQUARE FEET AND 50,000 SQUARE FEET
 • 1.5 SPACE PER 1000 SQUARE FEET OF GROSS FLOOR AREA OVER 50,000 SQUARE FEET

BUILDING AREA ANALYSIS

201-225 PAULARINO AVENUE			
ADDRESS / SUITE	OFFICE USE	INDUSTRIAL USE	TOTAL AREA
201 PAULARINO AVENUE	1,630 SF	4,370 SF	6,000 SF
215 PAULARINO AVENUE	1,630 SF	4,370 SF	6,000 SF
225 PAULARINO AVENUE	3,205 SF	3,795 SF	12,000 SF
TOTAL FLOOR AREA:	6,465 SF	17,535 SF	24,000 SF

3159-3169 REDHILL AVENUE			
ADDRESS / SUITE	OFFICE USE	INDUSTRIAL USE	TOTAL AREA
3159A REDHILL AVENUE	1,971 SF	3,059 SF	13,010 SF
3159B REDHILL AVENUE	1,150 SF	0 SF	3,320 SF
3161 REDHILL AVENUE	1,180 SF	7,510 SF	9,290 SF
3163 REDHILL AVENUE	2,280 SF	13,159 SF	15,439 SF
3165 REDHILL AVENUE	1,571 SF	0 SF	1,571 SF
3169A REDHILL AVENUE	3,890 SF	15,410 SF	19,300 SF
3169B REDHILL AVENUE	3,330 SF	0 SF	3,330 SF
COMMON AREA:	540 SF	0 SF	540 SF
TOTAL FLOOR AREA:	18,972 SF	14,069 SF	62,790 SF

AREA ANALYSIS - BY USE

OFFICE USE: 201-225 PAULARINO AVENUE AND 3159-3169 REDHILL AVENUE	25,157 SF
INDUSTRIAL USE: 201-225 PAULARINO AVENUE AND 3159-3169 REDHILL AVENUE	41,633 SF
TOTAL FLOOR AREA:	86,790 SF

SUBMITTAL DATES:
 DESCRIPTION DATE

REVISION DATES:
 NO. DESCRIPTION DATE



PROJECT NUMBER:
 16005

TITLE:
 SITE DEVELOPMENT AND
 PARKING PLAN - PROPOSED

TRACT 5769 - LOT 1 AND 2

SHEET NUMBER:

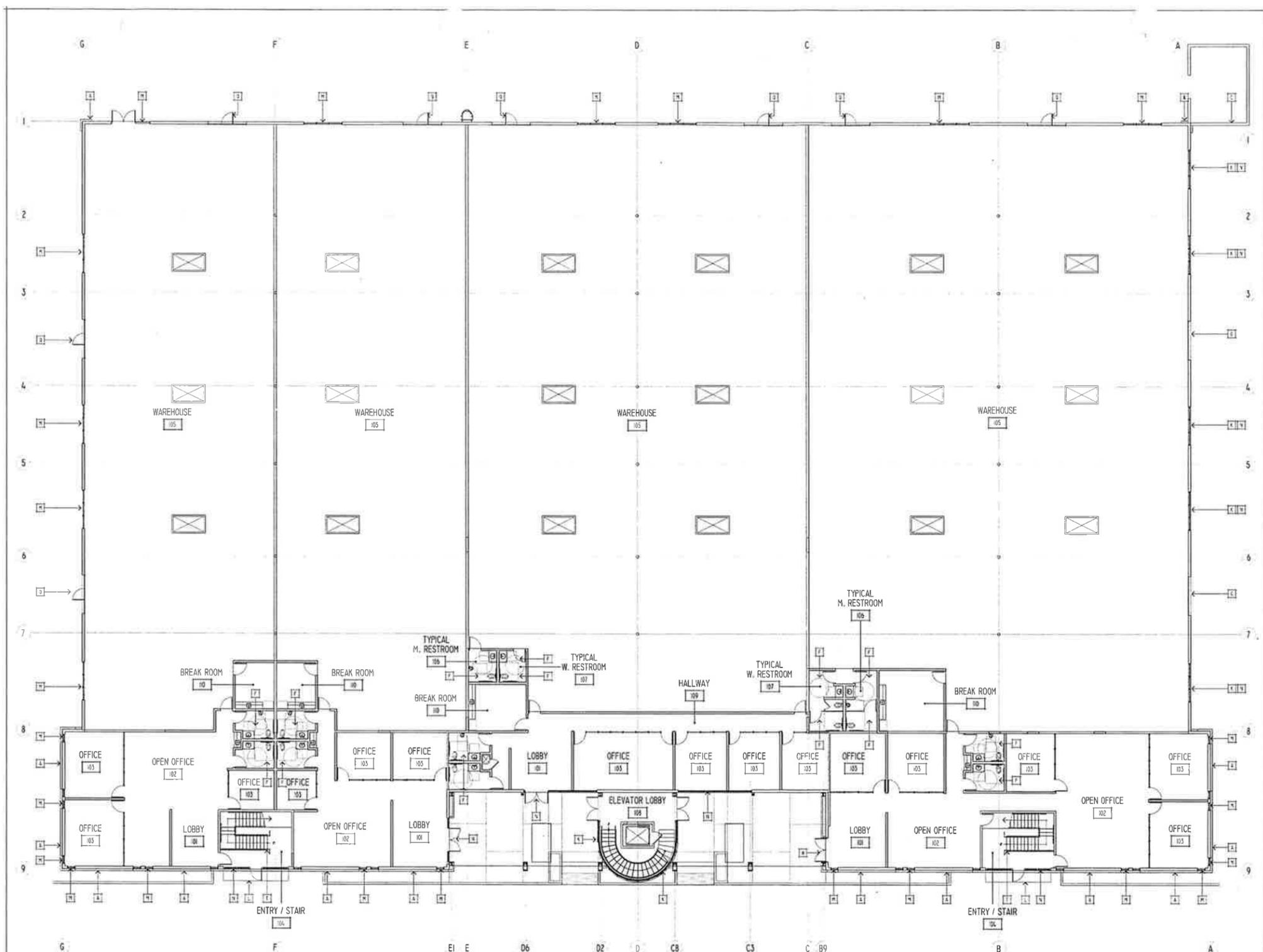
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GENERAL NOTES

- DIMENSIONS ARE TO CENTER OF STUD OR COLUMN, FACE OF STUD OR MASONRY, OR CENTER OF DOOR OR WINDOW OPENINGS - AND - DIMENSIONS FROM EXISTING SURFACES TO FINISHED FACE - HEIGHT REFERENCES TAKEN FROM DATUM FINISH FLOOR ELEVATION 01'0" UNLESS NOTED OTHERWISE.
- REVIEW PROPOSED WALL LOCATIONS PRIOR TO COMMENCING WORK AND CONTACT ARCHITECT IF THERE ARE ANY STRUCTURAL ELEMENTS OR OTHER ITEMS THAT PRECLUDE A CONTINUOUS FLUSH FINISH FOR ENTIRE LENGTH OF WALL - OFFSET STUDS OR FLOOR AS REQUIRED TO CREATE FLUSH FINISHES ON ADJACENT WALL SURFACES - FIELD REVIEW CONDITIONS FOR WALLS PARALLEL TO EXISTING SPRINKLER LINES, HVAC DUCTS, OR OTHER UTILITIES - BID AS REQUIRED TO RELOCATE EXISTING ELEMENTS IN CONFLICT.
- REFER TO DISABLED ACCESS DETAILS AND GUIDELINES DRAWINGS FOR ADDITIONAL INFORMATION ON DISABLED ACCESS STANDARDS AND DETAILS - NOTIFY ARCHITECT IF LAYOUT WILL NOT PERMIT CLEARANCES SHOWN - EXITS SHALL COMPLY WITH ALL APPLICABLE CODE REQUIREMENTS.
- AT WALLS AND CEILING SCHEDULED TO RECEIVE RECESSED, SURFACE MOUNTED, OR SUSPENDED EQUIPMENT - PROVIDE ADEQUATE BLOCKING OR REINFORCING AS REQUIRED FOR PROPER INSTALLATION - BLOCKING IN WALLS IS REQUIRED AT ALL POINTS OF ATTACHMENT FOR MULLIONS AND SUPPORTS - NOTATIONS ON DRAWINGS ARE FOR INFORMATIONAL PURPOSES AND BLOCKING IS NOT LIMITED TO NOTED AREAS.
- PROVIDE 4 INCH STUDS AT ALL WALLS WHICH RECEIVE RECESSED PANELS OR PIPES OVER 2-1/2 INCHES IN DIAMETER - PROVIDE FURRED WALLS AS REQUIRED FOR UTILITY AND DRAIN LINES THAT EXTEND UP INTERIOR WALL SURFACE OF EXISTING WALLS.
- HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED AND FREE FROM SHARP OR ABRASIVE SURFACES.
- PROVIDE PORTABLE FIRE EXTINGUISHER WITH RATING NOT LESS THAN 2A OR 2A0 BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF BUILDING DURING CONSTRUCTION AND AFTER COMPLETION - CONFIRM FINAL LOCATIONS WITH FIRE MARSHALL.
- COORDINATE FINAL LOCATION OF ALL ACCESS PANELS PRIOR TO INSTALLATION.
- WALLS SEPARATING PUBLIC AREAS FROM SERVICE AREAS AND FROM TOILET ROOMS TO BE FULLY INSULATED WITH SOUND INSULATION BATTIS WIRED IN PLACE PROVIDE SOUND BATTIS IN PARTITION SEPARATING MEN'S AND WOMEN'S TOILET ROOMS - LAY INSULATION BATTIS CONTINUOUSLY IN CEILING ABOVE TOILET ROOMS.
- TACTILE EXIT SIGNS SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
• EACH GRADE LEVEL EXTERIOR DOOR SHALL BE IDENTIFIED WITH A TACTILE EXIT SIGN WITH THE WORDS "EXIT"
• EACH EXIT, EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE"
- UNLESS OTHERWISE INDICATED, INTERIOR CONCRETE SLABS SHALL BE POURED LEVEL TO WITHIN 1/8" TOLERANCE ON A 10'-0" EDGE IN ANY GIVEN DIRECTION.
- PATCH, REFINISH, AND REPAIR ALL CONSTRUCTION ADJACENT TO DEMOLITION AND NEW CONSTRUCTION.
- ALL EXISTING HARDWARE WHICH DOES NOT CONFORM TO BUILDING STANDARD OR HANDICAP STANDARDS SHALL BE REPLACED.
- ALL PARTITIONS ABUTTING EXISTING CONSTRUCTION SHALL ALIGN FINISH FACE TO FINISH FACE - AND - PROVIDE FURRED WALLS AS REQUIRED FOR ALL UTILITY AND DRAIN LINES THAT EXTEND UP INTERIOR SURFACE OF EXISTING WALLS.

FLOOR PLAN KEY NOTES

- NEW EXTERIOR FACADE TO BE ADDED TO EXISTING BUILDING - SMOOTH EXTERIOR PLASTER OVER EXTERIOR SHEATHING OVER METAL FRAMING ATTACHED TO EXISTING EXTERIOR WALL STRUCTURE - PAINT
- EXTERIOR CONCRETE TILT-UP WALL TO REMAIN - PAINT
- NEW SITE SCREEN WALL TO MATCH WITH SMOOTH EXTERIOR PLASTER FINISH TO MATCH BUILDING - WALL TO INCORPORATE ADDRESSES AND SITE DIRECTORY
- EXISTING ROLL-UP DOOR TO REMAIN
- NEW SKYLIGHTS
- NEW ADA ACCESSIBLE RESTROOMS TO BE INSTALLED WITH NEW PLUMBING FIXTURES AND INTERIOR FINISHES
- REPLACE EXISTING ROLL-UP DOOR WITH NEW GLASS AND ALUMINUM SECTIONAL DOOR - FINISH TO MATCH EXISTING STOREFRONT
- REMOVE DOOR AND FRAME AND INFILL EXISTING OPENING WITH CMU - PROVIDE SMOOTH EXTERIOR PLASTER FINISH AND PAINT TO MATCH ADJACENT WALL SURFACE
- EXISTING CMU INFILL - PROVIDE SMOOTH EXTERIOR PLASTER FINISH AND PAINT TO MATCH ADJACENT WALL SURFACE
- NEW BUTT GLAZED SECTIONAL STOREFRONT SYSTEM
- NEW EXTERIOR METAL CANOPIES - PAINTED
- EXISTING STOREFRONT SYSTEM TO REMAIN
- REMOVE EXISTING GLAZING AND REPLACE WITH NEW ALUMINUM STOREFRONT SYSTEM
- NEW ELEVATOR AND CIRCULAR STAIR TO ACCESS SECOND LEVEL
- EXISTING OVERHEAD DOOR TO REMAIN - DOOR SYSTEM IS EQUIPPED WITH MAN DOOR FOR EXITING
- NEW BUTT GLAZED RAILING SYSTEM - 6 FEET HIGH
- NEW EXTERIOR CANOPY WITH DEVELOPMENT IDENTIFICATION SIGNAGE
- EXISTING EXIT STAIRS TO BE MODIFIED AS REQUIRED TO CONFORM WITH CURRENT BUILDING CODE REQUIREMENTS
- LINE OF PROPOSED CURBIC / WORK STATION
- 1/2" ALUMINUM REVEAL
- NEW DOOR AND FRAME IN EXISTING WALL
- OPEN TO BELOW
- NEW SECOND FLOOR DECK
- EXISTING STONE TO REMAIN
- NEW OPENING AND STOREFRONT GLAZING



SYMBOLS LEGEND

- ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS
- FLOOR DRAIN - REFER TO PLUMBING DRAWINGS
- FIRE EXTINGUISHER - CONFIRM LOCATION WITH INSPECTOR
- EXIT SIGN ABOVE DOOR - REFER TO ELECTRICAL DRAWINGS
- TACTILE EXIT SIGN - SYMBOLS AS FOLLOWS:
EX - EXIT
ER - EXIT ROUTE
REFER TO DETAIL 1/A9.1 FOR ADDITIONAL INFORMATION

REFER TO DRAWING A7.1 FOR FINISH SCHEDULE

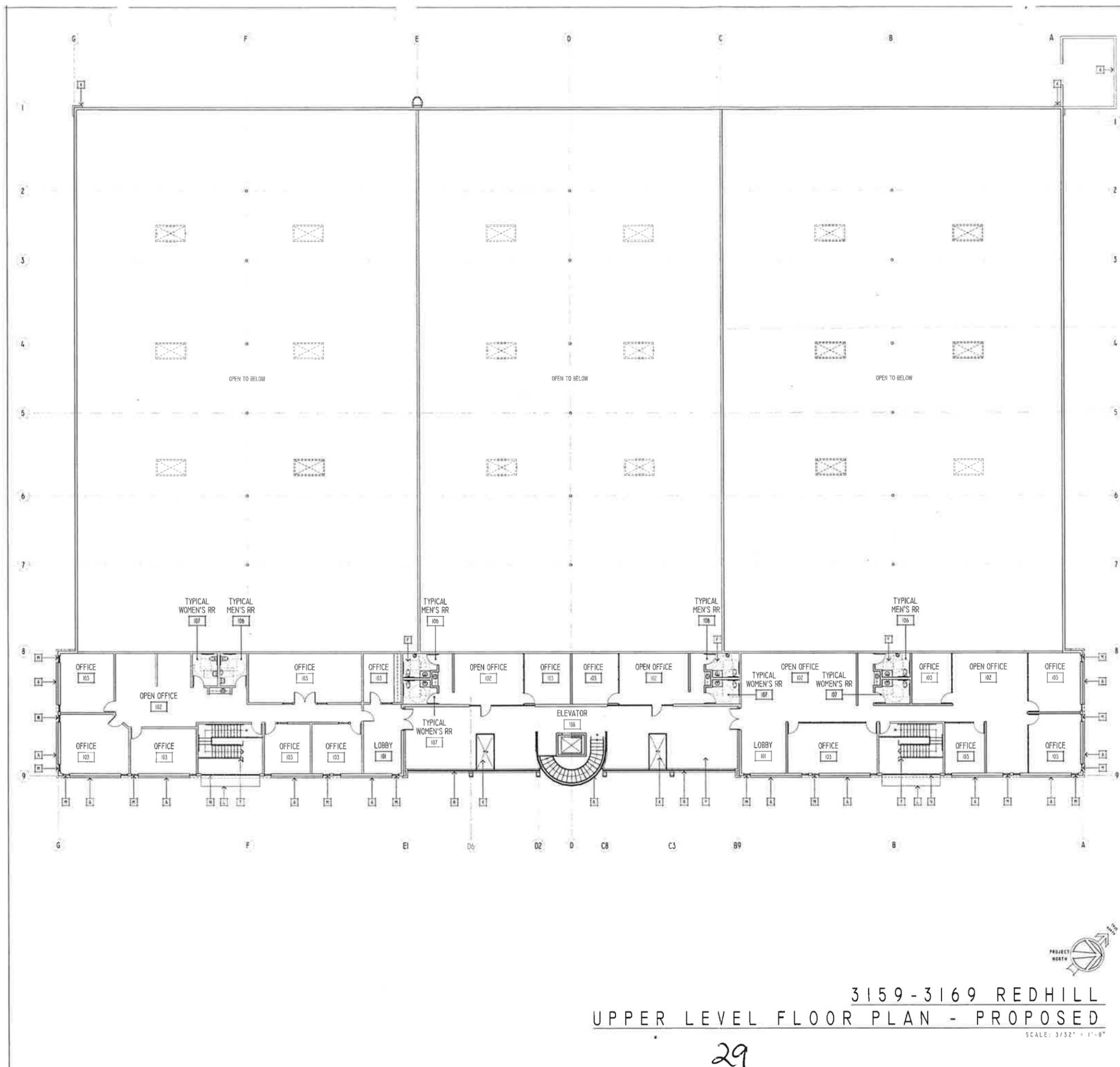
ROOM NAME

ROOM NUMBER

WALL LEGEND

- EXISTING WALL TO REMAIN:
• CONSTRUCTION TO REMAIN PROTECTED IN PLACE - VERIFY QUALITY OF EXISTING SURFACES
- CMU SCREEN WALL:
• FREESTANDING CMU SCREEN WALL - FINISH TO MATCH ADJACENT BUILDING
- TYPICAL NON-BEARING INTERIOR WALL:
• 3/8x2x12-33 METAL FRAMING AT 24 INCHES OC - AND WALL EXTENDS 6 INCHES ABOVE HIGHEST ADJACENT CEILING UNLESS NOTED OTHERWISE
- TYPICAL INTERIOR GLASS OFFICE WALL:
• 2" x 4" CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM WITH 1/4" CLEAR CENTER GLAZING ON TOP OF PARTIAL HEIGHT WALL
- TYPICAL NON-BEARING SOUND-RATED INTERIOR WALL:
• CONSTRUCT TYPICAL NON-BEARING INTERIOR WALL - INSTALL 5-1/2 INCH THICK SOUND BATTIS IN WALL CAVITY - WIRE IN PLACE

3159-3169 REDHILL
GROUND LEVEL FLOOR PLAN - PROPOSED
SCALE: 3/32" = 1'-0"



3159-3169 REDHILL
UPPER LEVEL FLOOR PLAN - PROPOSED

SCALE: 3/32" = 1'-0"

GENERAL NOTES

1. DIMENSIONS ARE TO CENTER OF STUD OR COLUMN FACE OF STUD OR MASONRY OR CENTER OF DOOR OR WINDOW OPENINGS - UNLESS OTHERWISE NOTED - DIMENSIONS FROM EXISTING SURFACES TO FINISHED FACE - HEIGHT REFERENCES TAKEN FROM DATUM FINISH FLOOR ELEVATION 4'-0" UNLESS OTHERWISE NOTED - REFER TO ADDITIONAL NOTES REGARDING DIMENSIONS ON DRAWING T1.2 - DOORS AND WINDOWS CENTERED IN BAY OR LOCATED 3 INCHES FROM PERPENDICULAR WALL UNLESS DIMENSIONED OTHERWISE
2. REVIEW PROPOSED WALL LOCATIONS PRIOR TO COMMENCING WORK AND CONTACT ARCHITECT IF THERE ARE ANY STRUCTURAL ELEMENTS OR OTHER ITEMS THAT PRECLUDE A CONTINUOUS FLUSH FINISH FOR ENTIRE LENGTH OF WALL - OFFSET STUDS OR FLAR AS REQUIRED TO CREATE FLUSH FINISHES ON ADJACENT WALL SURFACES - FIELD REVIEW CONDITIONS FOR WALLS PARALLEL TO EXISTING SPRINKLER LINES, HVAC DUCTS OR OTHER UTILITIES - BID AS REQUIRED TO RELOCATE EXISTING ELEMENTS IN CONFLICT
3. REFER TO DISABLED ACCESS DETAILS AND GUIDELINES DRAWINGS FOR ADDITIONAL INFORMATION ON DISABLED ACCESS STANDARDS AND DETAILS - NOTIFY ARCHITECT IF LAYOUT WILL NOT PERMIT CLEARANCES SHOWN - EXITS SHALL COMPLY WITH ALL APPLICABLE CODE REQUIREMENTS
4. AT WALLS AND CEILINGS SCHEDULED TO RECEIVE RECESSED, SURFACE MOUNTED, OR SUSPENDED EQUIPMENT - PROVIDE ADEQUATE BLOCKING OR REINFORCING AS REQUIRED FOR PROPER INSTALLATION - BLOCKING IN WALLS IS REQUIRED AT ALL POINTS OF ATTACHMENT FOR MILLWORK AND SUPPORTS - NOTATIONS ON DRAWINGS ARE FOR INFORMATIONAL PURPOSES AND BLOCKING IS NOT LIMITED TO NOTED AREAS
5. PROVIDE 6 INCH STUDS AT ALL WALLS WHICH RECEIVE RECESSED PANELS OR PIPES OVER 2-1/2 INCHES IN DIAMETER - PROVIDE FLURRED WALLS AS REQUIRED FOR UTILITY AND DRAIN LINES THAT EXTEND UP INTERIOR WALL SURFACE OF EXISTING WALLS
6. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED AND FREE FROM SHARP OR ABRASIVE SURFACES
7. PROVIDE PORTABLE FIRE EXTINGUISHER WITH RATING NOT LESS THAN 2A OR 2A0 BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF BUILDING DURING CONSTRUCTION AND AFTER COMPLETION - CONFIRM FINAL LOCATIONS WITH FIRE MARSHAL
8. COORDINATE FINAL LOCATION OF ALL ACCESS PANELS PRIOR TO INSTALLATION
9. WALLS SEPARATING PUBLIC AREAS FROM SERVICE AREAS AND FROM TOILET ROOMS TO BE FULLY INSULATED WITH SOUND INSULATION BATT'S W/ED IN PLACE PROVIDE SOUND BATT'S IN PARTITION SEPARATING MEN'S AND WOMEN'S TOILET ROOMS - LAY INSULATION BATT'S CONTINUOUSLY IN CEILING ABOVE TOILET ROOMS
10. TACTILE EXIT SIGNS SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
 - EACH GRADE LEVEL EXTERIOR DOOR SHALL BE IDENTIFIED WITH A TACTILE EXIT SIGN WITH THE WORDS "EXIT"
 - EACH EXIT, EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO MAKE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE"
11. UNLESS OTHERWISE INDICATED, INTERIOR CONCRETE SLABS SHALL BE POLAR LEVEL TO WITHIN 1/8" TOLERANCE ON A 10'-0" EDGE IN ANY GIVEN DIRECTION
12. PATCH, REFINISH AND REPAIR ALL CONSTRUCTION ADJACENT TO DEMOLITION AND NEW CONSTRUCTION
13. ALL EXISTING HARDWARE WHICH DOES NOT CONFORM TO BUILDING STANDARD OR HANDICAP STANDARDS SHALL BE REPLACED
14. ALL PARTITIONS ABUTTING EXISTING CONSTRUCTION SHALL ALIGN FINISH FACE TO FINISH FACE - UNLESS OTHERWISE NOTED - PROVIDE FLURRED WALLS AS REQUIRED FOR ALL UTILITY AND DRAIN LINES THAT EXTEND UP INTERIOR SURFACE OF EXISTING WALLS

FLOOR PLAN KEY NOTES

- A. NEW EXTERIOR FACADE TO BE ADDED TO EXISTING BUILDING - SMOOTH EXTERIOR PLASTER OVER EXTERIOR SHEATHING OVER METAL FRAMING ATTACHED TO EXISTING EXTERIOR WALL STRUCTURE - PAINT
- B. EXTERIOR CONCRETE TILT-UP WALL TO REMAIN - PAINT
- C. NEW SITE SCREEN WALL TO MATCH WITH SMOOTH EXTERIOR PLASTER FINISH TO MATCH BUILDING - WALL TO INCORPORATE ADDRESSES AND SITE DIRECTORY
- D. EXISTING ROLL-UP DOOR TO REMAIN
- E. NEW SKYLIGHTS
- F. NEW ADA ACCESSIBLE RESTROOMS TO BE INSTALLED WITH NEW PLUMBING FIXTURES AND INTERIOR FINISHES
- G. REPLACE EXISTING ROLL-UP DOOR WITH NEW GLASS AND ALUMINUM SECTIONAL DOOR - FINISH TO MATCH EXISTING STOREFRONT
- H. REMOVE DOOR AND FRAME AND INFILL EXISTING OPENING WITH CMU - PROVIDE SMOOTH EXTERIOR PLASTER FINISH AND PAINT TO MATCH ADJACENT WALL SURFACE
- I. EXISTING CMU INFILL - PROVIDE SMOOTH EXTERIOR PLASTER FINISH AND PAINT TO MATCH ADJACENT WALL SURFACE
- J. NEW BUTT GLAZED SECTIONAL STOREFRONT SYSTEM
- K. NEW EXTERIOR METAL CANOPIES - PAINTED
- L. EXISTING STOREFRONT SYSTEM TO REMAIN
- M. REMOVE EXISTING GLAZING AND REPLACE WITH NEW ALUMINUM STOREFRONT SYSTEM
- N. NEW ELEVATOR AND CIRCULAR STAIR TO ACCESS SECOND LEVEL
- O. EXISTING OVERHEAD DOOR TO REMAIN - DOOR SYSTEM IS EQUIPPED WITH MAN DOOR FOR EXITING
- R. NEW BUTT GLAZED RAILING SYSTEM - 6 FEET HIGH
- S. NEW EXTERIOR CANOPY WITH DEVELOPMENT IDENTIFICATION SIGNAGE
- T. EXISTING EXIT STAIRS TO BE MODIFIED AS REQUIRED TO CONFORM WITH CURRENT BUILDING CODE REQUIREMENTS
- U. LINE OF PROPOSED CUBICLE / WORK STATION
- V. 1/2" ALUMINUM REVEAL
- W. NEW DOOR AND FRAME IN EXISTING WALL
- X. OPEN TO BELOW
- Y. NEW SECOND FLOOR DECK
- Z. EXISTING STONE TO REMAIN
- AA. NEW OPENING AND STOREFRONT GLAZING

tanka + riley
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RICHARD H. TANAKA ARCHITECT
MICHAEL H. RILEY ARCHITECT

SCALE: AS SHOWN OR AS NOTED ON ORIGINAL DRAWING - THE PROPORTION OF ANY AND ALL DIMENSIONS IS TO BE MAINTAINED
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SITE AND BUILDING RENOVATIONS
TRICO REALTY - REDHILL AND PAULARINO
SITE RECONFIGURATION AND BUILDING REMODEL
201-235 PAULARINO AVENUE AND
3159 - 3169 REDHILL AVENUE
COSTA MESA, CALIFORNIA 92626

SUBMITTAL DATES:

DESCRIPTION	DATE
CLIP SUBMITTAL	06.08.16

REVISION DATES:

NO.	DESCRIPTION	DATE
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PROJECT NUMBER: 16005
TITLE: UPPER LEVEL FLOOR PLAN - PROPOSED
3159-3169 REDHILL AVENUE
SHEET NUMBER:

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SITE AND BUILDING RENOVATIONS
TRICO REALTY - REDHILL AND PAULARINO
 SITE RECONFIGURATION AND BUILDING REMODEL
 201-225 PAULARINO AVENUE AND
 3159 - 3169 REDHILL AVENUE
 COSTA MESA, CALIFORNIA 92626

SUBMITTAL DATES:
 DESCRIPTION DATE
 CLP SUBMITTAL 04.08.16

REVISION DATES:
 NO. DESCRIPTION DATE

PROFESSIONAL SEAL:



PROJECT NUMBER: 16005

TITLE:
 GROUND LEVEL PLAN - PROPOSED

201-225 PAULARINO AVENUE

SHEET NUMBER:

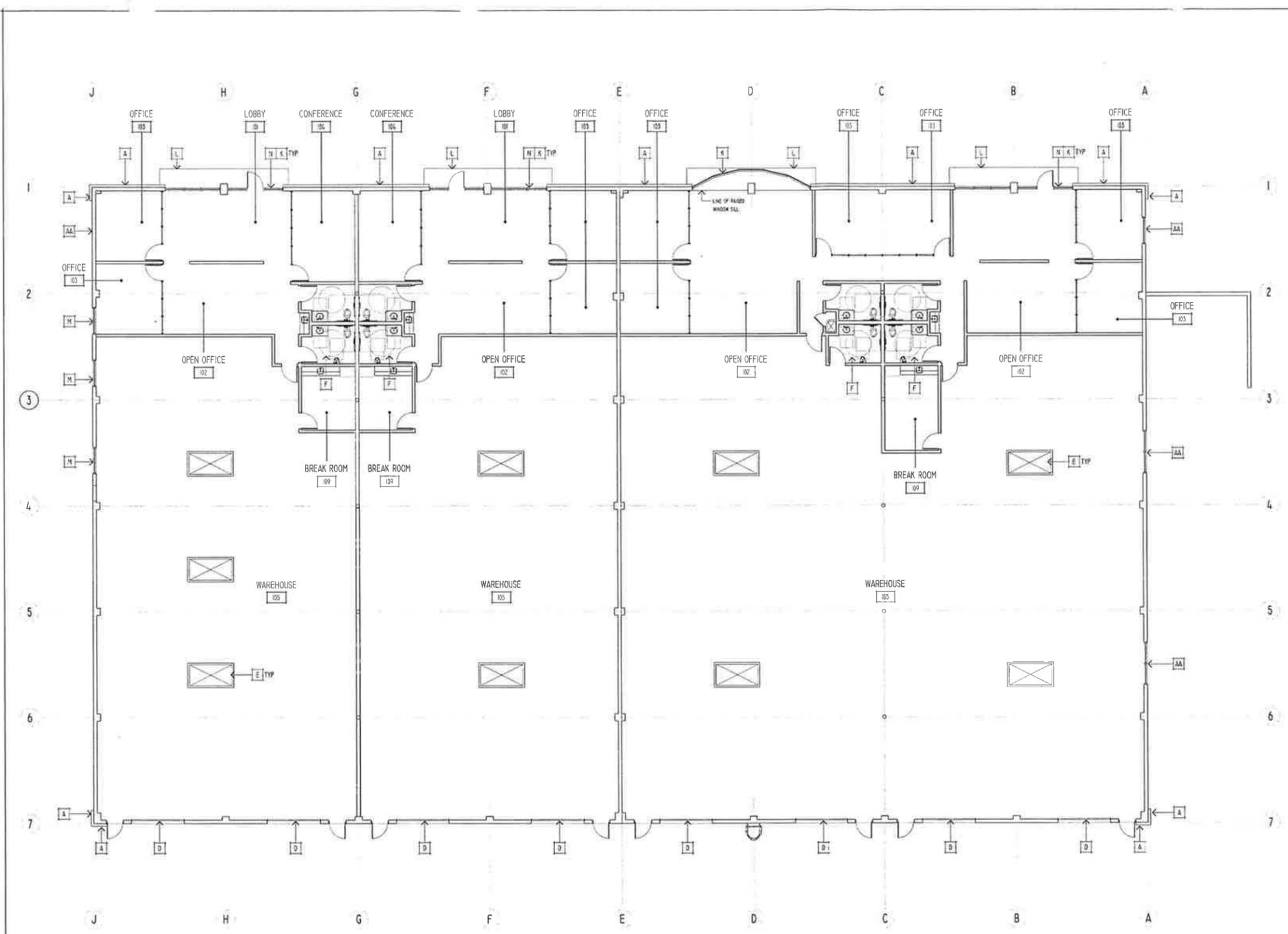
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GENERAL NOTES

- DIMENSIONS ARE TO CENTER OF STUD OR COLUMN FACE OF STUD OR MASONRY OR CENTER OF DOOR OR WINDOW OPENINGS - UNO - DIMENSIONS FROM EXISTING SURFACES TO FINISHED FACE - HEIGHT REFERENCES TAKEN FROM DATUM FINISH FLOOR ELEVATION 0'-0" UNO - REFER TO ADDITIONAL NOTES REGARDING DIMENSIONS ON DRAWING T.I.2 - DOORS AND WINDOWS CENTERED IN SHY OR LOCATED 3' MOVES FROM PERPENDICULAR WALL UNLESS DIMENSIONED OTHERWISE
- REVIEW PROPOSED WALL LOCATIONS PRIOR TO COMMENCING WORK AND CONTACT ARCHITECT IF THERE ARE ANY STRUCTURAL ELEMENTS OR OTHER ITEMS THAT PRECLUDE A CONTINUOUS FLUSH FINISH FOR ENTIRE LENGTH OF WALL - OFFSET STUDS OR FLUR AS REQUIRED TO CREATE FLUSH FINISHES ON ADJACENT WALL SURFACES - FIELD REVIEW CONDITIONS FOR WALLS PARALLEL TO EXISTING SPRINKLER LINES, WACE DUCTS, OR OTHER UTILITIES - BID AS REQUIRED TO RELOCATE EXISTING ELEMENTS IN CONFLICT
- REFER TO DISABLED ACCESS DETAILS AND GUIDELINES DRAWINGS FOR ADDITIONAL INFORMATION ON DISABLED ACCESS STANDARDS AND DETAILS - NOTIFY ARCHITECT IF LAYOUT WILL NOT PERMIT CLEARANCES SHOWN - EXITS SHALL COMPLY WITH ALL APPLICABLE CODE REQUIREMENTS
- AT WALLS AND CEILINGS SCHEDULED TO RECEIVE RECESSED, SURFACE MOUNTED, OR SUSPENDED EQUIPMENT - PROVIDE ADEQUATE BLOCKING OR REINFORCING AS REQUIRED FOR PROPER INSTALLATION - BLOCKING IN WALLS IS REQUIRED AT ALL POINTS OF ATTACHMENT FOR MILLWORK AND SUPPORTS - NOTATIONS ON DRAWINGS ARE FOR INFORMATIONAL PURPOSES AND BLOCKING IS NOT LIMITED TO NOTED AREAS
- PROVIDE 6 INCH STUDS AT ALL WALLS WHICH RECEIVE RECESSED PANELS OR PIPES OVER 2-1/2 INCHES IN DIAMETER - PROVIDE FURRED WALLS AS REQUIRED FOR UTILITY AND DRAIN LINES THAT EXTEND UP INTERIOR WALL SURFACE OF EXISTING WALLS
- HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED AND FREE FROM SHARP OR ABRASIVE SURFACES
- PROVIDE PORTABLE FIRE EXTINGUISHER WITH RATING NOT LESS THAN 2A OR 2A:0 BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF BUILDING DURING CONSTRUCTION AND AFTER COMPLETION - CONFIRM FINAL LOCATIONS WITH FIRE MARSHALL
- COORDINATE FINAL LOCATION OF ALL ACCESS PANELS PRIOR TO INSTALLATION
- WALLS SEPARATING PUBLIC AREAS FROM SERVICE AREAS AND FROM TOILET ROOMS TO BE FULLY INSULATED WITH SOUND INSULATION BATTIS W/REIN IN PLACE PROVIDE SOUND BATTIS IN PARTITION SEPARATING MEN'S AND WOMEN'S TOILET ROOMS - LAY INSULATION BATTIS CONTINUOUSLY IN CEILING ABOVE TOILET ROOMS
- TACTILE EXIT SIGNS SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
 - EACH GRADE LEVEL EXTERIOR DOOR SHALL BE IDENTIFIED WITH A TACTILE EXIT SIGN WITH THE WORD "EXIT"
 - EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE"
- UNLESS OTHERWISE INDICATED, INTERIOR CONCRETE SLABS SHALL BE POURED LEVEL TO WITHIN 1/8" TOLERANCE ON A 10'-0" EDGE IN ANY GIVEN DIRECTION
- PATCH, REFINISH, AND REPAIR ALL CONSTRUCTION ADJACENT TO DEMOLITION AND NEW CONSTRUCTION
- ALL EXISTING HARDWARE WHICH DOES NOT CONFORM TO BUILDING STANDARD OR HANDICAP STANDARDS SHALL BE REPLACED
- ALL PARTITIONS ABUTTING EXISTING CONSTRUCTION SHALL ALIGN FINISH FACE TO FINISH FACE - UNO - PROVIDE FURRED WALLS AS REQUIRED FOR ALL UTILITY AND DRAIN LINES THAT EXTEND UP INTERIOR SURFACE OF EXISTING WALLS

FLOOR PLAN KEY NOTES

- A: NEW EXTERIOR FACADE TO BE ADDED TO EXISTING BUILDING - SMOOTH EXTERIOR PLASTER OVER EXTERIOR SHEATHING OVER METAL FRAMING ATTACHED TO EXISTING EXTERIOR WALL STRUCTURE - PAINT
- B: EXTERIOR CONCRETE TILT-UP WALL TO REMAIN - PAINT
- C: NEW SITE SCREEN WALL TO MATCH WITH SMOOTH EXTERIOR PLASTER FINISH TO MATCH BUILDING - WALL TO INCORPORATE ADDRESSES AND SITE DIRECTORY
- D: EXISTING ROLL-UP DOOR TO REMAIN
- E: NEW SKYLIGHTS
- F: NEW ADA ACCESSIBLE RESTROOMS TO BE INSTALLED WITH NEW FLUSHING FIXTURES AND INTERIOR FINISHES
- G: REPLACE EXISTING ROLL-UP DOOR WITH NEW GLASS AND ALUMINUM SECTIONAL DOOR - FINISH TO MATCH EXISTING STOREFRONT
- H: REMOVE DOOR AND FRAME AND INFILL EXISTING OPENING WITH CMU - PROVIDE SMOOTH EXTERIOR PLASTER FINISH AND PAINT TO MATCH ADJACENT WALL SURFACE
- J: EXISTING CMU INFILL - PROVIDE SMOOTH EXTERIOR PLASTER FINISH AND PAINT TO MATCH ADJACENT WALL SURFACE
- K: NEW BUTT GLAZED SECTIONAL STOREFRONT SYSTEM
- L: NEW EXTERIOR METAL CANOPIES - PAINTED
- M: EXISTING STOREFRONT SYSTEM TO REMAIN
- N: REMOVE EXISTING GLAZING AND REPLACE WITH NEW ALUMINUM STOREFRONT SYSTEM
- P: NEW ELEVATOR AND CIRCULAR STAIR TO ACCESS SECOND LEVEL
- O: EXISTING OVERHEAD DOOR TO REMAIN - DOOR SYSTEM IS EQUIPPED WITH MAN DOOR FOR EXITING
- R: NEW BUTT GLAZED RAILING SYSTEM - 6 FEET HIGH
- S: NEW EXTERIOR CANOPY WITH DEVELOPMENT IDENTIFICATION SIGNAGE
- T: EXISTING EXIT STAIRS TO BE MODIFIED AS REQUIRED TO CONFORM WITH CURRENT BUILDING CODE REQUIREMENTS
- U: LINE OF PROPOSED CUBICLE / WORK STATION
- V: 1/2" ALUMINUM REVEAL
- W: NEW DOOR AND FRAME IN EXISTING WALL
- X: OPEN TO BELOW
- Y: NEW SECOND FLOOR DECK
- Z: EXISTING STONE TO REMAIN
- 4A: NEW OPENING AND STOREFRONT GLAZING



SYMBOLS LEGEND

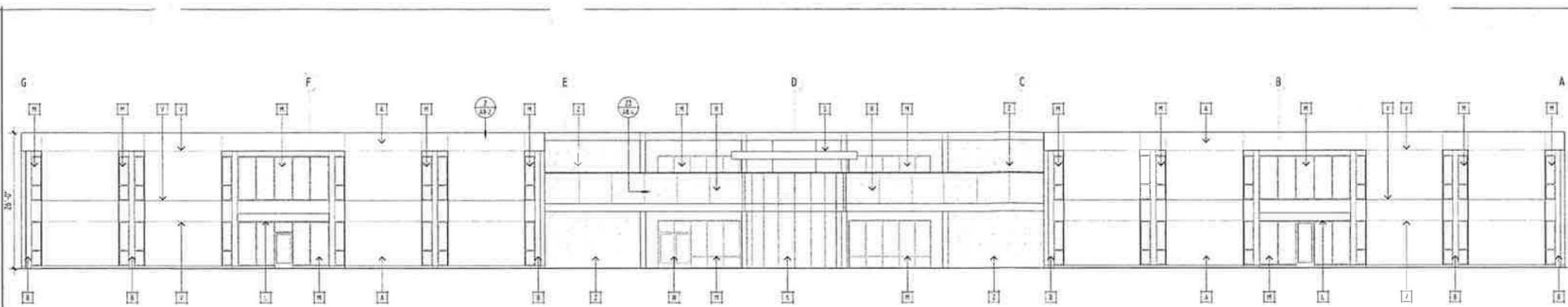
- ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS
- FLOOR DRAIN - REFER TO PLUMBING DRAWINGS
- FIRE EXTINGUISHER - CONFIRM LOCATION WITH INSPECTOR
- EXIT SIGN ABOVE DOOR - REFER TO ELECTRICAL DRAWINGS
- TACTILE EXIT SIGN - SYMBOLS AS FOLLOWS:
 EX = EXIT
 ER = EXIT ROUTE
 REFER TO DETAIL 1/AR 1 FOR ADDITIONAL INFORMATION
- REFER TO DRAWING J71 FOR FINISH SCHEDULE
- ROOM NAME
- ROOM NUMBER

WALL LEGEND

- EXISTING WALL TO REMAIN
 - CONSTRUCTION TO REMAIN PROTECTED IN PLACE - VERIFY QUALITY OF EXISTING SURFACES
 - PREPARE AND PATCH OR PROVIDE FINISHES AS REQUIRED TO RECEIVE NEW FINISHES
- 2x4 SCREEN WALL
 - FREESTANDING CMU SCREEN WALL - FINISH TO MATCH ADJACENT BUILDING
 - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- TYPICAL NON-BEARING INTERIOR WALL:
 - 1625162-33 METAL FRAMING AT 24" INCHES OC - UNO
 - WALL EXTENDS 6' MINES ABOVE HIGHEST ADJACENT CEILING UNLESS NOTED OTHERWISE
 - ALTERNATE WALL CONSTRUCTION: 2 X 4 WOOD STUDS AT 24" OC WITH PTDF SILL ANCHORED TO SLAB WITH APPROVED HILTI SHOT PINS
 - PROVIDE 6 INCH STUDS AT ALL WALLS WHICH RECEIVE RECESSED PANELS OR PIPES OVER 2-1/2 INCHES IN DIAMETER
- TYPICAL INTERIOR GLASS OFFICE WALL:
 - 6" x 4" CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM WITH 1/4" CLEAR CENTER GLAZING ON TOP OF PARTIAL HEIGHT WALL
 - REFER TO DETAIL AX1A.X FOR CONSTRUCTION
- TYPICAL NON-BEARING SOUND-RATED INTERIOR WALL:
 - CONSTRUCT TYPICAL NON-BEARING INTERIOR WALL - INSTALL 3-1/2 INCH THICK SOUND BATTIS IN WALL CAVITY - WIRE IN PLACE

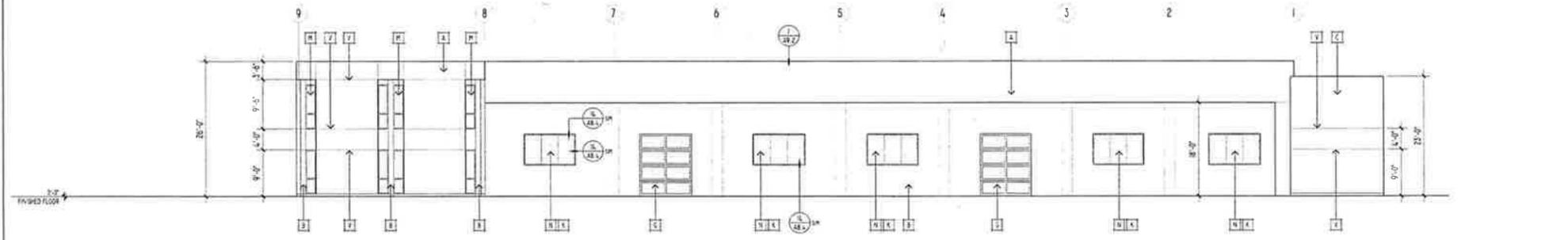
201-225 PAULARINO AVE
 GROUND LEVEL PLAN - PROPOSED
 SCALE: 1/8" = 1'-0"

30



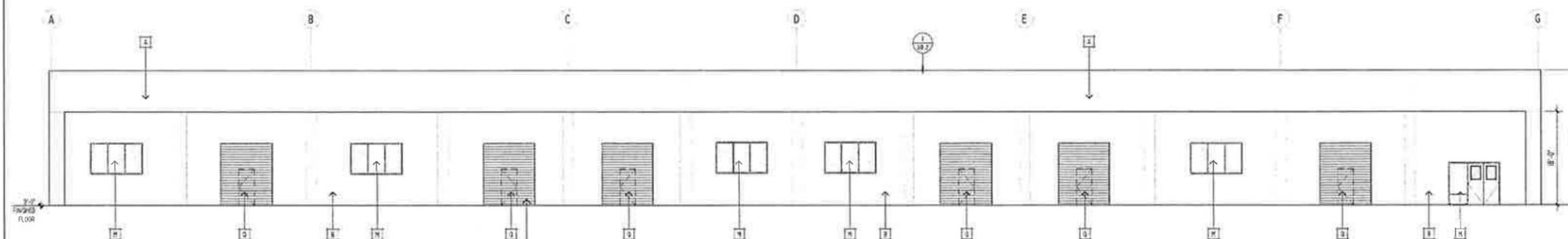
PROPOSED EAST ELEVATION - FROM REDHILL AVE

SCALE: 1" = 10'-0"



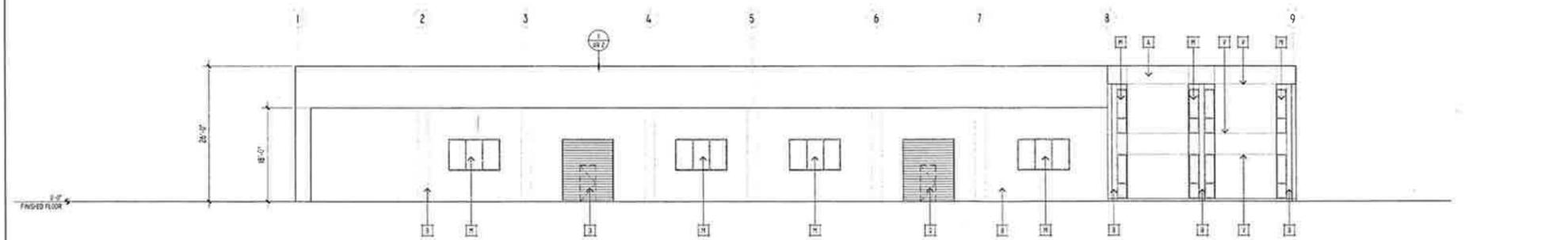
PROPOSED EAST ELEVATION - FROM PAULARINO AVE

SCALE: 1" = 10'-0"



PROPOSED WEST ELEVATION

SCALE: 1" = 10'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1" = 10'-0"

ELEVATION NOTES

- HEIGHT REFERENCES TAKEN FROM DATUM FINISH FLOOR ELEVATION 3'-0" UNLESS NOTED OTHERWISE - REFER TO PROJECT GENERAL NOTES FOR ADDITIONAL SCHEDULES ON DIMENSIONS
- VERIFY EXTERIOR MATERIAL AND COLOR FINISHES WITH DRAWINGS - DESCRIPTIONS SHALL BE BROUGHT TO ATTENTION OF ARCHITECT FOR CLARIFICATION PRIOR TO THE APPLICATION OF ANY FINISHES - FIELD VERIFY ALL ELEVATIONS AND DIMENSIONS
- PROVIDE BUILDING ADDRESS NUMBERS MINIMUM 4 INCHES HIGH IN CONTRASTING COLORS AND MATERIALS TO BUILDING - BUILDING ADDRESS NUMBERS SHALL BE VISIBLE DAY AND NIGHT AND LEGIBLE FROM STREET FRONTING PROPERTY
- CALLK ALL WINDOW AND DOOR FINISHES AND PENETRATIONS AT EXTERIOR FINISH - ALL GLAZING MUST BE MARKED PRIOR TO PAINTING
- SLONGE IS BY OWNER'S ORDER UNDER SEPARATE PERMIT AND SUBMITTAL - POWER FOR ILLUMINATED SIGNAGE BY CONTRACTOR - REFER TO ELECTRICAL DRAWINGS - LOCATION AND SIZE SHALL BE FIELD COORDINATED WITH TRUCK VENDOR
- ROOFING MATERIALS SHALL BE INSTALLED PRIOR TO APPLYING EXTERIOR PLASTER
- FLASHING TO BE 26 GAUGE MINIMUM GALVANIZED-IRON - PAINT FLASHING EXPOSED TO PUBLIC VIEW - PROVIDE WEEP SCREES WITH MINIMUM VERTICAL ATTACHMENT OF 2-1/2" NOTICES AT FOUNDATION SHALL PLATE OF SATELOR STUD WALLS
- GRADES AT PERIMETER OF BUILDING TO BE COORDINATED WITH CIVIL DRAWINGS OR EXISTING CONDITIONS AS WELL AS DISABLED ACCESS GUIDELINES AND DETAILS - NOTIFY ARCHITECT OF ANY DISCREPANCIES
- REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS - LOCATE AS SHOWN ON ARCHITECTURAL DRAWINGS - NOTIFY ARCHITECT OF DISCREPANCIES
- REFER TO DOOR SCHEDULE FOR DOOR TYPES, DOOR FINISHES, WINDOW TYPES AND WINDOW FINISHES
- UNLESS NOTED OTHERWISE - THE INTENTION OF BUILDING DESIGN IS THAT ALL MECHANICAL UNITS AND OTHER ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW BY PERMANENT OR ROOF MOUNTED SCREEN ELEMENTS - NOTIFY ARCHITECT IF FRAMED ELEVATIONS WILL NOT ACCOMPLISH SCREENING
- EXTERIOR WALL AS SHALL BE COMPLETE SYSTEM INCLUDING ALL STIFFENERS, FASTENERS, SEALANTS, ADHESIVES, JOINTING, MISCELLANEOUS PIECES, AND MATERIAL THICKNESS AS REQUIRED TO FORM A HIGH QUALITY WATERPROOF ENCLOSURE IN ACCORDANCE WITH THE SPECIFICATIONS AND DETAILS SHOWN
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED - WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT ARCHITECT BEFORE PROCEEDING WITH WORK
- PROVIDE EXPANSION AND CONTROL JOINTS AS REQUIRED OR AS SHOWN - LOCATION OF EXPANSION AND CONTROL JOINTS SHALL BE REVIEWED WITH THE ARCHITECT
- SEALANTS SHALL BE INSTALLED WITH APPROPRIATE JOINT FILLER - PROVIDE COLOR FOR SEALANTS EXPOSED TO VIEW, AS SELECTED BY THE ARCHITECT - SEALANT MANUFACTURER SHALL VERIFY THAT ALL SEALANTS USED FOR EXTERIOR WALL ARE CORRECT FOR APPLICATION SHOWN AND WILL BE COMPATIBLE WITH EACH OTHER BEFORE, DURING AND AFTER CURING
- REFER TO ENLARGED ELEVATIONS, DETAILS, AND WALL SECTIONS FOR ADDITIONAL INFORMATION REGARDING EXTERIOR CONDITIONS - EXTERIOR FINISHES SHOWN ARE TO BE ASSUMED TO APPLY AROUND PROJECTING ELEMENTS - UNLESS NOTED OTHERWISE

ELEVATION KEY NOTES

- A: NEW EXTERIOR FACADE TO BE ADDED TO EXISTING BUILDING - SMOOTH EXTERIOR PLASTER OVER EXTERIOR SHEATHING OVER METAL FRAMING ATTACHED TO EXISTING EXTERIOR WALL STRUCTURE - PAINT
- B: EXTERIOR CONCRETE TILT-UP WALL TO REMAIN - PAINT
- C: NEW SITE SCREEN WALL TO MATCH WITH SMOOTH EXTERIOR PLASTER FINISH TO MATCH BUILDING - WALL TO INCORPORATE ADDRESSES AND SITE DIRECTORY
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- E: EXISTING SKYLIGHTS TO REMAIN
- F: NEW ADA ACCESSIBLE RESTROOMS TO BE INSTALLED WITH NEW PLUMBING FIXTURES AND INTERIOR FINISHES
- G: REPLACE EXISTING ROLL-UP DOOR WITH NEW GLASS AND ALUMINUM SECTIONAL DOOR - FINISH TO MATCH EXISTING STOREFRONT
- H: REMOVE DOOR AND FRAME AND JMWILL EXISTING OPENING WITH CMU - PROVIDE SMOOTH EXTERIOR PLASTER FINISH AND PAINT TO MATCH ADJACENT WALL SURFACE
- J: EXISTING CMU INFILL - PROVIDE SMOOTH EXTERIOR PLASTER FINISH AND PAINT TO MATCH ADJACENT WALL SURFACE
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- R: NEW BUTT GLAZED RAILING SYSTEM - 6 FEET HIGH
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- Y: NEW SECOND FLOOR DECK
- Z: EXISTING STONE TO REMAIN
- AK: NEW OPENING AND STOREFRONT GLAZING

SYMBOLS LEGEND

- AT EXTERIOR PLASTER - PROVIDE PREFABRICATED METAL CONTROL OR EXPANSION JOINTS AT LOCATIONS SHOWN - METAL LATH TO STOP ON EITHER SIDE OF JOINT
- CJ PLASTER CONTROL JOINT - COLOR TO MATCH ADJACENT SURFACES - MFR: AMCO NO. C-330-114"
- EJ EXPANSION JOINT - COLOR TO MATCH ADJACENT SURFACES - MFR: AMCO GRIPLOCK EXPANSION JOINT NO. C-330-114"
- T TEMPERED GLASS
- TS TEMPERED SPANDREL GLASS
- S SPANDREL GLASS
- SG SAFETY GLASS

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SITE AND BUILDING RENOVATIONS
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SITE RECONFIGURATION AND BUILDING REMODEL
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3159 - 3169 REDHILL AVENUE
COSTA MESA, CALIFORNIA 92626

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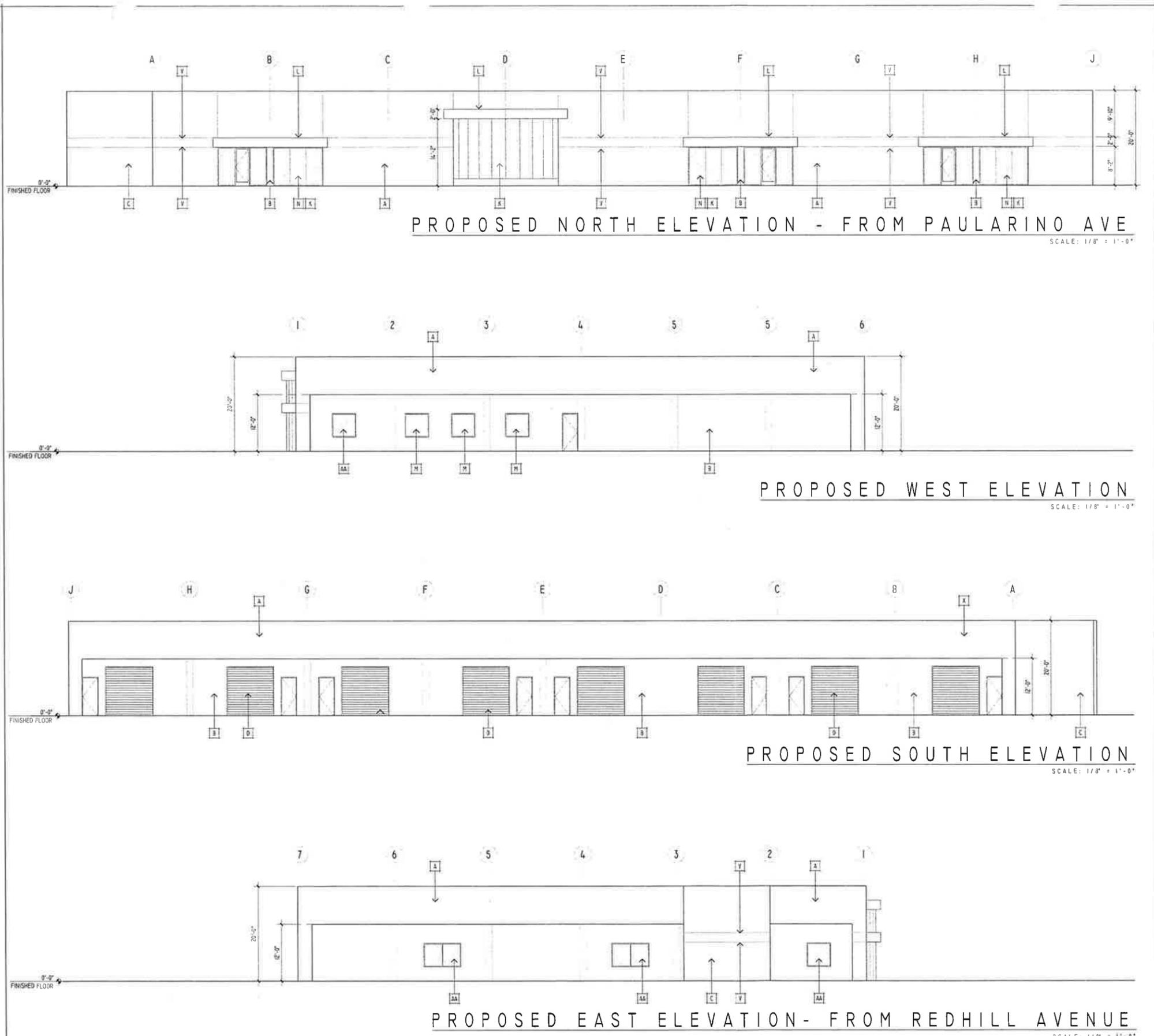
PROJECT NUMBER: 16005

TITLE:
EXTERIOR ELEVATIONS - PROPOSED

3159-3169 REDHILL AVENUE

SHEET NUMBER:

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ELEVATION NOTES

HEIGHT REFERENCES TAKEN FROM DATUM FINISH FLOOR ELEVATION 0'-0" - JGD - REFER TO PROJECT GENERAL NOTES FOR ADDITIONAL DIMENSIONAL INFORMATION

VERIFY EXTERIOR MATERIAL AND COLOR FINISHES WITH SAMPLES - DISCREPANCIES SHALL BE BROUGHT TO ATTENTION OF ARCHITECT FOR CLARIFICATION PRIOR TO THE APPLICATION OF ANY FINISHES - FIELD VERIFY ALL ELEVATIONS AND DIMENSIONS

PROVIDE BUILDING ADDRESS NUMBERS MINIMUM 6 INCHES HIGH IN CONTRASTING COLORS AND MATERIALS TO BUILDING - BUILDING ADDRESS NUMBERS SHALL BE VISIBLE DAY AND NIGHT AND LEGIBLE FROM STREET FRONTING PROPERTY

CALLS ALL WINDOW AND DOOR FRAMES AND PENETRATIONS AT EXTERIOR FINISH - ALL GLAZING MUST BE WASHED PRIOR TO PAINTING

SIGNAGE AS BY OWNER'S VENDOR UNDER SEPARATE PERMIT AND SUBMITTAL - POWERS FOR ILLUMINATED SIGNAGE BY CONTRACTOR - REFER TO ELECTRICAL DRAWINGS - LOCATION AND SIZE SHALL BE FIELD COORDINATED WITH SIGN VENDOR

ROOFING MATERIALS SHALL BE INSTALLED PRIOR TO APPLYING EXTERIOR PLASTER

FLASHING TO BE 2% GRADE MINIMUM GALVANIZED IRON - PAINT FLASHING EXPOSED TO PUBLIC VIEW - PROVIDE WEEP SCREENS WITH MINIMUM VERTICAL ATTACHMENT OF 3/4" INCHES AT FOUNDATION SKILL PLATE OF EXTERIOR STUD WALLS

GRADE AT PERIMETER OF BUILDING TO BE COORDINATED WITH CIVIL DRAWINGS OR EXISTING CONDITIONS AS WELL AS DISABLED ACCESS GUIDELINES AND DETAILS - NOTIFY ARCHITECT OF ANY DISCREPANCIES

REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS - LOCATE AS SHOWN ON ARCHITECTURAL DRAWINGS - NOTIFY ARCHITECT OF DISCREPANCIES

REFER TO DOOR SCHEDULE FOR DOOR TYPES, DOOR FINISHES, WINDOW TYPES AND WINDOW FINISHES

UNLESS NOTED OTHERWISE - THE INTENTION OF BUILDING DESIGN IS THAT ALL MECHANICAL UNITS AND OTHER ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW BY PARAPET OR ROOF MOUNTED SCREEN ELEMENTS - NOTIFY ARCHITECT IF FRAMED ELEVATIONS WILL NOT ACCOMPLISH SCREENING

EXTERIOR WALL AS SHALL BE COMPLETE SYSTEM INCLUDING ALL STIFFENERS, FASTENERS, SEALANTS, ADHESIVES, JOINTING MISCELLANEOUS PIECES, AND MATERIAL THICKNESS AS REQUIRED TO FORM A HIGH QUALITY WATERPROOF ENCLOSURE IN ACCORDANCE WITH THE SPECIFICATIONS AND PROFILES SHOWN

DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED - WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED CONSULT ARCHITECT BEFORE PROCEEDING WITH WORK

PROVIDE EXPANSION AND CONTROL JOINTS AS REQUIRED OR AS SHOWN - LOCATION OF EXPANSION AND CONTROL JOINTS SHALL BE REVIEWED WITH THE ARCHITECT

SEALANTS SHALL BE INSTALLED WITH APPROPRIATE JOINT FILLER - PROVIDE COLOR FOR SEALANTS EXPOSED TO VIEW, AS SELECTED BY THE ARCHITECT - SEALANT MANUFACTURER SHALL VERIFY THAT ALL SEALANTS USED FOR EXTERIOR WALL ARE CORRECT FOR APPLICATION SHOWN AND WILL BE COMPATIBLE WITH EACH OTHER BEFORE, DURING AND AFTER CURING

REFER TO ENLARGED ELEVATIONS, DETAILS, AND WALL SECTIONS FOR ADDITIONAL INFORMATION REGARDING EXTERIOR CONDITIONS - EXTERIOR FINISHES SHOWN ARE TO BE ASSUMED TO APPLY AROUND PROJECTING ELEMENTS - UNLESS NOTED OTHERWISE

ELEVATION KEY NOTES

- A: NEW EXTERIOR FACADE TO BE ADDED TO EXISTING BUILDING - SMOOTH EXTERIOR PLASTER OVER EXTERIOR SHEATHING OVER METAL FRAMING ATTACHED TO EXISTING EXTERIOR WALL STRUCTURE - PAINT
- B: EXTERIOR CONCRETE TILT-UP WALL TO REMAIN - PAINT
- C: NEW SITE SCREEN WALL TO MATCH WITH SMOOTH EXTERIOR PLASTER FINISH TO MATCH BUILDING - WALL TO INCORPORATE ADDRESSES AND SITE DIRECTORY
- D: EXISTING ROLL-UP DOOR TO REMAIN
- E: EXISTING SKYLIGHTS TO REMAIN
- F: NEW ADA ACCESSIBLE RESTROOMS TO BE INSTALLED WITH NEW PLUMBING FIXTURES AND INTERIOR FINISHES
- G: REPLACE EXISTING ROLL-UP DOOR WITH NEW GLASS AND ALUMINUM SECTIONAL DOOR - FINISH TO MATCH EXISTING STOREFRONT
- H: REMOVE DOOR AND FRAME AND NEW EXISTING OPENING WITH CMU - PROVIDE SMOOTH EXTERIOR PLASTER FINISH AND PAINT TO MATCH ADJACENT WALL SURFACE
- I: EXISTING CMU INFILL - PROVIDE SMOOTH EXTERIOR PLASTER FINISH AND PAINT TO MATCH ADJACENT WALL SURFACE
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- T: 1/2" ALUMINUM REVEAL
- U: NEW DOOR AND FRAME IN EXISTING WALL
- V: OPEN TO BELOW
- W: NEW SECOND FLOOR DECK
- X: EXISTING STONE TO REMAIN
- Y: NEW OPENING AND STOREFRONT GLAZING

SYMBOLS LEGEND

- AJ PLASTER CONTROL JOINT - COLOR TO MATCH ADJACENT SURFACES - MFR: AMCO GRIPLUCK EXPANSION JOINT NO. C-300-1/2"
- EJ EXPANSION JOINT - COLOR TO MATCH ADJACENT SURFACES - MFR: AMCO GRIPLUCK EXPANSION JOINT NO. J-1/2"
- T TEMPERED GLASS
- TS TEMPERED SPANDREL GLASS
- S SPANDREL GLASS
- SG SAFETY GLASS

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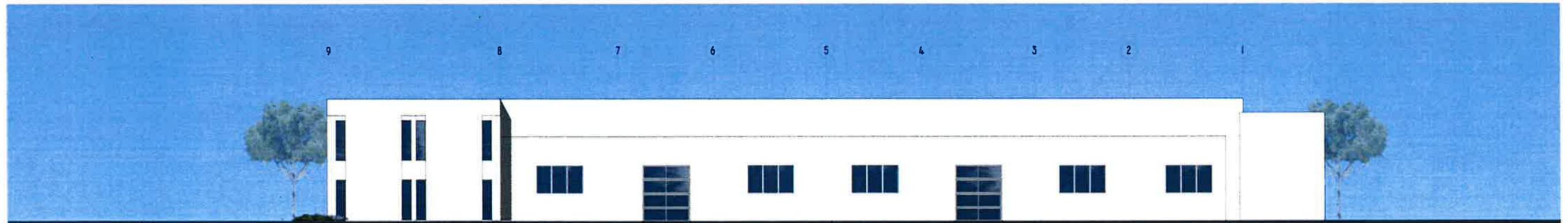
201-225 PAULARINO AVENUE

SHEET NUMBER:

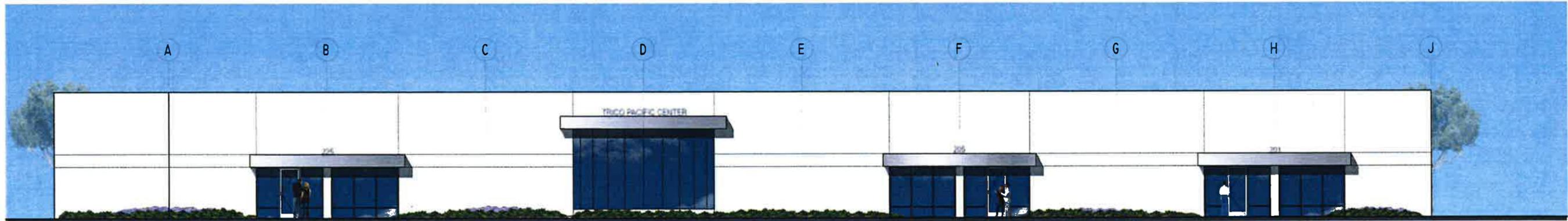
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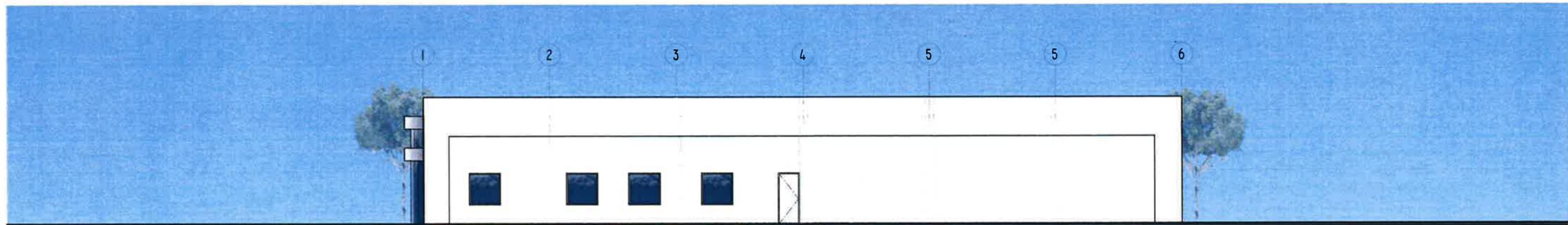
3159-69 REDHILL BUILDING - PROPOSED EAST ELEVATION FROM REDHILL AVENUE



3159-69 REDHILL BUILDING - PROPOSED NORTH ELEVATION FROM PAULARINO AVENUE



201-225 PAULARINO BUILDING - PROPOSED NORTH ELEVATION FROM PAULARINO AVENUE



201-225 PAULARINO BUILDING - PROPOSED WEST ELEVATION