



PLANNING COMMISSION AGENDA REPORT

MEETING DATE: JULY 11, 2016

ITEM NUMBER: PH-4

SUBJECT: PLANNING APPLICATION PA-16-28 AND TENTATIVE PARCEL MAP NO. 2016-123 FOR A DESIGN REVIEW AND SUBDIVISION MAP FOR A DETACHED TWO-UNIT SMALL LOT SUBDIVISION AT 163 FLOWER STREET.

DATE: JUNE 30, 2016

FROM: PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

PRESENTATION BY: DANIEL INLOES, SENIOR PLANNER

FOR FURTHER INFORMATION CONTACT: DANIEL INLOES, AICP (714) 754-5088
daniel.inloes@costamesaca.gov

DESCRIPTION

The proposed project involves the following:

- 1. Design Review of PA-16-28** for a small lot subdivision consisting of two, two-story detached single-family residences of approximately 3000 square feet each including an attached two-car garage at 163 Flower Street. The proposal features four bedroom/ three bath units and two-story wood frame construction in the traditional form and craftsman and cottage style. The proposed project complies with the Code-required residential development standards and the Residential Design Guidelines. The proposal does not involve any requests for variances or administrative adjustments.
- 2. Tentative Parcel Map No. 2016-123** A residential small lot subdivision consisting of two fee simple lots.

APPLICANT OR AUTHORIZED AGENT

The applicant is Gavin Sermon, authorized agent for the property owner, Joe Kaneko / Tong Tong Glowing Trading Investment Corp.

RECOMMENDATION

Approve the project by adoption of Planning Commission resolution, subject to conditions.

ENVIRONMENTAL DETERMINATION

The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3), New Construction.

PLANNING APPLICATION SUMMARY

Location: 163 Flower Street Application Number: PA-16-28/PM-2016-123

Request: Design review of a two-unit residential development and a subdivision map.

SUBJECT PROPERTY:

Zone: R2-HD
 General Plan: HDR
 Lot Dimensions: 57.6 FT x 120.5 FT
 Lot Area: 6,948 sq ft
 Existing Development: One parcel with a single family residence (to be demolished).

SURROUNDING PROPERTY:

North: R2-HD Multi-Family Residential, Residential Use
 South: R2-HD Multi-Family Residential, Residential Use
 East: R2-HD Multi-Family Residential, Residential Use
 West: R2-HD Multi-Family Residential, Residential Use

DEVELOPMENT STANDARD COMPARISON - SMALL LOT ORDINANCE

Development Standard	Required/Allowed	Proposed/Provided
Lot Size:		
Lot Width	NA	57.6 FT
Lot Area	NA	6,948 SF
Maximum Density (based on gross acreage):		
DU's/ Acre (Residential)	1 du/3,000 SF Maximum 2 units	1 du/ 3,474 SF Proposed 2 units
Building Coverage (Development Lot)		
Buildings	NA	3,143 SF (45%)
Paving	NA	800 SF (12%)
Minimum Open Space	2,084 SF (30%)	2,846 SF (43%)
TOTAL	NA	6,948 SF (100%)
Building separation	NA	10 FT
Building Height	2 Stories/Max. 27 FT	2 Stories/Max. 26.33 FT
Setbacks (Development Lot)		
Front	20 FT	20 FT
Side (left/right)	5 FT/5 FT	7 FT/5 FT
Rear	10 FT	10 FT
Parking for 4 bedroom single-family detached		
Garage(s)	4	4
Open	4	4
TOTAL	8 Spaces	8 Spaces
Driveway Length	Min. 19 FT	Min. 20 FT & 26.5 FT
Interior garage dimension	20 FT	MIN 20 FT
NA = Not Applicable or No Requirement		
CEQA Status	Guidelines Section 15303/Class 3, New Construction of three or fewer single-family homes in urban areas	
Final Action	Planning Commission	

BACKGROUND

Project Site/Environs

The 6,948 square foot project site is located between Fullerton Avenue and Orange Avenue. The project site is currently developed with a single-story residence, originally constructed in 1950, that will be demolished to accommodate the proposed project. The property is zoned R2-HD with a maximum development potential of two units (12.5 dwelling units per acre).

The property to the east of the subject property (167 Flower Street) is developed with a multi-family project with two single-story units and the property to the west (155 Flower) is developed with one, single-story residence. A small lot subdivision for two two-story units on this lot is proposed by the same applicant for 155 Flower Street. The property to the north across Flower Street (166 Flower Street) is developed with a multi-family single-story single family residence in front and a two story, second unit in the rear. The property to the south of the subject property (162 Broadway) is across a public alley and is a two-story, residential multi-family development facing Broadway with rear access and parking abutting the alley.

South Pointe Companies has constructed other projects in Costa Mesa; including projects on 19th Street and Cabrillo Street. The homes are built to development standards and design guidelines and are characterized by varying architectural themes — in this case, a modern home with craftsman and cottage accents. The proposed floor plan provides an open first floor design with one guest bedroom on the first floor. The second floor consists of the rest of the bedrooms and two bathrooms.

ANALYSIS

Design Review for PA-16-28

The proposed project consists of two detached, single-family residences with one attached two-car garage for each unit. One residence will face Flower and the other will face the public alley between the property and the residential properties to the southwest. The property will be subdivided into two small lot subdivision parcels, which could be sold independently.

The project layout, floor plans, and elevations comply with the small lot subdivision development standards. The residences are two stories in height and the front unit is setback 20 feet from Flower Street; the other unit faces the public alley with a 10 feet setback from the alley. A total of 43 percent of the lot area is provided as open space and landscaping. The attached two-car garages are setback to provide two guest parking spaces on each driveway. Trash bins can be stored in the left (east) side yard areas where there is pedestrian access to the rear unit and both units are setback seven feet from property line (five-foot minimum required).

Dwelling Unit Orientation and Access

The proposed project subdivides the lot in the middle of the property. The driveway and access to the garage for the front unit is from Flower Street and the driveway and access to the rear unit is from the alley. There is pedestrian access to both units from Flower Street along the east side of the property where there is a seven-foot setback from the property line.

The front door of the front unit is oriented towards Flower Street, while the front door of the rear unit is oriented towards the left/east side. There are two other units that abut this public alley which address the alley for vehicular as well as potential pedestrian access.



Alley Study

Staff and the applicant have worked to make modifications to the project to increase the access to the rear unit from Flower Street for pedestrian traffic by widening the building setback on the left/east side to seven feet and softening the orientation of the dwelling unit by having it face the side as opposed to facing the alley. However, the rear unit still has guest parking off the alley and the unit will face the alley. Therefore, staff conducted an alley study to understand the prevalence of alley-oriented dwelling units, the difference between streets and alleys, and the conditions of public alleys in the City.

There are 35 alleys in Costa Mesa east of Newport Blvd. These alleys currently serve 970 residential parcels but only 284 of these parcels are of a size sufficient enough to have a second unit which could face the alley. Currently there are 15 parcels which contain 18 units which face the alley.

The alleys are typically 15 to 20 feet wide of paving as opposed to residential streets which typically have around 40 feet of paving. The alleys are primarily adjacent to and serve

residential properties. Of the 35 alleys 34 are public and paved. Alleys do not have parkways, sidewalks, no designated public right of way parking (on-“street” parking), no lighting, and typically about the rear of the adjacent lots.

Of the 18 units which face the alley, none of the properties have active Code Enforcement cases and most have no history of Code Enforcement cases on file. However, due to the uniqueness of the building orientation and to ensure that typical code enforcement issues, like parking vehicles on the landscaping, are not exacerbated by the rear unit facing the alley, conditions of approval will be added to increase lighting and trees and to install a curb along the property line as disincentives for these types of behavior and increase the overall aesthetic.

Tentative Parcel Map 2016-123

The applicant proposes a parcel map to allow the units to be sold separately. The map is consistent with City codes and the State Subdivision Map Act. Approval of the map will create two fee simple lots. Conditions of approval will require CC&Rs to ensure that both units maintain guest parking, maintain common areas, architectural consistency, and that the rear unit will retain pedestrian access to Flower Street on the east side of the property.

Residential Design Guidelines

The proposed residences include elevations with varied roof forms and articulation. The second floor to first floor ratio is 93% which is under the guidelines requirement of 100%. Both homes incorporate front porches and the front unit has a second story balcony. The combination of shingles, board and batten siding, stacked columns, stacked stoner veneer, wood-framed windows, and accentuated rafter brackets create an aesthetically pleasing façade. There are no second story window conflicts with the neighbors and the only property that shares a common side lot property line is the east side where there is a larger side setback of seven feet. (The west side property line abuts the rear property lines of the other properties.)

General Plan Conformance

The proposed development is a small lot subdivision of two attached single family residences. The project is consistent with the allowable density of 1 dwelling unit per 3,000 square feet. The project also complies with Land Use Objective LU-1A.4: “Strongly encourage the development of low-density residential uses and owner-occupied housing where feasible to improve the balance between rental and ownership housing opportunities” in that the two units will be sold independent of one another, therefore increasing homeownership opportunity in the City.

Expiration of Projects

Per City Code, planning application approvals are valid for one year unless renewed. Per the State Subdivision Map Act, tentative tract map approvals are valid for 24 months. As a result, staff has incorporated a condition of approval allowing the planning application expiration to coincide with the expiration of the respective map. The planning application and map would expire in 24 months (July 2017). After the initial 24-month period, a time extension for these applications would be required to be processed for another 12-month period.

JUSTIFICATIONS FOR APPROVAL

Pursuant to Title 13, Section 13-29, *Planning Application Review Process*, of the Costa Mesa Municipal Code, the Planning Commission shall find that the evidence presented in the administrative record substantially meets specified findings. Staff recommends approval of Design Review PA-16-28 and Parcel Map PM-2016-123, based on the following assessment of facts and findings which are also reflected in the draft resolution.

- *The proposed project complies with the General Plan and with the Zoning Code standards.* The creation of the subdivision is consistent with General Plan Land Use Objective LU-1A.4 in that it creates new homeownership opportunities to improve the balance between renter and owner occupied housing in the City. The project design complies with all development standards of a small lot subdivision. The proposed project does not exceed the maximum density and is consistent with the General Plan designation of High Density Residential.
- *The proposed project meets the purpose and intent of the Residential Design Guidelines.* The design of the two-story homes complies with the building mass and form, setbacks, elevation treatments, window placement, and architectural consistency guidelines. The proposed residences include elevations with varied roof forms and elevation treatments to enhance visual interest. The exterior elevations of the proposed homes incorporate front porches, varied wood framed windows, and accentuated rafter brackets to provide visual interest. The use of a variety of board and batten siding, stacked stone veneer, and shingles on the first and second story allow for a quality project.
- *Properly designed and conditioned rear unit.* The proposed rear unit is not completely oriented to the alley. The entrance, main living space, and porch face the side of the lot. The proposed project provides private open space for this unit between the two dwelling units, and will provide additional landscaping, lighting, and a curb along the rear property line to ensure that the space is safe and aesthetically pleasing.

Conditions of approval require that the project provide sufficient lighting at rear of the property for clear and safe access to and from the alley and a curb along the rear property line where it abuts the alley.

- *All new perimeter walls on the site are required to be block.* The proposed project has perimeter walls on the west and east sides of the two attached units. All walls are conditioned to be decorative block walls at least six feet in height.

A **code requirement** has been included requiring the applicant to construct a minimum six-foot tall decorative masonry wall along the west and east property line.

- *The proposed subdivision is consistent with the General Plan and Zoning Code.* The subdivision complies with General Plan Land Use Objective LU-1A.4 in that it allows the units to be sold independent of one another and creates home ownership opportunities. The subdivision is consistent with applicable development standards contained in the Zoning Code. The subdivision also provides for future natural heating and cooling. The required and existing trees will create shade, allowing for natural

cooling of the homes. The homes are placed on the site with an east-west orientation to allow for natural heating through sun exposure.

- Colored landscape plan shows the location of trees and drought tolerant plants. The proposed project provides grassy open space for each unit, a small private space between for each unit between the buildings, drought tolerant shrubs along the open walkway which allows onsite access to Flower Street for the rear unit. Mature trees strategically placed for privacy and to ensure landscaping setback are used for landscaping in the front and rear open spaces.

A **condition of approval** has been included requiring an additional tree to be planted within ten feet of the rear property line in the turf between the easterly property line and the driveway of the rear unit to discourage parking in the landscaped area.

- The Declaration of the Covenants, Conditions, and Restrictions (CC&Rs) is required to be filed on the property. The small lot subdivision requires that the subdivisions establish some form of self-governance through CC&Rs, maintenance associations, and/or homeowner's associations. In the City of Costa Mesa, the most common type of association is an incorporated homeowner's association. This is a corporation in which the members of the corporation vote for a board of directors which runs the affairs of the corporation. Because there are minimum common areas for circulation, landscape, and a shared wall, a maintenance association should be sufficient. A condition of approval requires that the CC&Rs contain the ground rules related to architectural control over future building modifications or additions, architectural design and guidelines for the property, that the east pedestrian path for the rear unit from Flower Street remain clear, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts.

ENVIRONMENTAL DETERMINATION

The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3), New Construction or Conversion of Small Structures and Section 15315 (Class 15), Minor Land Divisions.

In urbanized areas, up to three single-family residences may be constructed or converted under the Class 3 exemption. The Class 15 exemption consists of the division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous two years, and the parcel does not have an average slope greater than 20 percent. The project is consistent with the General Plan and Zoning Code. No variances are required. All public utilities and services are available. The property has not been subdivided within the previous two years, and the lot is generally flat in topography.

PUBLIC NOTICE

Pursuant to Title 13, Section 13-29(d), of the Costa Mesa Municipal Code, three types of public notification have been completed no less than 10 days prior to the date of the public hearing:

1. Mailed Notice. A public notice was mailed to all property owners within a 500-foot radius of the project site. The required notice radius is measured from the external boundaries of the property. (See attached Notification Radius Map)
2. On-site posting. A public notice was posted on each street frontage of the project site.
3. Newspaper publication. A public notice was published once in the Daily Pilot newspaper.

ALTERNATIVES

The Planning Commission has the following alternatives:

1. Approve the project with modifications. The Planning Commission may suggest specific changes that are necessary to alleviate concerns. If any of the additional requested changes are substantial, the item should be continued to a future meeting to allow a redesign or additional analysis. In the event of significant modifications to the proposal, should the Planning Commission choose to do so, staff will return with a revised resolution incorporating new findings and/or conditions.
2. Deny the project. If the Planning Commission believes that there are insufficient facts to support the findings for approval, Planning Commission must deny the application and provide facts in support of denial to be included in the attached draft resolution for denial. If the project were denied, the applicant could not submit substantially the same type of application for six months.

CONCLUSION

Approval of the Design Review and Tentative Parcel Map, as conditioned, will allow the development of a two detached single family dwelling units on small lots which is consistent with the Residential Development Standards and Design Guidelines Resolutions. Staff recommends approval of this project.



DANIEL INLOES, AICP
Associate Planner



CLAIRE FLYNN, AICP
Assistant Director
Development Services

- Attachments:
1. Vicinity, Zoning, and 500 Radius Maps
 2. Site Photos
 3. Applicants Project Description

4. Draft Planning Commission Resolutions and Exhibits
5. Public Correspondence / Emails
6. Project Plans/Elevations/Perspectives

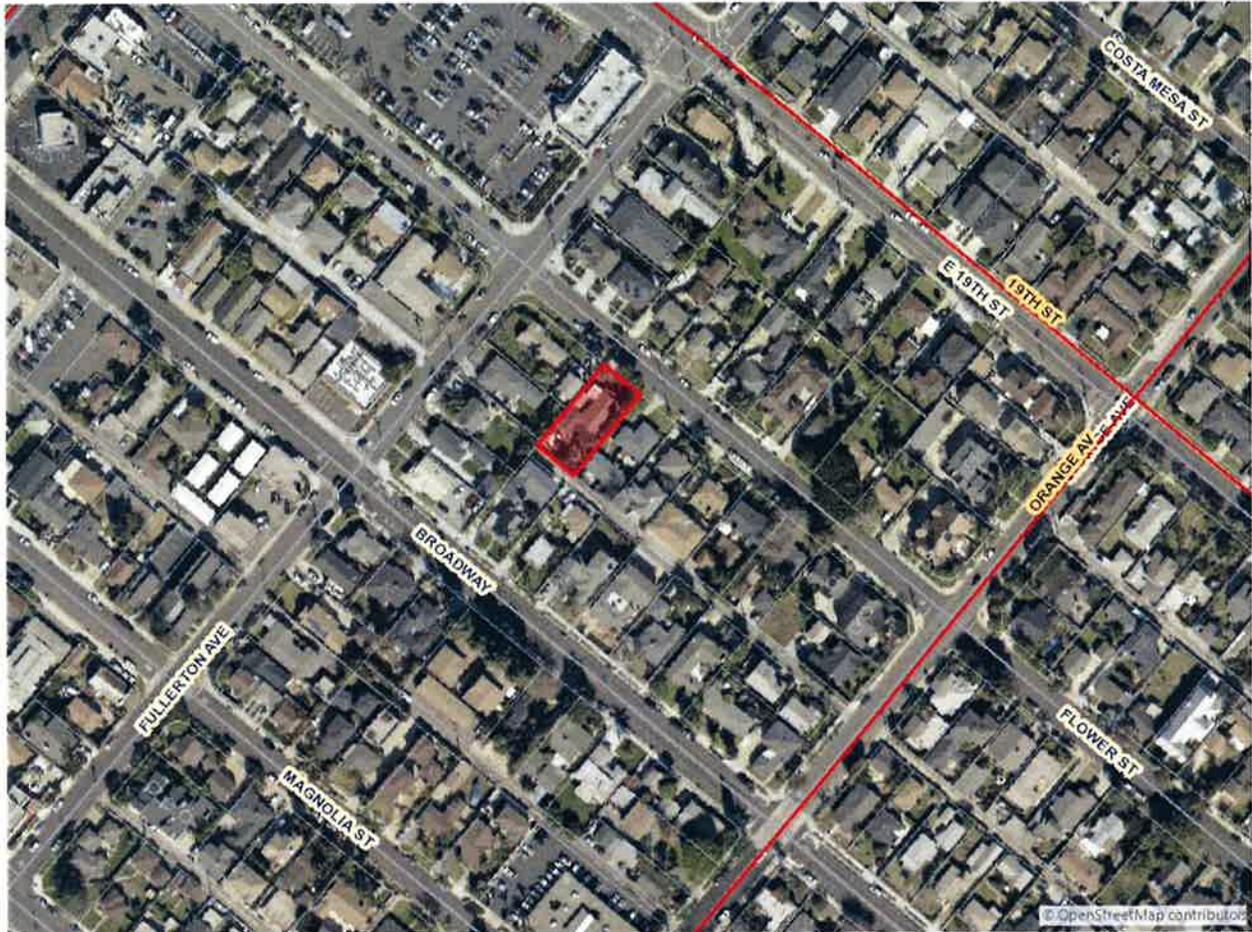
Distribution: Director of Economic & Development Services/Deputy CEO
Senior Deputy City Attorney
Public Services Director
City Engineer
Transportation Services Manager
Fire Protection Analyst
File (2)

Owner: Tong Tong Glowing Trading INC.
22 Trumpet Vine
Irvine CA 92603

Agent: Gavin Sermon
South Pointe Companies
41146 Elm St. Suite H
Murrieta, CA 92562

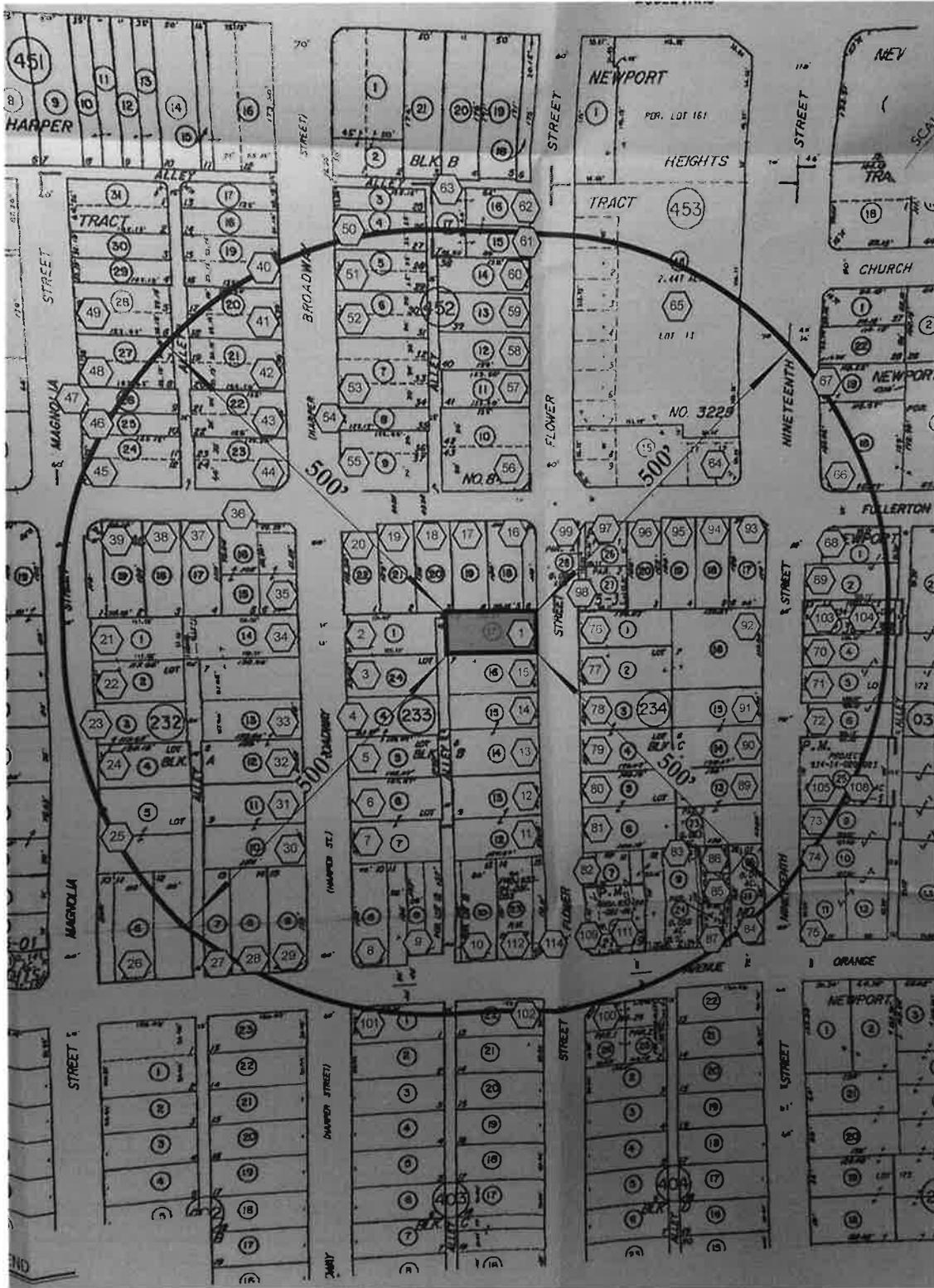
Vicinity Map

163 Flower Street



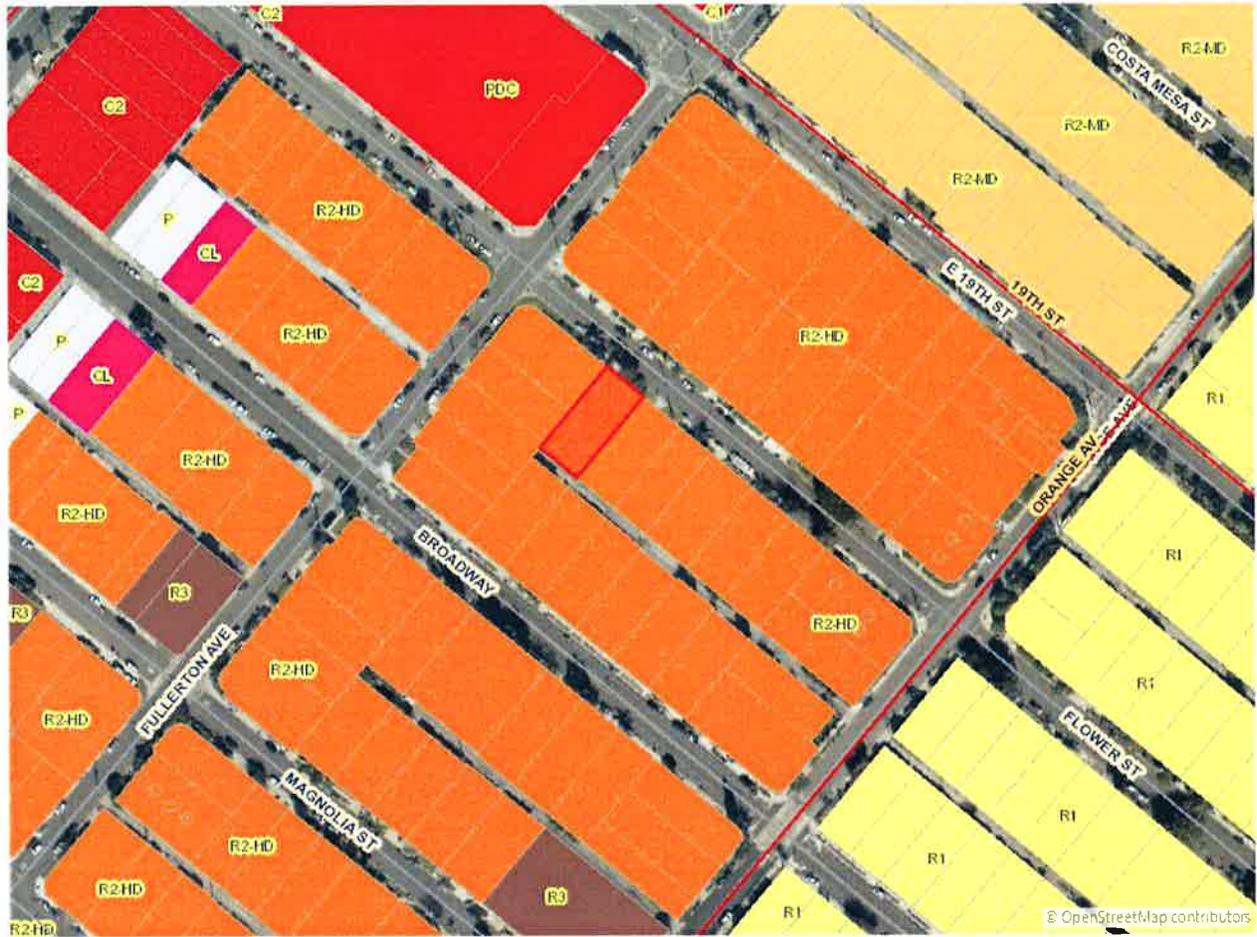
Radius Map

163 Flower Street



Zoning

163 Flower Street





East Neighbor



Project Site



Nearby Commercial (Mother's Market)



West Neighbor



Alley (Project is at end on the right.)



North Neighbor



4/21/16

Owner: Tong Tong Glowing Trading and Investment Corp, Contact - Joe Kaneko (213) 509-9888. bluepine18@gmail.com

Builder: South Pointe Construction, Contact - Gavin Sermon (951) 553-3117
gavin@southpointeinc.com

Project Address: 163 Flower, Costa Mesa (Zoned R2)

Project Description: Tear down existing 970 SF single story home and 200 SF detached shed. Process parcel map for detached 2 unit common interest development. Unit A: 4 bedroom 3 bath approximately 2563 SF (2 stories) with attached 2 car garage. Unit B - 4 bedroom 3 bath approximately 2580 SF (2 Stories) with attached 2 car garage.

RESOLUTION NO. PC-16-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING PLANNING APPLICATION PA-16-28 AND TENTATIVE PARCEL MAP 2016-123 AT 163 FLOWER STREET IN THE R2-HD ZONE

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Gavin Sermon, South Pointe Construction, as the authorized agent on behalf of the property owner, Joe Kaneko/Tong Tong Glowing Trading Investment Corp., requesting approval of the following:

- 1) **Design Review PA-16-28** to construct a small lot subdivision consisting of two, two-story detached single family residences each approximately 3,000 square feet in area with attached two-car garages;
- 2) **Tentative Parcel Map No. 2016-123** to facilitate the small lot subdivision of this property into two fee simple lots;

WHEREAS, a duly noticed public hearing held by the Planning Commission on July 11th, 2016 with all persons having the opportunity to speak for and against the proposal;

WHEREAS, the two-unit project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3), New Construction and Conversion of Small Structures and Section 15315 (Class 15), Minor Land Divisions.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, and subject to the conditions of approval contained within Exhibit B, the Planning Commission hereby **APPROVES** Planning Application PA-16-28 and Tentative Parcel Map 2016-123.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-16-28 and Tentative Parcel Map 2016-123 and upon applicant's compliance with each and all of the conditions in Exhibit B, and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

BE IT FURTHER RESOLVED that if any section, division, sentence, clause, phrase or portion of this resolution, or the documents in the record in support of this resolution, are for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

PASSED AND ADOPTED this 11th day of July, 2016.

Robert L. Dickson Jr., Chair
Costa Mesa Planning Commission

STATE OF CALIFORNIA)
)ss
COUNTY OF ORANGE)

I, _____, Secretary to the Planning Commission of the City of Costa Mesa, do hereby certify that the foregoing Resolution was passed and adopted at a meeting of the City of Costa Mesa Planning Commission held on July 11, 2016 by the following votes:

AYES: COMMISSIONERS

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS

ABSTAIN: COMMISSIONERS

Secretary,
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS

- A. The proposed project complies with Costa Mesa Municipal Code Section 13-29(g)(14) because:

Finding: The project complies with the City of Costa Mesa Zoning Code and meets the purpose and intent of the residential design guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.

Facts in Support of Findings: The design of the two-story homes complies with the building mass and form, window placement, setbacks, elevation treatments, and architectural consistency guidelines. The proposed residences include elevations with varied roof forms and elevation treatments to enhance visual interest. The buildings are placed on the property with sufficient setbacks to provide useable open space and minimizes the potential privacy impacts to surrounding properties. The exterior elevations of the proposed homes incorporate front porches and siding to provide visual interest.

Finding: The visual prominence associated with the construction of a two-story house or addition in a predominantly single-story neighborhood has been reduced through appropriate transitions between the first and second floors and the provision of second floor offsets to avoid flat two-story walls.

Facts in Support of Finding: The subject site is in a neighborhood with both single-story and two-story residences. The various siding, varied elevations, and second story setback for both units provides a vertical break between the first and second story. The second floors of both units increase the overall aesthetic. Most properties within this block of Flower Street have a second story component. There is no conflict with other windows since this development is abutting two properties whose dwelling units are single story.

- B. The proposed project complies with Costa Mesa Municipal Code Section 13-29(g)(13) because:

Finding: The creation of the subdivision and related improvements is consistent with the General Plan and the Zoning Code.

Facts in Support of Finding: The creation of the subdivision is consistent with General Plan Land Use Objective LU-1A.4 in that it creates ownership opportunities to improve the balance between renter and owner occupied

housing in the City. The project design complies with the Residential Development Standards and the Residential Design Guidelines. This project will add an additional ownership property within the City.

Finding: The proposed use of the subdivision is compatible with the General Plan.

Facts in Support of Finding: The proposed project has a density of 12.5 units per acre, consistent with the General Plan designation of High Density Residential for legal lots within R2-HD zone.

Finding: The subject property is physically suitable to accommodate the subdivision in terms of type, design, and density of development, and will not result in substantial environmental damage nor public health problems, based on compliance with the Zoning Code and General Plan, and consideration of appropriate environmental information.

Facts in Support of Finding: The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3), New Construction or Conversion of Small Structures and Section 15315 (Class 15), Minor Land Divisions. The project complies with the maximum allowed density for the site and provides adequate open space, parking, and setbacks from adjacent properties.

Finding: The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code Section 66473.1.

Facts in Support of Finding: The site plan places the yard areas along the north and south side property line in an east-west orientation to ensure natural and passive heating from the sun exposure. Trees will be required to help provide passive cooling opportunities.

Finding: The subdivision and development of the property will not unreasonably interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.

Facts in Support of Finding: The proposed project does not interfere with the public right of way. As a **condition of approval** all utilities on the private property will be undergrounded.

Finding: The discharge of sewage from this subdivision into the public sewer system will not violate the requirements of the California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000 of the Water Code).

Facts in Support of Finding: The applicant will be required to comply with all regulations set forth by the Costa Mesa Sanitation District as well as the Mesa Water District.

C. **Finding:** The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3) for New Construction or Conversion of Small

Structures and Section 15315 (Class 15) for Minor Land Divisions.

Facts in Support of Finding: In urbanized areas, up to three single-family residences may be constructed under the Class 3 exemption. The project proposes to construct two residential units and, therefore, qualifies for a Class 3 exemption. The Class 15 exemption consists of the division of property in urbanized areas zoned for residential use into four or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous two years, and the parcel does not have an average slope greater than 20 percent. The proposed map complies with all of these requirements.

- D. The project is exempt from Chapter XII, Article 3 Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

EXHIBIT B

CONDITIONS OF APPROVAL

- Plng.
1. The expiration of Planning Application PA-16-28 shall coincide with the expiration of the approval of the Tentative Parcel Map 2016-123 which is valid for two years. An extension request will be required to extend the expiration for each additional year after the initial two-year period.
 2. The conditions of approval, or Exhibit B, for PA-16-28 and Tentative Parcel Map 2016-123 shall be blueprinted on the face of the site plan as part of the plan check submittal package. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
 3. Prior to issuance of a certificate of occupancy, the applicant shall file and record a declaration of covenants, conditions, and restrictions (CC&Rs) on the property. The establishment of a homeowner's association shall be optional. Prior to issuance of a building permit, a draft of the CC&Rs shall be remitted to the Development Services Director and City Attorney's office for review and approval. Because the rear unit must have access to Flower Street the CC&Rs must address the easement for pedestrian circulation and landscape purposes along the easterly side property line, the CC&Rs shall also address the ground rules related to: architectural control over future building modifications or additions, architectural design and guidelines for the property, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts. The Development Services Director has the discretion to request any other provisions in the CC&Rs to promote self-governance between the two property owners.
 - a. The CC&R's shall contain restrictions requiring residents to park vehicles in garage spaces provided for each unit. Storage of other items may occur only to the extent that vehicles may still be parked within the required garage at the number for which the garage was originally designed and to allow for inspections by the association to verify compliance with this condition.
 - b. Any subsequent revisions to the CC&Rs related to these provisions must be reviewed and approved by the City Attorney's office and the Development Services Director before they become effective.
 4. The Homeowner's Association or Maintenance Association shall submit a signed affidavit to the City of Costa Mesa on an annual basis to certify the following:
 - a. The two-car garages in the residential community are being used for vehicle parking by the resident(s).
 - b. The vehicle parking areas within the garage are not obstructed by storage items, including but not limited to, toys, clothing, tools, boxes, equipment, etc.
 - c. The resident(s) have consented to voluntary inspections of the garage to verify the parking availability, as needed.

The form and content of the affidavit shall be provided by the City Attorney's office. Failure to file the annual affidavit is considered a violation of this condition.

5. Prior to building permit issuance, the applicant shall provide plans showing additional lighting at the rear of the property along the alley for clear visibility of vehicular and pedestrian circulation through the alley as well as ingress and egress onto the site, under the direction of planning staff.
6. A curb shall be constructed along the rear property line where it abuts the alley.
7. The applicant shall work with City staff to provide adequate privacy screening by trees and landscaping between the project and its residential neighbors.
8. The subject property's ultimate finished grade level may not be filled/raised in excess of 30 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site storm water flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. Such alternatives may include subsurface tie-in to public storm water facilities, subsurface drainage collection systems and/or sumps with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties. Applicant is advised that recordation of a drainage easement across the private street may be required to fulfill this requirement.
9. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
10. No modification(s) of the approved building elevations including, but not limited to, change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process or a variance, or in the requirement to modify the construction to reflect the approved plans.
11. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
12. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project,

including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.

13. Existing overhead wires which run over the lot towards the southern portion of the lot shall be undergrounded.
14. An additional tree shall be planted within ten feet of the rear property line west property line and the driveway of the rear unit.
- Eng 15. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa.
16. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
17. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
18. Obtain an encroachment permit from the Engineering Division for any work in the City public right-of-way. Pay required permit fee and cash deposit or surety bond to guarantee construction of off-site street improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.
19. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and construct P.C.C. driveway approach per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager. ADA compliance required for new driveway approach.
20. Fulfill Drainage Fee requirements per City of Costa Mesa Ordinance No. 06-19 prior to approval of Final Map/Approval of Plans.
21. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and construct 4'-4" wide P.C.C. sidewalk per City of Costa Mesa standards along the entire frontage for Flower street. A minimum of 4ft clearance shall be provided around existing and proposed obstructions.
- Parks/
Prkwys. 22. Plant 1-24' box tree in the public right-of-way on Cabrillo Street as part of the redevelopment of the property. Species may be proposed by applicant, with Public Services Department approval, or selected from below without further approval: Queen Palm, Samuel Summer Magnolia, Crape Myrtle, Purple Orchid Tree, Western Redbud 'Forest Pansy', and Fern Pine.

CODE REQUIREMENTS

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
 2. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
 3. Development shall comply with all requirements of Section 13-32, Title 13, of the Costa Mesa Municipal Code relating to development standards for residential projects.
 4. All on-site utility services shall be installed underground.
 5. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
 6. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
 7. Two (2) sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
 8. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
 9. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
 10. If present and/or projected exterior noise exceeds 60 CNEL, California Noise Insulation Standards, Title 25, California Code of Regulations require a maximum interior noise level of 45 CNEL for residential structures. If required interior noise levels are achieved by requiring that windows be inoperable or closed, the design for the structure must also specify the means that will be employed to provide ventilation, and cooling if necessary, to provide a habitable interior environment.
 11. Prior to issuance of any permit for buildings, the Developer shall pay a park impact fee or dedicate parkland to meet the demands of the proposed development.

- Bldg.
12. A minimum 20-foot by 20-foot clear inside dimension shall be provided for the two-car garages. The proposed garages shall be used for parking as required by code as it is not habitable space; further excess storage which prevents parking the required number of vehicles is prohibited.
 13. Prior to final inspection, the applicant shall construct a minimum six-foot tall decorative masonry wall along the east and west side property lines.
 14. Comply with the requirements of the adopted 2013 California Residential Code, 2013 California Building Code, 2013 California Electrical code, 2013 California Mechanical code, 2013 California Plumbing code, 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted, California Residential Code, California Building code, California Electrical code, California Mechanical code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
 15. Submit a precise grading plan and an erosion control plan. A precise grading plan shall not be required if any of the following are met:
 - 1- An excavation which does not exceed 50 CY on any one site and which is less than 2 ft in vertical depth, or which does not create a cut slope greater than 1 ½:1 (excluding foundation area).
 - 2- A fill less than 1 foot in depth placed on natural grade with a slope flatter than 5:1, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
 - 3- A fill less than 3 ft in depth, not intended to support structures, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
 16. Submit a soil's report for the project. Soil's Report recommendations shall be blueprinted on both the architectural and the precise grading plans.
 17. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge device a minimum of 12 inches plus two percent (2%). 2013 California Residential Code CRC 403.1.7.3. Lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. CRC R401.3
 18. The ground adjacent immediately to the foundation shall be sloped away from the building at a slope of not less than 5% for a minimum distance of 10 feet measured perpendicular to the face of the wall CBC sec. 1804.3. See also exception.
 19. Projections, including eaves, shall be one-hour fire resistive construction, heavy timber or of noncombustible material if they project into the 2ft setback area from the property line as per CRC R302.1(2).
 20. Prior to issuing the Building permit the conditions of approval shall be required to be incorporated on the approved Architectural plans
- Fire
21. Street addresses shall be visible from the public street and may be displayed either on the front door, on the fascia adjacent to the main entrance, or on another prominent location. When the property has alley access, address numerals shall be displayed in a prominent location visible from the alley. Numerals shall be a minimum six (6) inches in

- height with not less than one-half-inch stroke and shall contrast sharply with the background.
- Eng. 22. Two copies of the Final Map and one copy of the Property Boundary closure calculations shall be submitted to the City of Costa Mesa Engineering Division for checking.
23. Submit updated Title Report of the subject property.
24. The Parcel Map shall be developed in full compliance of CCMMC Sec 13-208 through 13-261 inclusive.
25. Release and relinquish all vehicular and pedestrian access rights to 16th Street to the City of Costa Mesa except at approved locations.
26. Submit seven copies, one duplicate mylar and an electronic copy of recorded map or signed plan to Engineering Division, City of Costa Mesa, prior to occupancy.
27. Prior to recordation of a final map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor and shall submit to the City Engineer and the County Surveyor a digital-graphic file of said map in a manner described in Subarticle 11/12, Sections 7-9-330/7-9-337 of the Orange County Subdivision Code.
28. Survey Monuments shall be preserved and referenced or set pursuant to Section 8771 of the Professional Land Surveyors Act and Business and Professional code.
29. Submit cash deposit or surety bond to guarantee monumentation prior to approval of the map. Amount to be determined by City Engineer.
30. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
31. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
32. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
33. Obtain an encroachment permit from the Engineering Division for any work in the City public right-of-way. Pay required permit fee & cash deposit or surety bond to guarantee construction of off-site street improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.
34. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approaches per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager. ADA compliance required for new driveway approaches.

35. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb and sidewalk at applicant's expense.
36. Fulfill Drainage Fee requirements per City of Costa Mesa Ordinance No. 06-19 prior to approval of Final Map/Approval of Plans.
37. In order to comply with the 2003 Drainage Area Management Plan (DAMP), the proposed Project shall prepare a Water Quality Management Plan conforming to the Current National Pollution Discharge Elimination System (NPDES) and the Model WQMP, prepared by a Licensed Civil Engineer or Environmental Engineer, which shall be submitted to the Department of Public Works for review and approval.
 - a) A WQMP (Priority or Non-Priority) shall be maintained and updated as needed to satisfy the requirements of the adopted NPDES program. The plan shall ensure that the existing water quality measures for all improved phases of the project are adhered to.
 - b) Location of BMPs shall not be within the public right-of-way.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- | | |
|--------|--|
| Sani. | <ol style="list-style-type: none"> 1. Applicant will be required to construct sewers to serve this project, at his own expense, meeting the approval of the Costa Mesa Sanitary District. 2. County Sanitation District fees, fixture fees, inspection fees, and sewer permit are required prior to installation of sewer. To receive credit for buildings to be demolished, call (714) 754-5307. 3. Applicant shall submit a plan showing sewer improvements that meets the District Engineer's approval to the Building Division as part of the plans submitted for plan check. 4. The applicant is required to contact the Costa Mesa Sanitary District at (714) 754-5307 to arrange final sign-off prior to certificate of occupancy being released. 5. Unless an off-site trash hauler is being used, applicant shall contact the Costa Mesa Sanitary District at (714) 754-5043 to pay trash collection program fees and arrange for service for all new residences. Residences using bin or dumpster services are exempt from this requirement. 6. Applicant shall contact Costa Mesa Sanitary District at (949) 654-8400 for any additional district requirements. |
| AQMD | <ol style="list-style-type: none"> 7. Applicant shall contact the Air Quality Management District (AQMD) at (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD. |
| School | <ol style="list-style-type: none"> 8. Pay applicable Newport Mesa Unified School District fees to the Building Division prior to issuance of building permits. |
| State | <ol style="list-style-type: none"> 9. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information. |

- Water
10. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District
 11. Prior to the issuance of a connection permit, the applicant shall pay the applicable water connection fees

RESOLUTION NO. PC-16-

**A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF COSTA MESA DENYING PLANNING APPLICATION
PA-16-28 AND TENTATIVE PARCEL MAP NO. 2016-123 FOR
PROPERTY AT 163 FLOWER STREET IN THE R2-HD ZONE**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES
AS FOLLOWS:

WHEREAS, an application was filed by Gavin Sermon, South Pointe Construction, as the authorized agent on behalf of the property owner, Joe Kaneko/Tong Tong Glowing Trading Investment Group. requesting approval of the following:

- 1) ***Design Review PA-16-28*** to construct a two-unit, two-story detached single-family residential development;
- 2) ***Tentative Parcel Map No. 2016-123*** to facilitate the small lot subdivision of the property into two fee simple lots.

WHEREAS, a duly noticed public hearing held by the Planning Commission on July 11, 2016 with all persons having the opportunity to speak for and against the proposal;

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, the Planning Commission hereby **DENIES** Planning Application PA-16-28 and Tentative Parcel Map No. 2016-123.

DENIED this 11th Day of July, 2016.

Robert L. Dickson Jr., Chair
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS (DENIAL)

- A. The proposed project does not comply with Costa Mesa Municipal Code Section 13-29(e) because:
 - 1. A compatible and harmonious relationship does not exist between the proposed use and existing buildings, site development, and uses on surrounding properties.
 - 2. The proposed project does not comply with the performance standards as prescribed in the Zoning Code.
 - 3. The proposed project is not consistent with the General Plan or Zoning Code.

- C. The information presented does not comply with Costa Mesa Municipal Code Section 13-29(14) in that the project does not meet the purpose and intent of the Residential Design Guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.

- D. The subdivision of the property is not consistent with the City's General Plan and Zoning Code.

- E. The Costa Mesa Planning Commission has denied Planning Application PA-16-28 and Tentative Parcel Map No. PM-16-123. Pursuant to Public Resources Code Section 21080(b)(5) and CEQA Guidelines Section 15270(a) CEQA does not apply to this project because it has been rejected and will not be carried out.

- F. The project is exempt from Chapter IX, Article 11, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

WOODROW LEWIS

P.O. BOX 2286
NEWPORT BEACH, CALIFORNIA 92659-1286

ATTACHMENT 5

JUNE 30TH, 2016

REC'D JUL 05 2016

CITY OF COSTA MESA PLANNING COMM.
P.O. Box 1200
COSTA MESA, CALIF. 92628 1200

RE: APP No. P.A. 16-28 AND PM 2016 123 & 122

TWO SETS OF "NOTICE OF PUBLIC HEARING" CAME TODAY AS TO 'FILLING THE EASTSIDE WITH CAR'S GALORE". THEY'RE SELLING MORE CARS EACH YEAR SO WHY NOT FILL THE CURBS WITH 'CLUTTER'. WHERE DO YOU FIND "8 REQUIRED: 8 PROPOSED" THIS SEEMS TO SAY THAT THESE TWO OVERLAPPING PROJECTS TOGETHER HAVE 16 ADEQUATE PARKING POSITIONS. DEFINE THIS FOR ME?

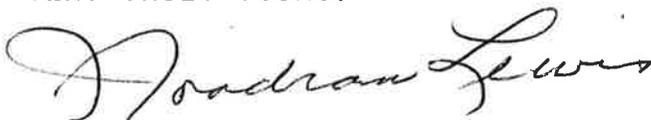
I FEEL LIKE THE MIDGIT WITH A FLY SWATTER WITH NO CENTER TRYING TO KEEP AN ELEPHANT 'FLY FREE'.

I'VE SAID BEFORE AND HAVE EXCELLENT EXPERIENCE AS TO THE CONTENTS OF 'GARAGES'. "CLUTTER, CRAP AND COMBUSTIBLES" IS FOR "GARAGES". CURBS IS FOR CARS.

WOW, WHEN THE 'MARKET SATURATES' AND FORECLOSURES AGAIN 'SHOW UP' WHAT DO YOU SAY "...NO IT'S NOT THE FRONT HOUSE IT'S THE BACK BARN". FOR THE CITY'S ENHANCED TAX BASE WHEN THE SH-- HITS THE FAN THE 'RECOINITERING' WILL BE WILD.

BY THE WAY VOTE NO FOR BOTH WOODCO INV. Co. AND THE INDIV. GLENDA LEWIS PROPERTY.

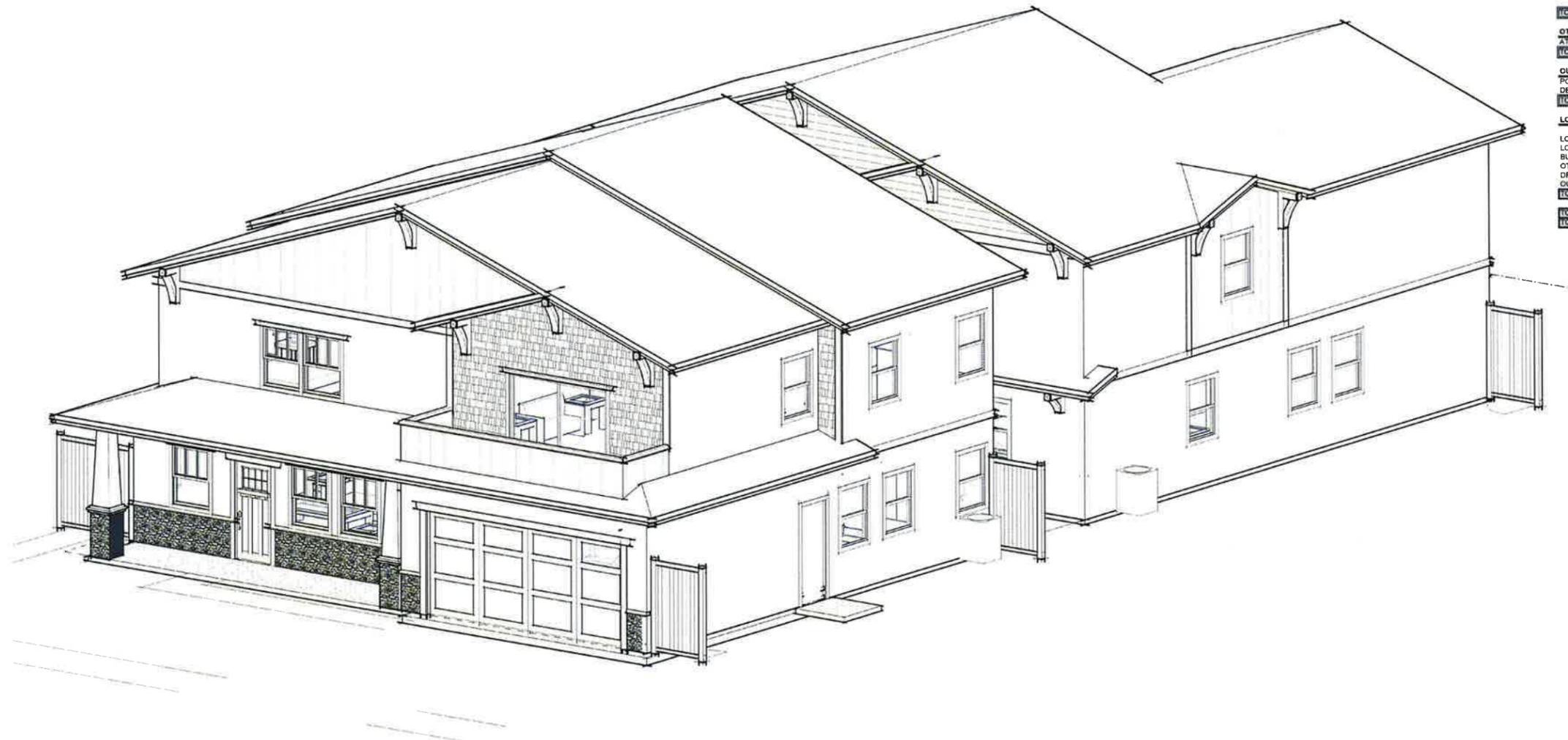
VERY TRULY YOURS,





Residential Small Lot Subdivision

163 Flower St.
Costa Mesa, Ca. 92627



LOT SIZE	
RECTANGULAR	7,405.00 SQ.FT.
ZONING	R-A-5
NUMBER OF STORIES	
	2
BUILDING FLOOR AREA CALCULATIONS	
NEW LIVING AREA - 1ST FLOORS	2342 SQ.FT.
NEW LIVING AREA - 2ND FLOORS	2801 SQ.FT.
TOTAL NEW LIVING AREA	5143 SQ.FT.
OTHER STRUCTURES	
ATTACHED 2-CAR GARAGES	801 SQ.FT.
TOTAL DETACHED STRUCTURES	801 SQ.FT.
OUTDOOR LIVING AREA	
PORCHES	213 SQ.FT.
DECKS	168 SQ.FT.
TOTAL OUTDOOR LIVING AREA	381 SQ.FT.
LOT COVERAGE	
LOT AREA	7,405.00
LOT AREA WITHOUT PARKWAY	7,065.00
BUILDING OUTLINE	2,342.00
OTHER STRUCTURES	801.00
DRIVEWAY	985.00
OUTDOOR LIVING AREA	381.00
TOTAL	4,320.00
TOTAL OPEN AREA	2,885.00
TOTAL OPEN AREA WITHOUT PARKWAYS	2,315.00

PROJECT SUMMARY

Unit	Name	Area
Unit A		
Building Floor Area Calculations		
Unit A	1st Floor Living	1169 SF
Unit A	2nd Floor Living	1382 SF
Building Floor Area Calculations		2551 SF
Other Structures		
Unit A	Garage	401 SF
Other Structures		401 SF
Outdoor Living Area		
Unit A	Porch	130 SF
Unit A	Deck	91 SF
Outdoor Living Area		221 SF
Unit B		
Building Floor Area Calculations		
Unit B	1st Floor Living	1173 SF
Unit B	2nd Floor Living	1419 SF
Building Floor Area Calculations		2593 SF
Other Structures		
Unit B	Garage	400 SF
Other Structures		400 SF
Outdoor Living Area		
Unit B	Porch	83 SF
Unit B	Deck	77 SF
Outdoor Living Area		159 SF
Grand total		6325 SF

VICINITY MAP



Sheet List

Sheet Number	Sheet Name
DD1	Cover Sheet
DD2a	Site Map
DD2b	Site Plan Detailed
DD3a	Unit - A Floor Plans
DD3b	Unit - A Elevations
DD4a	Unit - B Floor Plans
DD4b	Unit - B Elevations
DD5	Unit A & B Roof Plan
DD6	Unit A & B Landscape Plan
DD7	Unit A Colored Elevations
DD8	Unit B Colored Elevations
DD9	Street Scene Perspective
DD10	Block Fence
Grand total: 13	

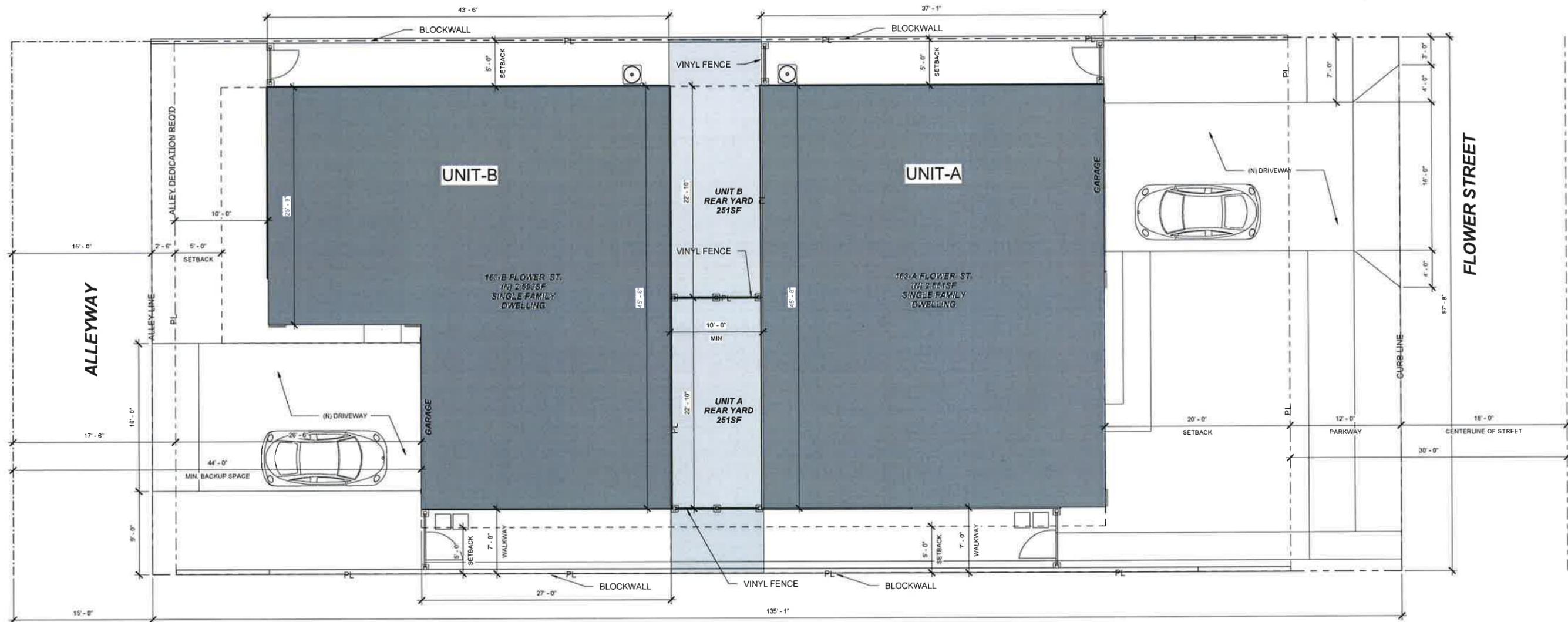
Planning Commission Presentation

163 Flower St.
Costa Mesa, Ca. 92627

OWNER
Joe Haneke

163 Flower
Cover Sheet

DD1



FLOWER STREET
Residential Small Lot Subdivision

1 Site Plan Map
3/16" = 1'-0"

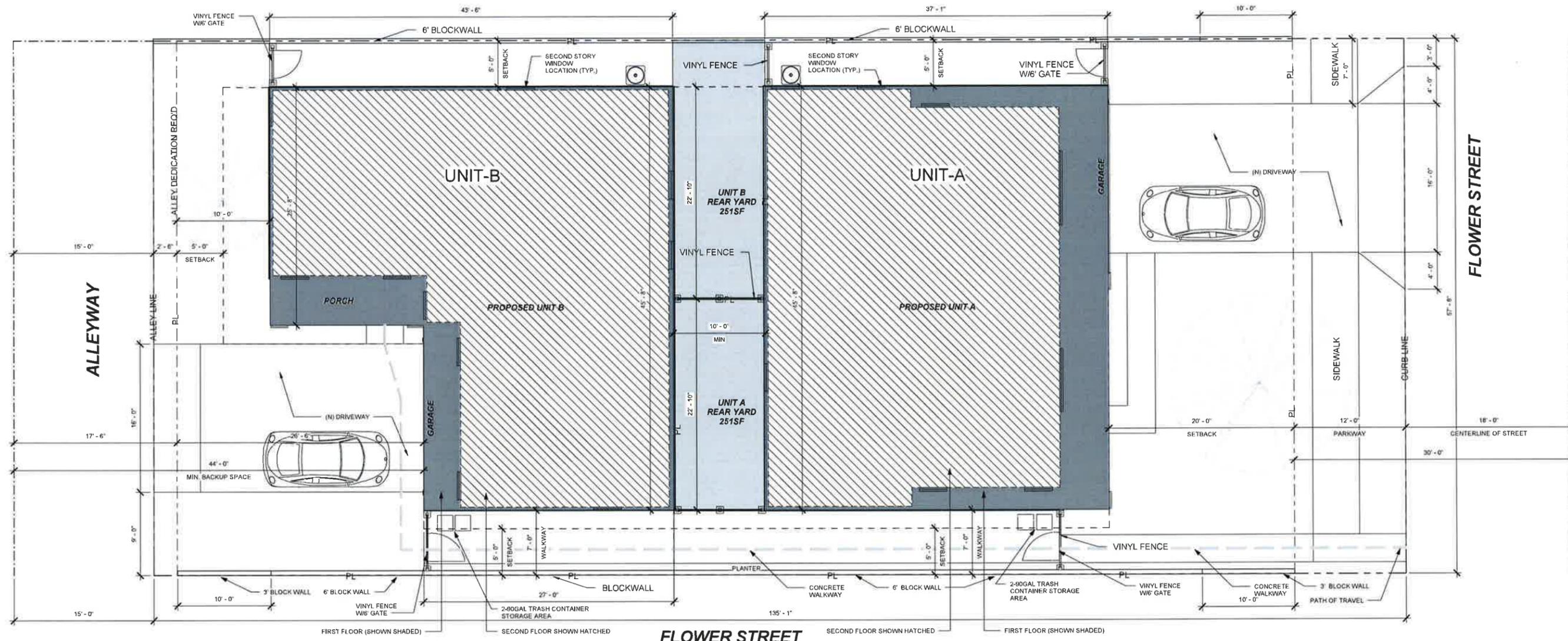
Planning Commission Presentation

163 Flower St.
Costa Mesa, Ca. 92627

OWNER
Joe Sanchez

163 Flower
Site Map

DD2a



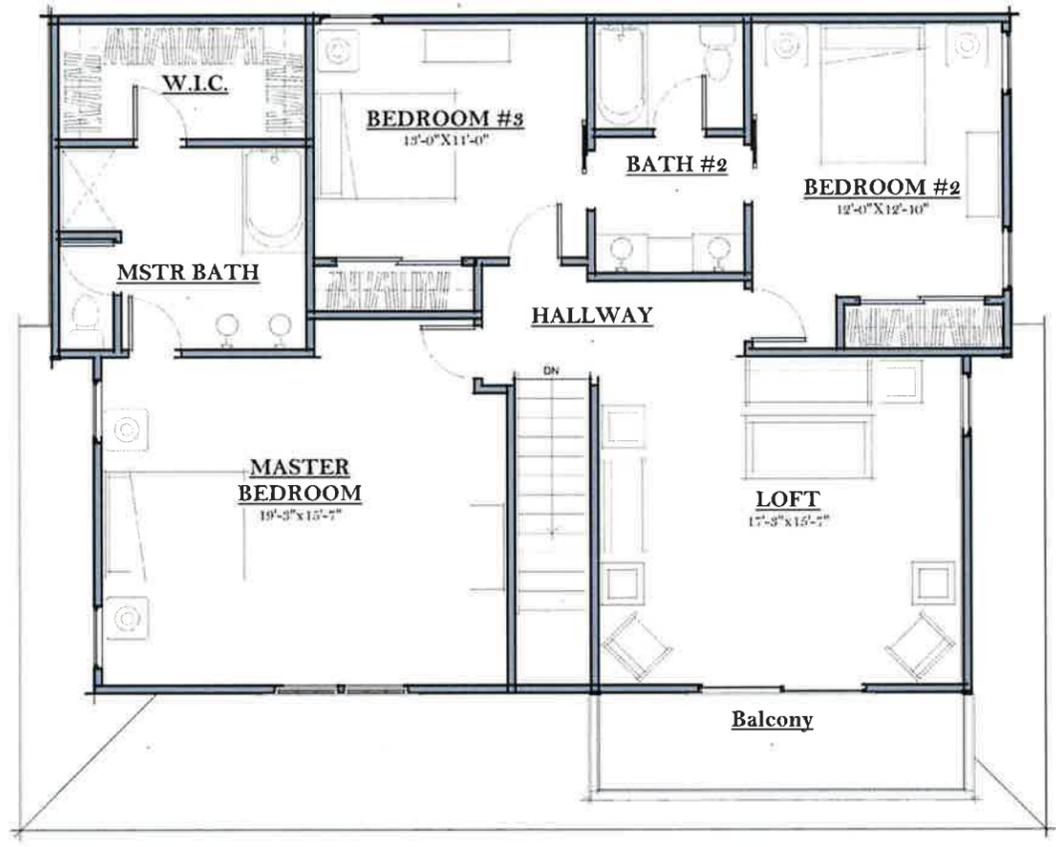
FLOWER STREET
Residential Small Lot Subdivision

Planning Commission Presentation
163 Flower St.
Costa Mesa, Ca. 92627

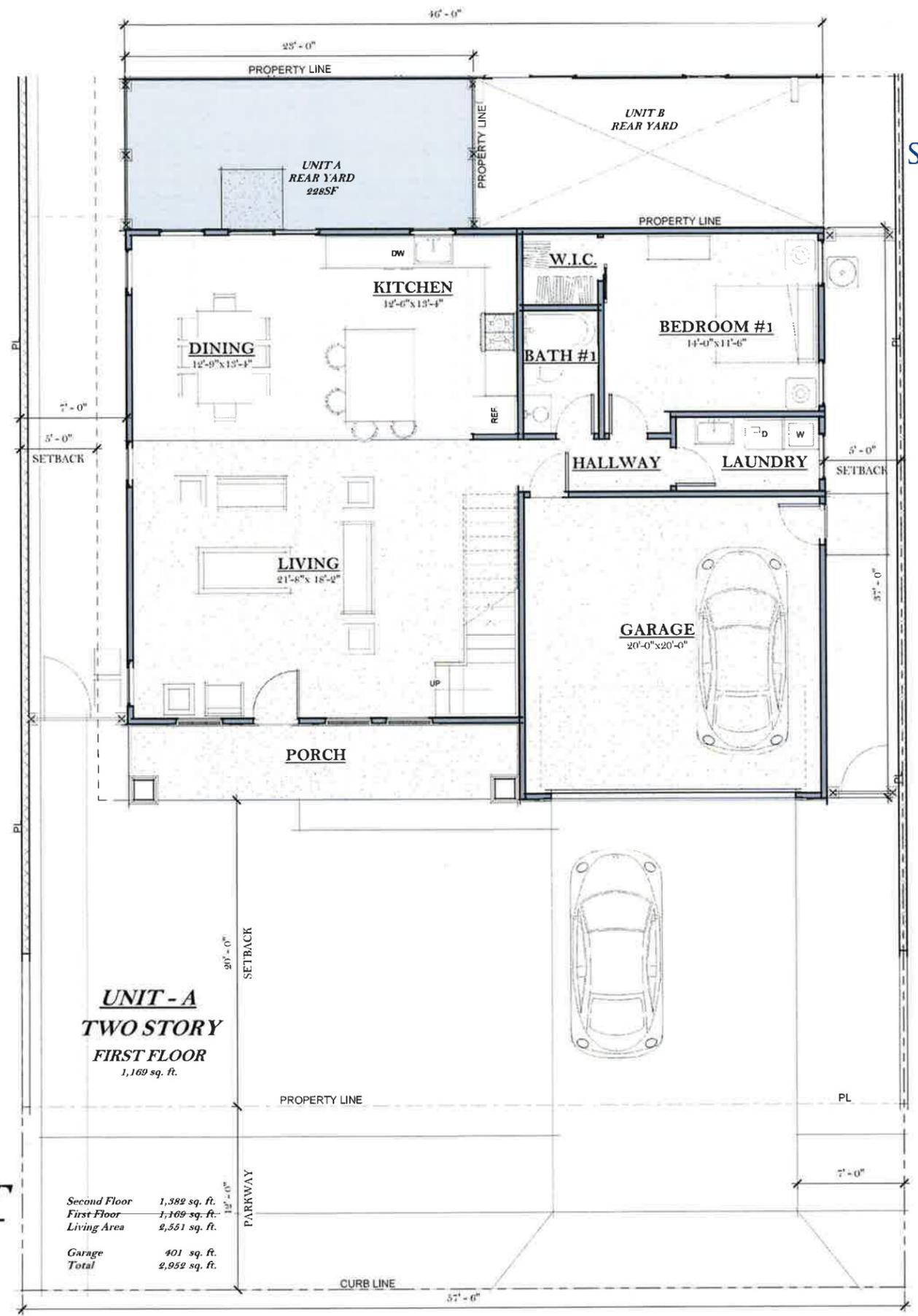
① Site Plan Detailed
3/16" = 1'-0"

OWNER
163 Flower
Site Plan Detailed

DD2b



UNIT - A
TWO STORY
SECOND FLOOR
 1,382 sq. ft.

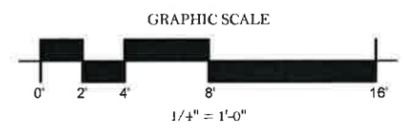


UNIT - A
TWO STORY
FIRST FLOOR
 1,169 sq. ft.

Second Floor	1,382 sq. ft.
First Floor	1,169 sq. ft.
Living Area	2,551 sq. ft.
Garage	401 sq. ft.
Total	2,952 sq. ft.

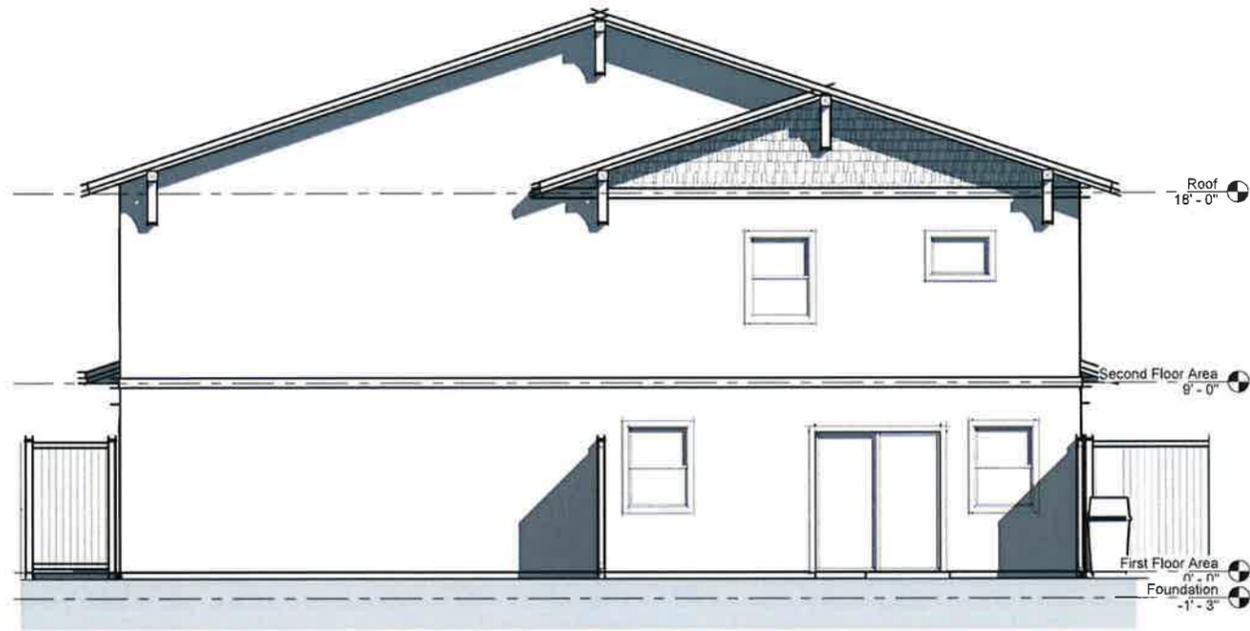
163 FLOWER STREET

Residential Small
 Lot Subdivision

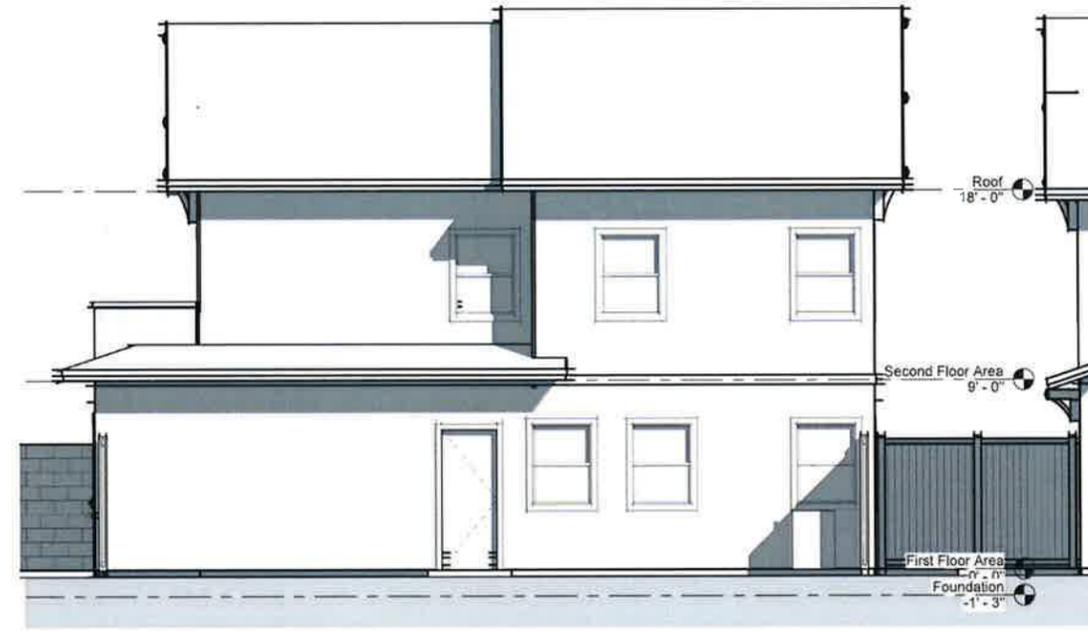


Planning Commission Presentation
 163 Flower St.
 Costa Mesa, Ca. 92627

OWNER
 Joe Kuehlo
 163 Flower
 Unit - A Floor Plans
DD3a



① Unit A North DD
1/4" = 1'-0"



③ Unit A East DD
1/4" = 1'-0"



④ Unit A West DD
1/4" = 1'-0"



② Unit A South DD
1/4" = 1'-0"

Planning Commission Presentation
 163 Flower St.
 Costa Mesa, Ca. 92627

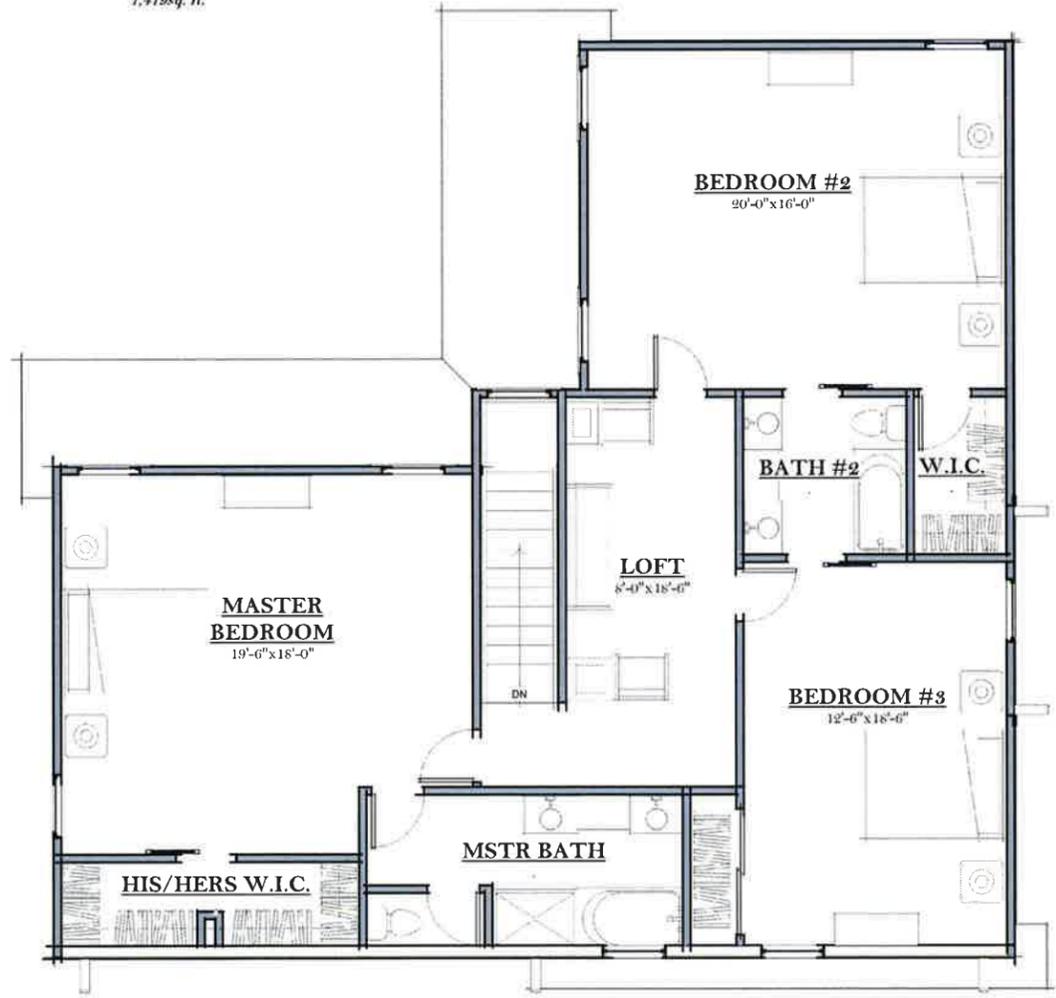
OWNER
 Joe Ilienko
 163 Flower
 Unit A Elevations
DD3b

Planning Commission Presentation
163 Flower St.
Costa Mesa, Ca. 92627

OWNER
 Joe Jaramba
 163 Flower
 Unit - B Floor Plans
DD4a

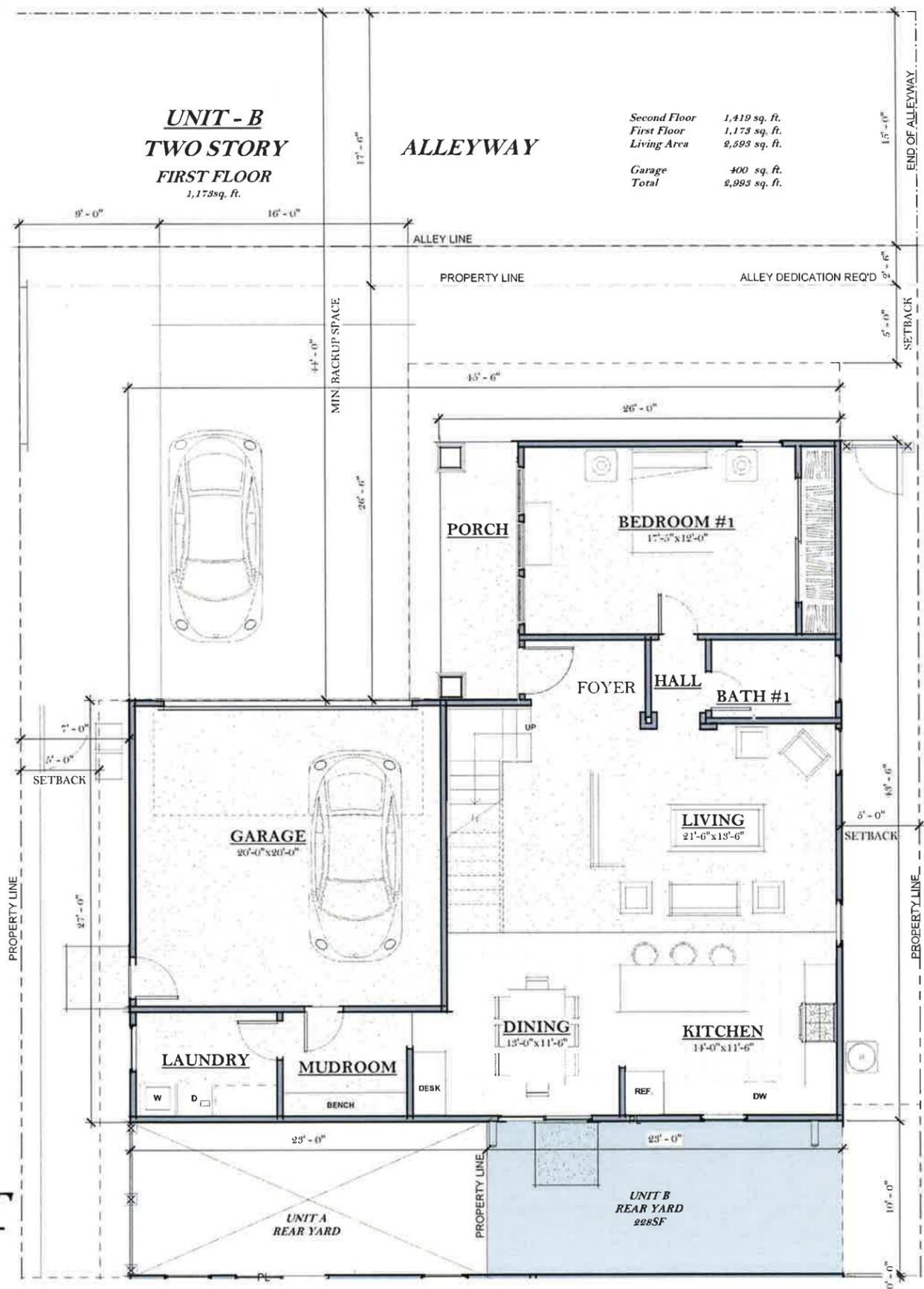
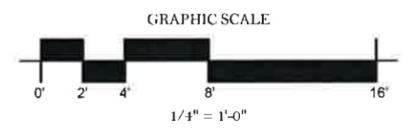
Second Floor	1,419 sq. ft.
First Floor	1,173 sq. ft.
Living Area	2,693 sq. ft.
Garage	400 sq. ft.
Total	2,993 sq. ft.

UNIT - B
TWO STORY
SECOND FLOOR
 1,419sq. ft.



163 FLOWER STREET

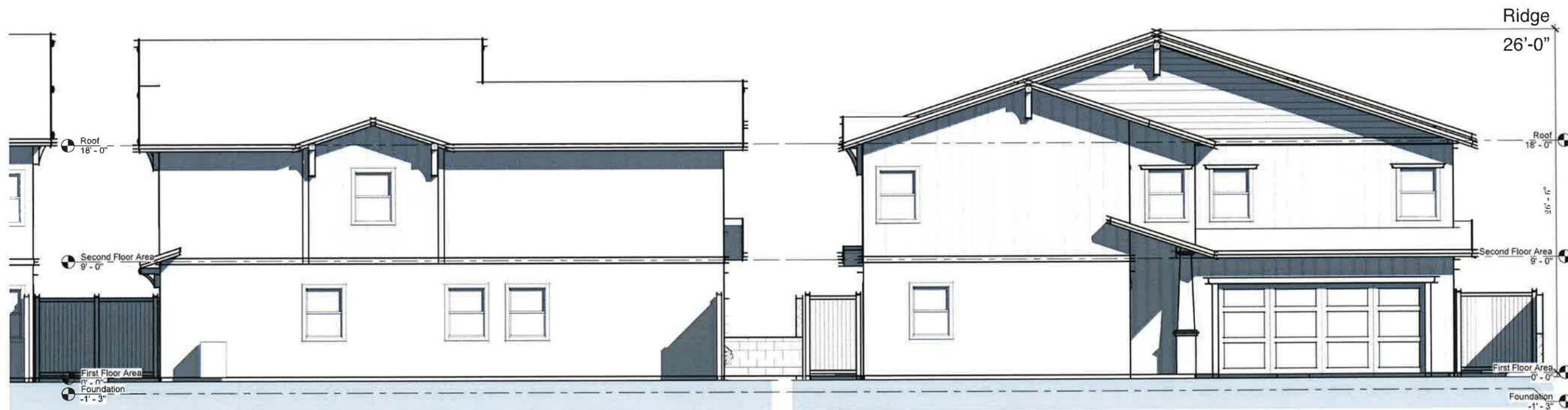
Residential Small
 Lot Subdivision





② Unit B South DD
1/4" = 1'-0"

④ Unit B West DD
1/4" = 1'-0"



③ Unit B East DD
1/4" = 1'-0"

① Unit B North DD
1/4" = 1'-0"

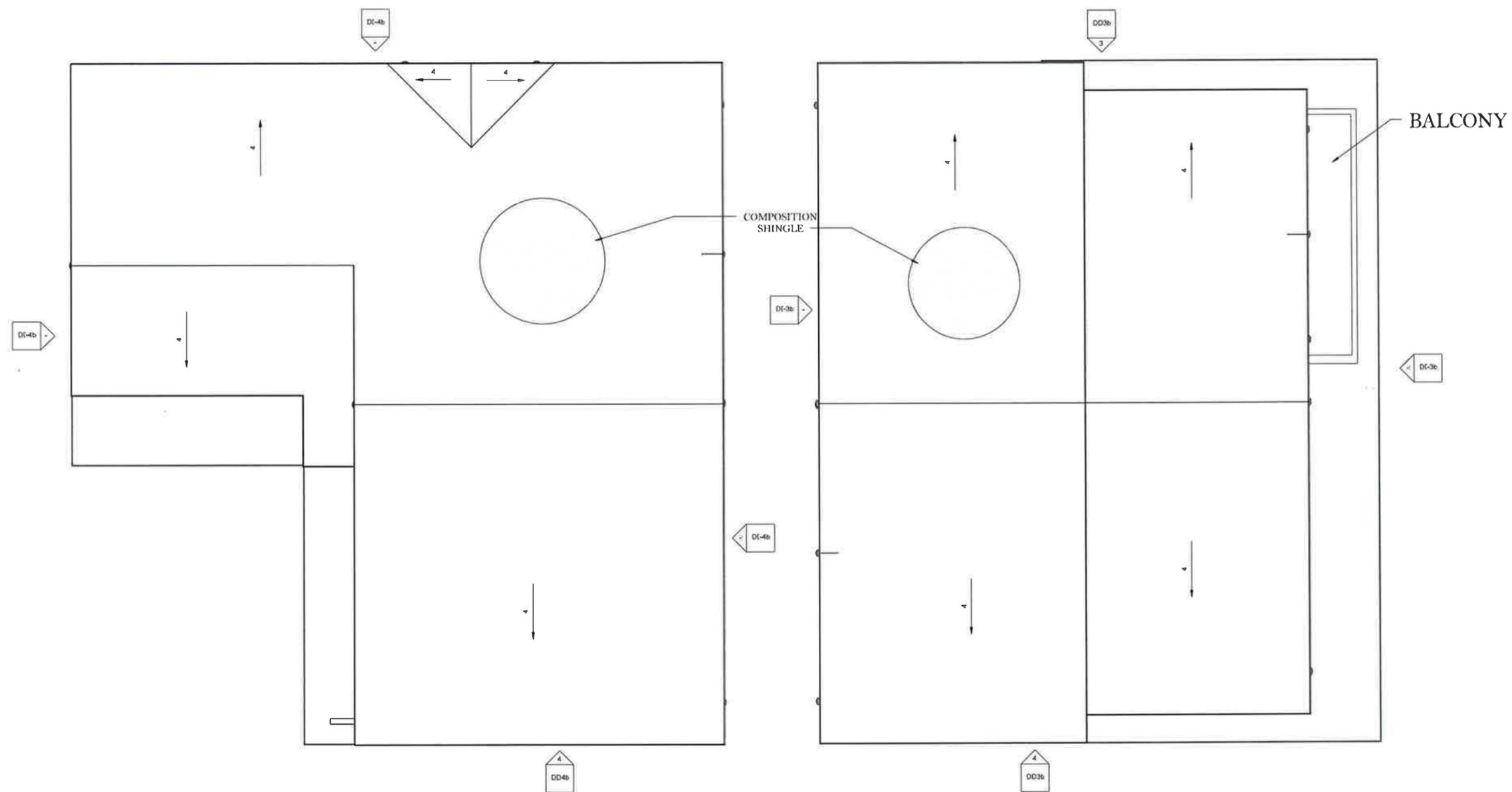
Planning Commission Presentation

163 Flower St.
Costa Mesa, Ca. 92627

OWNER
Joe Kuzenko

163 Flower
Unit B Elevations

DD4b



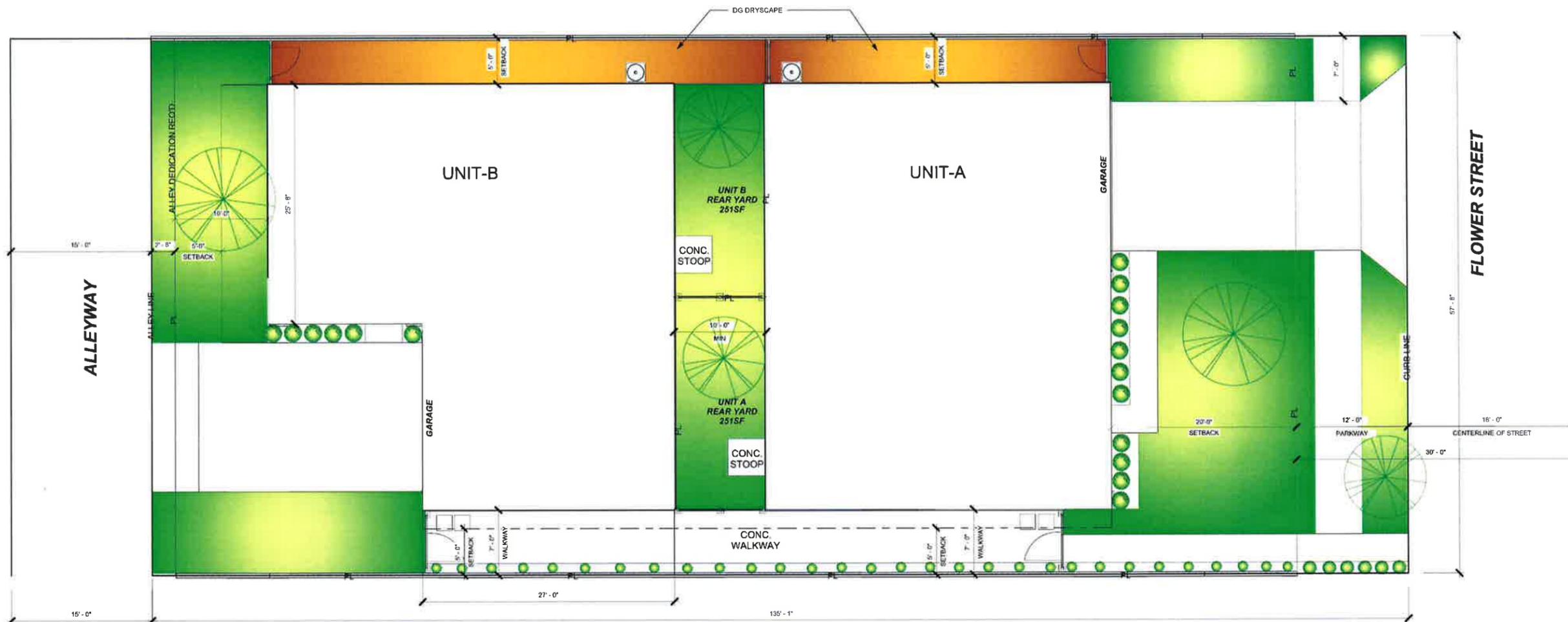
Planning Commission Presentation
163 Flower St.
Costa Mesa, Ca. 92627

① Roof Plan A & B
 1/4" = 1'-0"

OWNER
 Joe Fianko

163 Flower
 Unit A & B Roof Plan

DD5



Residential Small Lot Subdivision

Planning Commission Presentation
163 Flower St.
Costa Mesa, Ca. 92627

LANDSCAPE SUMMARY

SOFTSCAPE TOTAL SQ. FT. OPEN SPACE	2,510.58 SQ. FT.
LOT SIZE	7,405 SQ. FT.
TOTAL SOFTSCAPE OPEN SPACE	33.9%

LANDSCAPE SUMMARY WITHOUT PARKWAY

SOFTSCAPE TOTAL SQ. FT. OPEN SPACE	2,356.56 SQ. FT.
LOT SIZE	7,405 SQ. FT.
LOT SIZE WITHOUT PARKWAY	7,095 SQ. FT.
TOTAL SOFTSCAPE OPEN SPACE	33.2%



LAGERSTOEMIAM INDICA "WATERMELON RED"
CRAPE MYRTLE "WATERMELON RED"
24" BOX
QTY: (5)
MULTI STEM
FULL SUN



GARDENIA JASMINOIDES "VEITCH"
EVERBLOOMING GARDENIA
5 GALLON
QTY: (17)
3'X3'
FULL SUN



AGAPANTHUS AFRICANUS "PETER PAN"
DWARF LILY OF THE NILE
1 GALLON
QTY: (6)
1'X1'
FULL SUN
MONROVIA NURSERY



DIANELLA COERULEA "LITTLE BECCA"
FLAX LILY "LITTLE BECCA"
1 GALLON
QTY: (30)
18"X18"
FULL SUN PART SHADE



LAWN AREA



DG DRYSCAPE

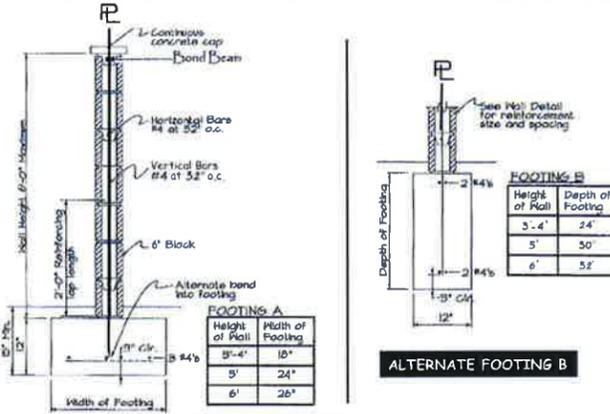
OWNER
For Kumbho

163 Flower
Unit A & B Landscape Plan

DD6

Costa Mesa Building Division
BLOCK WALL*
Masonry Fence Detail & Footings

PARTY WALL AGREEMENT SIGNED BY NEIGHBOR REQUIRED FOR FOOTING A or B.



FOOTING A

Height of Wall	Width of Footing
5'-4"	18"
5'	24"
6'	26"

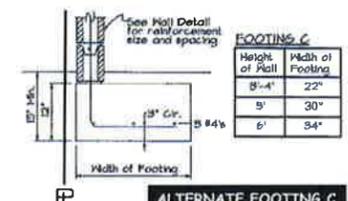
FOOTING B

Height of Wall	Depth of Footing
5'-4"	24"
5'	30"
6'	32"

ALTERNATE FOOTING B

MASONRY FENCE DETAIL & ALTERNATE FOOTING A

PARTY WALL AGREEMENT NOT REQUIRED FOR FOOTING C.



FOOTING C

Height of Wall	Width of Footing
5'-4"	22"
5'	30"
6'	34"

GENERAL NOTES

- Concrete blocks shall be Grade N units.
- Use F'c = 2500 psi for concrete footing Type V.
- Reinforcing steel shall be A615 Grade 40 or 60.
- Fill all cells containing steel with grout, including bond beam.
- The wall shall be plumb and all block courses shall be level.
- Reinforcing steel splices shall be a minimum of 24".
- The first course may be set in fresh concrete for footing.
- Planning regulates the height, location, and design of the wall based on the zone, location on the property, and design standards. Planning must approve the plans prior to any permit being issued.

*Masonry walls greater than 3 feet in height require a building permit.

3242-46.pdf

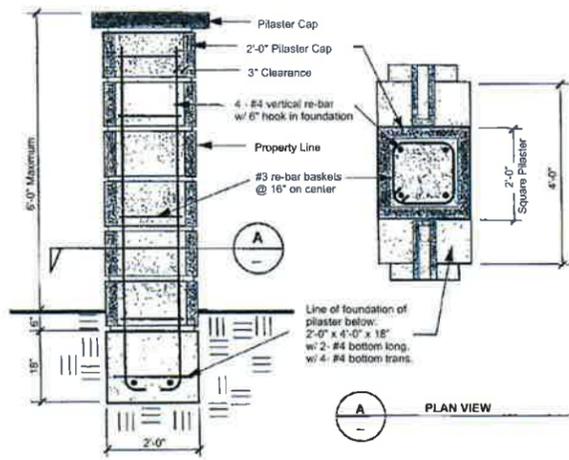
Inspections

All walls must have the following inspections. Do not proceed to the next step without approval from your building inspector. Any deviation from the City standard will require an engineer's approval.

1. Footing - Excavation and rebar is complete. No concrete can be placed until the footing is approved.
2. Pre-grout - Block is placed and rebar placement is complete. No grout until approved.
3. Final - Wall is grouted and all construction debris is cleaned from the site. Gates must be installed for final if the wall is a pool barrier.

COSTA MESA BUILDING DIVISION

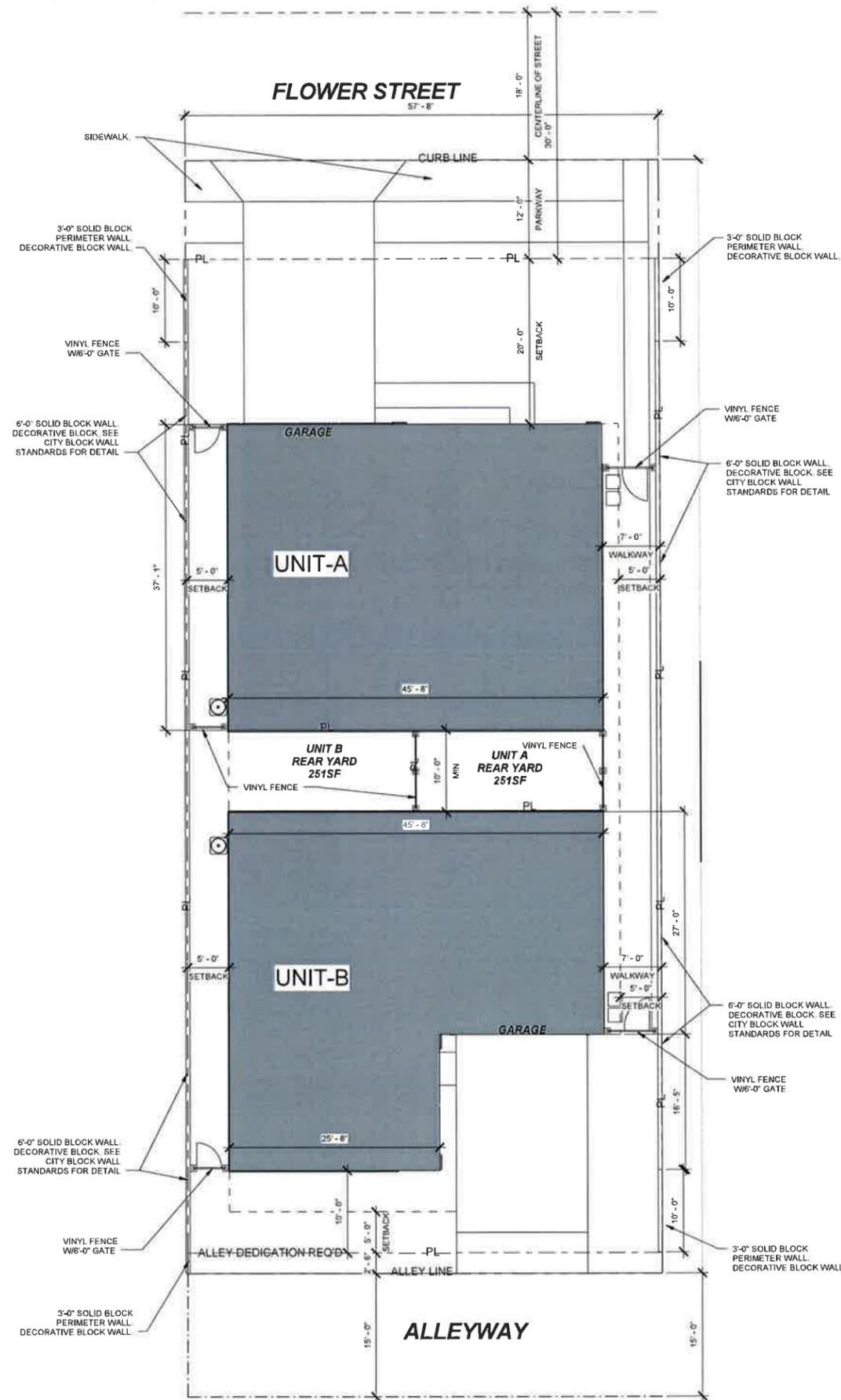
MASONRY PILASTER



Notes:

1. All cells shall be filled with grout.

3242-44.pdf



3 Fence Plan
1/8" = 1'-0"

42

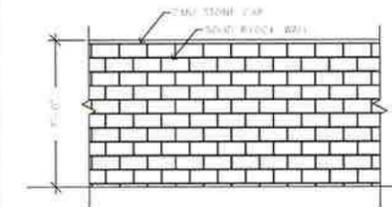
SCOPE OF WORK

CONSTRUCT NEW 6'-0" HIGH CMU SOLID BLOCK PERIMETER WALL.

GENERAL NOTES

1. CONCRETE BLOCKS SHALL BE GRADE N UNITS AND F'm= 1500 PSI.
2. USE F'c=2500 PSI FOR CONCRETE FOOTING TYPE V.
3. REINFORCING STEEL SHALL BE A615 GRADE 40 OR 60.
4. FILL ALL CELLS CONTAINING STEEL WITH GROUT, INCLUDING BOND BEAM.
5. THE WALL SHALL BE PLUMB AND ALL BLOCK COURSES SHALL BE LEVEL.
6. REINFORCING STEEL SPLICES SHALL BE A MINIMUM OF 24".
7. THE FIRST COURSE MAY BE SET IN FRESH CONCRETE FOR FOOTING.
8. PLANNING REGULATES THE HEIGHT, LOCATION, AND DESIGN OF THE WALL BASED ON THE ZONE, LOCATION ON THE PROPERTY, AND DESIGN STANDARDS. PLANNING MUST APPROVE THE PLANS PRIOR TO ANY PERMIT BEING ISSUED.

BLOCK WALL ELEVATION



SOUTHPOINTE
CORPORATION
DEVELOPING REAL ESTATE SOLUTIONS
www.SouthPointeInc.com
O: 951.676.2773
Design@SouthPointeInc.com

Planning Commission Presentation

163 Flower St.
Costa Mesa, Ca. 92627

NESTOR TERRILL
PROJECT DESIGNER

REVISIONS

No.	Description	Date

ISSUED FOR: PLAN REVIEW
ISSUED ON: APPROVED ON: PLAN CHECK
BIDDING CONSTRUCTION

OWNER
Joe Kaneko

163 Flower
Block Fence

Project number 2016163Flower

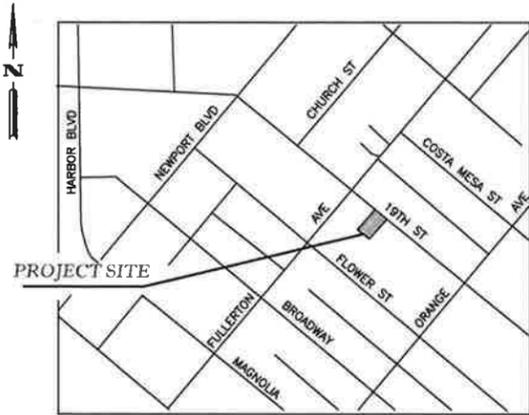
Date 6/27/2016

Drawn by Author

Checked by Checker

DD10

VICINITY MAP
N.T.S.



TENTATIVE PARCEL MAP

PARCEL MAP NO. 2016-123

IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA

DATE OF SURVEY: MARCH 2016

NOTES:

1. EXISTING/PROPOSED LAND USE: SINGLE-FAMILY RESIDENCES. 163 FLOWER STREET, COSTA MESA, CALIFORNIA
2. EXISTING PROPERTY USE IMMEDIATELY SURROUNDING SUBDIVISION: SINGLE-FAMILY RESIDENCES
3. PROPERTY LINE IS BASED ON RECORDED MAP, TRACT 377 OF BK 16, PAGE 16 OF MAPS, COUNTY OF ORANGE.

FLOOD ZONE:

ZONE X, OUTSIDE OF 500 YEAR FLOOD BOUNDARIES.

PROPOSED USE:

2 SINGLE FAMILY DWELLING UNITS

AREA SUMMARY:

EXISTING AREA OF SITE: 7410.8 S.F. (0.17 AC)
PROPOSED AREA OF SITE: UNIT 1 4282.3 S.F. (0.10 AC),
UNIT 2 3128.5 S.F. (0.07 AC)

OWNER / DEVELOPER:

Windmill Investment LLC
16 Segada
Rancho Santa Margarita, CA 92688

SITE ADDRESS:

163-A FLOWER STREET
COSTA MESA, CA 92627

163-B FLOWER STREET
COSTA MESA, CA 92627

DATE OF PREPARATION:

MARCH 2016

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:
THE NORTHWESTERLY RECTANGULAR ONE-HALF OF LOT 7, BLOCK "B", TRACT 377, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 16, PAGE 16 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. EXCEPT THE SOUTHWESTERLY 135 FEET THEREOF.

ASSESSOR'S PARCEL NUMBER:

APN: 425-233-17

SETBACK REQUIREMENTS:

FRONT SETBACK: 20'-0"
SIDEYARD SETBACK: 5'-0"
REARYARD SETBACK: 20'-0"

BENCHMARK:

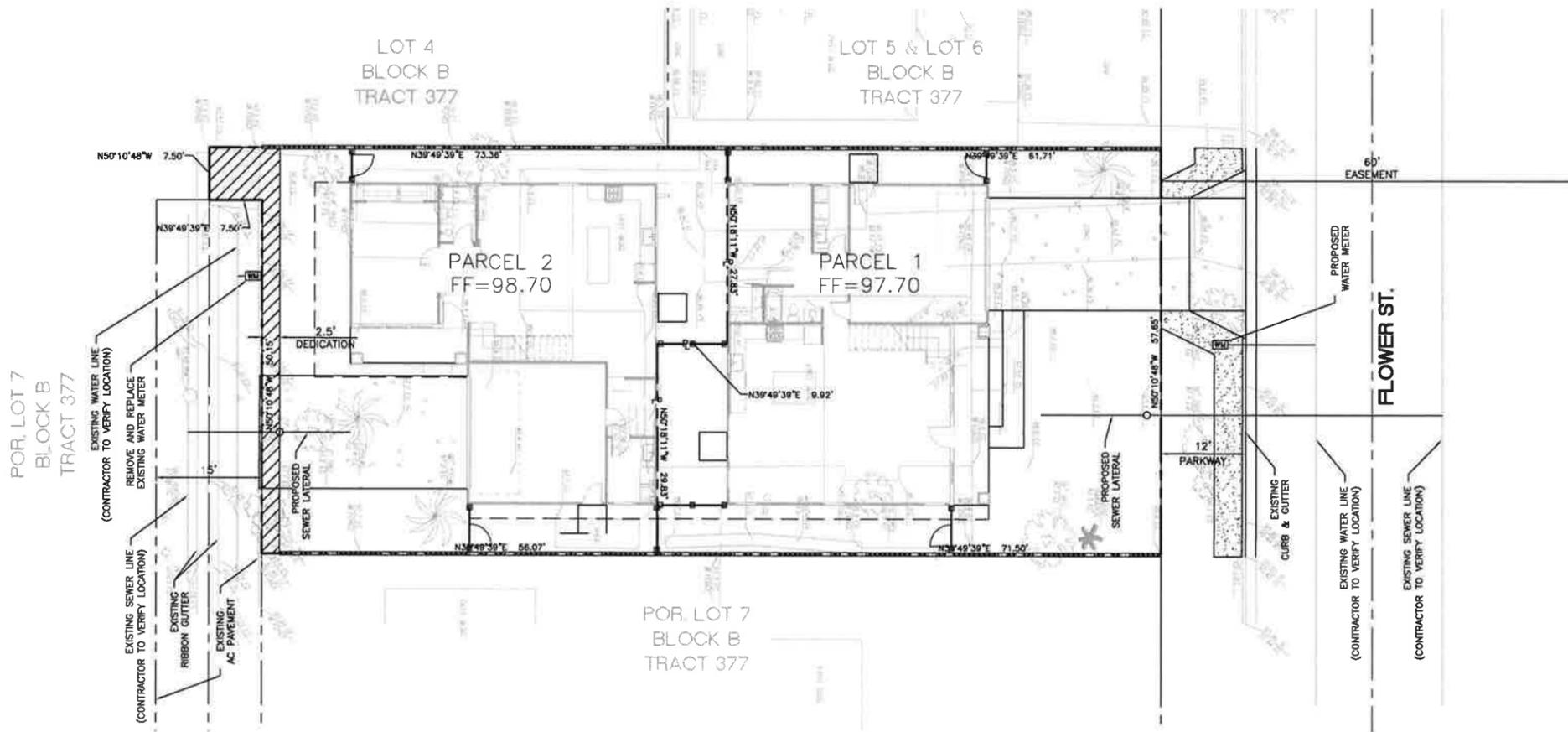
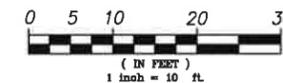
ELEVATIONS FOR THIS SURVEY ARE BASED ON ORANGE COUNTY BENCHMARK 1E-100-74. BENCHMARK ELEVATION=95.626' (NAVD88')

MAP PREPARATION

SOUTH COAST SURVEYING
3214 CLAY ST
NEWPORT BEACH, CA 92663
(949) 631-8840
MARK PETRIE, PLS 6903

LEGEND

- TB = TOP AC BERM
- FL = FLOW LINE
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- TS = TOP STEP
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- S.F.N. = SEARCHED FOUND NOTHING
- CL = CENTERLINE
- PL = PROPERTY LINE
- R/W DEDICATION

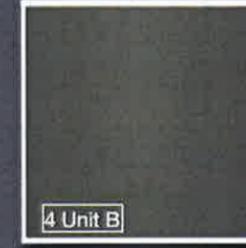
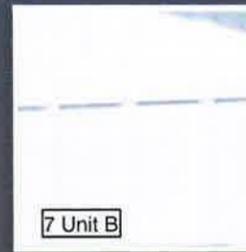




UNIT B- FRONT ELEVATION

UNIT B- LEGEND

- 1. Architectural Shingle Roof - Black
- 2. Hardie Plank Horizontal Lap Siding - Arctic White
- 3. 2x6 Wood Fascia - Painted Dark Grey
- 4. Treated Wood Corbels - Painted Dark Grey
- 5. Omega Stucco Sand Finish - #10 Omega White
- 6. Wood Trim, Columns - White
- 7. Hardie Batten Trim - White on White
- 8. Artisan Window/Door Trims - White
- 9. Vinyl Windows - White
- 10. Craftsman Style Front Door- Black
- 11. Carriage Style garage door- White



NEW SINGLE FAMILY HOMES

163 Flower, COSTA MESA, CA 92627
 Tong Tong Glowing Trading and Investment Corp
 (213) 402 7277



UNIT A- LEGEND

- 1. Architectural Shingle Roof - Brown
- 2. Artisan Door /Window Trim, Columns and Corbels - Painted White
- 3. Eldorado Stacked Stone- Alderwood
- 4. Smooth Panel Siding with Batten - Timber Bark
- 5. Omega Stucco Sand Finish - Light Tan
- 6. Wood Trim, Columns - White
- 7. 2x6 Fascia - Painted White
- 8. Hardie Staggered Siding - Timber Bark
- 9. Vinyl Windows - White
- 10. Craftsman Style Front Door- Painted Dark Grey
- 11. Carriage Style garage door- White



UNIT A- FRONT ELEVATION



613 Flower Unit A







163 Unit A Rear Elevation



163 Unit A Right Elevation



163 Unit B

55



163 Unit B Front Elevation



163 Unit B Left Elevation

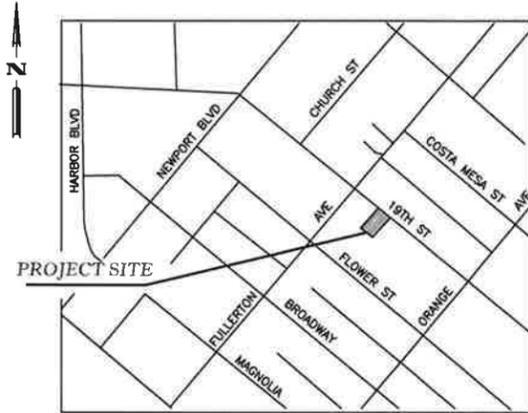


163 Unit B Rear Elevation



163 Unit B Right Elevation

VICINITY MAP
N.T.S.



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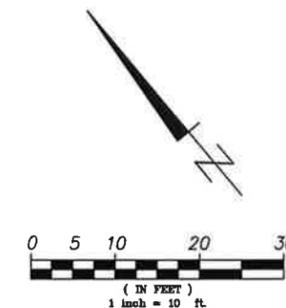
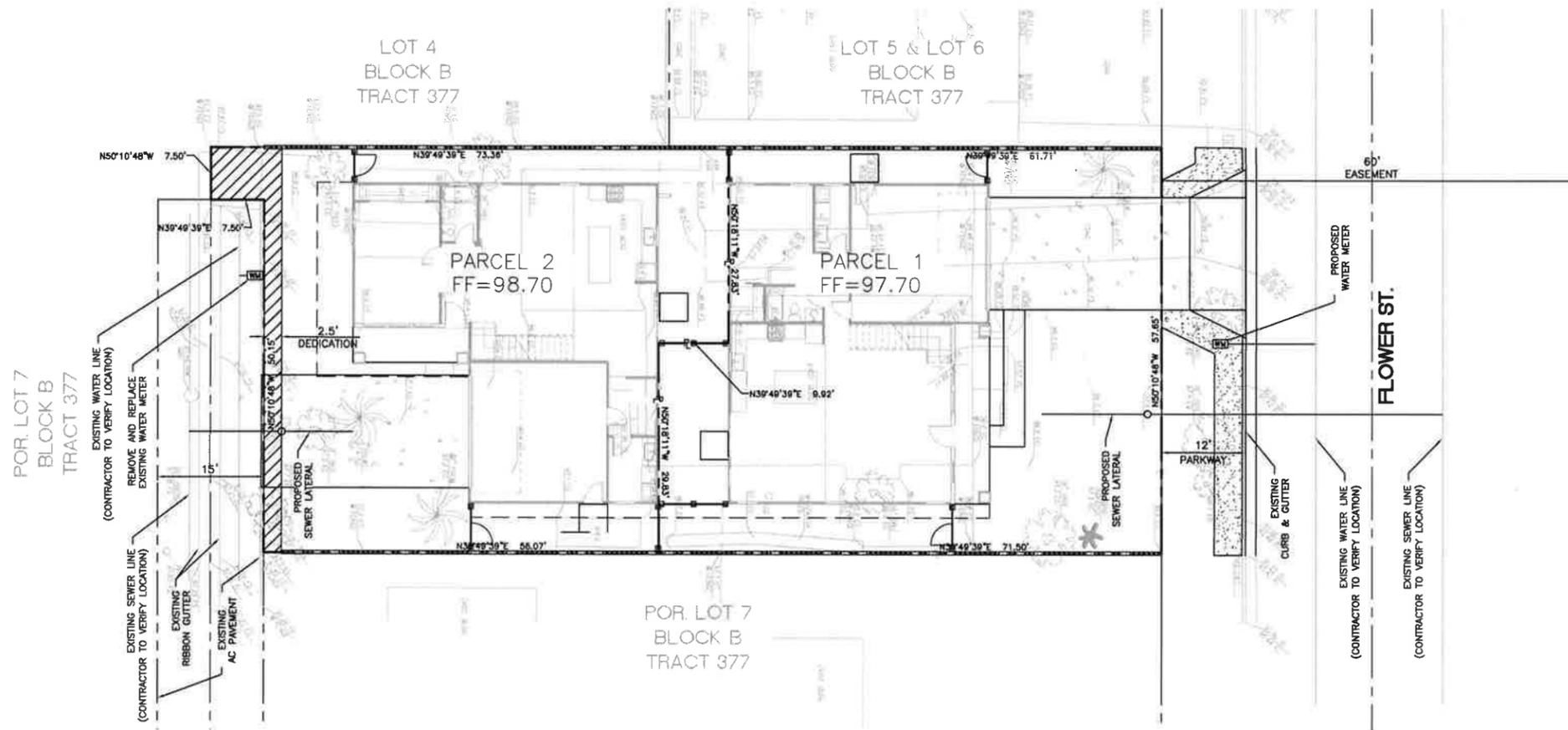
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- TBM = TEMPORARY BENCHMARK
- S.F.N. = SEARCHED FOUND NOTHING
- CL = CENTERLINE
- P = PROPERTY LINE
- R/W DEDICATION



GRADING NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE COUNTY OF ORANGE AND ANY AMENDMENTS BY THE CITY OF COSTA MESA OR SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS.
- GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY INSPECTOR. A PRE-GRADING MEETING ON SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, DISTRICT GRADING INSPECTOR AND WHEN REQUIRED THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.
- ISSUANCE OF GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
- THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLANN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
- PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE BUILDING DIVISION ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
- THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITH THEIR PURVIEW.
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON, FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, SUB DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
- SUB DRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUB DRAIN CONSTRUCTION.
- THE EXACT LOCATION OF THE SUB DRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN AS-GRADED PLANS.
- AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE BUILDING OFFICIAL PRIOR TO PLACING FILL.
- FILLS SHALL BE BENCHMARKED INTO COMPETENT MATERIAL PER PFRD STANDARD PLAN NO. 1322.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
- FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.
- CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2-FOOT HORIZONTAL TO 1-FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATIONS AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
- ALL TRENCH BACKFILL SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER.
- ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
- ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY, HEALTH CARE AGENCY, AND DIVISION OF ENVIRONMENTAL HEALTH.
- ANY EXISTING CEPPSPOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE.
- STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR OT EXCAVATION.
- EXPORT SOIL MUST BE TRANSPORTED TO LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY THE BUILDING DIVISION.
- THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
- THE PERMITTEE SHALL GIVE REASONABLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDING PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 3 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES. UNLESS OTHERWISE PROTECTED BY LAW.
- ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULFATE-CONTECT TESTS CONDUCTED BY THE SOIL ENGINEER.
- SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL PROVIDED WITH, AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY BUILDING OFFICIAL.
- ALL EXISTING TRENCHES SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORM WATER ARE APPROVED AND FUNCTIONAL; HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- SANITARY FACILITIES SHALL MAINTAIN ON THE SITE.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.
- GRADING OPERATIONS INCLUDING MAINTENANCE OF EQUIPMENT HUMAN OCCUPANCY SHALL BE CONDUCTED BETWEEN THE HOURS OF 7:00 A.M. AND 7:00 P.M. MONDAY THRU FRIDAY, SATURDAYS 9:00 A.M. THRU 6:00 P.M. PROHIBITED ALL HOURS SUNDAYS AND THE FOLLOWING FEDERAL HOLIDAYS: CHRISTMAS DAY, NEW YEARS DAY, MEMORIAL DAY, INDEPENDENCE DAY, LABOR DAY AND THANKSGIVING DAY. CMMC SEC 13-279.
- ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED 1,000' OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
- STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR A PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.
- GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AQMD MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUAL EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.
- ASPHALT SECTIONS MUST BE: PARKING STALLS = 3" A/C OVER 6" A/B, DRIVES 3" A/C OVER 10" (COMM.) 12" (INDUSTRIAL). OR: PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY INSPECTOR, THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON 'R' VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC INDICES.
- ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES.
- THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SWALE HIGH-POINT REFLECTING THE HIGH POINT OF THE PRELIMINARY PERMITS.
- PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO, TO THE BUILDING OFFICIAL THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.
- THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF ROUGH GRADING.
- THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.
- THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TUPE OF FIELD TESTING METHOD, THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
- IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND PSDS/GRADING.

163 FLOWER STREET, COSTA MESA COUNTY OF ORANGE, STATE OF CALIFORNIA PRECISE GRADING & UTILITY PLAN

**MESA WATER DISTRICT STANDARD
WATER CONSTRUCTION NOTES**

- ENGINEERING PLAN CHECK/INSPECTION FEE AND PERFORMANCE GUARANTEE BOND SHALL BE PAID AND APPLICATION/PERMIT (A.P) COMPLETED BY THE APPLICANT PRIOR TO APPROVAL OF THE PLANS AND ISSUANCE OF THE A.P. FEES SHALL BE IN ACCORDANCE WITH MESA WATER® RATES AND DEPOSIT SCHEDULE.
- CAPACITY CHARGES SHALL BE COLLECTED BY MESA WATER® AT THE TIME OTHER FEES ARE COLLECTED PRIOR TO APPROVAL OF PLANS AND SERVICE AGREEMENT. THIS FEE SHALL BE IN ACCORDANCE WITH MESA WATER® RATES AND DEPOSIT SCHEDULE.
- WATER MAINS WILL BE INSTALLED ACCORDING TO THE LATEST STANDARDS AND SPECIFICATIONS OF MESA WATER®.
- CONTRACTOR TO HAVE, ON THE JOB SITE, A COPY OF THE LATEST STANDARD SPECIFICATIONS AT ALL TIMES.
- CONTRACTOR SHALL SCHEDULE INSPECTIONS A MINIMUM OF 24 HOURS IN ADVANCE AND IN ACCORDANCE WITH THE INSPECTION CHECKLIST REQUIREMENTS. TO SCHEDULE AND INSPECTION, CALL (949) 207-5518.
- A CASH PERFORMANCE GUARANTEE BOND SHALL BE HELD ONE YEAR AFTER MESA WATER®S NOTICE OF COMPLETION TO GUARANTEE WORK PERFORMED BY THE CONTRACTOR.
- SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS SHALL BE A MINIMUM OF 10' HORIZONTAL, 1' VERTICAL (ABOVE SEWER).
- A 15' WATER MAIN EASEMENT WILL BE GRANTED TO MESA WATER® FOR MAINTENANCE PURPOSES, 5' WATER SERVICES (7.5' EACH SIDE OF SERVICE). EASEMENT DOCUMENTS ARE TO BE SUBMITTED TO MESA WATER® FOR APPROVAL PRIOR TO A PERMIT BEING ISSUED.
- SERVICES LATERALS WILL BE SET TO GRADE BY CONTRACTOR PRIOR TO THE INSTALLATION OF WATER METERS AND BOXES (PER MESA WATER®S STANDARD DRAWINGS #1, #2, AND #3).
- WATER METER WILL NOT BE INSTALLED NOR WATER TURNED ON UNTIL THE BACKFLOW DEVICES REQUIRED FOR THE BUILDING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED, TESTED, APPROVED, AND CERTIFIED. CONTACT CROSS CONNECTION CONTROL AT 949-631-1291.
- PROTECT EXISTING UTILITIES IN PLACE.
- WATER MAINS SHALL HAVE 42" MINIMUM COVER TO FINISH GRADE.
- RAISE EXISTING WATER VALVE COVERS TO GRADE (PER MESA WATER® STANDARD DRAWING #14).
- INSTALL FIRE HYDRANT PER MESA WATER® STANDARD DRAWING #4 OR #4B.
- INSTALL BLOW-OFF PER MESA WATER® STANDARD DRAWING #9.
- WATER MAINS WILL BE TESTED AT 225 P.S.I. FOR FOUR HOURS.
- BACKFILL MATERIAL IN PIPE ZONE WILL HAVE A SAND EQUIVALENT OF 30 OR GREATER.
- THE BACKFILL ABOVE THE PIPE ZONE WILL BE COMPACTED PER MESA WATER® STANDARD DRAWING #18, AND BE IN COMPLIANCE WITH CITY OF COSTA MESA STANDARD DRAWING #13.
- CHIP 2" "W" IN CURB FACE TO IDENTIFY WATER SERVICE LOCATION.
- INSTALL THRUST OR GRAVITY BLOCKS PER MESA WATER® STANDARD DRAWING #11 AND #12.
- CONTRACTOR TO VERIFY DEPTH AND LOCATION OF ALL UTILITIES PRIOR TO TRENCHING.
- CONTRACTOR TO INSTALL TEMPORARY TAPS FOR TESTING AND CHLORINATION PRIOR TO CONNECTING TO EXISTING MAINS.
- CONTRACTOR TO RETURN ALL EQUIPMENT REMOVED TO MESA WATER® YARD, AND DISPOSE OF OTHER MATERIAL (I.E., A.C.P. BROKEN CONCRETE AND NATIVE SOIL, ETC..) AT CONTRACTOR'S EXPENSE.
- WATER METERS AND BOXES TO BE INSTALLED BY MESA WATER® BUT PAID FOR BY APPLICANT/OWNER.
- A REDUCED PRESSURE PRINCIPLE ASSEMBLY SHALL BE REQUIRED ON ALL WATER METERED SERVICES TO ANY CONDOMINIUM UNIT OVER TWO STORIES OR FIVE OR MORE UNITS ON ONE METERED SERVICE. CONTACT CROSS CONNECTION CONTROL AT 949-631-1291.
- IRRIGATION METERS SHALL REQUIRE A REDUCED PRESSURE PRINCIPLE ASSEMBLY.
- IN LANDSCAPED AREA, NO TREES SHALL BE LOCATED IN MESA WATER® EASEMENT OR WITHIN 7.5' OF ANY MESA WATER® FACILITY.
- A REDUCED PRESSURE PRINCIPLE ASSEMBLY SHALL BE REQUIRED ON METERED WATER SERVICES TO ALL INDUSTRIAL BUILDINGS.
- A DOUBLE CHECK DETECTOR ASSEMBLY WITH COMBINATION FLOW METER WILL BE REQUIRED ON FIRE LINE SERVICES, PER STANDARD 22A.
- FIRELINE SERVICES SHALL NOT BE TURNED ON UNTIL THE MESA WATER® ENGINEERING DEPARTMENT HAS RECEIVED A LETTER FROM THE OWNER, OR OWNER'S AUTHORIZED AGENT, REQUESTING IT AND STATING THAT THE PLUMBING IS READY FOR THE FIRELINE TO BE TURNED ON. THE LETTER MUST ALSO CONTAIN MESA WATER®S FILE NUMBER, SIZE AND SERIAL NUMBER OF THE DEVICE, AND JOB ADDRESS.
- IF A 13D SPRINKLER SYSTEM IS NOT A FLOW THROUGH SYSTEM, THEN A TESTABLE BACKFLOW DEVICE NEXT TO BUILDING SHALL BE INSTALLED. MESA WATER® INSPECTOR TO VERIFY FLOW THROUGH SYSTEMS. MESA WATER® INSPECTOR SHALL VERIFY FLOW THROUGH 13D FIRE SPRINKLER SYSTEM BY:
a. TURNING OFF HOUSE VALVE
b. CHECKING FOR FLOW ON FLOW THROUGH CONNECTION (I.E. TOILET OR SINK)

CMSD STANDARD SEWER NOTES

- THE SEWER SYSTEM SHALL CONFORM TO THE STANDARDS OF THE COSTA MESA SANITARY DISTRICT.
- CONTRACTOR SHALL REQUEST INSPECTION FROM THE OFFICE OF THE DISTRICT ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF WORK. TELEPHONE: 949/631-1731.
- ANY WORK PERFORMED WITHOUT INSPECTION FROM THE DISTRICT SHALL BE CONSIDERED UNACCEPTABLE.
- CONTRACTOR SHALL OBTAIN CMSD SEWER PERMIT PRIOR TO COMMENCEMENT OF WORK FROM THE COSTA MESA SANITARY DISTRICT, 628 W. 19TH STREET, COSTA MESA, CA 92627. 949/645-8400 EXT. 229.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS THAT MAY BE REQUIRED BY THE LOCAL GOVERNING AGENCY.
- CONTRACTOR TO HAVE A COPY OF APPROVED SEWER PLAN AND CMSD STANDARD PLANS AND SPECIFICATIONS ON JOB SITE AT ALL TIMES.
- CLAY PIPE JOINTS SHALL BE TYPE "G" MECHANICAL COMPRESSION JOINTS FOR MAIN LINE SEWER. TYPE "D" JOINTS, BAND-SEAL OR APPROVED EQUAL, ARE APPROVED FOR LATERALS AND REPAIR WORK ONLY.
- 6" LATERALS SHALL BE CONSTRUCTED FROM THE SEWER MAIN TO EVERY LOT.
- ALL LATERALS SHALL BE PLACED PRIOR TO SURFACING OF STREETS.
- STAMP "S" ON CURB AT SEWER LATERAL LOCATIONS.
- SEWER MAIN SHALL BE AIR OR WATER TESTED MEETING DISTRICT ENGINEER'S APPROVAL.
- PRIOR TO ASPHALT CONCRETE PAVING, MANHOLE FRAMES AND COVERS SHALL BE LEFT 6" BELOW FINISH GRADE. AFTER STREET SURFACING IS COMPLETED, FRAMES AND COVERS SHALL BE RAISED TO GRADE PER STD. DWG. NO. S-105.
- SEWER MANHOLE FRAME AND COVER SHALL BE ALHAMBRA FOUNDRY A-1270, OR APPROVED EQUAL COVER TO BE STAMPED "SEWER".
- SEWER MAIN SHALL BE BALLED AFTER ALL MANHOLE FRAMES AND COVERS HAVE BEEN RAISED TO GRADE.
- PVC PIPE MAY BE USED ONLY WITH PRIOR APPROVAL FROM THE DISTRICT ENGINEER.
- IF MINIMUM SEPARATION DISTANCE BETWEEN SEWER AND WATER MAIN IS NOT MET, SPECIAL CONSTRUCTION REQUIREMENTS ARE TO BE USED PER STD. DWG. NO. S-110-A OR S-110-B.
- DEVELOPER IS RESPONSIBLE FOR REPLACING ANY EXISTING LATERALS NOT FOUND IN FIELD OR FOUND TO BE DEFECTIVE.
- ALL TRENCH EXCAVATION AND PIPE BEDDING SHALL BE CONSTRUCTED PER STD. DWG. NO. S-112.
- CONTRACTOR TO EITHER REPLACE EXISTING 6" VCP LATERAL IN STREET RIGHT OF WAY W/NEW LATERAL PER CMSD STD. S-104-A OR PERFORM CCTV OF EXISTING LATERAL AND PROVIDE VIDEO TO THE COSTA MESA SANITARY DISTRICT. DAMAGED PORTIONS OF EXISTING LATERAL SHALL BE REPAIRED (IF ANY).
- MAIN SEWER CLEANOUT TO BE INSTALLED PER STD. DWG. NO. S-107, AND DOUBLE CLEANOUT PER STD. DWG. NO. S-107-A.

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OF STRUCTURES SHOWN ON THIS PLAN ARE OBTAINED BY A RESEARCH OR AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS.

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTOR AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR AND WITH THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS "CONSTRUCTION SAFETY ORDERS"

THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATION" OF THE U.S. DEPARTMENT OF LABOR OR WITH "CONSTRUCTION SAFETY ORDERS".

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

THE CONTRACTOR SHALL CHECK ALL DRAWINGS, SPECIFICATIONS AND ESTIMATED QUANTITIES FURNISH HIM IMMEDIATELY UPON THEIR RECEIPT, AND SHALL PROMPTLY NOTIFY THE OWNER OF ANY DISCREPANCIES THEREIN. SHOULD ANY ERRORS, OMISSIONS, AMBIGUITIES OR DISCREPANCIES BE FOUND ON THE DRAWINGS, SPECIFICATIONS, OR ESTIMATED QUANTITIES TO WHICH THE CONTRACTOR FAILED TO CALL ATTENTION BEFORE SUBMITTING HIS BID, THEN THE OWNER WILL INTERPRET THE INTENT OF THE DRAWINGS OR SPECIFICATIONS AND THE CONTRACTOR WILL PERFORM THE WORK IN ACCORDANCE WITH SUCH INTERPRETATION.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY DIMENSIONS AND CONDITIONS AT THE JOB SITE, AND CROSS-CHECK DETAILS AND DIMENSIONS SHOWN ON THE DRAWINGS. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES FOUND.

IN ALL CASES WHERE CONFLICT MAY OCCUR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE OWNER SHALL BE NOTIFIED AND HE WILL INTERPRET THE INTENT OF THE CONTRACTOR DOCUMENTS.

IN NO CASES SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, DETAILS OR SECTIONS OF DRAWING.

PUBLIC WORKS NOTE:

IF PUBLIC IMPROVEMENTS SURROUNDING THE SITE ARE DAMAGED BY THE PRIVATE WORK, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND STREET PAVEMENT WILL BE REQUIRED BY THE CITY AT THE TIME OF PRIVATE CONSTRUCTION COMPLETION. SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.

RIGHT-OF-WAY WORK NOTE:

AN APPROVED ENCRoACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.

ADDITIONAL NOTES:

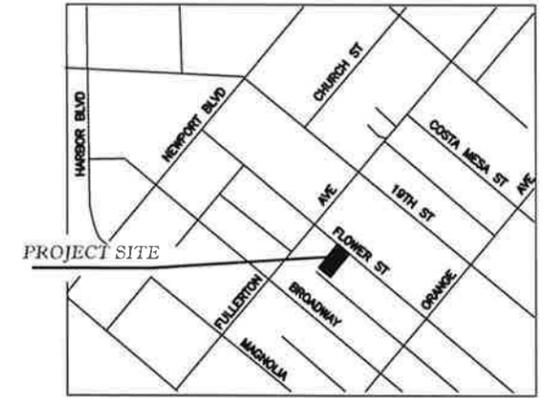
- REFER TO LANSCAPE ARCHITECT PLANS FOR ADDITIONAL INFORMATION THAT MAY BE REQUIRED.
- EXACT LOCATION OF EXISTING CONDUITS IS UNKNOWN, AND SHOWN ACCORDING TO AVAILABLE RECORD INFORMATION. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES REQUIRED (I.E. POT-HOLE UTILITY LOCATION SERVICES, ETC.) TO DETERMINE THE LOCATION OF CONDUITS PRIOR TO PROCUREMENT OF MATERIALS OR CONSTRUCTION OF PIPELINE FACILITIES.
- THE LOCATION OF EXISTING SEWER HOUSE CONNECTIONS ARE UNKNOWN AND HAVE NOT BEEN SHOWN. CONTRACTOR SHALL REMODEL CONFLICTING LATERALS AS REQUIRED FOR CONSTRUCTION.
- SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE.
- NO NEW OR EXISTING EASEMENTS ARE LOCATED WITHIN PROPERTY BOUNDARIES.
- ALL GRADING SHALL COMPLY PER SOILS REPORTS RECOMMENDATIONS.
- SURVEYOR OR ENGINEER SHALL MONUMENT PROPERTY CORNER BEFORE STARTING GRADING, EITHER WITH PERMANENT MONUMENTS OR TEMPORARY 1'-0" LONG 1/2 DIAMETER METAL RODS DRIVEN INTO THE GROUND TO NEAR FLUSH AND MARKED WITH PAINT.

UNDERGROUND STRUCTURES:

ALL UNDERGROUND UTILITIES OR STRUCTURES REPORTED BY THE OWNER OR OTHERS AND THOSE SHOWN ON THE RECORDS EXAMINED ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT. THE OWNER BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENT PURSUANT THERETO AGREES TO ASSUME LIABILITY AND TO HOLD UNDERSIGNED HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED; NOT INDICATED ON THE PUBLIC RECORDS EXAMINED; LOCATED AT VARIANCE WITH THAT REPORTED OR SHOWN ON RECORDS EXAMINED. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.

NOTICE TO CONTRACTORS:

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.



VICINITY MAP
N.T.S.

OWNER / DEVELOPER:

TONG TONG GLOWING TRADING
AND INVESTMENT GROUP

SITE ADDRESS:

163 FLOWER STREET
COSTA MESA, CA 92627

ASSESSOR'S PARCEL NUMBER:

APN: 425-233-17

BENCHMARK:

ELEVATIONS FOR THIS SURVEY ARE BASED ON ORANGE COUNTY BENCHMARK 1E-100-74. BENCHMARK ELEVATION=95.626' (NAVD88) DESCRIBED BY OCS 2001 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "1E-100-74", SET IN THE SOUTHERLY CORNER OF A 4 FT. BY 8 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE EASTERLY CORNER OF THE INTERSECTION OF NEWPORT BOULEVARD AND BROADWAY, 77 FT. NORTHEASTERLY OF THE CENTERLINE OF BROADWAY AND 54 FT. SOUTHEASTERLY OF THE CENTER OF THE CENTER MEDIAN ALONG NEWPORT BOULEVARD. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

AREA SUMMARY:

EXISTING AREA OF SITE: 7,410 S.F
PROPOSED AREA OF SITE: UNIT 1 4,282 SF
UNIT 2 3,129 SF

ADJACENT GRADE NOTE:

GRADE BETWEEN ADJACENT PROPERTIES SHALL BE NO MORE THAN 6" IN ELEVATION DIFFERENCE.

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1: THE NORTHWESTERLY RECTANGULAR ONE-HALF OF LOT 7, BLOCK "B", TRACT 377, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 16, PAGE 16 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. EXCEPT THE SOUTHWESTERLY 135 FEET THEREOF.

APPROX. EARTHWORK QUANTITIES

FILL	50	CY	EXPORT	02	CY
CUT	53	CY	IMPORT	02	CY
SHRINKAGE @ 5%		3 CY			

SOILS ENGINEER

NOTE: EARTHWORK QUANTITIES ARE ESTIMATES ONLY. THEY ARE ESSENTIALLY FOR PERMIT PURPOSES ONLY AND NOT INTENDED FOR BIDDING. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT QUANTITIES FOR THE PURPOSES OF PAYMENT AND CONTRACT DOCUMENTS. THE UNDERSIGNED ENGINEER ACCEPTS NO RESPONSIBILITY FOR DISCREPANCIES IN THE EARTHWORK QUANTITIES.

BASIS OF BEARINGS:

ENVIROMENTAL NOTES:

- THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS; THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR WATER SHED IS PROHIBITED.
- PERMITTEE SHALL MAINTAIN CONSTRUCTION SITE IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WAS WATER AND CONCRETE WAS WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DREGREASING AND SUPER CHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AN FEDERAL REQUIREMENTS.
- PERMITTEE ANY DISCHARGE MATERIAL OTHER THAN STORM WATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
- DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

Underground Service Alert

Call TOLL FREE
1-800-422-4133

TWO WORKING DAYS BEFORE YOU DIG

REVISIONS

REV.	DATE	BY	DESCRIPTION	APP'Y'D

MESA WATER DISTRICT

MC	---
APPROVED	DATE

COSTA MESA SANITARY DISTRICT

ROBIN B. HAMERS (714) 283-2727 DISTRICT ENGINEER COSTA MESA SANITARY DISTRICT	56
DISTRICT ENGINEER	DATE

APPROVED BY:	TITLE DEPT.	DATE
APPROVED BY:	PLANNING DEPT.	DATE
APPROVED BY:	COSTA MESA DEPT. OF PUBLIC WORKS	R.C.E. NO.:
	EXP. DATE:	

VENTURA ENGINEERING, LLC
REGISTERED PROFESSIONAL ENGINEER
No. 66532
Exp. 12-30-18
CIVIL
STATE OF CALIFORNIA

SEAL:	DRAWN BY:	RHV
	DESIGNED BY:	RHV
	CHECKED BY:	WV
	PREPARED UNDER THE SUPERVISION OF:	
	WILFREDO B. VENTURA	R.C.E. NO.: 66532 EXP. DATE: 8-30-18

PRECISE GRADING & UTILITY PLAN G16-

WINDMILL INVESTMENT, LLC
163 FLOWER STREET
COSTA MESA, CA 92627

SHEET NO.	1
OF	3

NPDES GENERAL NOTES:

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE.
- DISCHARGES OF MATERIALS OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NPDES PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.

POTENTIAL POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDE, HERBICIDE, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE, AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE / EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPER-CHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING.

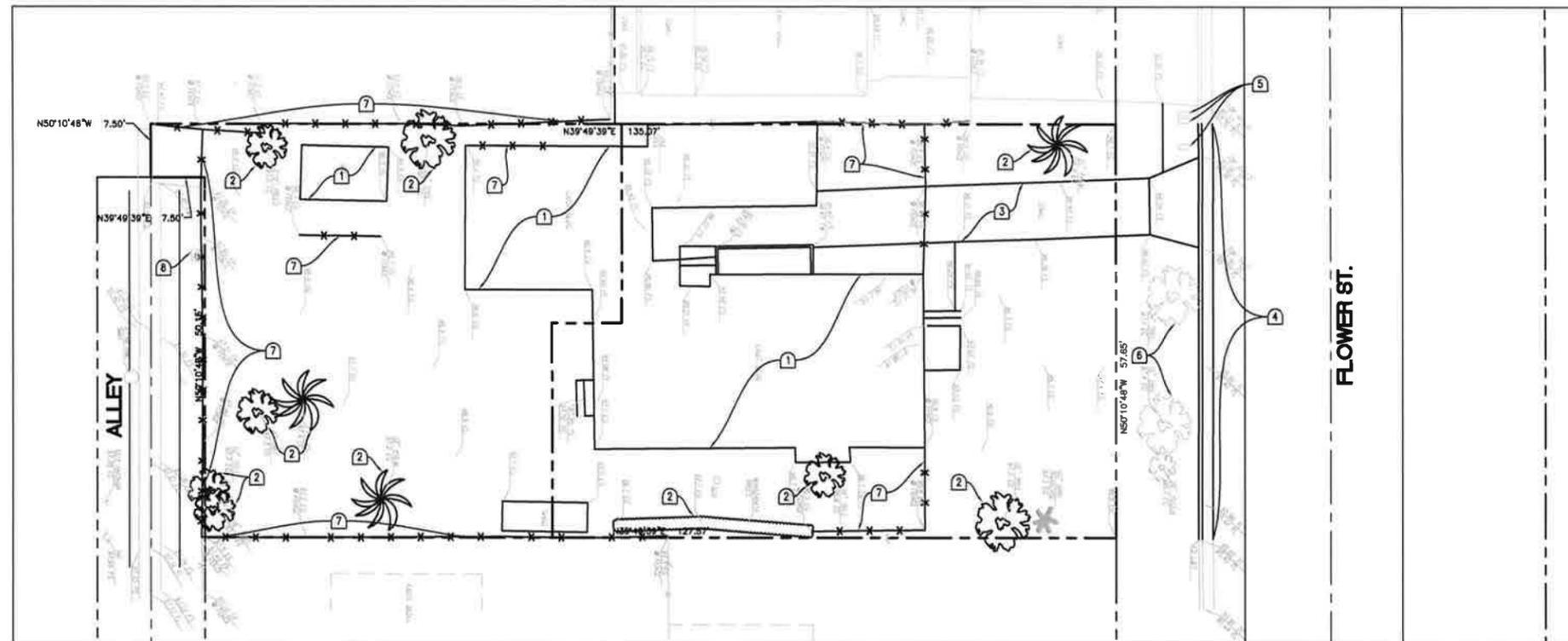
DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED, TEMPORARY AREA ON-SITE AND PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.

- DISCHARGING CONTAMINATED GROUNDWATER, PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED.
- DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANTS DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

NOTICE: ALL CONTRACTORS AND CONSTRUCTION PERSONNEL SHALL MEET THE REGULATORY CONSTRUCTION REQUIREMENTS ON THE PROJECT SITE, AS SHOWN IN THE LATEST EDITION OF THE ORANGE COUNTY STORMWATER PROGRAM "CONSTRUCTION RUNOFF GUIDANCE MANUAL".

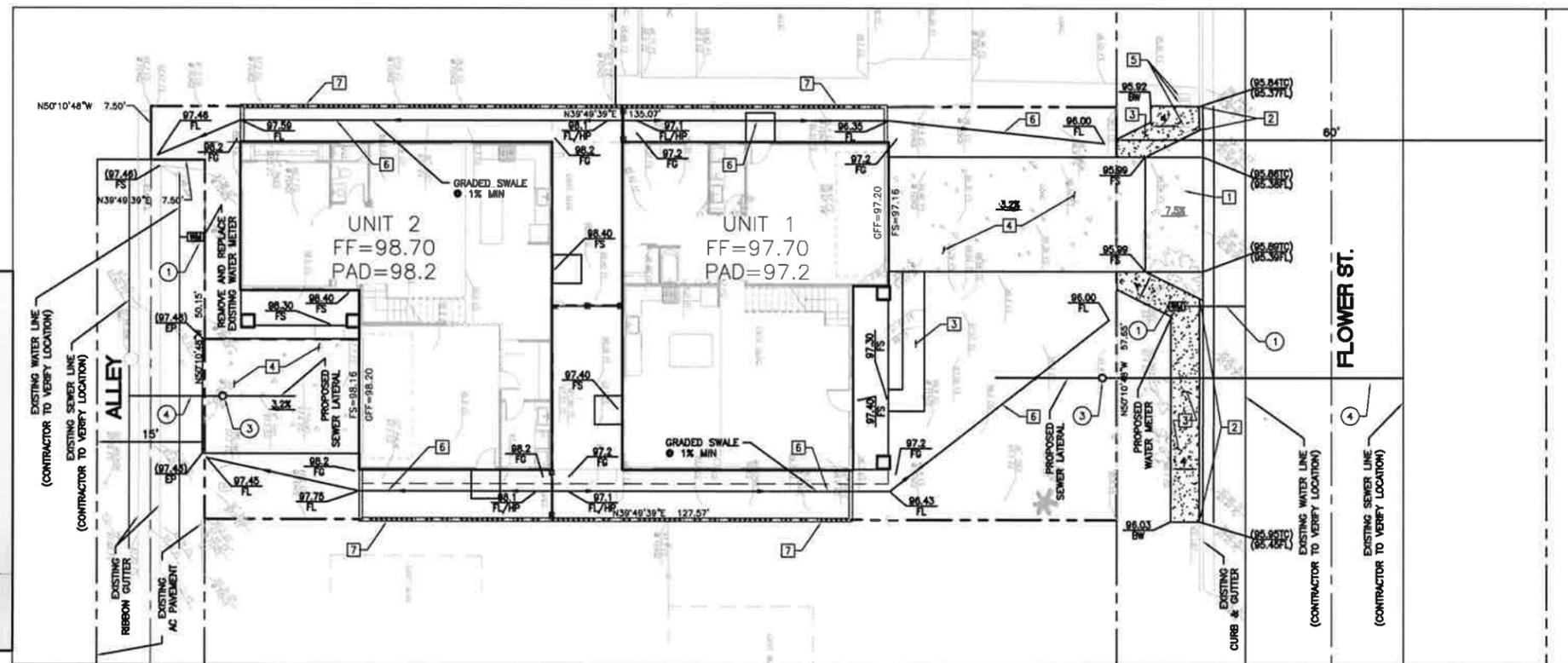
SLURRY SEAL RESURFACING REQUIREMENTS
(revised 9-15-00)

- The Contractor shall restore the roadway surface within the work limits by slurry sealing the entire lane where the trench is located.
 - A. For trenches perpendicular to traffic lanes: the slurry seal shall extend 50 feet on both sides of the trench and will include the entire travel lanes.
 - B. For trenches parallel to traffic lanes and for small excavations: slurry seal the entire width of the traffic lane for the full length of the trench, but not less than 100'.
- Restoration of the roadway shall be continuous and no joints will be allowed. All roadways within the work limits will be restored in one operation. The Contractor shall not proceed with the slurry sealing operation until direction is given by the City Engineer.
- Any existing improvements damaged by the Contractor shall be replaced as directed by the City Engineer.
- Slurry Seal shall conform to sections 3003 and 302-4 of the Standard Specifications for Public Works Construction. Slurry seal shall be quickset-emulsion aggregate slurry seal cationic (QA-KH) Type II with 2% Latex Additive.
- Replace all traffic striping, markings, and raised pavement markers in kind.
- All work shall be completed within 90 calendar days from issuance of permit.



DEMOLITION PLAN

SCALE: 1"=10'



PRECISE GRADING PLAN AND UTILITIES

SCALE: 1"=10'

DEMOLITION NOTES:

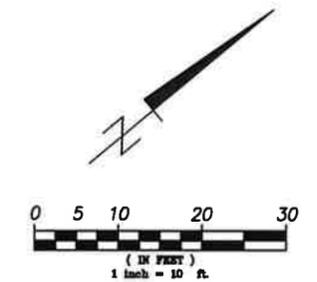
- REMOVE EXISTING BUILDING
- REMOVE EXISTING TREES
- REMOVE EXISTING CONCRETE DRIVEWAY / SURFACE
- REMOVE EXISTING CURB AND GUTTER
- EXISTING MAIL BOX TO REMAIN IN CURRENT LOCATION
- EXISTING TREE TO REMAIN
- REMOVE EXISTING FENCE
- EXISTING WATER METER TO BE REMOVED BUT EXISTING SERVICE TO REMAIN IN PLACE FOR PROPOSED CONNECTIONS

CONSTRUCTION NOTES - ESTIMATED QUANTITIES

ITEM	DESCRIPTION	QUANTITY	UNIT
1	CONSTRUCT DRIVE APPROACH PER CITY OF COSTA MESA STANDARD 513 6" PCC OVER 6" CMB, W=16", X=4".	1	EA
2	REPLACE WITH CURB AND GUTTER PER CITY STD. 312 3' SLOT PAVEMENT REQUIRED NEXT TO GUTTER.	34	LF
3	CONSTRUCT 4" CONCRETE SIDEWALK PER CITY STD. 411	210	SF
4	CONSTRUCT 6" P.C.C. DRIVEWAY, FC=5000 PSI	862	SF
5	EXISTING MAILBOX LOCATION TO REMAIN	3	EA
6	PROPOSED GRADED SWALE (1.0% MIN GRADE)	269	LF
7	PROPOSED DECORATIVE BLOCK WALL (SEE ARCH PLANS)	-	LF

SEWER AND WATER CONSTRUCTION NOTES - ESTIMATED QTY

ITEM	DESCRIPTION	QUANTITY	UNIT
1	INSTALL 1" METER (130 FLOWTHROUGH FIRE SYSTEM) PER MWD STD. NO. 3	2	EA
2	INSTALL 1" COPPERLINE PER MESA WATER DISTRICT STD. DWG. 1 & 1B, AND CITY OF COSTA MESA STD. 813 AND INSPECTOR'S REQUIREMENTS	1	EA
3	CONSTRUCT CLEANOUT PER COSTA MESA SANITARY DISTRICT STD. S-107	2	EA
4	CONSTRUCT 4" PVC SDR35 SEWER LATERAL PER 2013 CPC	2	EA



LEGEND

- PROPERTY LINE
- CENTERLINE
- EX. BUILDING
- EX. PERIMETER WALL
- 7' PROP. PERIMETER WALL
- 3' PROP. PERIMETER WALL
- EX. WOOD FENCE
- PROPOSED CONCRETE PAVEMENT
- PROPOSED SIDEWALK
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- ROAD CENTERLINE
- PROP. GRADED SWALE

AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY FROM THE PUBLIC SERVICES DEPARTMENT

72 HOURS PRIOR TO CONSTRUCTION, CONTRACTOR TO LOCATE AND IDENTIFY INVERT ELEVATION AND NOTIFY ENGINEER.

IF A 130 FIRE SPRINKLER SYSTEM IS NOT A FLOW THROUGH SYSTEM, THEN A TESTABLE BACKFLOW DEVICE NEXT TO BUILDING WILL BE NEEDED.

RECONSTRUCT SIDEWALK FROM PROPERTY LINE TO PROPERTY LINE

Underground Service Alert

Call: TOLL FREE
1-800-422-4133

TWO WORKING DAYS BEFORE YOU DIG

REVISIONS

REV.	DATE	BY	DESCRIPTION	APP'VD

MESA WATER DISTRICT

APPROVED: _____ DATE: _____

COSTA MESA SANITARY DISTRICT

ROBIN B. HAMERS
(714) 283-2727
DISTRICT ENGINEER
COSTA MESA SANITARY DISTRICT

APPROVED: _____ DATE: _____

APPROVED BY:

FIRE DEPT. _____ DATE: _____
APPROVED BY: _____
PLANNING DEPT. _____ DATE: _____
APPROVED BY: _____
COSTA MESA DEPT. OF PUBLIC WORKS
R.C.E. NO.: _____ EXP. DATE: _____

VENTURA ENGINEERING, LLC

2016 APPROVED AND SEAL: _____
MARIETTA, CA 95959
PHONE 916 486-7000
FAX 916 486-7000

SEAL:



DRAWN BY:

RHV
DESIGNED BY: RHV
CHECKED BY: WV
PREPARED UNDER THE SUPERVISION OF:
Wilfredo S. Ventura
R.C.E. NO.: 66532 EXP. DATE: 8-30-18

PRECISE GRADING & UTILITY PLAN G16-

WINDMILL INVESTMENT, LLC
163 FLOWER STREET
COSTA MESA, CA 92627

SHEET NO.

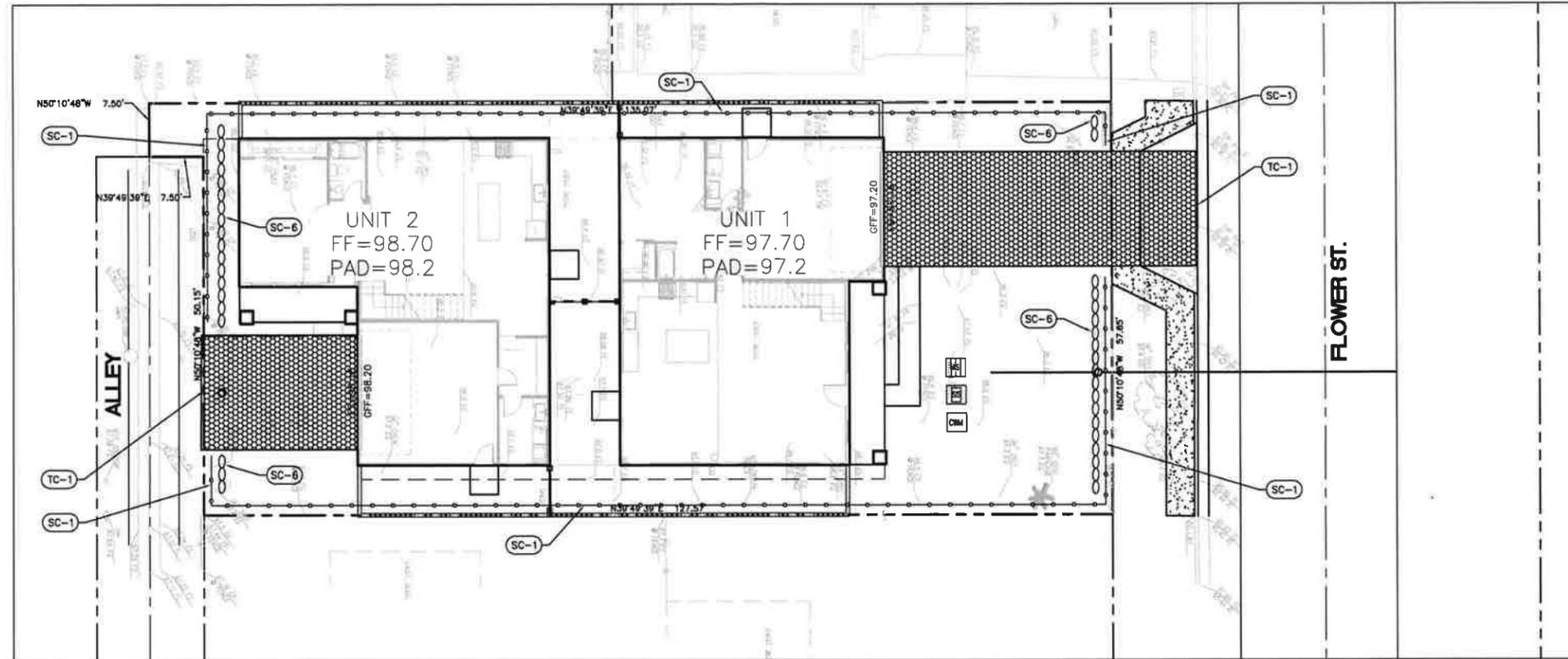
2
OF
3

EROSION CONTROL GENERAL NOTES:

- IN CASE OF EMERGENCY CALL:
TODD CRUMP
 (RESPONSIBLE PERSON)

SOUTH POINTE CONSTRUCTION
 (FIRM)

951.676.2773
 (24 HOUR PHONE NO.)
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS AND BASINS.
- GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
- THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.



EROSION CONTROL PLAN
 SCALE: 1"=10'

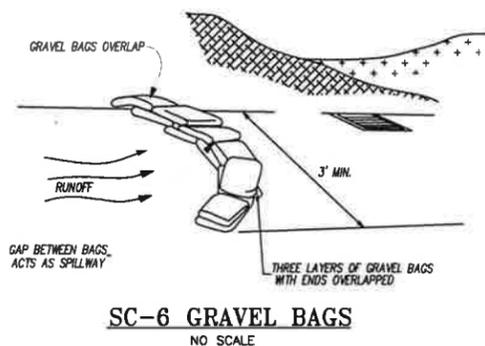
ATTACHMENTS & BMP'S

THE FOLLOWING BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, THE CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICES HANDBOOK, JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE PROJECT ENGINEER OR BUILDING OFFICIAL)

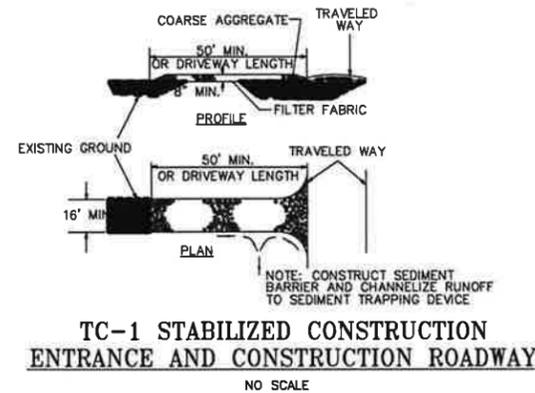
- EROSION CONTROL**
 EC1- SCHEDULING
 EC2- PRESERVATION OF EXISTING VEGETATION
 EC4- HYDROSEEDING
 EC5- SOIL BINDERS
 EC8- DRAINAGE SWALES
 EC10- STORM DRAIN INLET PROTECTION
- TEMPORARY SEDIMENT CONTROL**
 SE1- SILT FENCE
 SE6- GRAVEL BAG BERM
 SE7- STREET SWEEPING AND VACUUMING
- WIND EROSION CONTROL**
 WE1- WIND EROSION CONTROL
- EQUIPMENT TRACKING CONTROL**
 TC1- STABILIZED CONSTRUCTION ENTRANCE EXIT
- NON-STORMWATER MANAGEMENT**
 NS1- WATER CONSERVATION PRACTICES
 NS6- ILLICIT CONNECTION/DISCHARGE
 NS8- VEHICLE AND EQUIPMENT CLEANING
 NS10- VEHICLE AND EQUIPMENT MAINTENANCE
- WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL**
 WM1- MATERIAL DELIVERY AND STORAGE
 WM2- MATERIAL USE
 WM3- STOCKPILE MANAGEMENT
 WM4- SPILL PREVENTION AND CONTROL
 WM5- SOLID WASTE MANAGEMENT
 WM7- CONTAMINATION SOIL MANAGEMENT
 WMB- CONCRETE WASTE MANAGEMENT
 WMB- SANITARY/SEPTIC WASTE MANAGEMENT

BEST MANAGEMENT PROTECTION

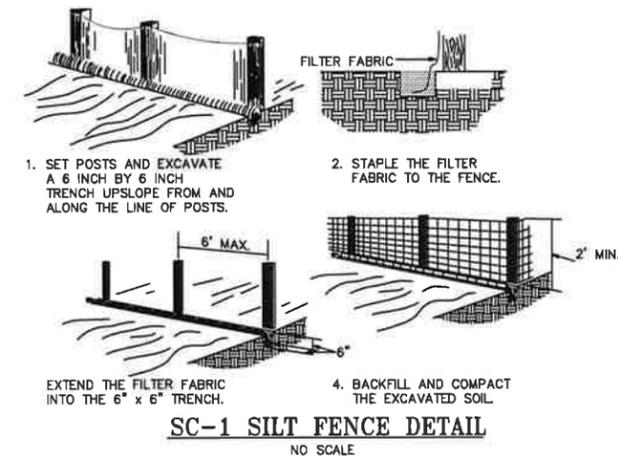
DESCRIPTION	QUANTITY	SYMBOL
SC1-SILT FENCE	324 LF	[Symbol]
SC6-GRAVEL BAG BARRIER	74 LF	[Symbol]
WM1-MATERIAL DELIVERY STORAGE	1 EA.	[Symbol]
WMB-CONCRETE WASTE MANAGEMENT	1 EA.	[Symbol]
WMB-SANITARY/SEPTIC WASTE MANAGEMENT	1 EA.	[Symbol]
TC1-STABILIZED CONSTRUCTION ENTRANCE	2 EA.	[Symbol]



SC-6 GRAVEL BAGS
 NO SCALE



TC-1 STABILIZED CONSTRUCTION ENTRANCE AND CONSTRUCTION ROADWAY
 NO SCALE



THE SILT FENCE SHOULD BE SUPPORTED BY A WIRE MESH IF THE FILTER FABRIC DOES NOT HAVE SUFFICIENT STRENGTH AND BURSTING STRENGTH CHARACTERISTICS (AS RECOMMENDED BY THE FABRIC MANUFACTURER)

Underground Service Alert
 Call: TOLL FREE
 1-800-422-4133
 TWO WORKING DAYS BEFORE YOU DIG

REV.	DATE	BY	DESCRIPTION	APP'VD

MESA WATER DISTRICT
 COSTA MESA SANITARY DISTRICT
 ROBIN B. HAMERS (714) 283-2727 DISTRICT ENGINEER COSTA MESA SANITARY DISTRICT
 APPROVED: _____ DATE: _____

APPROVED BY: _____ DATE: _____
 FIRE DEPT. _____ DATE: _____
 APPROVED BY: _____ DATE: _____
 PLANNING DEPT. _____ DATE: _____
 APPROVED BY: _____ DATE: _____
 COSTA MESA DEPT. OF PUBLIC WORKS
 R.C.E. NO.: _____ EXP. DATE: _____

VENTURA ENGINEERING, LLC
 5700 JEFFERSON AVE, STE J-800
 TRUCULLA, CA 92658
 PHONE 951-940-7900 FAX 951-940-0700
 REGISTERED PROFESSIONAL ENGINEER
 FREDERICK S.D. VENTURA
 No. 66532
 Exp. 6-30-18
 CIVIL
 STATE OF CALIFORNIA

SEAL: _____
 DRAWN BY: RHV
 DESIGNED BY: RHV
 CHECKED BY: WV
 PREPARED UNDER THE SUPERVISION OF:
 FREDERICK S.D. VENTURA
 R.C.E. NO.: 66532 EXP. DATE: 6-30-18

PRECISE GRADING & UTILITY PLAN G16-
WINDMILL INVESTMENT, LLC
 163 FLOWER STREET
 COSTA MESA, CA 92627



PLANNING COMMISSION

SUPPLEMENTAL MEMORANDUM

MEETING DATE: JULY 11, 2016

ITEM NUMBER:

PH-4

SUBJECT: PLANNING APPLICATION PA-16-28 AND TENTATIVE PARCEL MAP NO. 2016-123 FOR A DESIGN REVIEW AND SUBDIVISION MAP FOR A DETACHED TWO-UNIT SMALL LOT SUBDIVISION AT 163 FLOWER STREET.

DATE: JULY 8, 2016

FROM: PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

PRESENTATION BY: DANIEL INLOES, SENIOR PLANNER

FOR FURTHER INFORMATION CONTACT: DANIEL INLOES, AICP (714) 754-5088
daniel.inloes@costamesaca.gov

Attached to this memo is a revision the Planning Application Summary on handwritten page 2 of the staff report. The purpose is to modify proposed amounts shown in red within the attached revised summary table. The length of the lot is 4 feet longer than what was shown in the site plans from the applicant. This modification only increases: lot size, size of subdivided lots, overall open space, and amount of private open space for each unit. There are no deviations for this project.

Attachment: 1. Planning Application Summary (handwritten page 2)

Distribution: Director of Economic & Development Services/Deputy CEO
Senior Deputy City Attorney
Public Services Director
City Engineer
Transportation Services Manager
Fire Protection Analyst
File (2)

Owner: Tong Tong Glowing Trading INC.
22 Trumpet Vine
Irvine CA 92603

Agent: Gavin Sermon
South Pointe Companies
41146 Elm St. Suite H
Murrieta, CA 92562

PLANNING APPLICATION SUMMARY

Location: 163 Flower Street Application Number: PA-16-28/PM-2016-123

Request: Design review of a two-unit residential development and a subdivision map.

SUBJECT PROPERTY:

Zone: R2-HD
 General Plan: HDR
 Lot Dimensions: 57.6 FT x 127.5 FT
 Lot Area: 7,411 sq ft
 Existing Development: One parcel with a single family residence (to be demolished).

SURROUNDING PROPERTY:

North: R2-HD Multi-Family Residential, Residential Use
 South: R2-HD Multi-Family Residential, Residential Use
 East: R2-HD Multi-Family Residential, Residential Use
 West: R2-HD Multi-Family Residential, Residential Use

DEVELOPMENT STANDARD COMPARISON - SMALL LOT ORDINANCE

Development Standard	Required/Allowed	Proposed/Provided
Lot Size:		
Lot Width	NA	57.6 FT
Lot Area	NA	4,282 & 3,128
Maximum Density (based on gross acreage):		
DU's/ Acre (Residential)	1 du/3,000 SF Maximum 2 units	1 du/ 3,705 SF Proposed 2 units
Building Coverage (Development Lot)		
Buildings	NA	3,356 SF (45%)
Paving	NA	744 SF (10%)
Minimum Open Space	2,084 SF (30%)	3,311 SF (44%)
TOTAL	NA	7,411 SF (100%)
Building separation		
Building separation	NA	14 FT
Building Height	2 Stories/Max. 27 FT	2 Stories/Max. 26.33 FT
Private Open Space	200 SF with a min. dim. of 10 FT	273.6 273.6
Setbacks (Development Lot)		
Front	20 FT	20 FT
Side (left/right)	5 FT/5 FT	7 FT/5 FT
Rear	10 FT	10 FT
Parking for 4 bedroom single-family detached		
Garage(s)	4	4
Open	4	4
TOTAL	8 Spaces	8 Spaces
Driveway Length	Min. 19 FT	20 FT & 26.5 FT
Interior garage dimension	20 FT	20 FT
NA = Not Applicable or No Requirement		
CEQA Status	Guidelines Section 15303/Class 3, New Construction of three or fewer single-family homes in urban areas	
Final Action	Planning Commission	