



PLANNING COMMISSION AGENDA REPORT

MEETING DATE: JULY 11, 2016

ITEM NUMBER: PH 3

SUBJECT: PLANNING APPLICATION PA-16-27 AND PARCEL MAP NO. 2016-122 FOR A TWO-UNIT SMALL LOT SUBDIVISION RESIDENTIAL DEVELOPMENT AT 155 FLOWER STREET

DATE: JULY 6, 2016

FROM: PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

PRESENTATION BY: DAN INLOES, SENIOR PLANNER

FOR FURTHER INFORMATION CONTACT: DAN INLOES, AICP (714) 754-5008
dan.inloes@costamesaca.gov

DESCRIPTION

The proposed project involves the following:

- 1. *Planning Application PA-16-27:*** Design review to construct a two-unit, two-story, small lot subdivision on a 9,033 sq. ft. lot in the R2-HD zone. The two-story detached homes are proposed at 2,297 square feet (Unit 1) and 2,513 square feet (Unit 2), and each consist of 4 bedrooms, 3 bathrooms, and a two car garage with minimum interior dimensions of 20 feet by 20 feet. The two-story residential development will be developed per the Residential Small Lot Subdivision standards. The project meets all development standards.
- 2. *Parcel Map PM 2016-122:*** A subdivision in accordance with the Small Lot Subdivision standards to create two fee simple lots.

APPLICANT OR AUTHORIZED AGENT

The applicant/authorized agent is Gavin Sermon, authorized agent for the property owner, Tong Tong Glowing Trading & Investment Corp.

ENVIRONMENTAL DETERMINATION

The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3), New Construction or Conversion of Small Structures. In urbanized areas, up to three single-family residences may be constructed or converted under the Class 3 exemption.

RECOMMENDATION

Approve the project by adoption of Planning Commission resolution, subject to conditions.

PLANNING APPLICATION SUMMARY

Location:	155 Flower Street	Application Number:	PA-16-27/PM-16-122
Request:	Design Review of a two unit two-story residential development per Small Lot Ordinance.		

SUBJECT PROPERTY:

SURROUNDING PROPERTY:

Zone:	R2-HD	North: (across Flower Street)	R2-HD, Multi-Family Residential, High Density
General Plan:	HDR	South:	R2-HD, Multi-Family Residential, High Density
Lot Dimensions:	70 FT x 130 FT	East:	R2-HD, Multi-Family Residential, High Density
Lot Area:	9,033 square feet after dedication	West: (across Fullerton Ave)	R2-HD, Multi-Family Residential, High Density
Existing Development:	One parcel with two single-story residential units		

DEVELOPMENT STANDARD COMPARISON

Development Standard	Required/Allowed	Proposed/Provided
Lot Area	NA	Parcel 1 (Unit 1)- 5,069 SF Parcel 2 (Unit 2)- 3,964 SF
Open space -- Development lot	30%	58% (5276 SF)
Individual unit	200 SF with no dimension less than 10 feet	208 SF Unit 1) 384 SF (Unit 2) Minimum 10' dimension
Density:		
High Density Residential Land Use	Max. 14.52 units per acre	10 units per acre
Zone – R2-HD	1 du/3,000 SF Max. 2 dwelling units	1 du/4,516 SF 2 dwelling units
Building Height	Two-stories / 27 ft.	Two-stories /26'-4"
Ratio of 2nd floor to 1st floor %	100%	Parcel 1 (Unit 1)- 100% Parcel 2 (Unit 2)- 98%
Distance between main buildings	NA	8 ft.
Development lot building setbacks:		
Front (Fullerton Ave)	20 FT	20 FT (Parcel 1/unit 1)
Side (Flower St)	10 FT	10 FT
Side (interior)	5 FT	5 FT
Rear	10 FT	10 FT (Parcel/unit 2)
Driveway Length	Min.19 FT	19 FT(Parcel /unit 1)
Parking	Two garage and two open per unit	Two garage and two open per unit
Total	8 spaces	8 spaces
Final Action	Planning Commission	
CEQA Review	Exempt, Class 3 for new construction	

BACKGROUND

Project Site/Environs

The subject project site is a 9,033 square-foot parcel located on the south side of Flower Street, between Fullerton and Orange Avenues. The project site is currently developed with two residential units, which will be replaced by the proposed project. Existing driveway and access is provided off Flower Street; the existing property contains no garage and open parking for two cars. The property is zoned R2-HD with a maximum development potential of two dwelling units (14.5 dwelling units per acre).

The property to the west across Fullerton Ave (147 Flower Street) of the subject property is zoned R2-HD and is developed with an apartment project. The property to the east (163 Flower Street) is zoned R2-HD and is developed with a one-story single family home; however, two, two-story homes are proposed by the same developer of this property for that site as well (Planning Application PA-16-28/Parcel Map PM16-123). The properties to the north and across Flower Street of the subject property (162 and 164 Flower Street) are zoned R2-HD and are developed with two-story single-family residences. The property to the south (1854 Fullerton Ave) is developed with a one-story single-family residence.

ANALYSIS

Design Review PA-16-27

The proposed project consists of two detached, single-family residences with attached two-car garages. The property would be subdivided into two separate fee simple lots, and the proposed residences will have an approximate 8-foot building separation. The proposed units have similar floor plans and include four bedrooms, three bathrooms, and an open plan for the living, dining, and kitchen areas. Each unit includes a bedroom and full bathroom on the first floor and a laundry room on the second floor. Two-car garages and two open parking spaces will be provided for each unit along a 20-foot deep by 16-foot wide driveway. The trash bins for each unit can be stored out of public view. The project satisfies all applicable development standards including project and private open space, parking, and building height.

The design of the proposed project was created by South Pointe Companies. Unit 1 is designed with a traditional Craftsman architectural style utilizing stucco finish, Hardie staggered siding, treated wood corbels, vinyl windows, wood shutters, craftsman style front door, carriage style garage door, and shingle roofing. Unit 2 is designed with a modern Craftsman architectural style utilizing smooth Hardie paneling, Hardie batten trim, Hardie plank horizontal lap siding, treated wood corbels, vinyl windows, craftsman style front door, frosted silhouette style garage door, and shingle roofing. The homes are custom designed to blend harmoniously into the surrounding environment. Both residences will be oriented toward Flower Street; garage access will also be from Flower Street.

Residential Design Guidelines

The design of the proposed residences meets the intent of the City's Residential Development Standards and Design Guidelines. The design of the two-story homes, as

conditioned, will comply with the second-story design standards, provide appropriate building mass and form, meet the City's Residential Design Guidelines for second-story setbacks, provide unique elevation treatments and roof forms, considers window placement, and will be consistent in architectural design. Building mass and form were considered as offsets and building projections were made an integral part of the design. The two story structures are designed with articulation and off-sets on all elevations to avoid a boxy appearance from the street and neighboring views. The two units provide individual and identifiable entries to add interest and variety to the streetscape. Elevations are enhanced with combination of materials, varied roof forms, front entry porches, as well as accents and details. A combination stucco finish and siding with varying colors, along with enhanced windows along the perimeter of each unit will be provided for visual interest. Roofing materials include fiberglass shingle roofing for the second-story roof. The residences are two stories in height and will not exceed the 27-foot height maximum requirements. Window placement will not be an issue, as the property is surrounded by single story buildings along the south and by two streets along the north and west property lines. Additionally, the second story maintains the required 10-foot setback from the rear property line and window placement was considered in conjunction with the new project proposed to the east. Since the project owner and developer of both projects are the same any conflict will be resolved by rearranging the windows on one or both properties to ensure there is no conflict per a condition of approval.

Tentative Parcel Map

The proposed tentative tract map is for a two-unit subdivision per Small Lot Subdivision Ordinance. The project proposes to divide one large development lot into two new parcels along Flower Street. Parcel 1 (Unit 1) is proposed as the westerly portion of the development lot along the corner of Flower Street and Fullerton Ave, and includes a net lot area of 5,069 square feet. Parcel 2 (Unit 2) is proposed on the easterly portion of the development lot, and includes a net lot area of 3,964 square feet.

The proposed tentative tract map requires a 6.2-foot right-of-way dedication and corner cut-off for the construction of a sidewalk and ramp along the Fullerton Avenue frontage. Unit 1 will maintain an 20-foot front setback along the newly dedicated ultimate front property line. The project will also require the development of new driveway approaches and sidewalk along the Flower Street frontage.

All common areas including the driveway and open parking spaces will be used and maintained by a maintenance association or homeowners' association as stipulated in the Conditions, Covenants, and Restrictions (CC&R's) for the development. The CC&R's will also include provisions requiring that the open parking space be unassigned and available for visitors and requiring residents to park vehicles in the garage spaces provided for each unit.

General Plan Conformance

The proposed development is a small lot subdivision development of two detached single family residences. The project is consistent with the maximum allowable General Plan density of 1 dwelling unit per 3,000 square feet, or 14.5 dwelling units per acre per the R2-HD zone and HDR (High Density Residential) General Plan land use designation. The proposed project will develop with one dwelling unit per 4,516 square feet, or 10 dwelling

units per acre, which is below the 14.5 dwelling units per acre allowed in the High Density Residential land use designation.

The following analysis evaluates the proposed project's consistency with specific goals, and objectives of the General Plan, Land Use Element.

1. **Objective LU-1A:** *Establish and maintain a balance of land uses throughout the community to preserve the residential character of the City at a level no greater than can be supported by the infrastructure.*

Consistency: The project is an infill residential project within the allowable density for high-density development. Adequate infrastructure exists to serve the proposed project. Therefore, the project is consistent with this General Plan objective.

2. **Objective LU-1A.4:** *Strongly encourage the development of ... owner-occupied housing where feasible to improve the balance between rental and ownership housing opportunities.*

Consistency: Because the proposed project is for ownership units, the project is consistent with this General Plan goal.

3. **Goal LU-2: Development:** *It is the goal of the City of Costa Mesa to establish development policies that will create and maintain an aesthetically pleasing and functional environment and minimize impacts on existing physical and social resources.*

Consistency: The project would allow for the redevelopment of a property which used to contain a marginal residential development. The proposed project would add a quality architectural design to the project area. The project includes front entry porches, ornamental site landscaping, and decorative perimeter wall treatments provided throughout the project. Elevations are enhanced with premium materials, wall offsets, gable roofs, combination of materials, as well as accents and details. As a result, the proposed project is supportive of this General Plan goal.

4. **Objective LU-2A:** *Encourage new development and redevelopment to improve and maintain the quality of the environment.*

Consistency: Because the project is an infill development, it would not result in the loss of any habitat, or require extensive infrastructure improvements to provide service to the site. In addition, the proposed project will replace an older duplex unit and redevelop the property with new housing stock. Consequently, the project is consistent with this objective.

JUSTIFICATIONS FOR APPROVAL

Pursuant to Title 13, Section 13-29, *Planning Application Review Process*, of the Costa Mesa Municipal Code, the Planning Commission shall find that the evidence presented in the administrative record substantially meets specified findings. Staff recommends approval of Design Review PA-16-27 and Parcel Map PM-15-122, based on the following assessment of facts and findings which are also reflected in the draft resolution.

- The proposed project complies with the General Plan and with the Zoning Code standards. The creation of the subdivision is consistent with General Plan Land Use Objectives LU-1A, LU-1A.4, and LU-2A in that adequate infrastructure exists to serve the proposed project; the project promotes homeownership opportunities to improve the balance between renter and owner occupied housing in the City; and the project would not result in the loss of any habitat, or require extensive infrastructure improvements to provide service to the site. The proposed project does not exceed the maximum density of 14.5 units per acre, and therefore is consistent with the General Plan designation for High Density Residential and R2-HD zone. The project design complies with development standards of the Small Lot Subdivision Ordinance.
- The proposed project meets the purpose and intent of the Residential Design Guidelines. The design of the two-story homes, as conditioned, will comply with the second-story design standards and setback requirements; develop with appropriate building mass and form; provide unique elevation treatments and roof forms; considers window placement guidelines; and will be consistent in architectural design.

In regards to second-story design standards, the second-story floor areas for each unit will not exceed 100% of the first-story floor area; the ratio of 2nd floor to 1st floor is 100% for Unit 1 and 98% for Unit 2. The Small Lot Subdivision Ordinance allows for a minimum five-foot interior side setback for both stories when the units are less than 2,700 square feet. The proposed buildings are less than 2,700 square feet and are placed on the property with five-foot interior side setbacks.

The proposed project provides variation to street-facing elevations to reduce visual prominence, provide visual interest and relief from monotony. Building mass and form were considered, as offsets and building projections were made an integral part of the design. Recesses in building planes have been incorporated into the design to provide visual relief, including a variation in roof forms, orientation and pitch. The two units provide individual and identifiable entries to add interest and variety to the streetscape. The two story structures are designed with articulation on all elevations to avoid a boxy appearance from the street and neighboring views. Elevations are enhanced with combination of materials, varied roof forms, front entry porches, as well as accents and details. Roofing materials include shingle roofing. Each unit is two stories in height and will not exceed the 27-foot height maximum requirements.



The setbacks of existing neighboring structures, and visual impacts from second story windows were considered with regard to the side yard of the abutting home, and places the homes to maximize distances from the adjacent dwellings. Window placement will not be an issue, as the property is surrounded by single story buildings along the south and by two streets along the north and west property lines. Additionally, the second story maintains the required 10-foot setback from the rear property line and window placement was considered in conjunction with the new project proposed to the east and conditioned to not cause privacy issues.

The project will include consistent architectural design, as each unit includes a combination stucco finish and siding with varying colors, use of vinyl windows, and porches will be built along the front entryways of both units to provide visual interest.

- The proposed project is conditioned to include a 6.2-foot right-of-way dedication along Fullerton Avenue. To maintain ADA compliant sidewalks per the Public Services Division, the project will require a 6.2-foot easement along the front property line abutting Fullerton Avenue.
- The proposed subdivision is consistent with the General Plan and Zoning Code. The subdivision complies with General Plan Land Use Objective LU-1A.4 in that it allows the units to be sold independent of one another and creates home ownership opportunities. The subdivision is consistent with applicable development standards contained in the Zoning Code. The subdivision also provides for future natural heating and cooling. The project also provides private open space areas under entry canopies. Open space also incorporates landscaping, such as trees, to ensure natural and passive heating and cooling from the sun exposure.
- The project exceeds the development lot minimum open space requirement (30% required, 58% proposed). A total of 58% of the development lot area will be provided as open space and landscaping, which exceeds the required 30% development lot open space requirement. This open space includes a minimum of 200 square feet of private open space for each parcel. Unit 1 will provide a private open space area along the interior side setback and Unit 2 along the rear setback. Each open space area will be accessed from the adjacent kitchen and dining room areas.
- The landscape concept plan is consistent with the City's standards for multi-family development. Specifically, the plan includes landscaping within the private open space areas, and along the driveway and parking areas for each unit. The concept plan shows two 24-inch box Crape Myrtle "Watermelon Red" trees along the Flower Street parkway, and mixture of drought tolerant shrubs and groundcover along the driveway, walkways, and side property lines to encourage privacy and greenery. In addition, the project includes decorative block walls on the perimeter of the property, as required by Code.
- The Declaration of the Covenants, Conditions, and Restrictions (CC&Rs) is required to be filed on the property. The Small Lot Ordinance requires that all small lot subdivisions establish some form of self-governance through CC&Rs, maintenance associations, and/or homeowner's associations. In the City of Costa Mesa, the most common type of association is an incorporated homeowner's association. This is a corporation in which the members of the corporation vote for a board of directors which

runs the affairs of the corporation. In this case, as a 2-unit small lot development, Code does not require that an HOA be established. The Small Lot Ordinance requires, at a minimum, that CC&Rs be recorded on the property. Because there are no common areas for circulation, parking, or landscape purposes, a condition of approval requires that the CC&Rs shall contain the ground rules related to: architectural control over future building modifications or additions, architectural design and guidelines for the property, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts.

Tentative Parcel Map PM 2016-122

The applicant proposes a parcel map in compliance with the City's Small Lot Subdivision Ordinance to allow the formation of two fee simple lots. The proposed property is suitable to accommodate the proposed small lot subdivision. There are no interferences with the City's or other utility agencies' right-of-way areas and/or easements. The map is consistent with City codes and the State Subdivision Map Act.

Expiration of Projects

Per City Code, planning application approvals are valid for one year unless renewed. Per the State Subdivision Map Act, tentative tract map approvals are valid for 24 months. As a result, staff has incorporated a condition of approval allowing the planning application expiration to coincide with the expiration of the respective map. The planning application and map would expire in 24 months (July 2018). After the initial 24-month period, a time extension for these applications would be required to be processed for another 12-month period.

ENVIRONMENTAL DETERMINATION

The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3), New Construction or Conversion of Small Structures. In urbanized areas, up to three single-family residences may be constructed or converted under the Class 3 exemption.

LEGAL REVIEW

The draft resolutions have been reviewed and approved as to form by the City Attorney's Office.

PUBLIC NOTICE

Pursuant to Title 13, Section 13-29(d), of the Costa Mesa Municipal Code, three types of public notification have been completed no less than 10 days prior to the date of the public hearing:

1. Mailed notice. A public notice was mailed to all property owners within a 500-foot radius of the project site. The required notice radius is measured from the external boundaries of the property. (See attached Notification Radius Map.)
2. On-site posting. A public notice was posted on each street frontage of the project site.

3. Newspaper publication. A public notice was published once in the Daily Pilot newspaper.

ALTERNATIVES

The Planning Commission has the following alternatives:

1. Approve the project with modifications. The Planning Commission may suggest specific changes that are necessary to alleviate concerns. If any of the additional requested changes are substantial, the item should be continued to a future meeting to allow a redesign or additional analysis. In the event of significant modifications to the proposal, should the Planning Commission choose to do so, staff will return with a revised resolution incorporating new findings and/or conditions.
2. Deny the project. If the Planning Commission believes that there are insufficient facts to support the findings for approval, Planning Commission must deny the application and provide facts in support of denial to be included in the attached draft resolution for denial. If the project were denied, the applicant could not submit substantially the same type of application for six months.

CONCLUSION

Approval of the Design Review and Tentative Parcel Map will allow development of a two-unit small lot subdivision. The project is deemed to be a high-quality development; therefore, it is consistent with the intent of the General Plan and Zoning Code. Resolutions for approval and denial of the project are attached for consideration by the Planning Commission.



DAN INLOES, AICP
Senior Planner



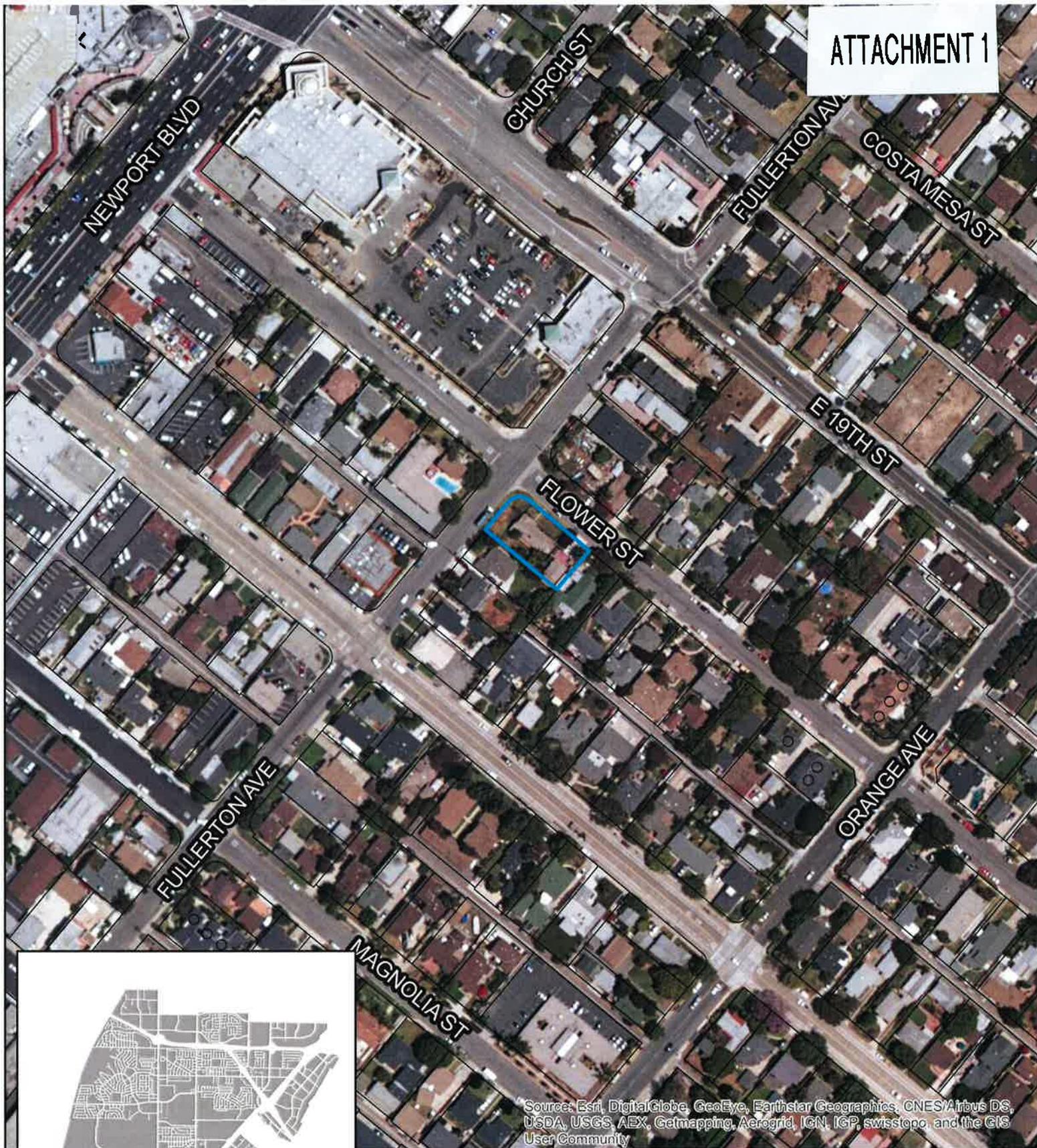
CLAIRE FLYNN, AICP
Assistant Director
Development Services

- Attachments:
1. Vicinity Map, Zoning Map and 500' Radius Map
 2. Existing Color Site Photos
 3. Applicant's Project Description
 4. Draft Planning Commission Resolutions and Exhibits
 5. Project Plans/ Color Elevations/Tentative Parcel Map

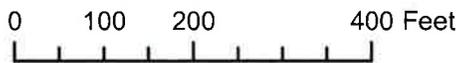
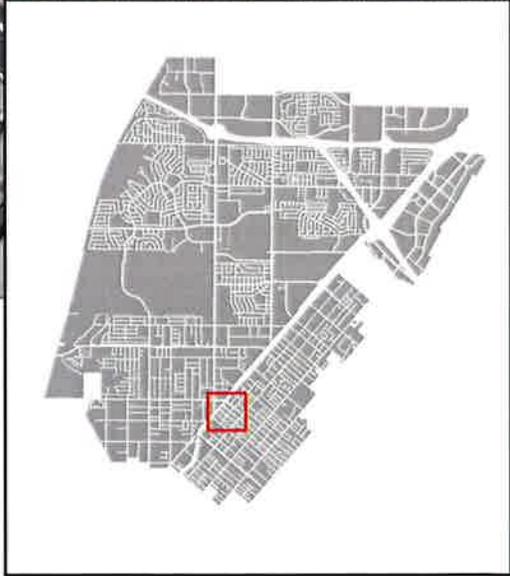
Distribution: Director of Economic & Development Services/Deputy CEO
Senior Deputy City Attorney
Public Services Director
City Engineer
Transportation Services Manager
Fire Protection Analyst
File (2)

Applicant: Gavin Sermon
41146 Elm Street, Suite H
Murrieta, CA 92623

Owner: Tong Tong Glowing Trading & Investment Corp.
2372 Morse Avenue, #416
Irvine, CA 92614



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

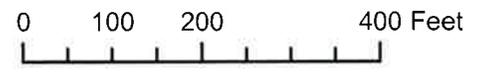
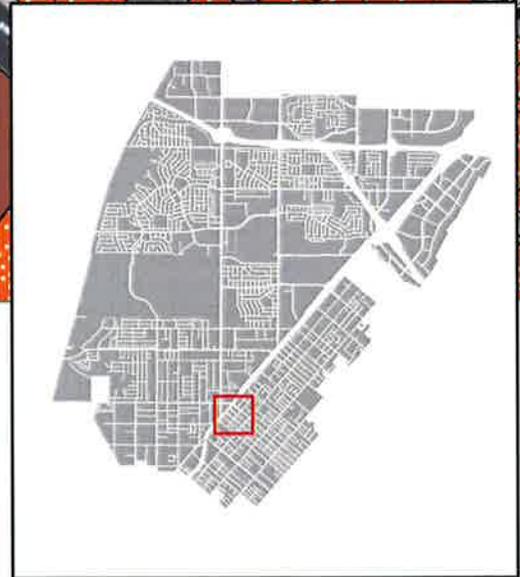


Vicinity of Site
155 Flower Street

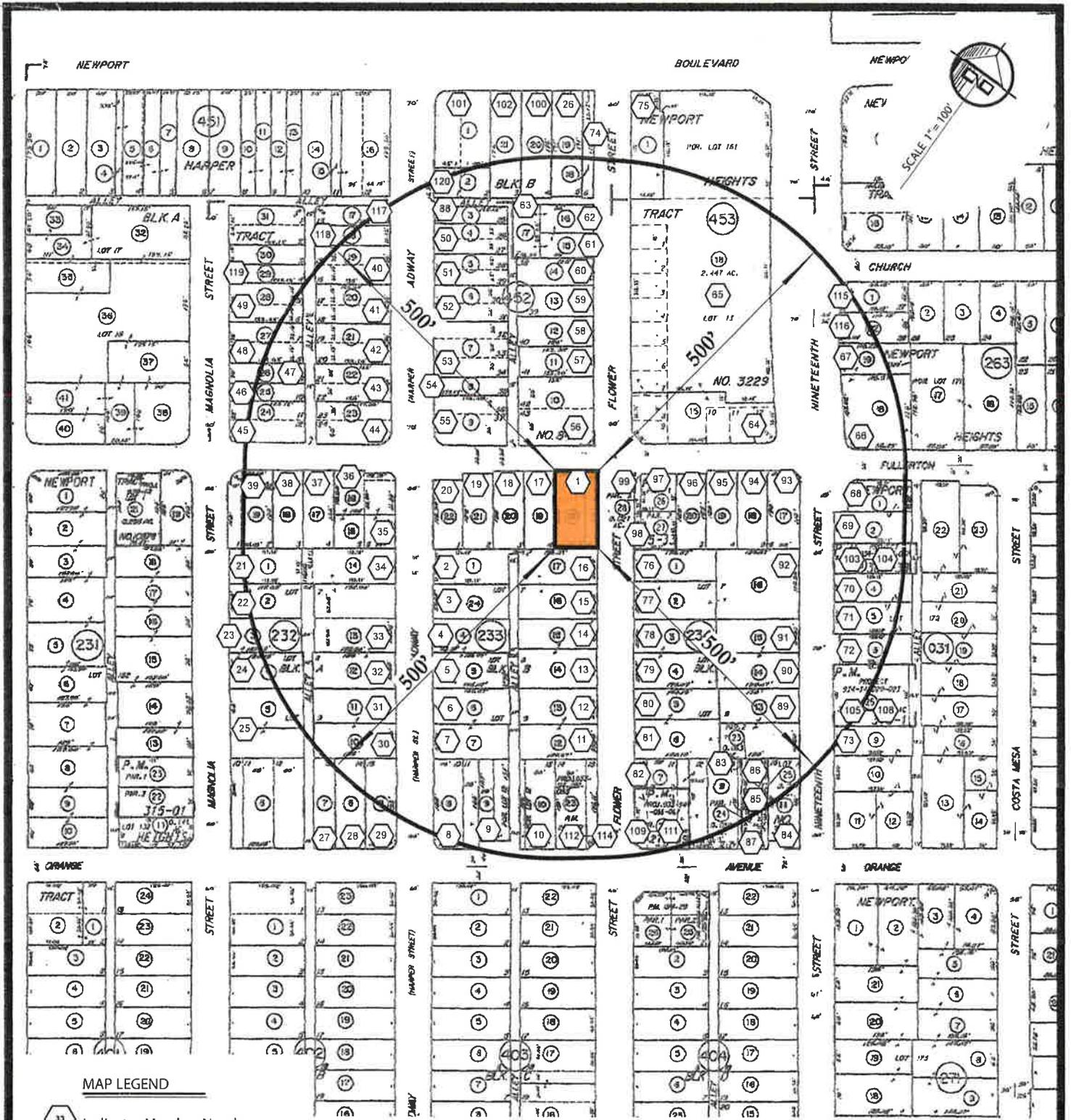




Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community



Zoning of Site
155 Flower Street



MAP LEGEND

-  Indicates Map key Number
-  Indicates Assessor's Parcel Number



Public Notification
Boundary
 For
155 Flower St.
 Costa Mesa CA 92627
 APN 425-233-18
 March 23, 2016
 JN 16048



Neighbor to the East



Project Site



Comercial at intersection of Fullerton and Flower Street.
(Mother's Market)



Neighbor to the West



Neighbor to the South



Neighbor to the North



4/21/16

Owner: Tong Tong Glowing Trading and Investment Corp, Contact - Joe Kaneko (213) 509-9888. bluepine18@gmail.com

Builder: South Pointe Construction, Contact - Gavin Sermon (951) 553-3117
gavin@southpointeinc.com

Project Address: 155 Flower, Costa Mesa (Zoned R2)

Project Description: Tear down existing 1,229 SF single story home. Process subdivision map for "Small Lot Subdivision" for 2 lots. Unit #1: 4 bedroom 3 bath approximately 2366 SF (2 stories) with attached 2 car garage. Unit #2 - 4 bedroom 3 bath approximately 2539 SF (2 Stories) with attached 2 car garage. *NO VARIANCES.*

RESOLUTION NO. PC-16-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING PLANNING APPLICATION PA-16-27 FOR A TWO-UNIT SMALL LOT SUBDIVISION RESIDENTIAL DEVELOPMENT AND TENTATIVE PARCEL MAP NO. PM 2016-122 FOR PROPERTY AT 155 FLOWER STREET IN THE R2-HD ZONE

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Gavin Sermon, authorized agent for the property owner, Tong Tong Glowing Trading & Investment Corp., the property owner, requesting approval of the following:

1. **Planning Application PA-16-27:** Design review to construct a two-unit, two-story, small lot subdivision on a 9,033 square-foot lot in the R2-HD zone. The two-story detached homes are proposed at 2,297 square feet (Unit 1) and 2,513 square feet (Unit 2), and each consist of 4 bedrooms, 3 bathrooms, and a two car garage with minimum interior dimensions of 20 feet by 20 feet. The two-story residential development will be developed per the residential small lot development standards and meets all other development standards.
2. **Tentative Parcel Map TPM 2016-122:** A subdivision in accordance with the small lot subdivision standards to create two fee simple lots.

WHEREAS, a duly noticed public hearing held by the Planning Commission on July 11th, 2016 with all persons having the opportunity to speak for and against the proposal;

WHEREAS, the two-unit project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3), Construction and Conversion of Small Structures.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, and subject to the conditions of approval contained within Exhibit B, the Planning Commission hereby **APPROVES** Planning Application PA-16-27 and Parcel Map PM 2016-122.

the activity as described in the staff report for Planning Application PA-16-27 and Parcel Map PM 2016-122 and upon applicant's compliance with each and all of the conditions in Exhibit B, and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

BE IT FURTHER RESOLVED that if any section, division, sentence, clause, phrase or portion of this resolution, or the documents in the record in support of this resolution, are for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

PASSED AND ADOPTED this 11th day of July, 2016.

Robert L. Dickson Jr., Chair
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS

- A. The proposed project complies with Costa Mesa Municipal Code Section 13-29(g)(14) because:

Finding: The project complies with the City of Costa Mesa Zoning Code and meets the purpose and intent of the Residential Design Guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.

Facts in Support of Findings: The design of the two-story homes complies with the building mass and form, window placement, setbacks, elevation treatments, and architectural consistency guidelines. The proposed residences include elevations with varied roof forms and elevation treatments to enhance visual interest. The buildings are placed on the property with sufficient setbacks to provide private useable open space and minimizes the potential privacy impacts to surrounding properties. The location of the units takes into consideration the side yards of the abutting homes. The residence to south is a single story structure, with two new two-story residences to be constructed to the east; all are approximately 5 feet from the common property lines. The exterior elevations of the proposed homes also incorporate enhanced windows, including a variety of sizes and window trim to provide visual interest. In addition, a required six-foot tall decorative block wall along the perimeter of the development lot will improve the aesthetics of the site and the abutting properties. The project will include consistent architectural design, as each unit includes a combination stucco finish and siding with varying colors, use of vinyl windows, and front porch will be built along the entryways of both units to provide visual interest.

Finding: The visual prominence associated with the construction of a two-story house or addition in a predominantly single-story neighborhood has been reduced through appropriate transitions between the first and second floors and the provision of second floor offsets to avoid flat two-story walls.

Facts in Support of Finding: The subject site is in a neighborhood with both single-story and two-story residences. The proposed project provides variation to street-facing elevations to reduce visual prominence and provide visual interest. Building mass and form were considered, as offsets and building projections were made an integral part of the design. Recesses in building plane have been incorporated into the design to provide visual relief, including a variation in roof forms, orientation and pitch. The two units provide individual and identifiable entries to add interest and variety to the streetscape.

The two story structures are designed with articulation on all elevations to avoid a boxy appearance from the street and neighboring views. Elevations are enhanced with combination of materials, varied roof forms, front entry porches, as well as accents and details. Roofing materials include shingle roofing. The project will include consistent architectural design, as each unit includes siding with varying colors, use of vinyl windows, and front entry porches to provide visual interest.

- B. The proposed project complies with Costa Mesa Municipal Code Section 13-29(g)(13) because:

Finding: The creation of the subdivision and related improvements is consistent with the General Plan and the Zoning Code.

Facts in Support of Finding: The creation of the subdivision is consistent with General Plan Land Use Objectives LU-1A, LU-1A.4, and LU-2A in that adequate infrastructure exists to serve the proposed project; the project promotes homeownership opportunities to improve the balance between renter and owner occupied housing in the City; and the project would not result in the loss of any habitat, or require extensive infrastructure improvements to provide service to the site. The project design complies with development standards of the Small Lot Subdivision Ordinance; however, a Minor Modification is requested to allow for a maximum 20% decrease from the required front yard setback.

Finding: The proposed use of the subdivision is compatible with the General Plan.

Facts in Support of Finding: The proposed project has a density of 10 units per acre, consistent with the General Plan designation of High Density Residential, which allows 14.5 dwelling units per acre.

Finding: The subject property is physically suitable to accommodate the subdivision in terms of type, design, and density of development, and will not result in substantial environmental damage nor public health problems, based on compliance with the Zoning Code and General Plan, and consideration of appropriate environmental information.

Facts in Support of Finding: The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3), New Construction or Conversion of Small Structures. The project complies with the maximum allowed density for the site and provides adequate open space, parking and setbacks from adjacent properties.

Finding: The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code Section 66473.1.

Facts in Support of Finding: The project provides private open space areas under partial roof canopies and incorporates landscaping, such as trees, to

ensure natural and passive heating and cooling from the sun exposure. The project also provides private open space areas under entry porches.

Finding: The subdivision and development of the property will not unreasonably interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.

Facts in Support of Finding: The proposed project does not interfere with the public right of way. Per the Public Services Division, the project will require a 6.2-foot right-of-way dedication along the front property line abutting Fullerton Avenue, for the construction of a sidewalk and ramp along the Fullerton Avenue frontage. Unit 1 will maintain an 18-foot front setback along the newly dedicated ultimate front property line.

Finding: The discharge of sewage from this subdivision into the public sewer system will not violate the requirements of the California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000 of the Water Code).

Facts in Support of Finding: The applicant will be required to comply with all regulations set forth by the Costa Mesa Sanitation District as well as the Mesa Water District.

D. **Finding:** The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3) for New Construction or Conversion of Small Structures.

Facts in Support of Finding: In urbanized areas, up to three single-family residences may be constructed under the Class 3 exemption. The project proposes to construct two residential units and therefore qualifies for a Class 3 exemption.

E. The project is exempt from Chapter XII, Article 3 Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

EXHIBIT B

CONDITIONS OF APPROVAL

- Plng.
1. The expiration of Planning Application PA-16-27 shall coincide with the expiration of the approval of the Tentative Parcel Map PM-16-122 which is valid for two years. An extension request is needed to extend the expiration for each additional year after the initial two-year period.
 2. The conditions of approval for PA-16-27 and Tentative Parcel Map PM-16-122 shall be blueprinted on the face of the site plan as part of the plan check submittal package. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
 3. With specific regard to the interior fencing between the two new homes (not outside development lot perimeter), the applicant shall submit a detailed wall and fence plan for review. The location and heights of fences/walls shall comply with Code requirements, as well as any visibility standards for traffic safety related to ingress and egress. The private, interior fences or walls between the homes shall be a minimum of six feet in height.
 4. Where walls on adjacent properties already exist, the applicant shall work with the adjacent property owner(s) to prevent side-by-side walls with gaps in between them and/or provide adequate privacy screening by trees and landscaping.
 5. Prior to issuance of grading permits, developer shall submit for review and approval a Construction Management Plan. This plan features methods to minimize disruption to the neighboring residential uses to the fullest extent that is reasonable and practicable. The plan shall include construction parking and vehicle access and specifying staging areas and delivery and hauling truck routes. The plan should mitigate disruption to residents during construction. The truck route plan shall preclude truck routes through residential areas and major truck traffic during peak hours. The total truck trips to the site shall not exceed 200 trucks per day (i.e., 100 truck trips to the site plus 100 truck trips from the site) unless approved by the Development Services Director or Transportation Services Manager.
 6. The subject property's ultimate finished grade level may not be filled/raised in excess of 30 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site storm water flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. Such alternatives may include subsurface tie-in to public storm water facilities, subsurface drainage collection systems and/or sumps with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties. Applicant is advised that recordation of a drainage easement across the private street may be required to fulfill this requirement.

7. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
8. No modification(s) of the approved building elevations including, but not limited to, change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process or a variance, or in the requirement to modify the construction to reflect the approved plans.
9. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
10. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.
11. The windows for this proposed project shall not result in privacy concerns with the proposed project at 163 Flower (PA-16-28) which is being constructed to the east of this property. A site plan with second story windows for both projects shall be provided prior to plan check to ensure there are no conflicts.
12. Submit subdivision application and comply with conditions of approval and code requirements.
13. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa.
14. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.

Eng.

15. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
16. The Parcel Map shall be developed in full compliance of CCMMC Sec. 13-208 through 13-261 inclusive.
17. Release and relinquish all vehicular and pedestrian access rights to Fullerton Avenue and Flower Street to the City of Costa Mesa except at approved locations.
18. Submit an electronic copy of recorded map or signed plan to Engineering Division, City of Costa Mesa, prior to occupancy.
19. Prior to recordation of a final map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor and shall submit to the City Engineer and the County Surveyor a digital-graphic file of said map in a manner described in Subarticle 11/12, Sections 7-9-330/7-9-337 of the Orange County Subdivision Code.
20. Dedicate the necessary easement on Fullerton Avenue for street and sidewalk purposes as required by the City Engineer to provide for the construction of sidewalks along Fullerton Avenue frontage.
21. Dedicate corner cut off for the construction of the ramp at the corner of Fullerton Avenue and Flower Street.

CODE REQUIREMENTS

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
 2. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
 3. Development shall comply with all requirements of Section 13-32 and Article 2.5, Title 13, of the Costa Mesa Municipal Code relating to development standards for residential projects.
 4. All on-site utility services shall be installed underground.
 5. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and

- shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
6. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
 7. Two sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
 8. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
 9. Prior to issuance of occupancy permits, the Developer shall pay a park impact fee or dedicate parkland to meet the demands of the proposed development.
 10. No lot may be sold, leased, or financed, nor shall permits be issued or construction commenced prior to the recordation of the final map with the County Recorder. Building permits may be issued and construction may be commenced prior to recordation of the final map only with prior approval from the Development Services Director.
 11. The Homeowner's Association or Maintenance Association, as applicable, shall submit a signed affidavit to the City of Costa Mesa on an annual basis to certify the following:
 - a. The two-car garages in the residential community are being used for vehicle parking by the resident(s).
 - b. The vehicle parking areas within the garage are not obstructed by storage items, including but not limited to, toys, clothing, tools, boxes, equipment, etc.
 - c. The resident(s) have consented to voluntary inspections of the garage to verify the parking availability, as needed.

The form and content of the affidavit shall be provided by the City Attorney's office. Failure to file the annual affidavit is considered a violation of this condition.

12. Prior to issuance of a certificate of occupancy, the applicant shall file and record a declaration of covenants, conditions, and restrictions (CC&Rs) on the property. The establishment of a Homeowner's Association is optional. Prior to issuance of a building permit, a draft of the CC&Rs shall be remitted to the Development Services Director and City Attorney's office for review and approval. Because there are no common areas for circulation, parking, or landscape purposes, the CC&Rs shall be limited to the ground rules related to: architectural control over future building modifications or additions, architectural design and guidelines for the property, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts. The Development Services Director has the discretion to request any other provisions in the CC&Rs to promote self-governance between the two property owners.

13. The Homeowner's Association or Maintenance Association, as applicable, shall submit a signed affidavit to the City of Costa Mesa on an annual basis to certify the following:
 - d. The two-car garages in the residential community are being used for vehicle parking by the resident(s).
 - e. The vehicle parking areas within the garage are not obstructed by storage items, including but not limited to, toys, clothing, tools, boxes, equipment, etc.
 - f. The resident(s) have consented to voluntary inspections of the garage to verify the parking availability, as needed.

The form and content of the affidavit shall be provided by the City Attorney's office. Failure to file the annual affidavit is considered a violation of this condition.

14. A minimum 20-foot by 20-foot clear inside dimension shall be provided for the two-car garages. The proposed garages shall be used for parking as required by code as it is not habitable space; further excess storage which prevents parking the required number of vehicles is prohibited.
- Bldg. 15. Comply with the requirements of the adopted 2013 California Residential Code, 2013 California Building Code, 2013 California Electrical code, 2013 California Mechanical code, 2013 California Plumbing code, 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted, California Residential Code, California Building code, California Electrical code, California Mechanical code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
16. Submit precise grading plans, an erosion control plan and a hydrology study. If it is determined that a grading plan is not required, a drainage plan shall be provided. Each parcel and address shall have a separate precise grading plan. A precise grading and a hydrology report plan shall not be required if any of the following are met:
 - 1- An excavation which does not exceed 50 CY on any one site and which is less than 2 ft in vertical depth, or which does not create a cut slope greater than 1 ½:1 (excluding foundation area).
 - 2- A fill less than 1 foot in depth placed on natural grade with a slope flatter than 5:1, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
 - 3- A fill less than 3 ft. in depth, not intended to support structures, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
17. Submit a soil's report for the project. Soil's Report recommendations shall be blueprinted on both the architectural and the precise grading plans.
18. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge device a minimum of 12 inches plus two percent (2%). 2013 California Residential Code CRC 403.1.7.3
19. Lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of six inches within the first ten feet. CRC R401.3

- 20. Projections, including eaves, shall be one-hour fire resistive construction, heavy timber or of noncombustible material if they project into the five foot setback area from the property line. They may project a maximum of 12 inches beyond the three foot setback. CRC Tables R302.1(1) and R302.1(2).
- Fire 21. Prior to the issuance of a Building Permit, the City of Costa Mesa Fire Department shall review and approve the project design features to assess compliance with the California Building Code and California Fire Code.
- 22. The project shall provide an automatic fire sprinkler system according to NFPA 13D.
- 23. Street addresses shall be visible from the public street and may be displayed either on the front door, on the fascia adjacent to the main entrance, or on another prominent location. When the property has alley access, address numerals shall be displayed in a prominent location visible from the alley. Numerals shall be a minimum six (6) inches in height with not less than one-half-inch stroke and shall contrast sharply with the background.
- Trans. 24. Construct residential driveway approach at locations specified on submitted site plan. Drive approach dimensions shall be W=16 feet, X=4 feet, per City Standards.
- 25. Close unused drive approaches with full height curb and gutter per City Standards.
- Eng. 26. Two copies of the Final Map and one copy of the Property Boundary closure calculations shall be submitted to the City of Costa Mesa Engineering Division for checking.
- 27. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and construct P.C.C. driveway approaches per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager. ADA compliance required for new driveway approaches.
- 28. Fulfill Drainage Fee requirements per City of Costa Mesa Ordinance No. 06-19 prior to approval of Final Map/Approval of Plans.
- 29. Obtain permit from the City of Costa Mesa, Engineering Division to remove existing driveway and/or curb depression that will not be used and replace with full height curb and 4'-4" wide sidewalk per the approved offsite improvement plans. All work shall meet the City of Costa Mesa Standards and ADA requirements.
- 30. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and construct 4'-4" wide P.C.C. sidewalk per City of Costa Mesa standards along the entire frontages for both Fullerton Avenue and Flower street. A minimum of 4ft clearance shall be provided around existing and proposed obstructions.
- 31. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and construct P.C.C. handicap ramp at the corner of Fullerton Avenue and Flower Street. All work shall meet the City of Costa Mesa Standards and ADA requirements
- 32. Survey Monuments shall be preserved and referenced or set pursuant to Section 8771 of the Professional Land Surveyors Act and Business and Professional code.

33. Submit cash deposit or surety bond to guarantee monumentation prior to approval of the map. Amount to be determined by City Engineer.
34. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
35. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
36. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
37. A Construction Access Permit and deposit of \$580 will be required by City of Costa Mesa, Engineering Division, prior to start of any on-site work, necessary during construction for street sweeping and to guarantee replacement costs in case of damage to existing public improvements.
38. In order to comply with the 2003 Drainage Area Management Plan (DAMP), the proposed Project shall prepare a Water Quality Management Plan conforming to the Current National Pollution Discharge Elimination System (NPDES) and the Model WQMP, prepared by a Licensed Civil Engineer or Environmental Engineer, which shall be submitted to the Department of Public Works for review and approval.
 - a) A WQMP (Priority or Non-Priority) shall be maintained and updated as needed to satisfy the requirements of the adopted NPDES program. The plan shall ensure that the existing water quality measures for all improved phases of the project are adhered to.
 - b) Location of BMPs shall not be within the public right-of-way.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- | | |
|-------|--|
| Sani. | <ol style="list-style-type: none"> 1. Applicant will be required to construct sewers to serve this project, at his own expense, meeting the approval of the Costa Mesa Sanitary District. 2. County Sanitation District fees, fixture fees, inspection fees, and sewer permit are required prior to installation of sewer. To receive credit for buildings to be demolished, call (949) 654-8400. 3. Applicant shall submit a plan showing sewer improvements that meets the District Engineer's approval to the Building Division as part of the plans submitted for plan check. 4. The applicant is required to contact the Costa Mesa Sanitary District at (949) 654-8400 to arrange final sign-off prior to certificate of occupancy being released. 5. Unless an off-site trash hauler is being used, applicant shall contact the Costa Mesa Sanitary District at (949) 654-8400 to pay trash collection |
|-------|--|

program fees and arrange for service for all new residences. Residences using bin or dumpster services are exempt from this requirement.

6. Applicant shall contact Costa Mesa Sanitary District at (949) 654-8400 for any additional district requirements.
- AQMD 7. Applicant shall contact the Air Quality Management District (AQMD) at (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.
- School 8. Pay applicable Newport Mesa Unified School District fees to the Building Division prior is issuance of building permits.
- State 9. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
- Water 10. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District.
11. Prior to the issuance of a connection permit, the applicant shall pay the applicable water connection fees.

RESOLUTION NO. PC-16-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA DENYING PLANNING APPLICATION PA-16-27 AND PARCEL MAP PM 2016-122 FOR PROPERTY AT 155 FLOWER STREET IN THE R2-HD ZONE

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Gavin Sermon, authorized agent for the property owner, Tong Tong Glowing Trading & Investment Corp., the property owner, requesting approval of the following:

1. **Planning Application PA-16-27:** Design review to construct a two-unit, two-story, small lot subdivision on a 9,033 sq. ft. lot in the R2-HD zone. The two-story detached homes are proposed at 2,297 square feet (Unit 1) and 2,513 square feet (Unit 2), and each consist of 4 bedrooms, 3 bathrooms, and a two car garage with minimum interior dimensions of 20 feet by 20 feet. The two-story residential development will be developed per the residential small lot development standards with the following deviation from code requirements:
 - a. Minor modification for front yard setback distance along Fullerton Avenue (20 feet required; 18 feet proposed).

The project meets all other development standards.

2. **Parcel Map PM 2016-122:** A subdivision in accordance with the small lot subdivision standards to create two fee simple lots.

WHEREAS, a duly noticed public hearing held by the Planning Commission on July 11, 2016 with all persons having the opportunity to speak for and against the proposal;

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, the Planning Commission hereby **DENIES** Planning Application PA-16-22 and Parcel Map PM 2016-122.

DENIED this 11th day of July, 2016.

Robert L. Dickson Jr., Chair
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS (DENIAL)

- A. The proposed project does not comply with Costa Mesa Municipal Code Section 13-29(e) because:
1. A compatible and harmonious relationship does not exist between the proposed use and existing buildings, site development, and uses on surrounding properties.
 2. The proposed project does not comply with the performance standards as prescribed in the Zoning Code.
 3. The proposed project is not consistent with the General Plan or Zoning Code.
- B. The proposed project does not comply with Costa Mesa Municipal Code Section Code Section 13-29(g)(13) because:
1. There creation of the subdivision and related improvements is not consistent with the General Plan, any applicable specific plan, and this Zoning Code.
 2. The proposed use of the subdivision is not compatible with the General Plan.
 3. The subject property is not physically suitable to accommodate the subdivision in terms of type, design and density of development, and will result in substantial environmental damage or public health problems, based on noncompliance with the Zoning Code and General Plan, and consideration of appropriate environmental information.
 4. The design of the subdivision does not provide for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code Section 66473.1.
 5. The division and development will interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.
 6. The discharge of sewage from this land division into the public sewer system will violate the requirements of the State Regional Water Quality Control Board pursuant to Division 7 (commencing with State Water Code Section 13000).
- C. The information presented does not comply with Costa Mesa Municipal Code Section 13-29(14) in that the project does not meet the purpose and intent of the Residential Design Guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.
- D. The subdivision of the property is not consistent with the City's General Plan and Zoning Code.
- E. The Costa Mesa Planning Commission has denied Planning Application PA-16-27 and Tentative Parcel Map No. PM-2016-122. Pursuant to Public Resources Code Section 21080(b)(5) and CEQA Guidelines Section 15270(a) CEQA does not apply to this project because it has been rejected and will not be carried out.

- F. The project is exempt from Chapter IX, Article 11, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.



RESIDENTIAL SMALL LOT SUB DIVISION

155 Flower St.
Costa Mesa, Ca. 92627



LOT SIZE	
RECTANGULAR ZONING	0.033 00 SQ. FT.
NUMBER OF STORIES 2	
BUILDING FLOOR AREA CALCULATIONS	
NEW LIVING AREA - 1ST FLOORS	2028 SQ. FT.
NEW LIVING AREA - 2ND FLOORS	2768 SQ. FT.
TOTAL UNIT LIVING AREA	4809 SQ. FT.
OTHER STRUCTURES	
ATTACHED 2-CAR GARAGES	868 SQ. FT.
TOTAL DETACHED STRUCTURES	868 SQ. FT.
OUTDOOR LIVING AREA	
NEW DECKS	103 SQ. FT.
NEW PORCHES	120 SQ. FT.
TOTAL OUTDOOR LIVING AREA	223 SQ. FT.
LOT COVERAGE AREA S.F. PERCENTAGE	
LOT AREA	9,033.00
BUILDING OUTLINE	2,026.00 22.46%
OTHER STRUCTURES	868.00 9.61%
DRIVEWAYS	1,064.00 11.78%
OUTDOOR LIVING AREAS	323.00 3.58%
TOTAL	4,281.00 47.43%
TOTAL OPEN AREA	4,752.00 52.57%

PROJECT SUMMARY

Unit	Name	Area
Unit-1		
Building Floor Area Calculations		
Unit-1	1st Floor Living	912 SF
Unit-1	2nd Floor Living	1385 SF
Building Floor Area Calculations		2297 SF
Other Structures		
Unit-1	Garage	464 SF
Other Structures		464 SF
Outdoor Living Area		
Unit-1	Porch	111 SF
Outdoor Living Area		111 SF
Unit-2		
Building Floor Area Calculations		
Unit-2	1st Floor Living	1117 SF
Unit-2	2nd Floor Living	1395 SF
Building Floor Area Calculations		2513 SF
Other Structures		
Unit-2	Garage	404 SF
Other Structures		404 SF
Outdoor Living Area		
Unit-2	Porch	109 SF
Unit-2	Deck	103 SF
Outdoor Living Area		212 SF
Grand total		6001 SF

VICINITY MAP



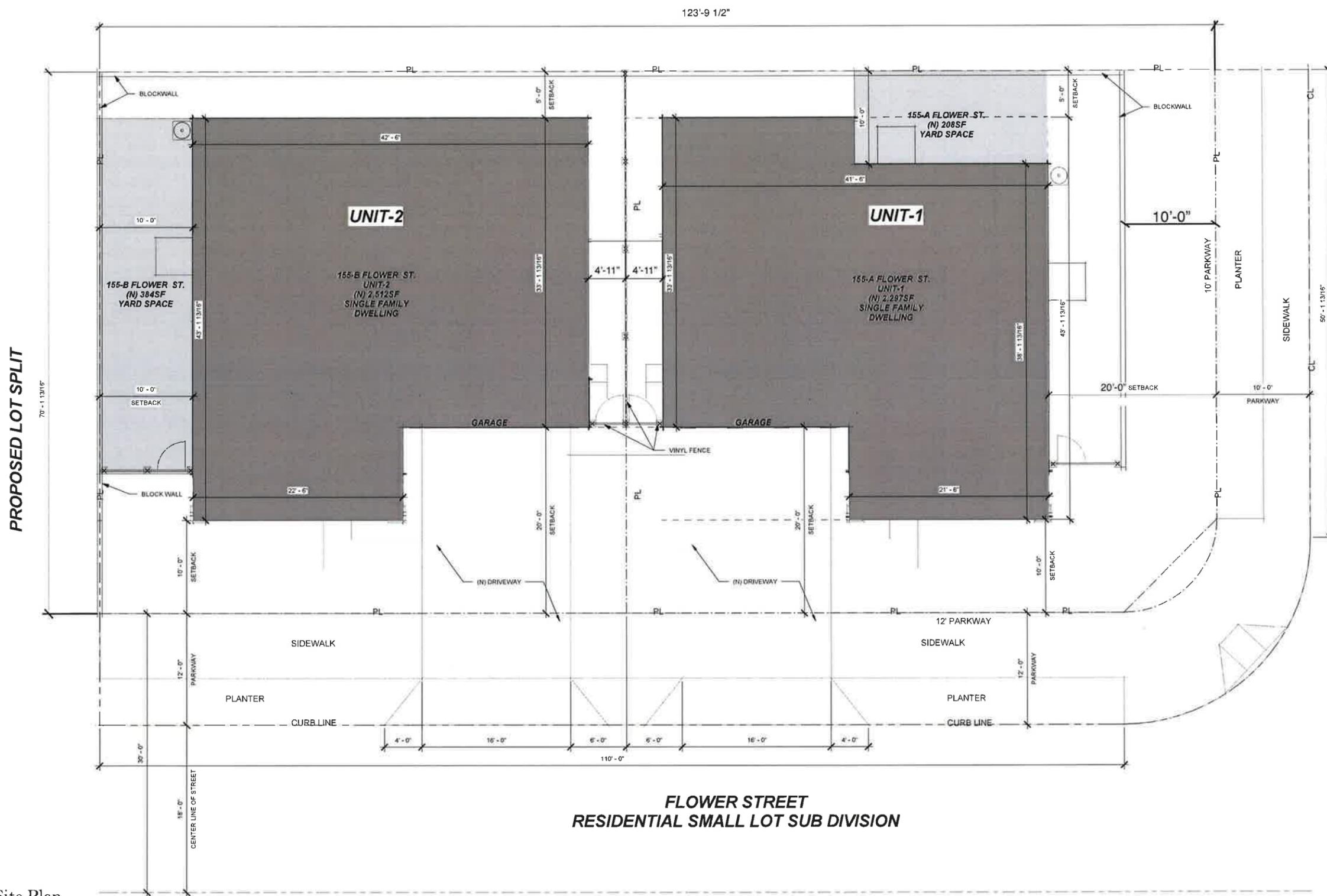
Sheet List

Sheet Number	Sheet Name
DD1	Cover Sheet
DD2b	Site Plan Detailed
DD3a	Unit - 1 Floor Plans
DD3b	Unit 1 Elevations
DD4a	Unit - 2 Floor Plans
DD4b	Unit 2 Elevations
DD5	Unit 1 & 2 Roof Plans
DD6	Unit 1 & 2 Landscape Plan
Grand total: 8	

Planning Commission Presentation

155 Flower St.
Costa Mesa, Ca. 92627

OWNER
155 Flower
Cover Sheet
DD1



Site Plan
Proposed
3/16" = 1'-0"

Planning Commission Presentation

155 Flower St.
Costa Mesa, Ca. 92627

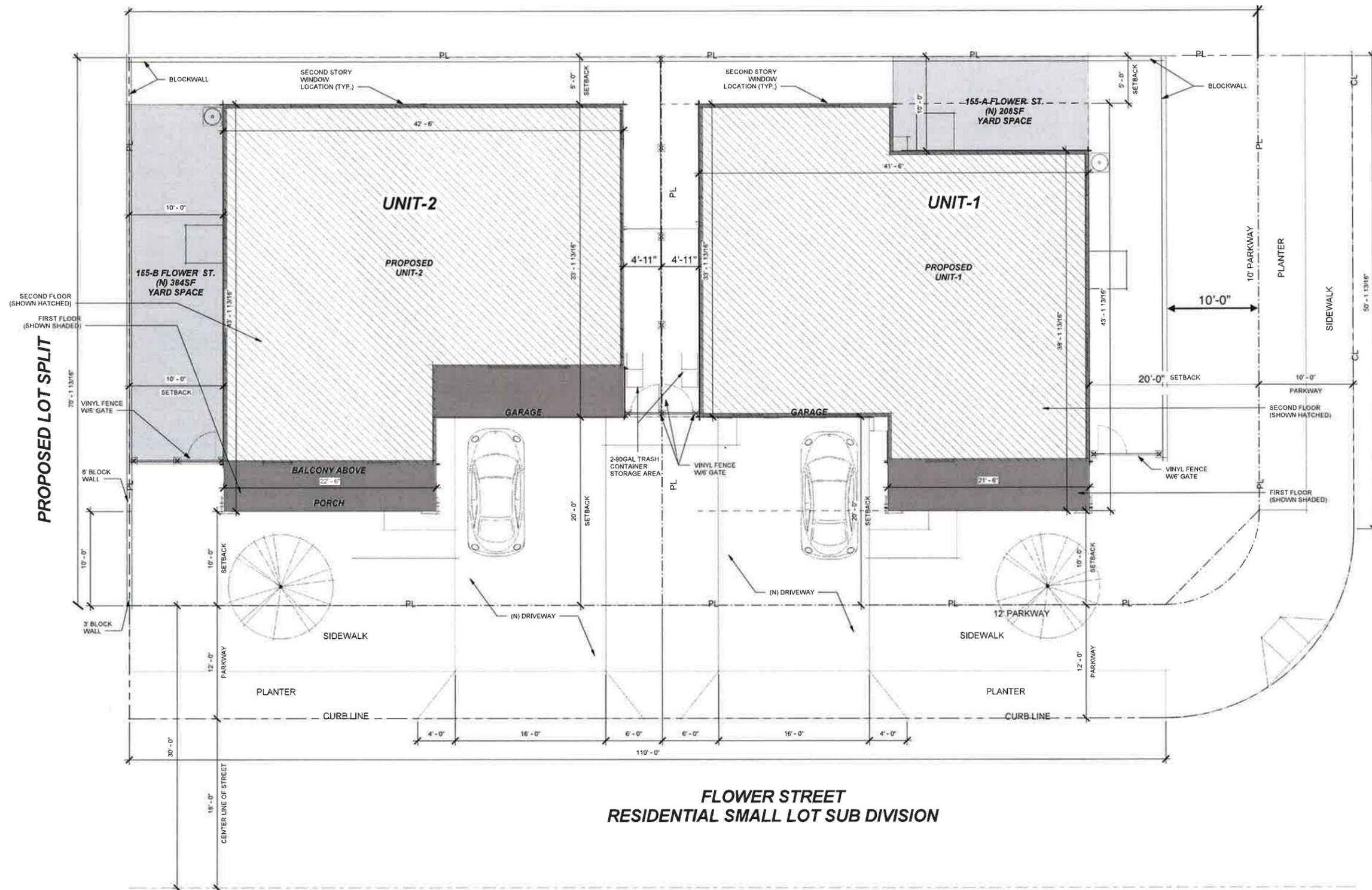
OWNER
Joe Haukeo

155 Flower
Site Plan

DD2a



123'-9 1/2"



**FLOWER STREET
 RESIDENTIAL SMALL LOT SUB DIVISION**

FULLERTON AVENUE

Planning Commission Presentation
155 Flower St.
 Costa Mesa, Ca. 92627

Site Plan
 Detailed

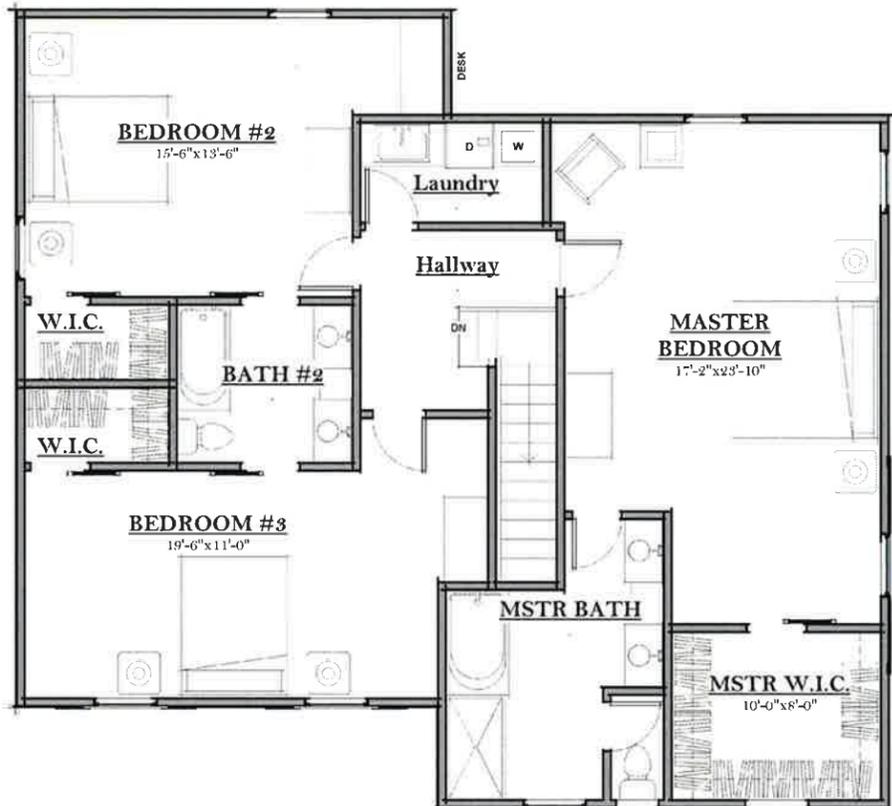
3/16" = 1'-0"

NESTOR TERRILL
 PROJECT DESIGNER

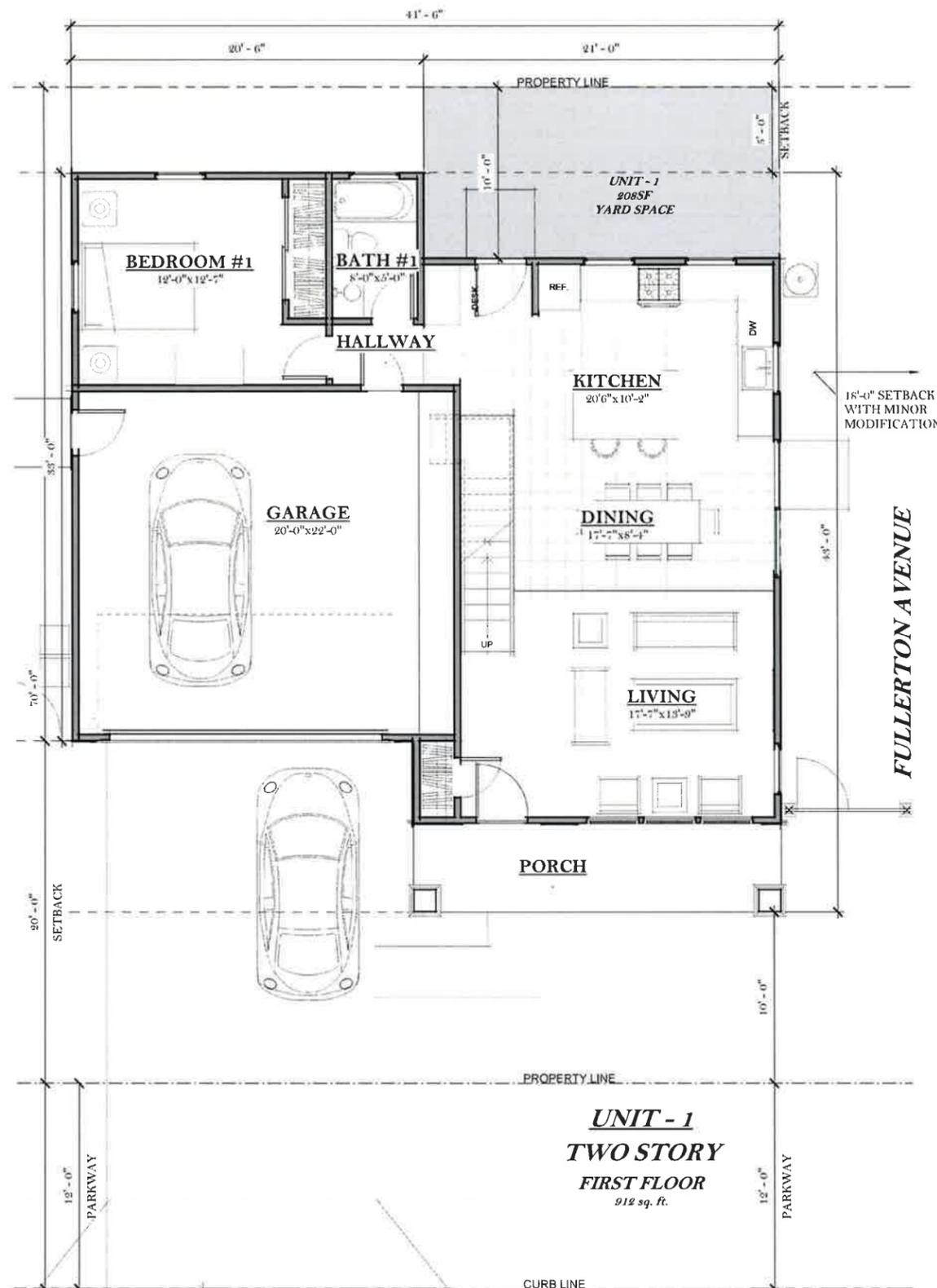
Project number 2016155Flower
 Date 06/27/2016
 Drawn by NT

36

OWNER
 Joe Rancho
 155 Flower
 Site Plan Detailed
DD2b



UNIT - 1
TWO STORY
SECOND FLOOR
1,385 sq. ft.



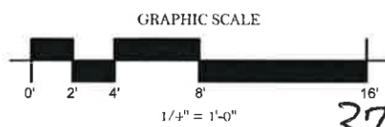
UNIT - 1
TWO STORY
FIRST FLOOR
912 sq. ft.

155 FLOWER STREET
RESIDENTIAL SMALL LOT
SUB DIVISION

18'-0"
TO CENTERLINE OF STREET

FLOWER STREET

Second Floor	1,385 sq. ft.
First Floor	912 sq. ft.
Living Area	2,297 sq. ft.
Garage	464 sq. ft.
Total	2,761 sq. ft.



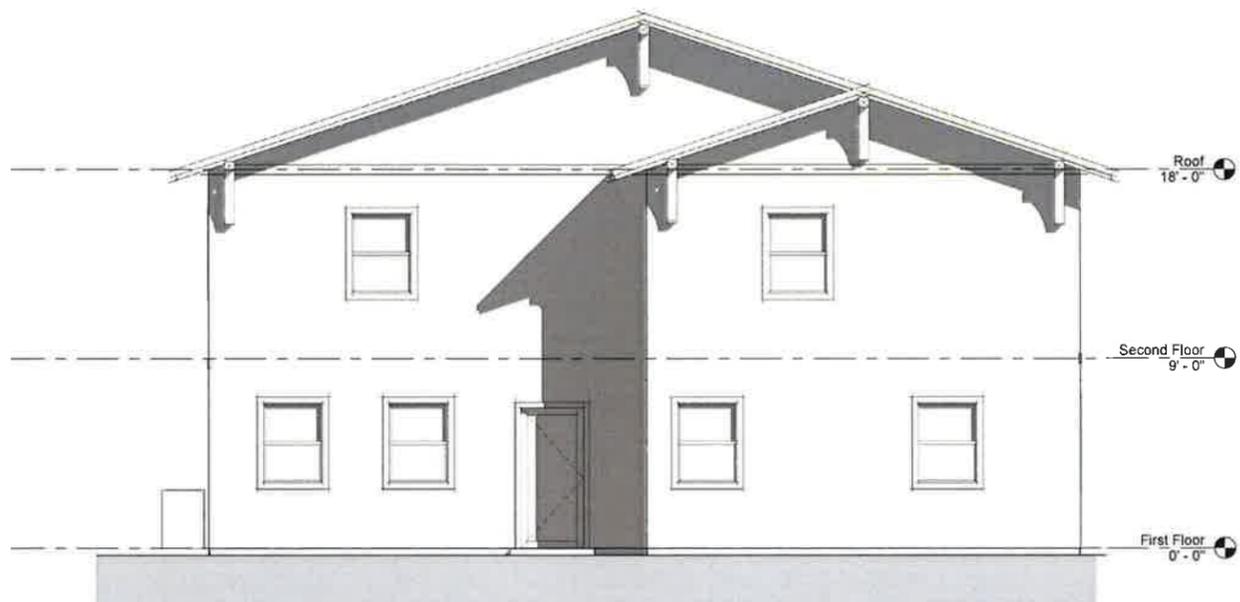
Planning Commission Presentation

155 Flower St.
Costa Mesa, Ca. 92627

OWNER
Joe Limerko

155 Flower
Unit - 1 Floor Plans

DD3a



Unit -1 West
1/4" = 1'-0"



Unit -1 North
1/4" = 1'-0"



Unit -1 South
1/4" = 1'-0"

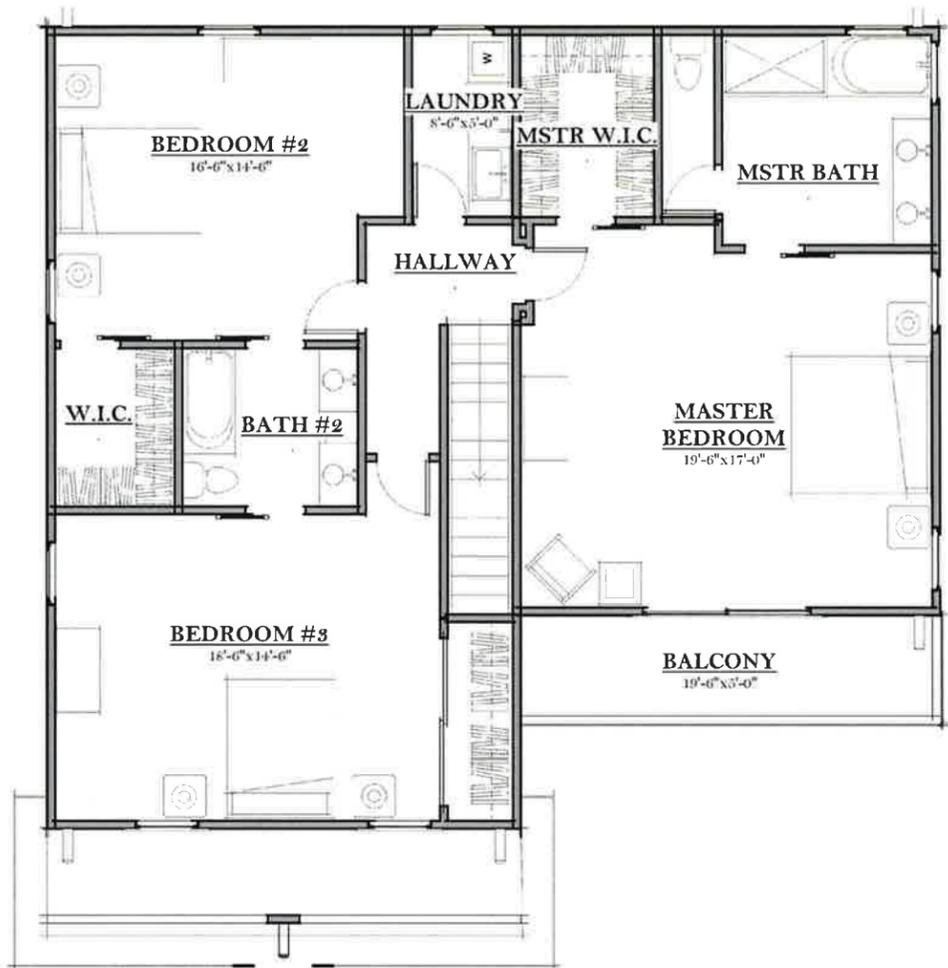


Unit -1 East
1/4" = 1'-0"

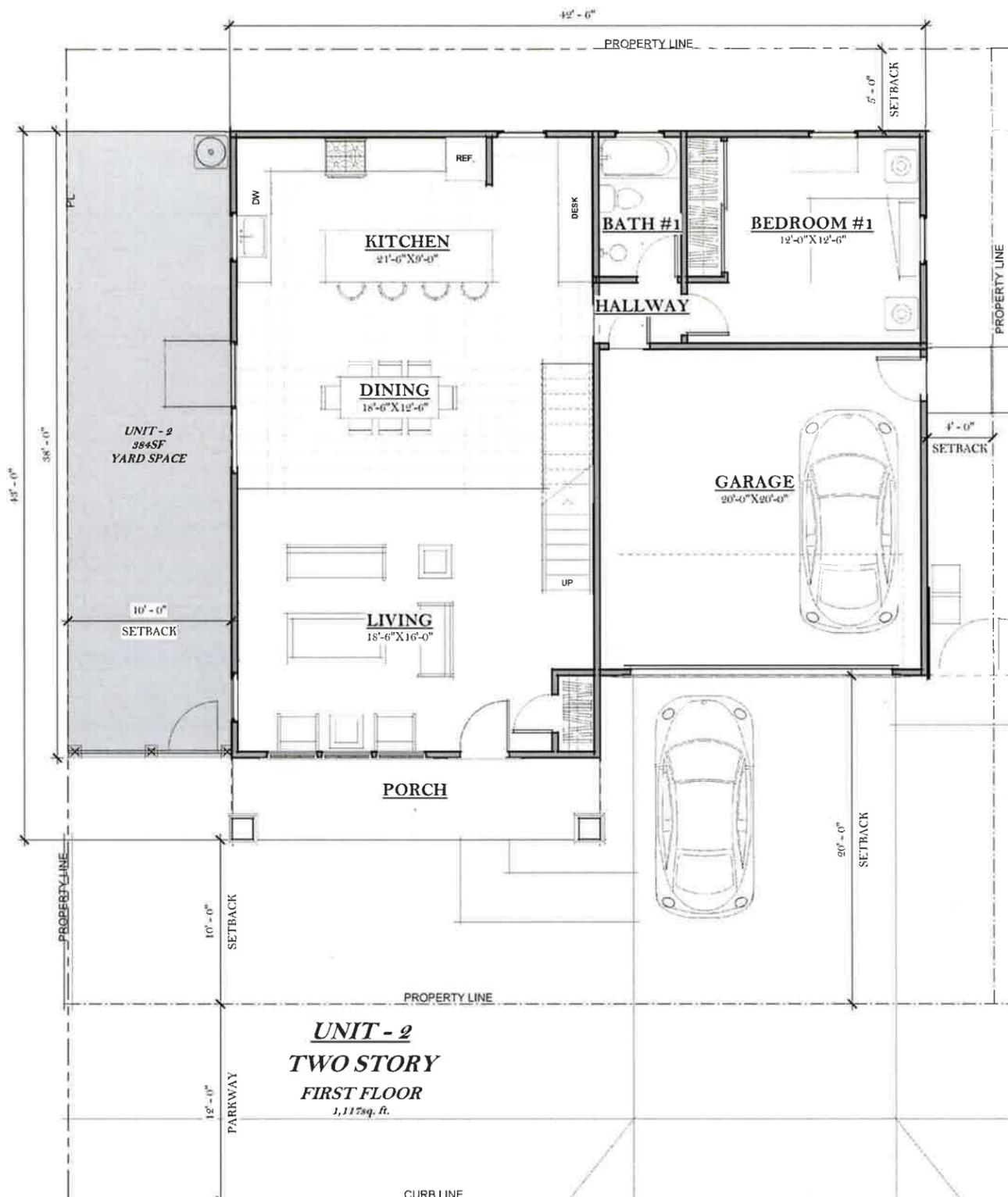
Planning Commission Presentation

155 Flower St.
Costa Mesa, Ca. 92627

OWNER
Joe Kameko
155 Flower
Unit 1 Elevations
DD3b



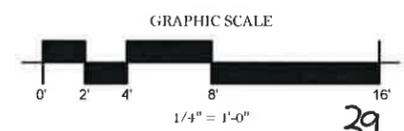
UNIT - 2
TWO STORY
SECOND FLOOR
1,395sq. ft.



UNIT - 2
TWO STORY
FIRST FLOOR
1,117sq. ft.

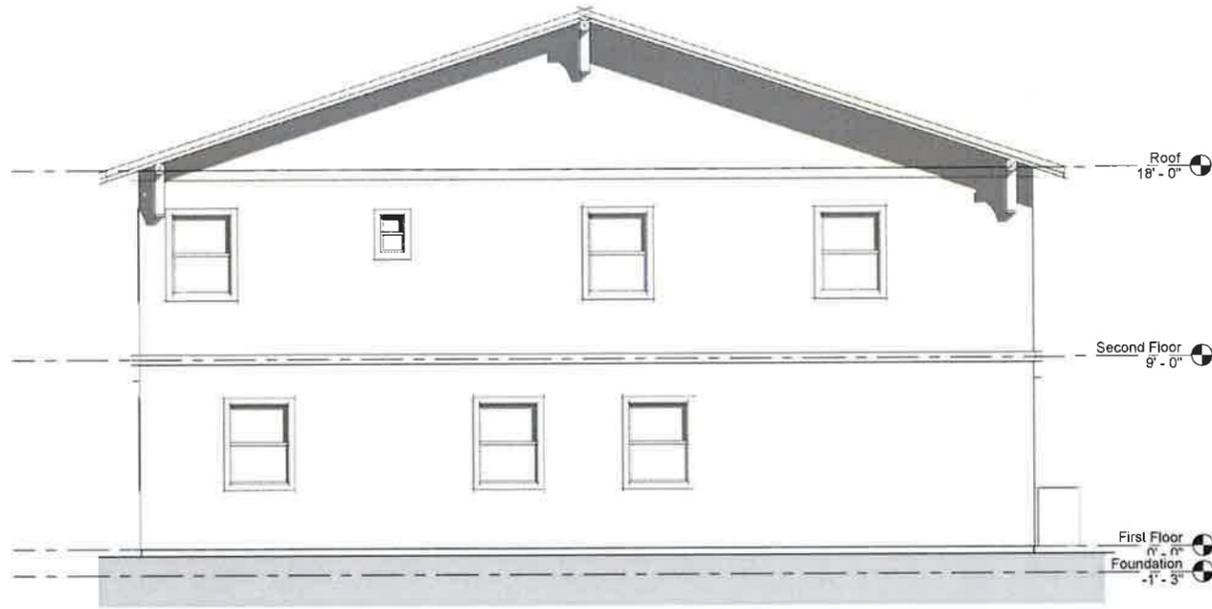
Second Floor	1,395 sq. ft.
First Floor	1,117 sq. ft.
Living Area	2,512 sq. ft.
Garage	404 sq. ft.
Total	2,916 sq. ft.

155 FLOWER STREET
RESIDENTIAL SMALL LOT
SUB DIVISION



Planning Commission Presentation
155 Flower St.
Costa Mesa, Ca. 92627

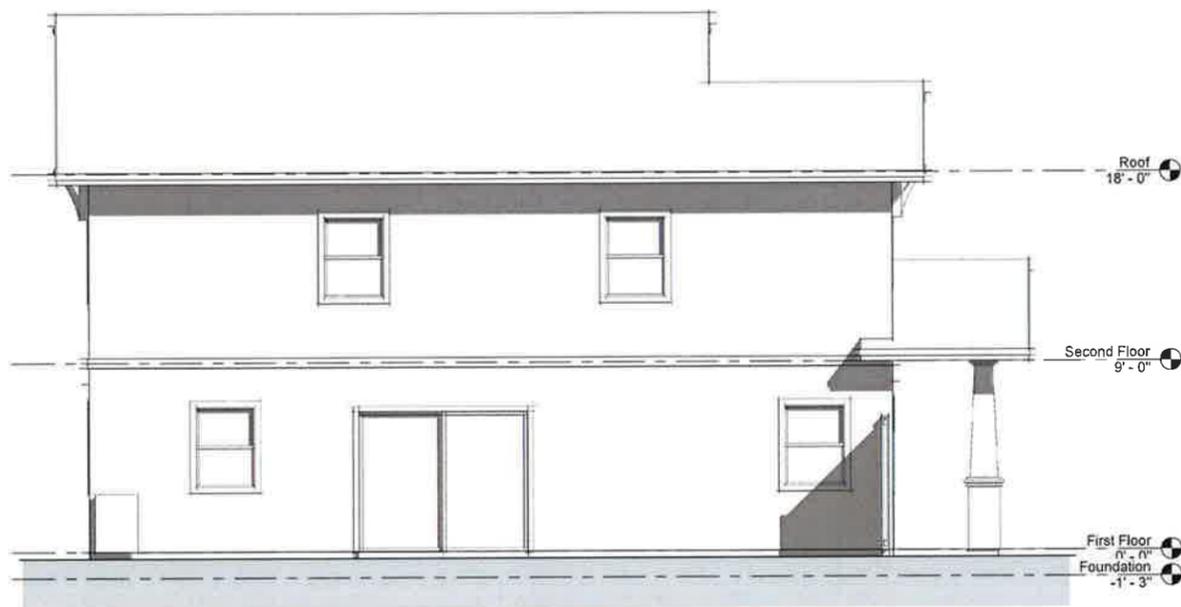
OWNER
Joe Ranccho
155 Flower
Unit - 2 Floor Plans
DD4a



Unit -2 West
DD
1/4" = 1'-0"



Unit -2 North
DD
1/4" = 1'-0"



Unit -2 South
DD
1/4" = 1'-0"



Unit -2 East
DD
1/4" = 1'-0"

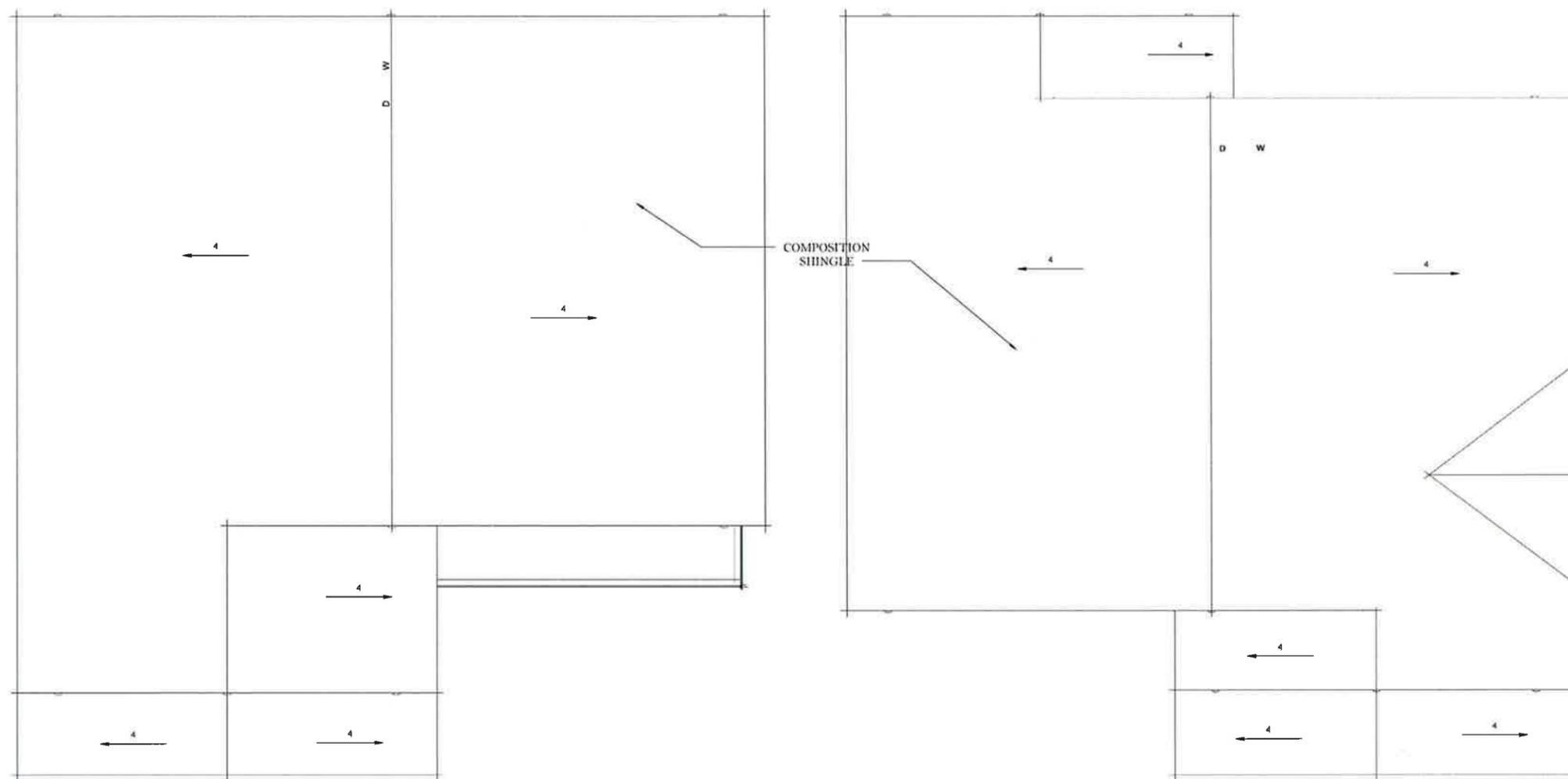
Planning Commission Presentation

155 Flower St.
Costa Mesa, Ca. 92627

OWNER
Joe Kaurko

155 Flower
Unit 2 Elevations

DD4b

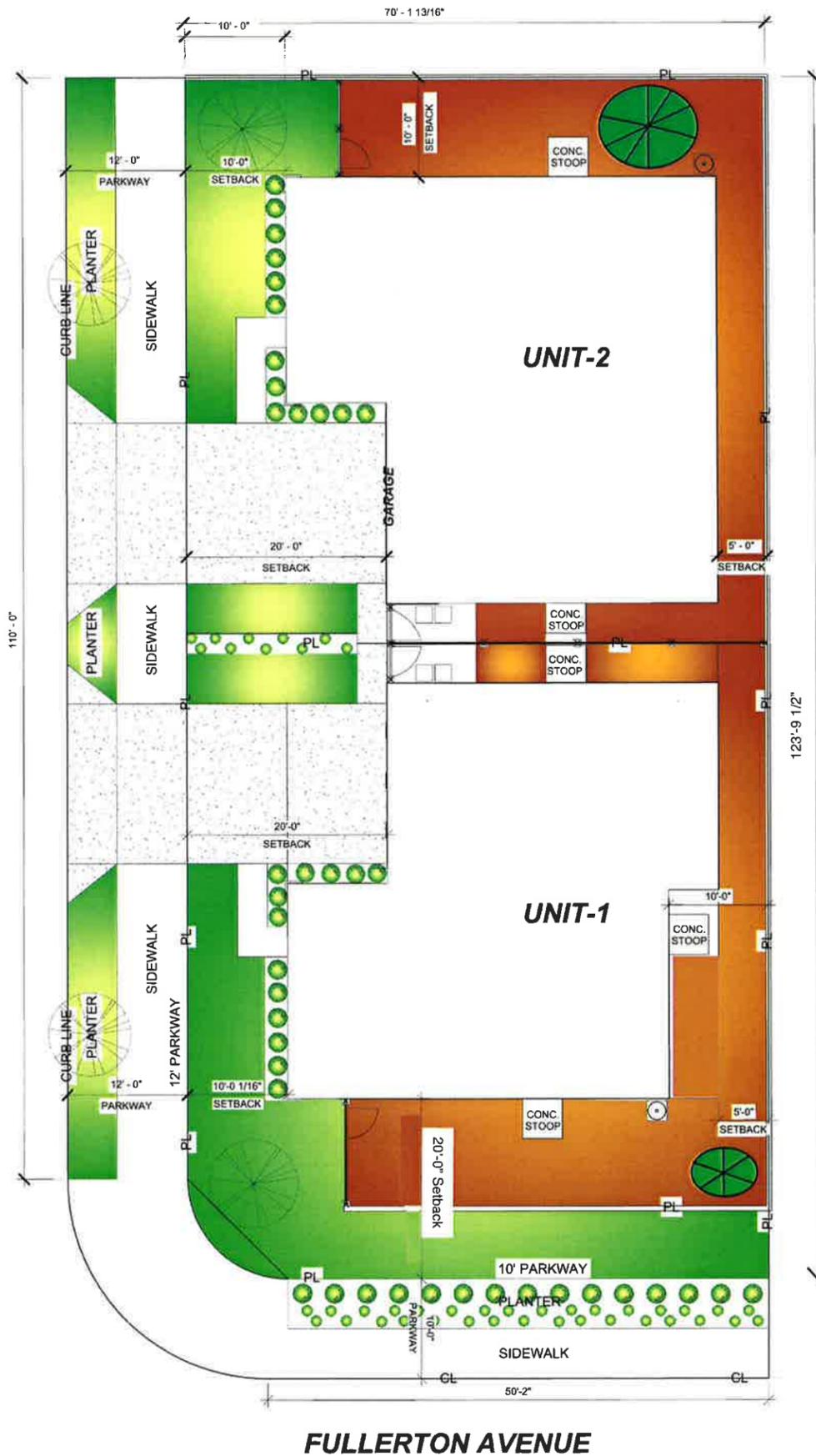


UNIT -2 ROOF PLAN

UNIT -1 ROOF PLAN

Planning Commission Presentation
155 Flower St.
Costa Mesa, Ca. 92627

**FLOWER STREET
 RESIDENTIAL SMALL LOT SUB DIVISION**



	LAGERSTOEMIA INDICA "WATERMELON RED" CRAPE MYRTLE "WATERMELON RED" 24" BOX QTY. 6	MULTI STEM FULL SUN
	GARDENIA JASMINOIDES "VEITCH" EVERBLOOMING GARDENIA 5 GALLON QTY. (41)	3'X3' FULL SUN
	AGAPANTHUS AFRICANUS "PETER PAN" DWARF LILY OF THE NILE 1 GALLON QTY. (10)	1'X1' FULL SUN MONROVIA NURSERY
	DIANELLA COERULEA "LITTLE BECCA" FLAX LILY "LITTLE BECCA" 1 GALLON QTY. (32)	18"X18" FULL SUN PART SHADE
	LAWN AREA	
	DG DRYSCAPE	

LANDSCAPE SUMMARY

SOFTSCAPE TOTAL SQ. FT.	3,556.83 SQ. FT.
OPEN SPACE	
LOT SIZE	9,033 SQ. FT.
TOTAL SOFTSCAPE OPEN SPACE	39%

LANDSCAPE SUMMARY WITHOUT PARKWAY

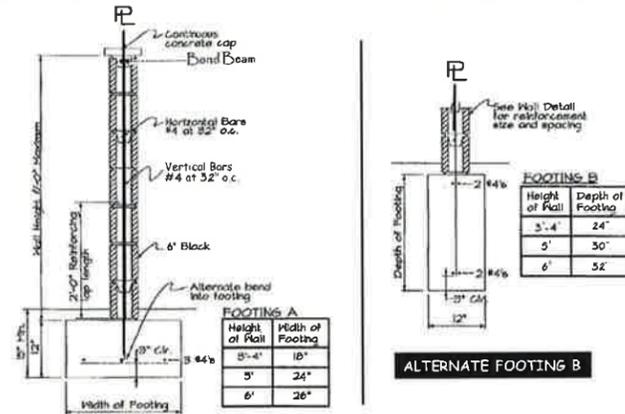
SOFTSCAPE TOTAL SQ. FT.	2,968 SQ. FT.
OPEN SPACE	
LOT SIZE	9,033 SQ. FT.
LOT SIZE WITHOUT PARKWAY	6,956 SQ. FT.
TOTAL SOFTSCAPE OPEN SPACE	42%

Planning Commission Presentation
155 Flower St.
 Costa Mesa, Ca. 92627

OWNER
 Joe Nasirke
 155 Flower
 Unit 1 & 2 Landscape Plan
DD6

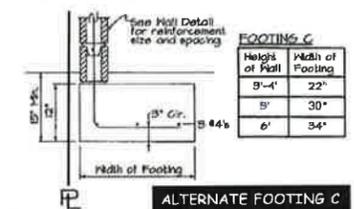
Costa Mesa Building Division
BLOCK WALL*
Masonry Fence Detail & Footings

PARTY WALL AGREEMENT SIGNED BY NEIGHBOR **REQUIRED** FOR FOOTING A or B.



MASONRY FENCE DETAIL & ALTERNATE FOOTING A

PARTY WALL AGREEMENT **NOT REQUIRED** FOR FOOTING C.



GENERAL NOTES

- Concrete blocks shall be Grade N units.
- Use F'c = 2500 psi for concrete footing. Type V.
- Reinforcing steel shall be A615 Grade 40 or 60.
- Fill all cells containing steel with grout, including bond beam.
- The wall shall be plumb and all block courses shall be level.
- Reinforcing steel splices shall be a minimum of 24".
- The first course may be set in fresh concrete for footing.
- Planning regulates the height, location, and design of the wall based on the zone, location on the property, and design standards. Planning must approve the plans prior to any permit being issued.

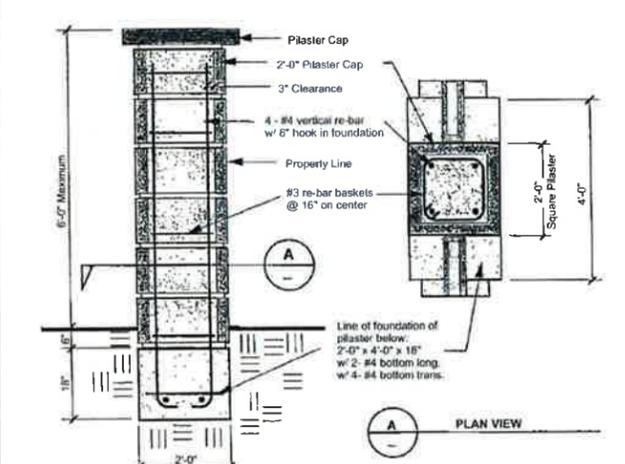
*Masonry walls greater than 3 feet in height require a building permit.

Inspections

All walls must have the following inspections. Do not proceed to the next step without approval from your building inspector. Any deviation from the City standard will require an engineer's approval.

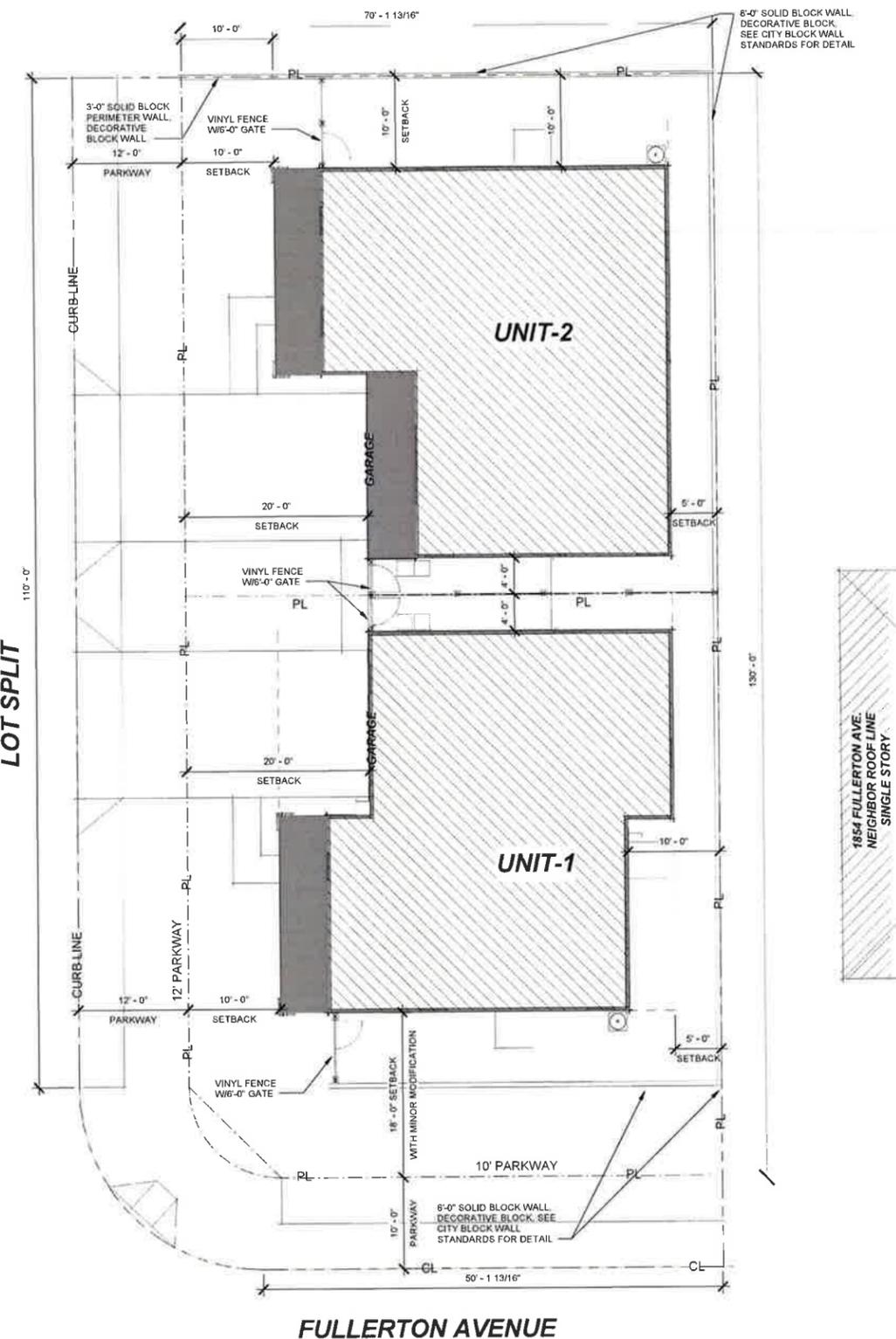
- Footing - Excavation and rebar is complete. No concrete can be placed until the footing is approved.
- Pre-grout - Block is placed and rebar placement is complete. No grout until approved.
- Final - Wall is grouted and all construction debris is cleaned from the site. Gates must be installed for final if the wall is a pool barrier.

COSTA MESA BUILDING DIVISION **MASONRY PILASTER**



Notes:
1. All cells shall be filled with grout.

FLOWER STREET
COMMON INTEREST DEVELOPMENT
LOT SPLIT



Fence Plan
1/8" = 1'-0"

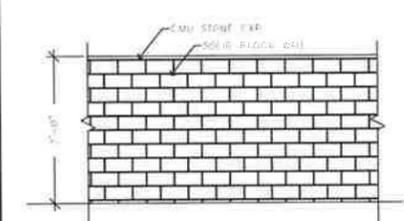
SCOPE OF WORK

CONSTRUCT NEW 6'-0" HIGH CMU SOLID BLOCK PERIMETER WALL.

GENERAL NOTES

- CONCRETE BLOCKS SHALL BE GRADE N UNITS AND F'm= 1500 PSI.
- USE F'c=2500 PSI FOR CONCRETE FOOTING TYPE V.
- REINFORCING STEEL SHALL BE A615 GRADE 40 OR 60.
- FILL ALL CELLS CONTAINING STEEL WITH GROUT, INCLUDING BOND BEAM.
- THE WALL SHALL BE PLUMB AND ALL BLOCK COURSES SHALL BE LEVEL.
- REINFORCING STEEL SPLICES SHALL BE A MINIMUM OF 24".
- THE FIRST COURSE MAY BE SET IN FRESH CONCRETE FOR FOOTING.
- PLANNING REGULATES THE HEIGHT, LOCATION, AND DESIGN OF THE WALL BASED ON THE ZONE, LOCATION ON THE PROPERTY, AND DESIGN STANDARDS. PLANNING MUST APPROVE THE PLANS PRIOR TO ANY PERMIT BEING ISSUED.

BLOCK WALL ELEVATION



SOUTHPOINTE
COMPANIES
DEVELOPING REAL ESTATE SOLUTIONS
www.SouthPointeInc.com
951.678.2773
Design@SouthPointeInc.com

Planning Commission Presentation
155 Flower St.
Costa Mesa, Ca. 92627

NESTOR TERRILL
PROJECT DESIGNER

REVISIONS		
No.	Description	Date

ISSUED FOR: PLAN REVIEW
ISSUED ON: []
APPROVED ON: []

OWNER
Joe Kaneko

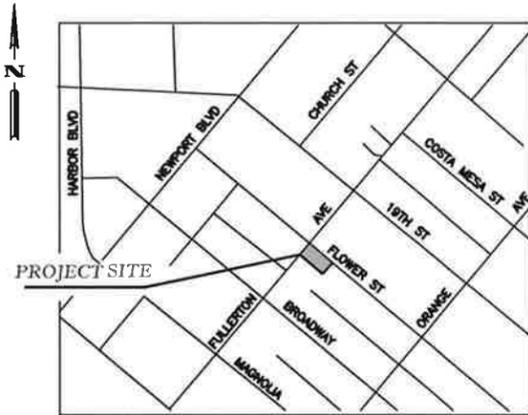
155 Flower
Fence Plan

Project number: 2016155Flower
Date: 06/27/2016
Drawn by: NT
Checked by: Checker

DD10

43

VICINITY MAP
N.T.S.



TENTATIVE PARCEL MAP

PARCEL MAP NO. 2016-122

IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA

DATE OF SURVEY: MARCH 2016

OWNER / DEVELOPER:

Windmill Investment LLC
16 Segada
Rancho Santa Margarita, CA 92688

NOTES:

1. EXISTING/PROPOSED LAND USE: SINGLE-FAMILY RESIDENCES. 155 FLOWER STREET, COSTA MESA, CALIFORNIA
2. EXISTING PROPERTY USE IMMEDIATELY SURROUNDING SUBDIVISION: SINGLE-FAMILY RESIDENCES
3. PROPERTY LINE IS BASED ON RECORDED MAP, TRACT 377 OF BK 16, PAGE 16 OF MAPS, COUNTY OF ORANGE.

FLOOD ZONE:

ZONE X, OUTSIDE OF 500 YEAR FLOOD BOUNDARIES.

AREA SUMMARY:

EXISTING AREA OF SITE: 9033.6 S.F. (0.21 AC)
PROPOSED AREA OF SITE: PARCEL 1 5,069.5 S.F. (0.12 AC),
PARCEL 2 3,964.1 S.F. (0.09 AC)

PROPOSED USE:

2 SINGLE FAMILY HOMES

SITE ADDRESS:

155-A FLOWER STREET
COSTA MESA, CA 92627

155-B FLOWER STREET
COSTA MESA, CA 92627

DATE OF PREPARATION:

MARCH 2016

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 2
LOTS 5 AND 6 OF BLOCK B OF TRACT NO. 377, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 16 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ASSESSOR'S PARCEL NUMBER:

APN: 425-233-18

SETBACK REQUIREMENTS:

FRONT SETBACK: 20'-0"
SIDEYARD SETBACK: 5'-0"
REARYARD SETBACK: 20'-0"

BENCHMARK:

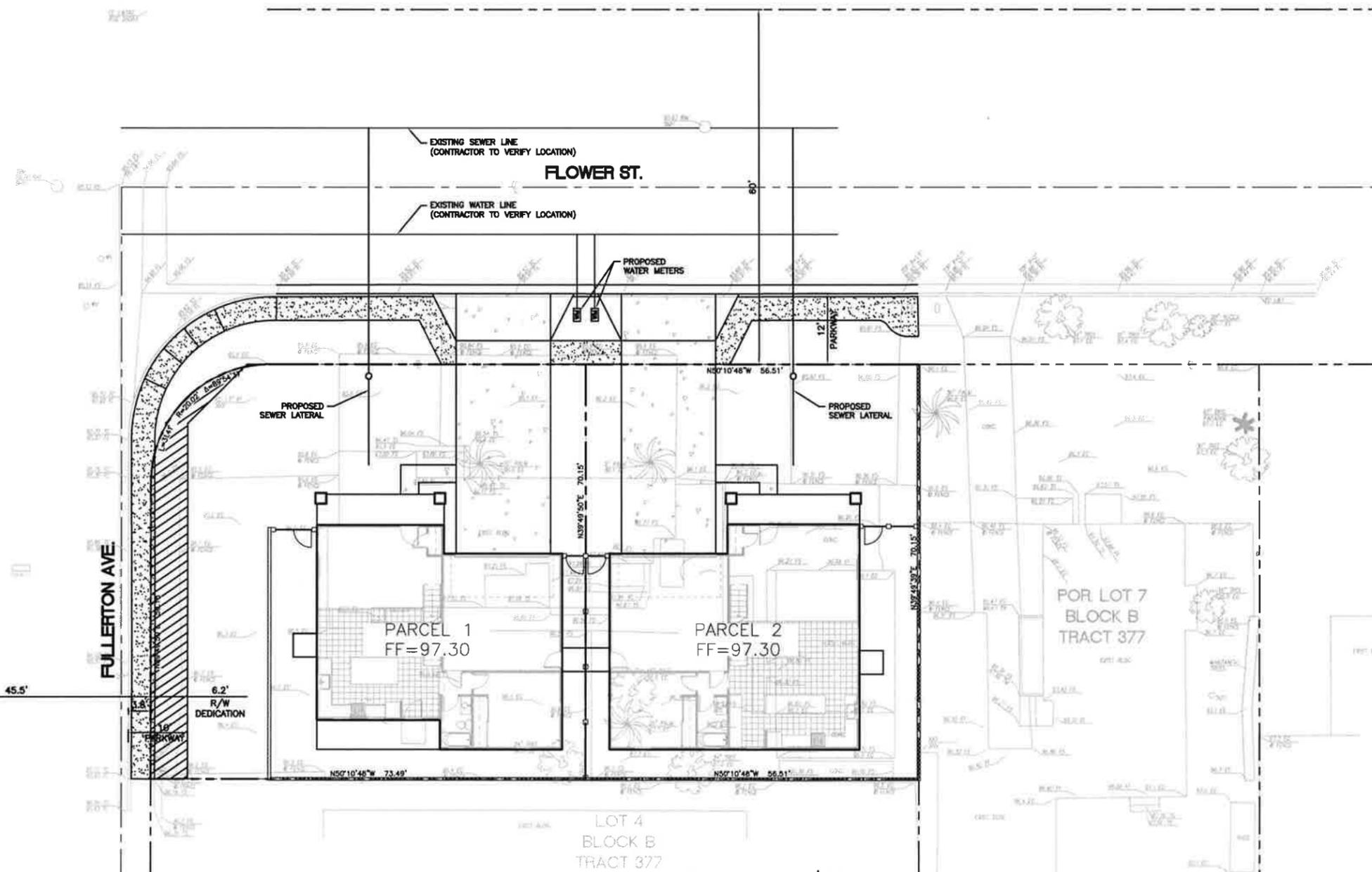
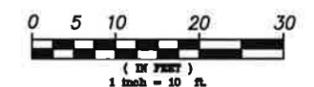
ELEVATIONS FOR THIS SURVEY ARE BASED ON ORANGE COUNTY BENCHMARK 1E-100-74. BENCHMARK ELEVATION=95.626' (NAVD88')

MAP PREPARATION

SOUTH COAST SURVEYING
3214 CLAY ST
NEWPORT BEACH, CA 92663
(949) 631-8840
MARK PETRIE, PLS 6903

LEGEND

- TB = TOP AC BERM
- FL = FLOW LINE
- FS = FINISH SURFACE
- TS = TOP STEP
- EG = EXISTING GROUND
- TW = TOP WALL
- TR = TOP RAIL
- TD = TOP DECK
- TOE = TOE SLOPE
- FF = FINISH FLOOR
- GFF = GARAGE FINISH FLOOR
- TOR = TOP ROOF
- BW = BACK WALK
- SCO = SEWER CLEANOUT
- PP = POWER POLE
- WV = WATER VALVE
- WM = WATER METER
- TBM = TEMPORARY BENCHMARK
- S.F.N. = SEARCHED FOUND NOTHING
- CL = CENTERLINE
- PL = PROPERTY LINE
- R/W DEDICATION



44



UNIT 2- FRONT ELEVATION

UNIT 2- LEGEND

- 1. Architectural Shingle Roof - Black
- 2. Hardie Plank Horizontal Lap Siding - Arctic White
- 3. 2x6 Wood Fascia - Painted Dark Grey
- 4. Treated Wood Corbels - Painted Dark Grey
- 5. Smooth Hardie Panel - Arctic White
- 6. Wood Trim, Columns - White
- 7. Hardie Batten Trim - White on White
- 8. Artisan Window/Door Trims - White
- 9. Vinyl Windows - White
- 10. Craftsman Style Front Door- Black
- 11. Frosted Silhouette garage door



2 Unit 2



7 Unit 2



9



10



1



8 Unit 1

NEW SINGLE FAMILY HOMES

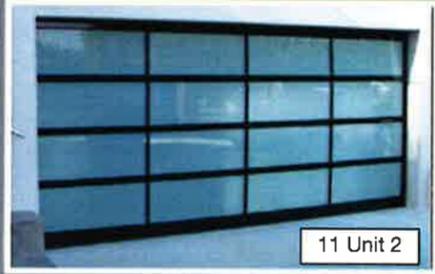
155 Flower, COSTA MESA, CA 92627
 Tong Tong Glowing Trading and Investment Corp
 (213) 402 7277



2 Unit 1



2 Unit 1



11 Unit 2



6

UNIT 1- LEGEND

- 1. Architectural Shingle Roof - Black
- 2. HardiePlank Horizontal Lap Siding - Dark Grey
- 3. Wood Shutters - Dark Grey to Match Siding
- 4. Treated Wood Corbels - Painted White
- 5. Omega Stucco Sand Finish - #35 Cloud Grey
- 6. Artisan Door /Window Trim, Columns - Painted White
- 7. 2x6 Fascia - Painted White
- 8. Hardie Staggered Siding - Cobble Stone
- 9. Vinyl Windows - White
- 10. Craftsman Style Front Door- Painted Dark Grey
- 11. Carriage Style garage door



11 Unit 1



UNIT 1- FRONT ELEVATION

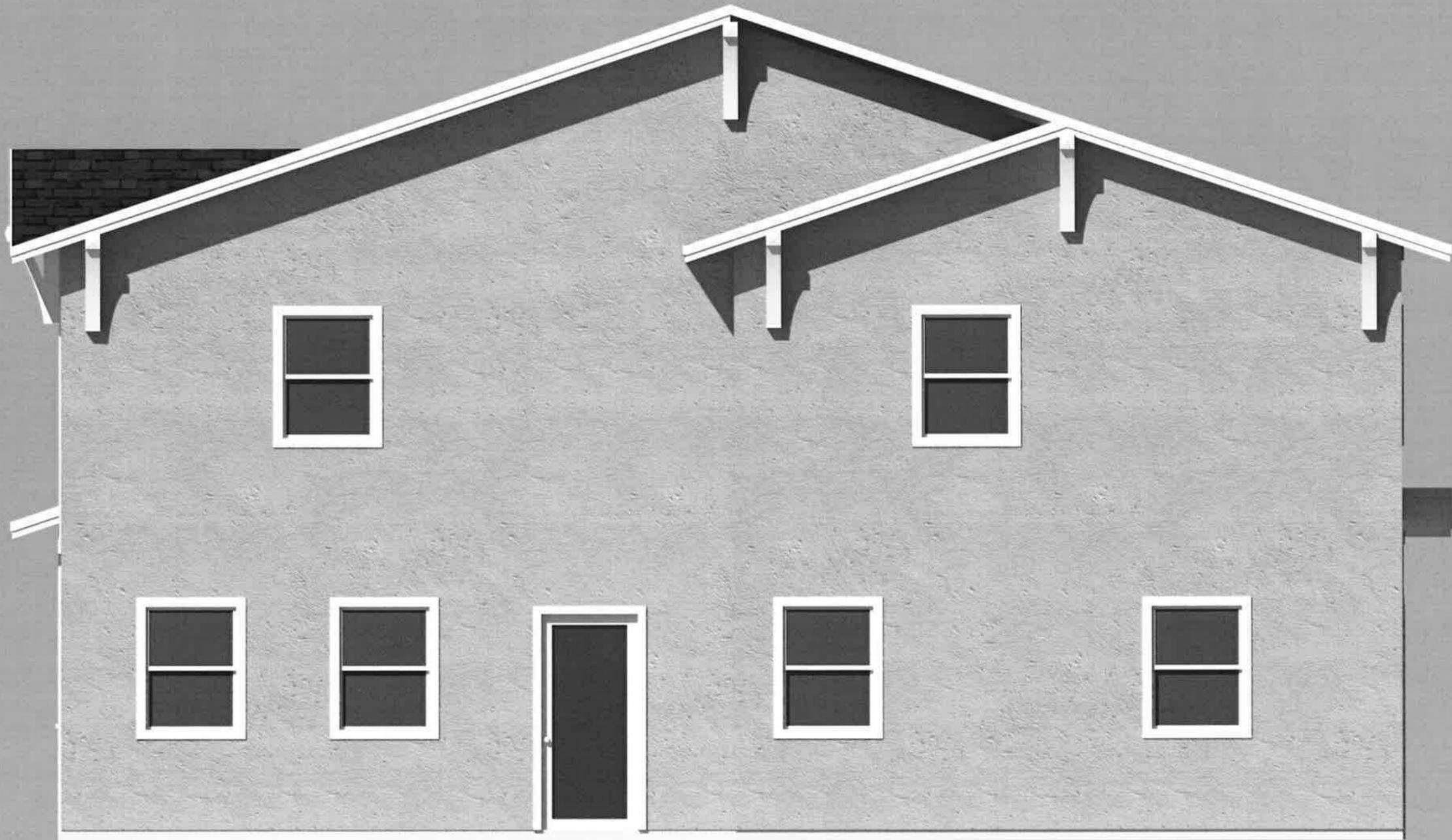




155 Unit 1 - Front Elevation



155 Unit 1 - Left Elevation



155 Unit A Rear Elevation



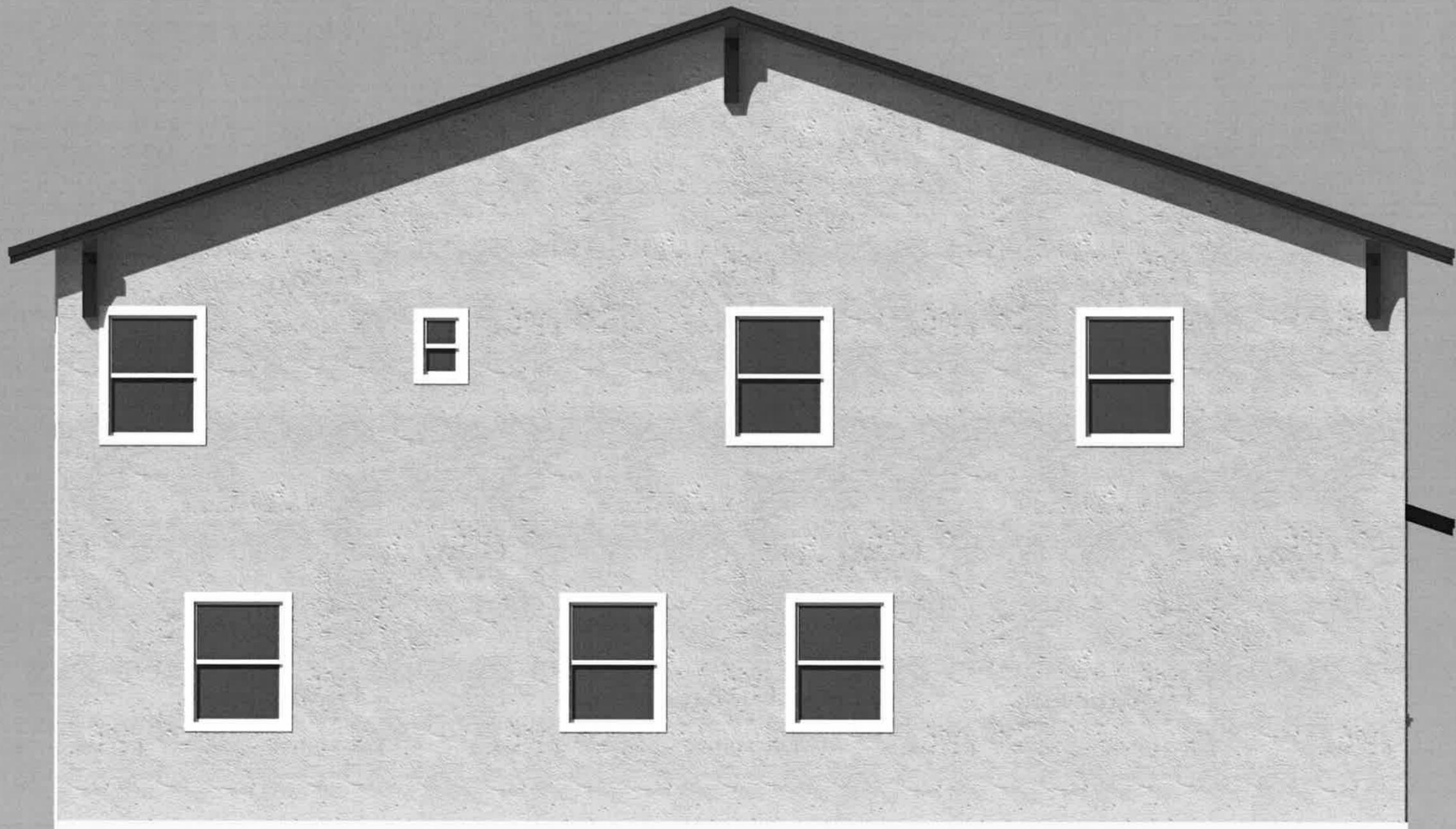
155 Unit 1 Right Elevation



155 Unit 2 Front Elevation



155 Unit 2 Left Elevation



155 Unit 2 Rear Elevation



155 Unit 2 Right Elevation

GRADING NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE COUNTY OF ORANGE AND ANY AMENDMENTS BY THE CITY OF COSTA MESA OR SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS.
- GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY INSPECTOR. A PRE-GRADING MEETING ON SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, DISTRICT GRADING INSPECTOR AND WHEN REQUIRED THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.
- ISSUANCE OF GRADING PERMITS DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
- THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLANN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
- PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE BUILDING DIVISION ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
- THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITH THEIR PURVIEW.
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON, FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, SUB DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
- SUB DRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUB DRAIN CONSTRUCTION.
- THE EXACT LOCATION OF THE SUB DRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN AS-GRADED PLANS.
- AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE BUILDING OFFICIAL PRIOR TO PLACING FILL.
- FILLS SHALL BE BENCHED INTO COMPETENT MATERIAL PER PFRD STANDARD PLAN NO. 1322.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
- FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.
- CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2-FOOT HORIZONTAL TO 1-FOOT VERTICAL (2:1) EXCEPT WHERE SPECIALLY APPROVED OTHERWISE.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATIONS AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
- ALL TRENCH BACKFILL SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER.
- ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
- ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY, HEALTH CARE AGENCY, AND DIVISION OF ENVIRONMENTAL HEALTH.
- ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE.
- STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO EXCAVATION.
- EXPORT SOIL MUST BE TRANSPORTED TO LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY THE BUILDING DIVISION.
- THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
- THE PERMITTEE SHALL GIVE REASONABLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDING PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 3 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES. UNLESS OTHERWISE PROTECTED BY LAW.
- ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULFATE-CONTACT TESTS CONDUCTED BY THE SOIL ENGINEER.
- SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL PROVIDED WITH, AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY BUILDING OFFICIAL.
- ALL EXISTING RAINFALL COURSES THROUGH THIS-SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORM WATER ARE APPROVED AND FUNCTIONAL. HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- SANITARY FACILITIES SHALL MAINTAIN ON THE SITE.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.
- GRADING OPERATIONS INCLUDING MAINTENANCE OF EQUIPMENT HUMAN OCCUPANCY SHALL BE CONDUCTED BETWEEN THE HOURS OF 7:00 A.M. AND 7:00 P.M. MONDAY THRU FRIDAY, SATURDAYS 9:00 A.M. THRU 6:00 P.M. PROHIBITED ALL HOURS SUNDAYS AND THE FOLLOWING FEDERAL HOLIDAYS: CHRISTMAS DAY, NEW YEARS DAY, MEMORIAL DAY, INDEPENDENCE DAY, LABOR DAY AND THANKSGIVING DAY. CMMC SEC 13-279.
- ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED 1,000' OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
- STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.
- GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AQMD MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.
- ASPHALT SECTIONS MUST BE: PARKING STALLS = 3" A/C OVER 6" A/B, DRIVES 3" A/C OVER 10" (COMM.) 12" (INDUSTRIAL). OR: PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY INSPECTOR, THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON "R" VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC INDICES.
- ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES.
- THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SWALE HIGH-POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.
- PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO, THE BUILDING OFFICIAL THE LOCATION OF EARTH MOVED DURING THE GRADING OPERATION.
- THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF ROUGH GRADING.
- THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.
- THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TUPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
- IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND PSD/GRADING.

155 FLOWER STREET, COSTA MESA COUNTY OF ORANGE, STATE OF CALIFORNIA PRECISE GRADING & UTILITY PLAN

**MESA WATER DISTRICT STANDARD
WATER CONSTRUCTION NOTES**

- ENGINEERING PLAN CHECK/INSPECTION FEE AND PERFORMANCE GUARANTEE BOND SHALL BE PAID AND APPLICATION/PERMIT (A.P) COMPLETED BY THE APPLICANT PRIOR TO APPROVAL OF THE PLANS AND ISSUANCE OF THE A.P. FEES SHALL BE IN ACCORDANCE WITH MESA WATER@ RATES AND DEPOSIT SCHEDULE.
- CAPACITY CHARGES SHALL BE COLLECTED BY MESA WATER@ AT THE TIME OTHER FEES ARE COLLECTED PRIOR TO APPROVAL OF PLANS AND SERVICE AGREEMENT. THIS FEE SHALL BE IN ACCORDANCE WITH MESA WATER@ RATES AND DEPOSIT SCHEDULE.
- WATER MAINS WILL BE INSTALLED ACCORDING TO THE LATEST STANDARDS AND SPECIFICATIONS OF MESA WATER@.
- CONTRACTOR TO HAVE, ON THE JOB SITE, A COPY OF THE LATEST STANDARD SPECIFICATIONS AT ALL TIMES.
- CONTRACTOR SHALL SCHEDULE INSPECTIONS A MINIMUM OF 24 HOURS IN ADVANCE AND IN ACCORDANCE WITH THE INSPECTION CHECKLIST REQUIREMENTS. TO SCHEDULE AND INSPECTION, CALL (949) 207-5518.
- A CASH PERFORMANCE GUARANTEE BOND SHALL BE HELD ONE YEAR AFTER MESA WATER@S NOTICE OF COMPLETION TO GUARANTEE WORK PERFORMED BY THE CONTRACTOR.
- SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS SHALL BE A MINIMUM OF 10' HORIZONTAL, 1' VERTICAL (ABOVE SEWER).
- A 15' WATER MAIN EASEMENT WILL BE GRANTED TO MESA WATER@ FOR MAINTENANCE PURPOSES, 5' WATER SERVICES (7.5' EACH SIDE OF SERVICE). EASEMENT DOCUMENTS ARE TO BE SUBMITTED TO MESA WATER@ FOR APPROVAL PRIOR TO A PERMIT BEING ISSUED.
- SERVICES LATERALS WILL BE SET TO GRADE BY CONTRACTOR PRIOR TO THE INSTALLATION OF WATER METERS AND BOXES (PER MESA WATER@S STANDARD DRAWINGS #1, #2, AND #3).
- WATER METER WILL NOT BE INSTALLED NOR WATER TURNED ON UNTIL THE BACKFLOW DEVICES REQUIRED FOR THE BUILDING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED, TESTED, APPROVED, AND CERTIFIED. CONTACT CROSS CONNECTION CONTROL AT 949-631-1291.
- PROTECT EXISTING UTILITIES IN PLACE.
- WATER MAINS SHALL HAVE 42" MINIMUM COVER TO FINISH GRADE.
- RAISE EXISTING WATER VALVE COVERS TO GRADE (PER MESA WATER@ STANDARD DRAWING #14).
- INSTALL FIRE HYDRANT PER MESA WATER@ STANDARD DRAWING #4 OR #4B.
- INSTALL BLOW-OFF PER MESA WATER@ STANDARD DRAWING #2.
- WATER MAINS WILL BE TESTED AT 225 P.S.I. FOR FOUR HOURS.
- BACKFILL MATERIAL IN PIPE ZONE WILL HAVE A SAND EQUIVALENT OF 30 OR GREATER.
- THE BACKFILL ABOVE THE PIPE ZONE WILL BE COMPACTED PER MESA WATER@ STANDARD DRAWING #18, AND BE IN COMPLIANCE WITH CITY OF COSTA MESA STANDARD DRAWING #13.
- CHIP 2" "W" IN CURB FACE TO IDENTIFY WATER SERVICE LOCATION.
- INSTALL THRUST OR GRAVITY BLOCKS PER MESA WATER@ STANDARD DRAWING #11 AND #12.
- CONTRACTOR TO VERIFY DEPTH AND LOCATION OF ALL UTILITIES PRIOR TO TRENCHING.
- CONTRACTOR TO INSTALL TEMPORARY TAPS FOR TESTING AND CHLORINATION PRIOR TO CONNECTING TO EXISTING MAINS.
- CONTRACTOR TO RETURN ALL EQUIPMENT REMOVED TO MESA WATER@ YARD, AND DISPOSE OF OTHER MATERIAL (I.E., A.C.P. BROKEN CONCRETE AND NATIVE SOIL, ETC.,) AT CONTRACTOR'S EXPENSE.
- WATER METERS AND BOXES TO BE INSTALLED BY MESA WATER@ BUT PAID FOR BY APPLICANT/OWNER.
- A REDUCED PRESSURE PRINCIPLE ASSEMBLY SHALL BE REQUIRED ON ALL WATER METERED SERVICES TO ANY CONDOMINIUM UNIT OVER TWO STORIES OR FIVE OR MORE UNITS ON ONE METERED SERVICE. CONTACT CROSS CONNECTION CONTROL AT 949-631-1291.
- IRRIGATION METERS SHALL REQUIRE A REDUCED PRESSURE PRINCIPLE ASSEMBLY.
- IN LANDSCAPED AREA, NO TREES SHALL BE LOCATED IN MESA WATER@ EASEMENT OR WITHIN 7.5' OF ANY MESA WATER@ FACILITY.
- A REDUCED PRESSURE PRINCIPLE ASSEMBLY SHALL BE REQUIRED ON METERED WATER SERVICES TO ALL INDUSTRIAL BUILDINGS.
- A DOUBLE CHECK DETECTOR ASSEMBLY WITH COMBINATION FLOW METER WILL BE REQUIRED ON FIRE LINE SERVICES, PER STANDARD 22A.
- FIRELINE SERVICES SHALL NOT BE TURNED ON UNTIL THE MESA WATER@ ENGINEERING DEPARTMENT HAS RECEIVED A LETTER FROM THE OWNER, OR OWNER'S AUTHORIZED AGENT, REQUESTING IT AND STATING THAT THE PLUMBING IS READY FOR THE FIRELINE TO BE TURNED ON. THE LETTER MUST ALSO CONTAIN MESA WATER@S FILE NUMBER, SIZE AND SERIAL NUMBER OF THE DEVICE, AND JOB ADDRESS.
- IF A 130 SPRINKLER SYSTEM IS NOT A FLOW THROUGH SYSTEM, THEN A TESTABLE BACKFLOW DEVICE NEXT TO BUILDING SHALL BE INSTALLED. MESA WATER@ INSPECTOR TO VERIFY FLOW THROUGH SYSTEMS. MESA WATER@ INSPECTOR SHALL VERIFY FLOW THROUGH 130 FIRE SPRINKLER SYSTEM BY:
a. TURNING OFF HOUSE VALVE
b. CHECKING FOR FLOW ON FLOW THROUGH CONNECTION (I.E. TOILET OR SINK)

CMSD STANDARD SEWER NOTES

- THE SEWER SYSTEM SHALL CONFORM TO THE STANDARDS OF THE COSTA MESA SANITARY DISTRICT.
- CONTRACTOR SHALL REQUEST INSPECTION FROM THE OFFICE OF THE DISTRICT ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF WORK. TELEPHONE: 949/631-1731.
- ANY WORK PERFORMED WITHOUT INSPECTION FROM THE DISTRICT SHALL BE CONSIDERED UNACCEPTABLE.
- CONTRACTOR SHALL OBTAIN CMSD SEWER PERMIT PRIOR TO COMMENCEMENT OF WORK FROM THE COSTA MESA SANITARY DISTRICT, 628 W. 19TH STREET, COSTA MESA, CA 92627. 949/645-8400 EXT. 229.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS THAT MAY BE REQUIRED BY THE LOCAL GOVERNING AGENCY.
- CONTRACTOR TO HAVE A COPY OF APPROVED SEWER PLAN AND CMSD STANDARD PLANS AND SPECIFICATIONS ON JOB SITE AT ALL TIMES.
- CLAY PIPE JOINTS SHALL BE TYPE "G" MECHANICAL COMPRESSION JOINTS FOR MAIN LINE SEWER. TYPE "D" JOINTS, BAND-SEAL OR APPROVED EQUAL, ARE APPROVED FOR LATERALS AND REPAIR WORK ONLY.
- 6" LATERALS SHALL BE CONSTRUCTED FROM THE SEWER MAIN TO EVERY LOT.
- ALL LATERALS SHALL BE PLACED PRIOR TO SURFACING OF STREETS.
- STAMP "S" ON CURB AT SEWER LATERAL LOCATIONS.
- SEWER MAIN SHALL BE AIR OR WATER TESTED MEETING DISTRICT ENGINEER'S APPROVAL.
- PRIOR TO ASPHALT CONCRETE PAVING, MANHOLE FRAMES AND COVERS SHALL BE LEFT 6" BELOW FINISH GRADE. AFTER STREET SURFACING IS COMPLETED, FRAMES AND COVERS SHALL BE RAISED TO GRADE PER STD. DWG. NO. S-105.
- SEWER MANHOLE FRAME AND COVER SHALL BE ALHAMBRA FOUNDRY A-1270, OR APPROVED EQUAL. COVER TO BE STAMPED "SEWER".
- SEWER MAIN SHALL BE BALLED AFTER ALL MANHOLE FRAMES AND COVERS HAVE BEEN RAISED TO GRADE.
- PVC PIPE MAY BE USED ONLY WITH PRIOR APPROVAL FROM THE DISTRICT ENGINEER.
- IF MINIMUM SEPARATION DISTANCE BETWEEN SEWER AND WATER MAIN IS NOT MET, SPECIAL CONSTRUCTION REQUIREMENTS ARE TO BE USED PER STD. DWG. NO. S-110-A OR S-110-B.
- DEVELOPER IS RESPONSIBLE FOR REPLACING ANY EXISTING LATERALS NOT FOUND IN FIELD OR FOUND TO BE DEFECTIVE.
- ALL TRENCH EXCAVATION AND PIPE BEDDING SHALL BE CONSTRUCTED PER STD. DWG. NO. S-112.
- CONTRACTOR TO EITHER REPLACE EXISTING 6" VCP LATERAL IN STREET RIGHT OF WAY W/NEW LATERAL PER CMSD STD. S-104-A OR PERFORM OCTV OF EXISTING LATERAL AND PROVIDE VIDEO TO THE COSTA MESA SANITARY DISTRICT. DAMAGED PORTIONS OF EXISTING LATERAL SHALL BE REPAIRED (IF ANY).
- SEWER MAIN CLEANOUT TO BE INSTALLED PER STD. DWG. NO. S-107, AND DOUBLE CLEANOUT PER STD. DWG. NO. S-107-A.

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THIS PLAN ARE OBTAINED BY A RESEARCH OR AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS.

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTOR AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR AND WITH THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS "CONSTRUCTION SAFETY ORDERS"

THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATION" OF THE U.S. DEPARTMENT OF LABOR OR WITH "CONSTRUCTION SAFETY ORDERS".

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM AND ALL LIABILITY, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

THE CONTRACTOR SHALL CHECK ALL DRAWINGS, SPECIFICATIONS AND ESTIMATED QUANTITIES FURNISH HIM IMMEDIATELY UPON THEIR RECEIPT, AND SHALL PROMPTLY NOTIFY THE OWNER OF ANY DISCREPANCIES THEREIN. SHOULD ANY ERRORS, OMISSIONS, AMBIGUITIES OR DISCREPANCIES BE FOUND ON THE DRAWINGS, SPECIFICATIONS, OR ESTIMATED QUANTITIES TO WHICH THE CONTRACTOR FAILED TO CALL ATTENTION BEFORE SUBMITTING HIS BID, THEN THE OWNER WILL INTERPRET THE INTENT OF THE DRAWINGS OR SPECIFICATIONS AND THE CONTRACTOR WILL PERFORM THE WORK IN ACCORDANCE WITH SUCH INTERPRETATION.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY DIMENSIONS AND CONDITIONS AT THE JOB SITE, AND CROSS-CHECK DETAILS AND DIMENSIONS SHOWN ON THE DRAWINGS. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES FOUND.

IN ALL CASES WHERE CONFLICT MAY OCCUR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE OWNER SHALL BE NOTIFIED AND HE WILL INTERPRET THE INTENT OF THE CONTRACTOR DOCUMENTS.

IN NO CASES SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, DETAILS OR SECTIONS OF DRAWING.

PUBLIC WORKS NOTE:

IF PUBLIC IMPROVEMENTS SURROUNDING THE SITE ARE DAMAGED BY THE PRIVATE WORK, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND STREET PAVEMENT WILL BE REQUIRED BY THE CITY AT THE TIME OF PRIVATE CONSTRUCTION COMPLETION. SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.

RIGHT-OF-WAY WORK NOTE:

AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.

ADDITIONAL NOTES:

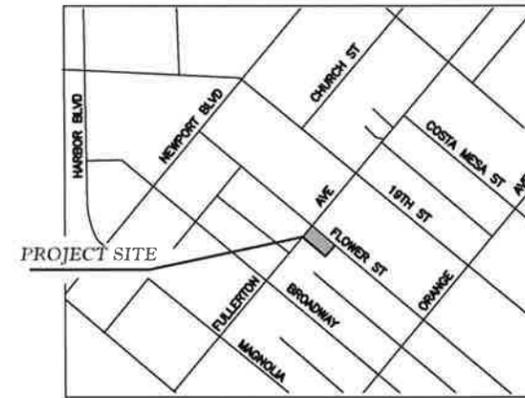
- REFER TO LANDSCAPE ARCHITECT PLANS FOR ADDITIONAL INFORMATION THAT MAY BE REQUIRED.
- EXACT LOCATION OF EXISTING CONDUITS IS UNKNOWN, AND SHOWN ACCORDING TO AVAILABLE RECORD INFORMATION. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES REQUIRED (I.E. POT-HOLING UTILITY LOCATION SERVICES, ETC.), TO DETERMINE THE LOCATION OF CONDUITS PRIOR TO PROCUREMENT OF MATERIALS OR CONSTRUCTION OF PIPELINE FACILITIES.
- THE LOCATION OF EXISTING SEWER HOUSE CONNECTIONS ARE UNKNOWN AND HAVE NOT BEEN SHOWN. CONTRACTOR SHALL REMODEL CONFLICTING LATERALS AS REQUIRED FOR CONSTRUCTION.
- SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE.
- NO NEW OR EXISTING EASEMENTS ARE LOCATED WITHIN PROPERTY BOUNDARIES.
- ALL GRADING SHALL COMPLY PER SOILS REPORTS RECOMMENDATIONS.
- SURVEYOR OR ENGINEER SHALL MONUMENT PROPERTY CORNER BEFORE STARTING GRADING, EITHER WITH PERMANENT MONUMENTS OR TEMPORARY 1'-0" LONG 1/2 DIAMETER METAL RODS DRIVEN INTO THE GROUND TO NEAR FLUSH AND MARKED WITH PAINT.

UNDERGROUND STRUCTURES:

ALL UNDERGROUND UTILITIES OR STRUCTURES REPORTED BY THE OWNER OR OTHERS AND THOSE SHOWN ON THE RECORDS EXAMINED ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT. THE OWNER BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENT PURSUANT THERETO AGREES TO ASSUME LIABILITY AND TO HOLD UNDERSIGNED HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED; NOT INDICATED ON THE PUBLIC RECORDS EXAMINED; LOCATED AT VARIANCE WITH THAT REPORTED OR SHOWN ON RECORDS EXAMINED. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.

NOTICE TO CONTRACTORS:

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.



VICINITY MAP
N.T.S.

SITE ADDRESS:

155 FLOWER STREET
COSTA MESA, CA 92627

BENCHMARK:

ELEVATIONS FOR THIS SURVEY ARE BASED ON ORANGE COUNTY BENCHMARK 1E-100-74. BENCHMARK ELEVATION=95.626' (NAVD88') DESCRIBED BY OCS 2001 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "1E-100-74". SET IN THE SOUTHERLY CORNER OF A 4 FT. BY 8 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE EASTERLY CORNER OF THE INTERSECTION OF NEWPORT BOULEVARD AND BROADWAY, 77 FT. NORTHEASTERLY OF THE CENTERLINE OF BROADWAY AND 54 FT. SOUTHEASTERLY OF THE CENTER OF THE CENTER MEDIAN ALONG NEWPORT BOULEVARD. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

OWNER / DEVELOPER:

TONG TONG GLOWING TRADING
AND INVESTMENT GROUP

ASSESSOR'S PARCEL NUMBER:

APN: 425-233-18

AREA SUMMARY:

EXISTING AREA OF SITE: 9,034 S.F.
PROPOSED AREA OF SITE: UNIT 1 4,034 SF
UNIT 2 5,000 SF

ADJACENT GRADE NOTE:

GRADE BETWEEN ADJACENT PROPERTIES SHALL BE NO MORE THAN 6" IN ELEVATION DIFFERENCE.

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 2
LOTS 5 AND 6 OF BLOCK B OF TRACT NO. 377, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 16 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APPROX. EARTHWORK QUANTITIES

FILL	50 CY	EXPORT	02 CY
CUT	53 CY	IMPORT	02 CY
SHRINKAGE @ 5%			3 CY

SOILS ENGINEER

NOTE: EARTHWORK QUANTITIES ARE ESTIMATES ONLY. THEY ARE ESSENTIALLY FOR PERMIT PURPOSES ONLY AND NOT INTENDED FOR BIDDING. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT QUANTITIES FOR THE PURPOSES OF PAYMENT AND CONTRACT DOCUMENTS. THE UNDERSIGNED ENGINEER ACCEPTS NO RESPONSIBILITY FOR DISCREPANCIES IN THE EARTHWORK QUANTITIES.

BASIS OF BEARINGS:

ENVIROMENTAL NOTES:

- THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS; THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR WATER SHED IS PROHIBITED.
- PERMITTEE SHALL MAINTAIN CONSTRUCTION SITE IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, SOILS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WAS WATER AND CONCRETE WAS WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPER CHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- PERMITTEE ANY DISCHARGE MATERIAL OTHER THAN STORM WATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
- DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

Underground Service Alert
Call TOLL FREE
1-800-422-4133
TWO WORKING DAYS BEFORE YOU DIG

REVISIONS				
REV.	DATE	BY	DESCRIPTION	APP'VD

MESA WATER DISTRICT	COSTA MESA SANITARY DISTRICT
MC -----	ROBIN B. HAMERS (714) 283-2727 DISTRICT ENGINEER COSTA MESA SANITARY DISTRICT
APPROVED	DATE

APPROVED BY:	DATE
FIRE DEPT.	
APPROVED BY:	
PLANNING DEPT.	
APPROVED BY:	
COSTA MESA DEPT. OF PUBLIC WORKS	
R.C.E. NO.:	EXP. DATE:

VENTURA ENGINEERING, LLC
2700 JEFFERSON AVE. SUITE 100
TAMPA, FL 33604
PH: 813-889-7500
FAX: 813-889-7500

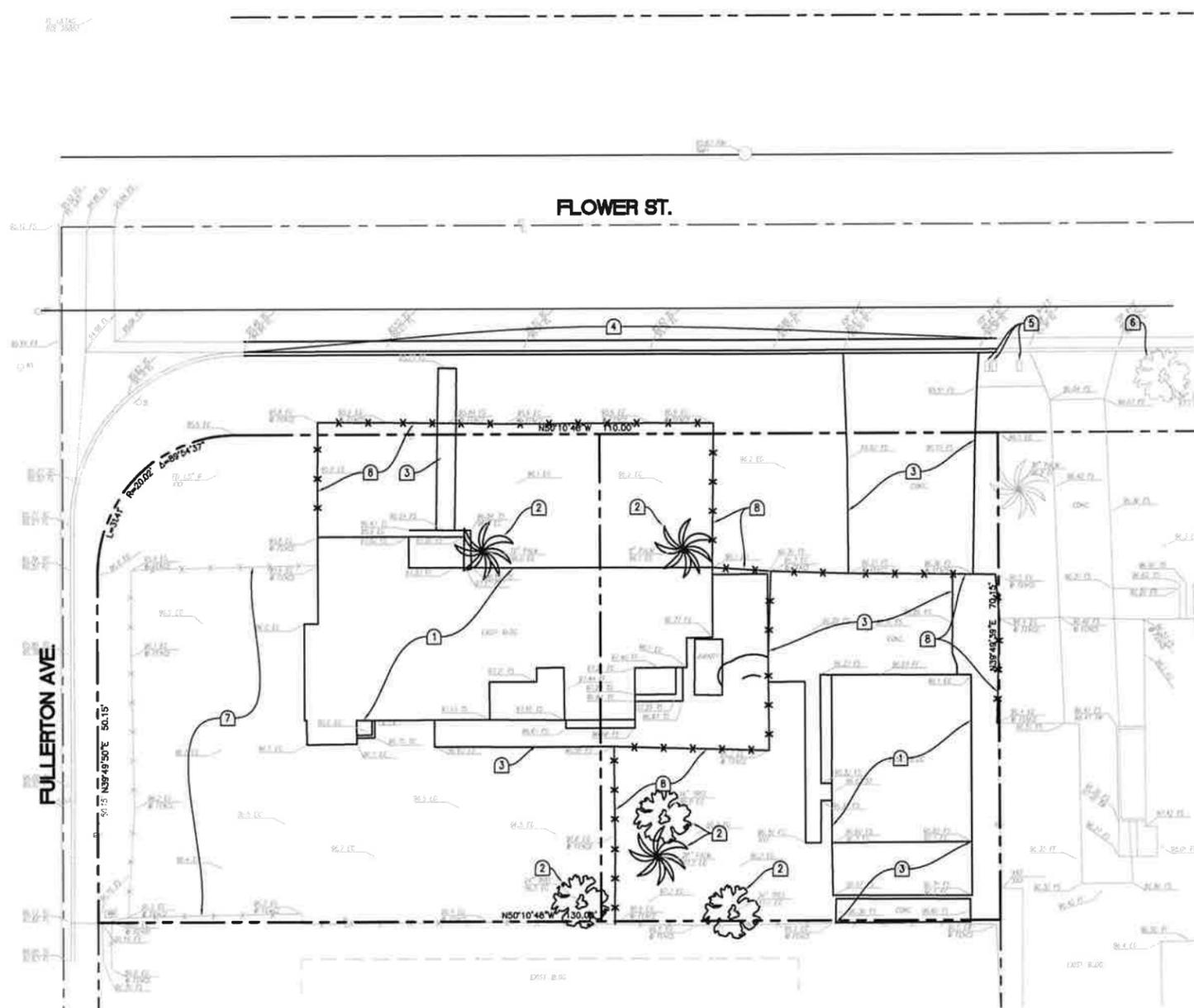
SEAL:

DRAWN BY:	RHV
DESIGNED BY:	RHV
CHECKED BY:	WV
PREPARED UNDER THE SUPERVISION OF:	
M.F.R.E.D. NO.:	66532
EXP. DATE:	8-20-18

PRECISE GRADING & UTILITY PLAN G16-

WINDMILL INVESTMENT, LLC
155 FLOWER STREET
COSTA MESA, CA 92627

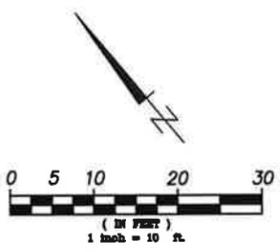
SHEET NO. **1** OF **4**



DEMOLITION PLAN
SCALE: 1"=10'

DEMOLITION NOTES:

- 1 REMOVE EXISTING BUILDING
- 2 REMOVE EXISTING TREES
- 3 REMOVE EXISTING CONCRETE DRIVEWAY / SURFACE
- 4 REMOVE EXISTING CURB AND GUTTER
- 5 EXISTING MAIL BOX TO REMAIN IN CURRENT LOCATION
- 6 EXISTING TREE TO REMAIN
- 7 EXISTING FENCE TO REMAIN
- 8 REMOVE EXISTING FENCE



LEGEND

- PROPERTY LINE
- CENTERLINE
- EX. BUILDING
- x-x- EX. WOOD FENCE
- (100.00) EXISTING SPOT ELEVATION
- E ROAD CENTERLINE

56

Underground Service Alert
Call TOLL FREE
1-800-422-4133
TWO WORKING DAYS BEFORE YOU DIG

REVISIONS				
REV.	DATE	BY	DESCRIPTION	APP'Y'D

MESA WATER DISTRICT		COSTA MESA SANITARY DISTRICT	

APPROVED BY: _____ DATE: _____
 FIRE DEPT. _____
 APPROVED BY: _____ DATE: _____
 PLANNING DEPT. _____
 APPROVED BY: _____ DATE: _____
 COSTA MESA DEPT. OF PUBLIC WORKS
 R.C.E. NO.: _____ EXP. DATE: _____

VENTURA ENGINEERING, LLC
 5700 APPROACH AVE STE 4-000
 BURLINGAME, CA 94010
 PHONE 925-499-7100
 FAX 925-499-5700

SEAL: _____
 No. 66532
 Exp. 6-30-18
 CIVIL
 STATE OF CALIFORNIA

DRAWN BY: RHY
 DESIGNED BY: RHY
 CHECKED BY: WV
 PREPARED UNDER THE SUPERVISION OF:

 WILFREDO S. VENTURA
 R.C.E. NO.: 06532 EXP. DATE: 6-30-18

PRECISE GRADING & UTILITY PLAN G16-
WINDMILL INVESTMENT, LLC
 155 FLOWER STREET
 COSTA MESA, CA 92627

SHEET NO.
2
 OF
4

NPDES GENERAL NOTES:

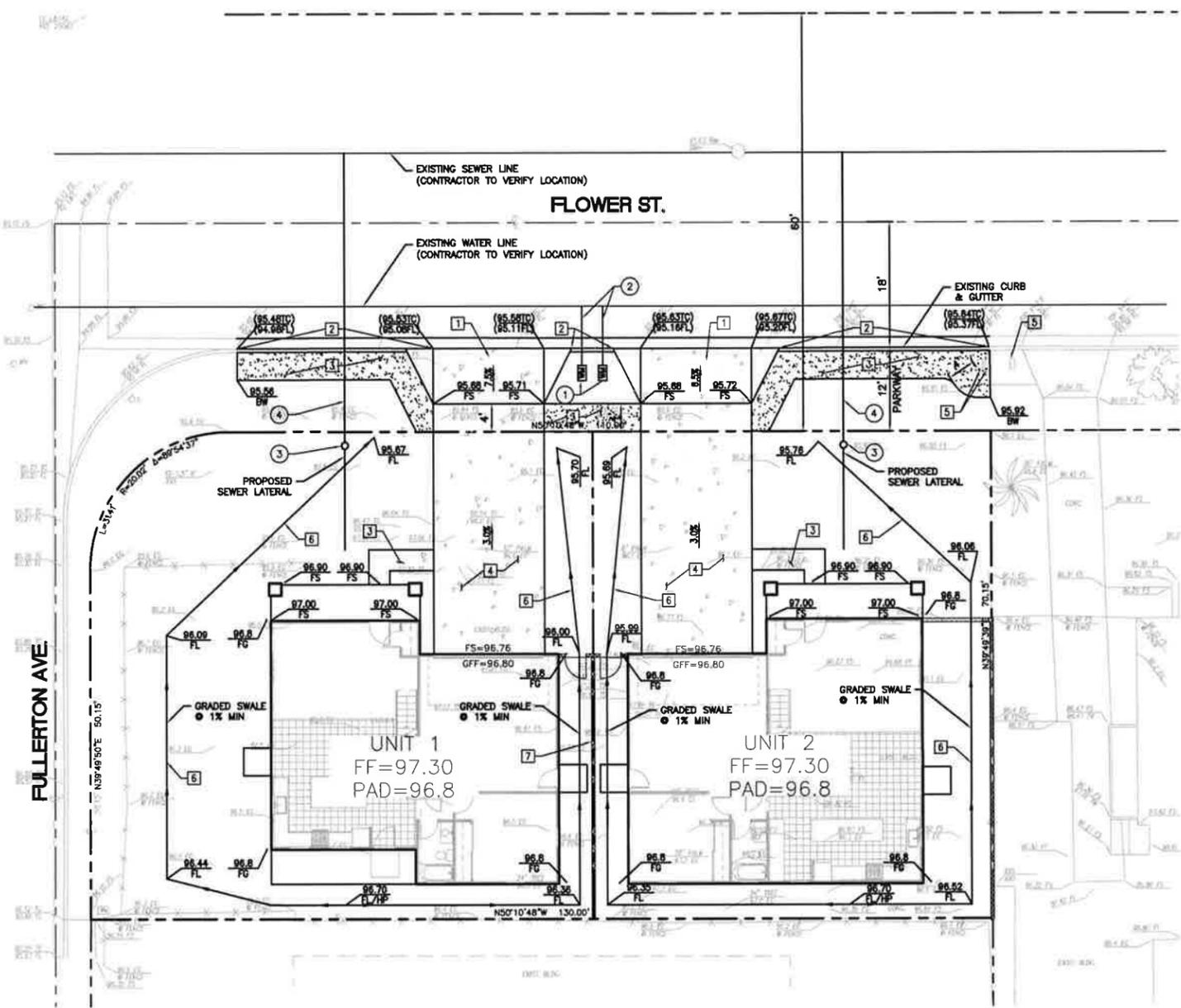
- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIALS OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NPDES PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.

POTENTIAL POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS, WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDE, HERBICIDE, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS, FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE, AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE / EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPER-CHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING.

DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED, TEMPORARY AREA ON-SITE AND PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.

- DISCHARGING CONTAMINATED GROUNDWATER, PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANTS DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

- NOTICE: ALL CONTRACTORS AND CONSTRUCTION PERSONNEL SHALL MEET THE REGULATORY CONSTRUCTION REQUIREMENTS ON THE PROJECT SITE, AS SHOWN IN THE LATEST EDITION OF THE ORANGE COUNTY STORMWATER PROGRAM "CONSTRUCTION RUNOFF GUIDANCE MANUAL".



CONSTRUCTION NOTES - ESTIMATED QUANTITIES			
ITEM	DESCRIPTION	QUANTITY	UNIT
1	CONSTRUCT DRIVE APPROACH PER CITY OF COSTA MESA STANDARD 513 6" PCC OVER 6" CMB, W=16', X=4'	2	EA
2	REPLACE WITH CURB AND GUTTER PER CITY STD. 312. 3' SLOT PAVEMENT REQUIRED NEXT TO GUTTER.	61	LF
3	CONSTRUCT 4" CONCRETE SIDEWALK PER CITY STD. 411	344	SF
4	CONSTRUCT 6" P.C.C. DRIVEWAY, FC=5000 PSI	1024	SF
5	EXISTING MAILBOX LOCATION TO REMAIN	3	EA
6	PROPOSED GRADED SWALE (1.0% MIN GRADE)	398	LF
7	PROPOSED DECORATIVE BLOCK WALL (SEE ARCH PLANS)	40	LF

SEWER AND WATER CONSTRUCTION NOTES - ESTIMATED QTY			
ITEM	DESCRIPTION	QUANTITY	UNIT
1	INSTALL 1" METER (130 FLOWTHROUGH FIRE SYSTEM) PER MWD STD. NO. 3	2	EA
2	INSTALL 1" COPPERLINE PER MESA WATER DISTRICT STD. DWG. 1 & 18, AND CITY OF COSTA MESA STD. 813 AND INSPECTOR'S REQUIREMENTS	2	EA
3	CONSTRUCT CLEANOUT PER COSTA MESA SANITARY DISTRICT STD. S-107	2	EA
4	CONSTRUCT 4" PVC SDR35 SEWER LATERAL PER 2013 CPC	2	EA

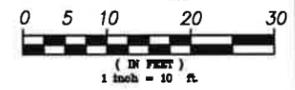
SLURRY SEAL RESURFACING REQUIREMENTS
(revised 9-15-00)

- The Contractor shall restore the roadway surface within the work limits by slurry sealing the entire lane where the trench is located.
 - For trenches perpendicular to traffic lanes: the slurry seal shall extend 50 feet on both sides of the trench and fill the entire travel lanes.
 - For trenches parallel to traffic lanes and for small excavations: slurry seal the entire width of the traffic lane for the full length of the trench, but not less than 100'
- Restoration of the roadway shall be continuous and no joints will be allowed. All roadways within the work limits will be restored in one operation. The Contractor shall not proceed with the slurry sealing operation until direction is given by the City Engineer.
- Any existing improvements damaged by the Contractor shall be replaced as directed by the City Engineer.
- Slurry Seal shall conform to sections 203 and 302-4 of the Standard Specifications for Public Works Construction. Slurry seal shall be quickset emulsion aggregate slurry seal colonic (QA-KH) Type II with 2% Latex Additive.
- Replace all traffic striping, markings, and raised pavement markers in kind.
- All work shall be completed within 93 calendar days from issuance of permit.

AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY FROM THE PUBLIC SERVICES DEPARTMENT

PRECISE GRADING PLAN AND UTILITIES

SCALE: 1"=10'



LEGEND

---	PROPERTY LINE
- - - -	CENTERLINE
=====	EX. BUILDING
-----	EX. PERIMETER WALL
-----	7" PROP. PERIMETER WALL
-----	3" PROP. PERIMETER WALL
-----	EX. WOOD FENCE
-----	PROPOSED CONCRETE PAVEMENT
-----	PROPOSED SIDEWALK
○ (100.00)	EXISTING SPOT ELEVATION
○ (100.00)	PROPOSED SPOT ELEVATION
⊥	ROAD CENTERLINE
---	PROP. GRADED SWALE

72 HOURS PRIOR TO CONSTRUCTION, CONTRACTOR TO LOCATE AND IDENTIFY INVERT ELEVATION AND NOTIFY ENGINEER.

IF A 130 FIRE SPRINKLER SYSTEM IS NOT A FLOW THROUGH SYSTEM, THEN A TESTABLE BACKFLOW DEVICE NEXT TO BUILDING WILL BE NEEDED.

RECONSTRUCT SIDEWALK FROM PROPERTY LINE TO PROPERTY LINE.

57

Underground Service Alert
Call: TOLL FREE
1-800-422-4133
TWO WORKING DAYS BEFORE YOU DIG

REVISIONS				
REV.	DATE	BY	DESCRIPTION	APP'VD

MESA WATER DISTRICT		COSTA MESA SANITARY DISTRICT	
APPROVED	DATE	DISTRICT ENGINEER	DATE

APPROVED BY:
FIRE DEPT. DATE
APPROVED BY:
PLANNING DEPT. DATE
APPROVED BY:
COSTA MESA DEPT. OF PUBLIC WORKS
R.C.E. NO.: EXP. DATE:

VENTURA ENGINEERING, LLC
7271 JEFFERSON AVE. STE J-100
SAN DIEGO, CA 92121
PHONE 619 591-7999
FAX 619 591-7728

REGISTERED PROFESSIONAL ENGINEER
No. 66532
Exp. 6-30-18
CIVIL
STATE OF CALIFORNIA

SEAL: DRAWN BY: RHV
DESIGNED BY: RHV
CHECKED BY: WV
PREPARED UNDER THE SUPERVISION OF:
MURFREDDO J. VENTURA
R.C.E. NO.: 66532 EXP. DATE: 6-30-18

PRECISE GRADING & UTILITY PLAN G16-
WINDMILL INVESTMENT, LLC
155 FLOWER STREET
COSTA MESA, CA 92627

SHEET NO. 3 OF 4

EROSION CONTROL GENERAL NOTES:

- IN CASE OF EMERGENCY CALL:
TODD CRUMP
 (RESPONSIBLE PERSON)

SOUTH POINTE CONSTRUCTION
 (FIRM)
951.676.2773
 (24 HOUR PHONE NO.)
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS AND BASINS.
- GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
- THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.

ATTACHMENTS & BMP'S

THE FOLLOWING BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, THE CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICES HANDBOOK, JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE PROJECT ENGINEER OR BUILDING OFFICIAL)

EROSION CONTROL
 EC1- SCHEDULING
 EC2- PRESERVATION OF EXISTING VEGETATION
 EC4- HYDROSEEDING
 EC5- SOIL BINDERS
 EC9- DRAINAGE SWALES
 EC10- STORM DRAIN INLET PROTECTION

TEMPORARY SEDIMENT CONTROL
 SE1- SILT FENCE
 SE6- GRAVEL BAG BERM
 SE7- STREET SWEEPING AND VACUUMING

WIND EROSION CONTROL
 WE1- WIND EROSION CONTROL

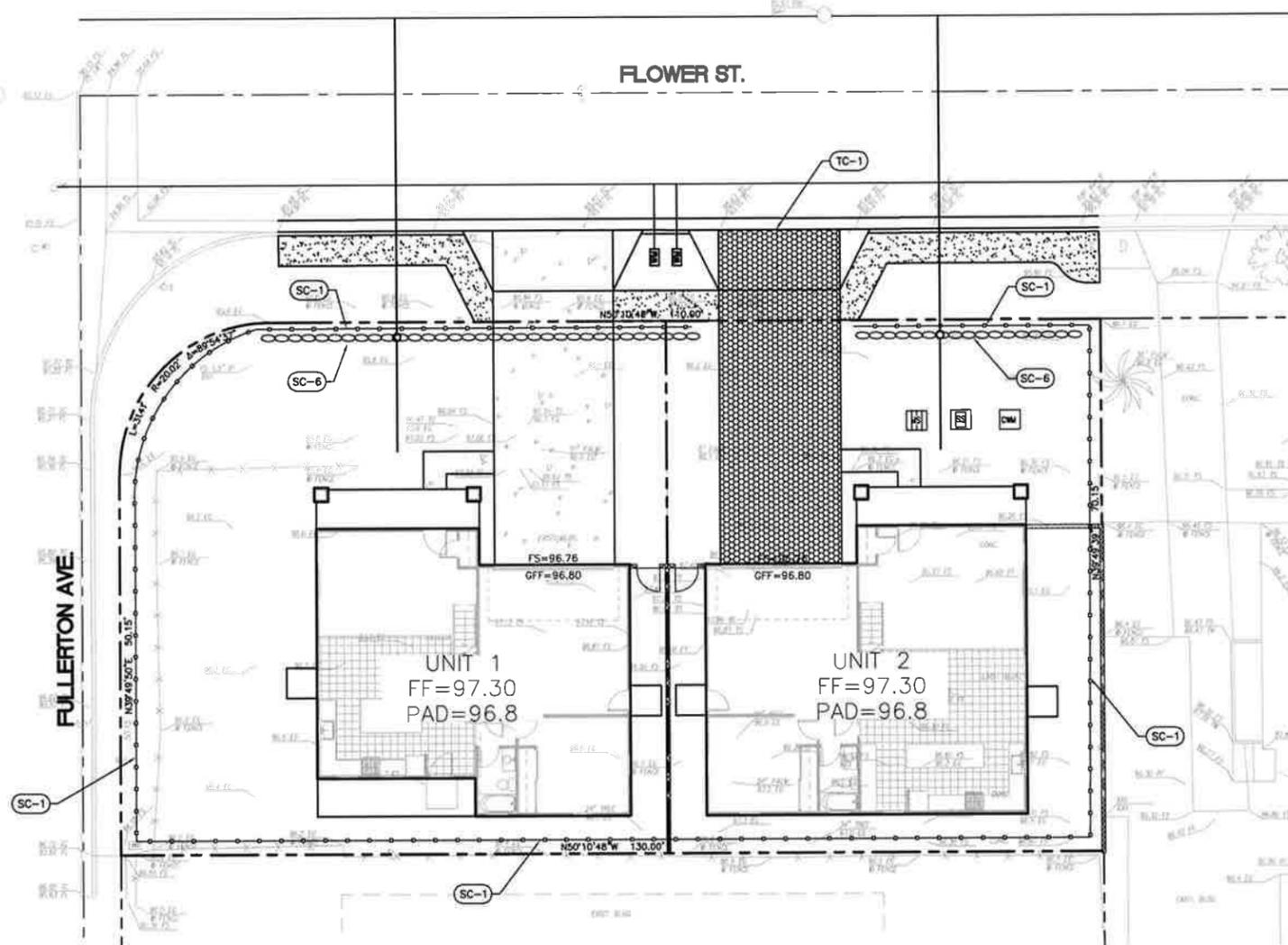
EQUIPMENT TRACKING CONTROL
 TC1- STABILIZED CONSTRUCTION ENTRANCE EXIT

NON-STORMWATER MANAGEMENT
 NS1- WATER CONSERVATION PRACTICES
 NS6- ILLICIT CONNECTION/DISCHARGE
 NS8- VEHICLE AND EQUIPMENT CLEANING
 NS10- VEHICLE AND EQUIPMENT MAINTENANCE

WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL
 WM1- MATERIAL DELIVERY AND STORAGE
 WM2- MATERIAL USE
 WM3- STOCKPILE MANAGEMENT
 WM4- SPILL PREVENTION AND CONTROL
 WM5- SOLID WASTE MANAGEMENT
 WM7- CONTAMINATION SOIL MANAGEMENT
 WM8- CONCRETE WASTE MANAGEMENT
 WM9- SANITARY/SEPTIC WASTE MANAGEMENT

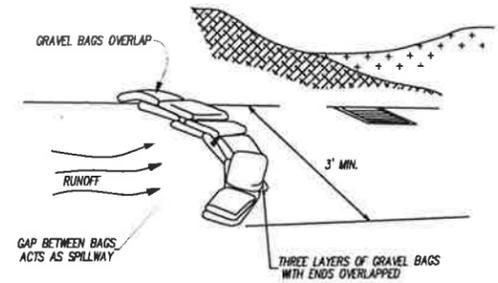
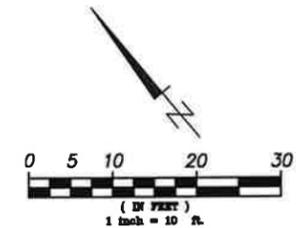
LEGEND
BEST MANAGEMENT PROTECTION

DESCRIPTION	QUANTITY	SYMBOL
SC1-SILT FENCE	357 LF	
SC6-GRAVEL BAG BARRIER	90 LF	
WM1-MATERIAL DELIVERY STORAGE	1 EA.	
WM8-CONCRETE WASTE MANAGEMENT	1 EA.	
WM9-SANITARY/SEPTIC WASTE MANAGEMENT	1 EA.	
TC1-STABILIZED CONSTRUCTION ENTRANCE	1 EA.	



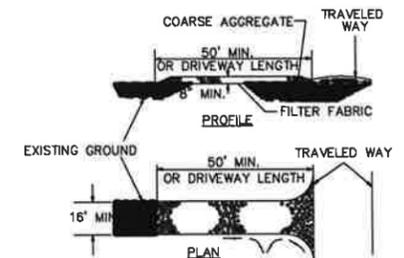
EROSION CONTROL PLAN

SCALE: 1"=10'



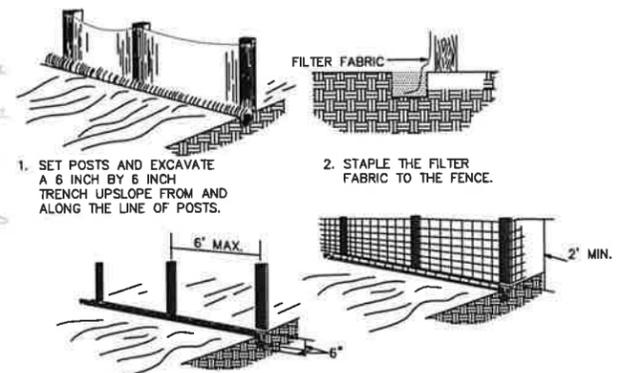
SC-6 GRAVEL BAGS

NO SCALE



TC-1 STABILIZED CONSTRUCTION ENTRANCE AND CONSTRUCTION ROADWAY

NO SCALE



SC-1 SILT FENCE DETAIL

NO SCALE

THE SILT FENCE SHOULD BE SUPPORTED BY A WIRE MESH IF THE FILTER FABRIC DOES NOT HAVE SUFFICIENT STRENGTH AND BURSTING STRENGTH CHARACTERISTICS (AS RECOMMENDED BY THE FABRIC MANUFACTURER)

58

<p>Underground Service Alert Call: TOLL FREE 1-800-422-4133 TWO WORKING DAYS BEFORE YOU DIG</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> <th>APP'VD</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	APP'VD						<p>MESA WATER DISTRICT</p> <p>APPROVED _____ DATE _____</p>	<p>COSTA MESA SANITARY DISTRICT</p> <p>ROBIN B. HAMERS (714) 283-2727 DISTRICT ENGINEER COSTA MESA SANITARY DISTRICT</p> <p>APPROVED _____ DATE _____</p>	<p>APPROVED BY: _____ DATE _____</p> <p>FIRE DEPT. _____ DATE _____</p> <p>APPROVED BY: _____ DATE _____</p> <p>PLANNING DEPT. _____ DATE _____</p> <p>APPROVED BY: _____ DATE _____</p> <p>COSTA MESA DEPT. OF PUBLIC WORKS R.C.E. NO.: _____ EXP. DATE: _____</p>	<p>VENTURA ENGINEERING, LLC</p> <p>7200 JEFFERSON AVE. STE J-200 BELLFLOWER, CA 90706 PHONE 562-800-7000 FAX 562-800-0728</p> <p>SEAL: _____</p> <p>MURDO S.D. VENTURA No. 66532 Exp. 6-30-18 CIVIL STATE OF CALIFORNIA</p>	<p>DRAWN BY: RHW</p> <p>DESIGNED BY: RHW</p> <p>CHECKED BY: WV</p> <p>PREPARED UNDER THE SUPERVISION OF: </p> <p>MURDO S.D. VENTURA R.C.E. NO.: 66532 EXP. DATE: 6-30-18</p>	<p>PRECISE GRADING & UTILITY PLAN G16-</p> <p>WINDMILL INVESTMENT, LLC 155 FLOWER STREET COSTA MESA, CA 92627</p>	<p>SHEET NO. 4 OF 4</p>
	REV.	DATE	BY	DESCRIPTION	APP'VD													