



# **PLANNING COMMISSION AGENDA REPORT**

MEETING DATE: SEPTEMBER 26, 2016

ITEM NUMBER: PH-4

**SUBJECT:** PLANNING APPLICATION PA-16-47 AND TENTATIVE PARCEL MAP NO. PM-2016-174 FOR A TWO-UNIT RESIDENTIAL SMALL LOT SUBDIVISION DEVELOPMENT AT 788 CENTER STREET

**DATE:** SEPTEMBER 15, 2016

**FROM:** PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

**PRESENTATION BY:** JUSTIN ARIOS, ASSISTANT PLANNER

**FOR FURTHER INFORMATION CONTACT:** JUSTIN ARIOS (714) 754-5667  
justin.arios@costamesaca.gov

## **DESCRIPTION**

The proposed project involves the following:

- 1. *Planning Application PA-16-47:*** Design review to construct a two-unit, two-story, residential small lot subdivision on a 7,500 square foot lot in the R2-HD zone. The two-story detached dwelling units are both proposed at 2,222 square feet, and each consists of 3 bedrooms, 3 bathrooms, and a two-car garage with minimum interior dimensions of 20 feet by 20 feet. The project will be developed per the Residential Small Lot Subdivision standards. The project meets all development standards.
- 2. *Parcel Map PM-2016-174:*** A subdivision in accordance with the small lot subdivision standards to create two fee simple lots.

## **APPLICANT OR AUTHORIZED AGENT**

The applicant and property owners are Joel Templeton and Kevin Rager.

## **ENVIRONMENTAL DETERMINATION**

The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3), New Construction or Conversion of Small Structures. In urbanized areas, up to three single-family residences may be constructed or converted under the Class 3 exemption.

## **RECOMMENDATION**

Approve the project by adoption of Planning Commission resolution, subject to conditions.

## PLANNING APPLICATION SUMMARY

<b>Location:</b>	788 Center Street	<b>Application No:</b>	PA-16-47 / PM-2016-174
<b>Request:</b>	2-unit residential small lot development.		

### SUBJECT PROPERTY:

### SURROUNDING PROPERTY:

<b>Zone:</b>	R2-HD	<b>North:</b>	C1, Local Business
<b>General Plan:</b>	High Density Residential	<b>South:</b>	R2-HD, Multiple-Family Residential, High Density
<b>Lot Dimensions:</b>	50 ft. x 150 ft.	<b>East:</b>	R2-HD, Multiple-Family Residential, High Density
<b>Lot Area:</b>	7,500 sq. ft. (0.17 Acres)	<b>West:</b>	CL, Commercial Limited
<b>Existing Development:</b>	1 Residential Unit (To Be Demolished).		

### DEVELOPMENT STANDARD COMPARISON

Development Standard	Required/Allowed Small Lot Standards	Proposed/Provided
<b>Lot Size:</b>		
Lot Width	N/A	50 ft.
Lot Area	N/A	7,500 SF
<b>Density/Intensity:</b>		
DU's / Acre (Residential)	1 DU / 3,000 SF (14.5 DU / Acre) 2 units Maximum allowed	1 DU / 3,750 SF (11.6 DU / Acre) 2 Units proposed
<b>Building Coverage (Development Lot):</b>		
Buildings	N/A	3,033 SF (40.4%)
Paving	N/A	1,735 SF (23.1%)
Open Space (Overall)	2,250 SF (30%)	2,732 SF (36.4%)
TOTAL:		7,500 SF (100%)
<b>Private Open Space</b>	200 SF / Min. 10 ft.	Lot 1: 480 SF / 20 ft. Lot 2: 500 SF / 10 ft.
<b>Building Height</b>	2 stories / 27 ft.	2 stories / 26 ft.
<b>Chimney Height</b>	2 ft. above Max. Bldg. Ht.	N/A
<b>Distance Between Main Buildings</b>	N/A	29 ft. 8 in.
<b>Setbacks:</b>		
Front	20 ft.	20 ft.
Side (Front Unit)	5 ft.	5 ft.
Side (Rear Unit)	5 ft.	5 ft. 1 in.
Rear	10 ft.	10 ft.
<b>Parking:</b>		
Covered	4	4
Open	4	4
TOTAL:	8 spaces	8 spaces
<b>Interior Garage Dimensions</b>	20 ft.	20 ft.
<b>Final Action</b>	Planning Commission	
<b>CEQA Review</b>	Exempt, Class 3	

## **BACKGROUND**

### ***Project Site/Environs***

The subject project site is a 7,500 square foot parcel located on the north side of Center Street, between Placentia Avenue and Wallace Avenue. The project site is currently developed with one residential unit, which will be replaced by the proposed project. Existing driveway and access is provided off Center Street; the existing property contains no garage and an approximately 16-foot-wide driveway. The property currently is zoned R2-HD with a maximum development potential of two dwelling units (14.5 dwelling units per acre). In addition, the subject property is located within the 19 West Urban Plan.

The property to the west (792 Center Street) of the subject property is zoned CL (Commercial Limited District). The property to the east (780 Center Street) is zoned R2-HD and is developed with a single-story single family home. The property to the north of the subject property (779 West 19<sup>th</sup> Street) is zoned C1 (Local Business District). The property across the street to the south (785 Center Street) is zoned R2-HD and is developed with a single-story single-family residence.

## **ANALYSIS**

### ***Design Review PA-16-47***

The proposed project consists of two detached, single-family residences with attached two-car garages. The property would be subdivided into two separate fee simple lots, and the proposed residences will have a 29 foot 8 inch building separation. The proposed units have similar floor plans and include three bedrooms, three bathrooms, and an open plan for the living, dining, and kitchen areas. Each unit includes half bathroom, living area and garage on the first floor and three bedrooms, two full bathrooms and living area on the second floor. A two-car garage and two open parking spaces will be provided for the front unit along a 20-foot deep by 16-foot wide driveway. For the rear unit, the Transportation Division has reviewed and approved the parking layout that will provide a two-car garage and two open parking spaces. The trash bins for each unit can be stored out of public view. The project satisfies all applicable development standards including project and private open space, parking, and building height.

The design of the proposed project was created by DIY Housing. Unit 1 is designed with a contemporary design, with a combination of fiber cement sidings, stucco finish, horizontal siding boards, fiber cement siding (shingles), vinyl glazing, stone veneer, and roof asphalt shingle roofing. Unit 2 is designed with a contemporary design, with a combination of fiber cement sidings, stucco finish, horizontal siding boards, fiber cement siding (shingles), vinyl glazing, brick veneer, and roof asphalt shingle roofing. The homes are custom designed to blend harmoniously into the surrounding environment. Both residences will be oriented toward Center Street; garage access will also be from Center Street.

### ***Residential Design Guidelines***

The design of the proposed residences meets the intent of the City's Residential Development Standards and Design Guidelines. The design of the two-story homes, as conditioned, will comply with the second-story design standards, provide appropriate

building mass and form, meet the City's Residential Design Guidelines for second-story setbacks, provide unique elevation treatments and roof forms, considers window placement, and will be consistent in architectural design. Building mass and form were considered as offsets and building projections were made an integral part of the design. The two story structures are designed with articulation and off-sets on all elevations to avoid a boxy appearance from the street and neighboring views. The two units provide individual and identifiable entries to add interest and variety to the streetscape.

Elevations are enhanced with combination of materials, varied roof forms, front entry porches, as well as accents and details. A combination stucco finish and siding with varying colors, along with enhanced windows along the perimeter of each unit will be provided for visual interest. Roofing materials include fiberglass shingle roofing for the second-story roof. The residences are two stories in height and will not exceed the 27-foot height maximum requirements. Window placement will not be an issue, as the property is surrounded by single-story buildings along the side (east and west) property lines and by a two-story building setback 26'-10" from the rear (north) property line. Additionally, the second story maintains the required 10-foot setback from the rear property line.

***Tentative Parcel Map***

The proposed tentative tract map is for a two-unit subdivision per the Residential Small Lot Subdivision Ordinance. The project proposes to divide one large development lot into two new parcels along Center Street. Parcel 1 (Lot 1) is proposed as the southern portion of the development lot along the corner of Center Street, and includes a net lot area of 3,175 square feet. Parcel 2 (Lot 2) is proposed on the north portion of the development lot, and includes a net lot area of 4,325 square feet.

All common areas including the driveway and open parking spaces will be used and maintained by a maintenance association or homeowners' association as stipulated in the Conditions, Covenants, and Restrictions (CC&R's) for the development. The CC&R's will also include provisions requiring that the open parking space be unassigned and available for visitors and requiring residents to park vehicles in the garage spaces provided for each unit.

***General Plan Conformance***

The proposed development is a small lot subdivision development of two detached single-family residences. The project is consistent with the maximum allowable General Plan density of 1 dwelling unit per 3,000 square feet, or 14.5 dwelling units per acre per the R2-HD zone and HDR (High Density Residential) General Plan land use designation. The proposed project will be developed with one dwelling unit per 3,750 square feet, or 11.6 dwelling units per acre, which is below the 14.5 dwelling units per acre allowed in the High Density Residential land use designation.

The following analysis evaluates the proposed project's consistency with specific goals, objectives, and policies of the 2015-2035 General Plan, Land Use Element.

- 1. **Objective LU-1A:** *Establish and maintain a balance of land uses throughout the community to preserve the residential character of the City at a level no greater than can be supported by the infrastructure.*

**Consistency:** The project is an infill residential project within the allowable density for high-density development. Adequate infrastructure exists to serve the proposed project. Therefore, the project is consistent with this General Plan objective.

2. **Policy LU-1.3:** *Strongly encourage the development of residential uses and owner-occupied housing (single-family detached residences, condominiums, townhouses) where feasible to improve the balance between rental and ownership housing opportunities.*

**Consistency:** Because the proposed project is for ownership units, the project is consistent with this General Plan goal.

3. **Goal LU-3:** *Development that maintains neighborhood integrity and character.*

**Consistency:** The project would allow for the redevelopment of a property. The proposed project would add a quality architectural design to the project area. The project includes front entry porches, ornamental site landscaping, and decorative perimeter wall treatments provided throughout the project. Elevations are enhanced with premium materials, wall offsets, asphalt shingle roofs, combination of materials, as well as accents and details. As a result, the proposed project is supportive of this General Plan goal.

4. **Objective LU-4:** *Encourage new development and redevelopment to improve and maintain the quality of the environment.*

**Consistency:** Because the project is an infill development, it would not result in the loss of any habitat, or require extensive infrastructure improvements to provide service to the site. Consequently, the project is consistent with this objective.

## **JUSTIFICATIONS FOR APPROVAL**

Pursuant to Title 13, Section 13-29, *Planning Application Review Process*, of the Costa Mesa Municipal Code, the Planning Commission shall find that the evidence presented in the administrative record substantially meets specified findings. Staff recommends approval of Design Review PA-16-47 and Tentative Parcel Map PM-2016-147, based on the following assessment of facts and findings, which are also reflected in the draft resolution.

- *The proposed project complies with the General Plan and with the Zoning Code standards.* The creation of the subdivision is consistent with General Plan Land Use Policy LU-1.3, Goal LU-3, and Objective LU-4 in that adequate infrastructure exists to serve the proposed project; the project promotes homeownership opportunities to improve the balance between renter and owner occupied housing in the City; and the project would not result in the loss of any habitat, or require extensive infrastructure improvements to provide service to the site. The proposed project does not exceed the maximum density of 14.5 units per acre, and therefore is consistent with the General Plan designation for High Density Residential and R2-HD zone. The project design complies with development standards of the Small Lot Subdivision Ordinance.

- The proposed project meets the purpose and intent of the Residential Design Guidelines. The design of the two-story homes, as conditioned, will comply with the second-story design standards and setback requirements; develop with appropriate building mass and form; provide unique elevation treatments and roof forms; considers window placement guidelines; and will be consistent in architectural design.

In regards to second-story design standards, the second-story floor areas for each unit will not exceed 100% of the first-story floor area; the ratio of 2nd floor to 1st floor is 90% for Unit 1 and Unit 2. The Small Lot Subdivision Ordinance allows for a minimum five-foot interior side setback for both stories when the units are less than 2,700 square feet. The proposed buildings are less than 2,700 square feet and are placed on the property with five-foot interior side setbacks.

The proposed project provides variation to street-facing elevations to reduce visual prominence, provide visual interest and relief from monotony. Building mass and form were considered, as offsets and building projections were made an integral part of the design. Recesses in building planes have been incorporated into the design to provide visual relief, including a variation in roof forms, orientation and pitch. The two units provide individual and identifiable entries to add interest and variety to the streetscape. The two story structures are designed with articulation on all elevations to avoid a boxy appearance from the street and neighboring views. Elevations are enhanced with combination of materials, varied roof forms, front entry porches, as well as accents and details. Roofing materials include shingle roofing. Each unit is two stories in height and will not exceed the 27-foot height maximum requirements.

The setbacks of existing neighboring structures, and visual impacts from second story windows were considered with regard to the side yard of the abutting home, and places the homes to maximize distances from the adjacent dwellings. Window placement will not be an issue, as the property is surrounded by single-story buildings along the side (east and west) property lines and by a two-story building setback 26'-10" from the rear (north) property line. Additionally, the second story maintains the required 10-foot setback from the rear property line.

The project will include consistent architectural design, as each unit includes a combination stucco finish and siding with varying colors, use of vinyl windows, and entry porches will be built along the front entryways of both units to provide visual interest.

- The proposed subdivision is consistent with the General Plan and Zoning Code. The subdivision complies with General Plan Land Use Policy LU-1.3 in that it allows the units to be sold independent of one another and creates home ownership opportunities. The subdivision is consistent with applicable development standards contained in the Zoning Code. The subdivision also provides for future natural heating and cooling. The project also provides private open space areas under entry canopies. Open space also incorporates landscaping, such as trees, to ensure natural and passive heating and cooling from the sun exposure.

- The project exceeds the development lot minimum open space requirement (30% required, 36% proposed). A total of 36% of the development lot area will be provided as open space and landscaping, which exceeds the required 30% development lot open space requirement. This open space includes a minimum of 200 square feet of private open space for each parcel. Unit 1 will provide a private open space area along the interior side setback and Unit 2 along the rear setback.
- The landscape plan is consistent with the City's standards for multi-family development. Specifically, the plan includes landscaping within the private open space areas, and along the driveway and parking areas for each unit. The landscape plan shows one 36-inch box Pyrus Calleryana "After Dark Tree" tree along the Center Street parkway, and mixture of drought tolerant shrubs and groundcover along the front setback, walkways, and property lines to encourage privacy and greenery. In addition, the project includes decorative block walls on the perimeter of the property, as required by Code.
- The Declaration of the Covenants, Conditions, and Restrictions (CC&Rs) is required to be filed on the property. The Small Lot Ordinance requires that all small lot subdivisions establish some form of self-governance through CC&Rs, maintenance associations, and/or homeowner's associations. In the City of Costa Mesa, the most common type of association is an incorporated homeowner's association. This is a corporation in which the members of the corporation vote for a board of directors, which runs the affairs of the corporation. In this case, as a 2-unit small lot development, Code does not require that an HOA be established. The Small Lot Ordinance requires, at a minimum, that CC&Rs be recorded on the property. Because there are no common areas for circulation, parking, or landscape purposes, a condition of approval requires that the CC&Rs shall contain the ground rules related to: architectural control over future building modifications or additions, architectural design and guidelines for the property, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts.

### ***Tentative Parcel Map PM-2016-174***

The applicant proposes a parcel map in compliance with the City's Small Lot Subdivision Ordinance to allow the formation of two fee simple lots. The proposed property is suitable to accommodate the proposed small lot subdivision. There are no interferences with the City's or other utility agencies' right-of-way areas and/or easements. The map is consistent with City codes and the State Subdivision Map Act.

### ***Expiration of Projects***

Per City Code, planning application approvals are valid for one year unless renewed. Per the State Subdivision Map Act, tentative tract map approvals are valid for 24 months. As a result, staff has incorporated a condition of approval allowing the planning application expiration to coincide with the expiration of the respective map. The planning application and map would expire in 24 months (September 2018). After the initial 24-month period, a time extension for these applications would be required to be processed for another 12-month period.

## **ENVIRONMENTAL DETERMINATION**

The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3), New Construction or Conversion of Small Structures. In urbanized areas, up to three single-family residences may be constructed or converted under the Class 3 exemption.

## **LEGAL REVIEW**

The draft resolutions have been reviewed and approved as to form by the City Attorney's Office.

## **PUBLIC NOTICE**

Pursuant to Title 13, Section 13-29(d), of the Costa Mesa Municipal Code, three types of public notification have been completed no less than 10 days prior to the date of the public hearing:

1. Mailed notice. A public notice was mailed to all property owners within a 500-foot radius of the project site. The required notice radius is measured from the external boundaries of the property. (See attached Notification Radius Map.)
2. On-site posting. A public notice was posted on each street frontage of the project site.
3. Newspaper publication. A public notice was published once in the Daily Pilot newspaper.

## **ALTERNATIVES**

The Planning Commission has the following alternatives:

1. Approve the project with modifications. The Planning Commission may suggest specific changes that are necessary to alleviate concerns. If any of the additional requested changes are substantial, the item should be continued to a future meeting to allow a redesign or additional analysis. In the event of significant modifications to the proposal, should the Planning Commission choose to do so, staff will return with a revised resolution incorporating new findings and/or conditions.
2. Deny the project. If the Planning Commission believes that there are insufficient facts to support the findings for approval, Planning Commission must deny the application and provide facts in support of denial to be included in the attached draft resolution for denial. If the project were denied, the applicant could not submit substantially the same type of application for six months.

## CONCLUSION

Approval of the Design Review and Tentative Parcel Map will allow development of a two-unit small lot subdivision. The project is deemed to be a high-quality development; therefore, it is consistent with the intent of the General Plan and Zoning Code. Resolutions for approval and denial of the project are attached for consideration by the Planning Commission.



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JUSTIN ARIOS  
Assistant Planner



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GARY ARMSTRONG, AICP  
Economic Development & Development  
Services Director / CEO

Attachments:   1. Vicinity Map, Zoning Map and 500' Radius Map  
                  2. Existing Color Site Photos  
                  3. Applicant's Project Description  
                  4. Draft Planning Commission Resolutions and Exhibits  
                  5. Project Plans / Color Elevations / Tentative Parcel Map

Distribution:   Director of Economic & Development Services / Deputy CEO  
                  Senior Deputy City Attorney  
                  Public Services Director  
                  City Engineer  
                  Transportation Services Manager  
                  Fire Protection Analyst  
                  File (2)

Owner:         Joel Templeton & Kevin Rager  
                  2710 Point Del Mar  
                  Corona Del Mar, CA 92625

## City of Costa Mesa

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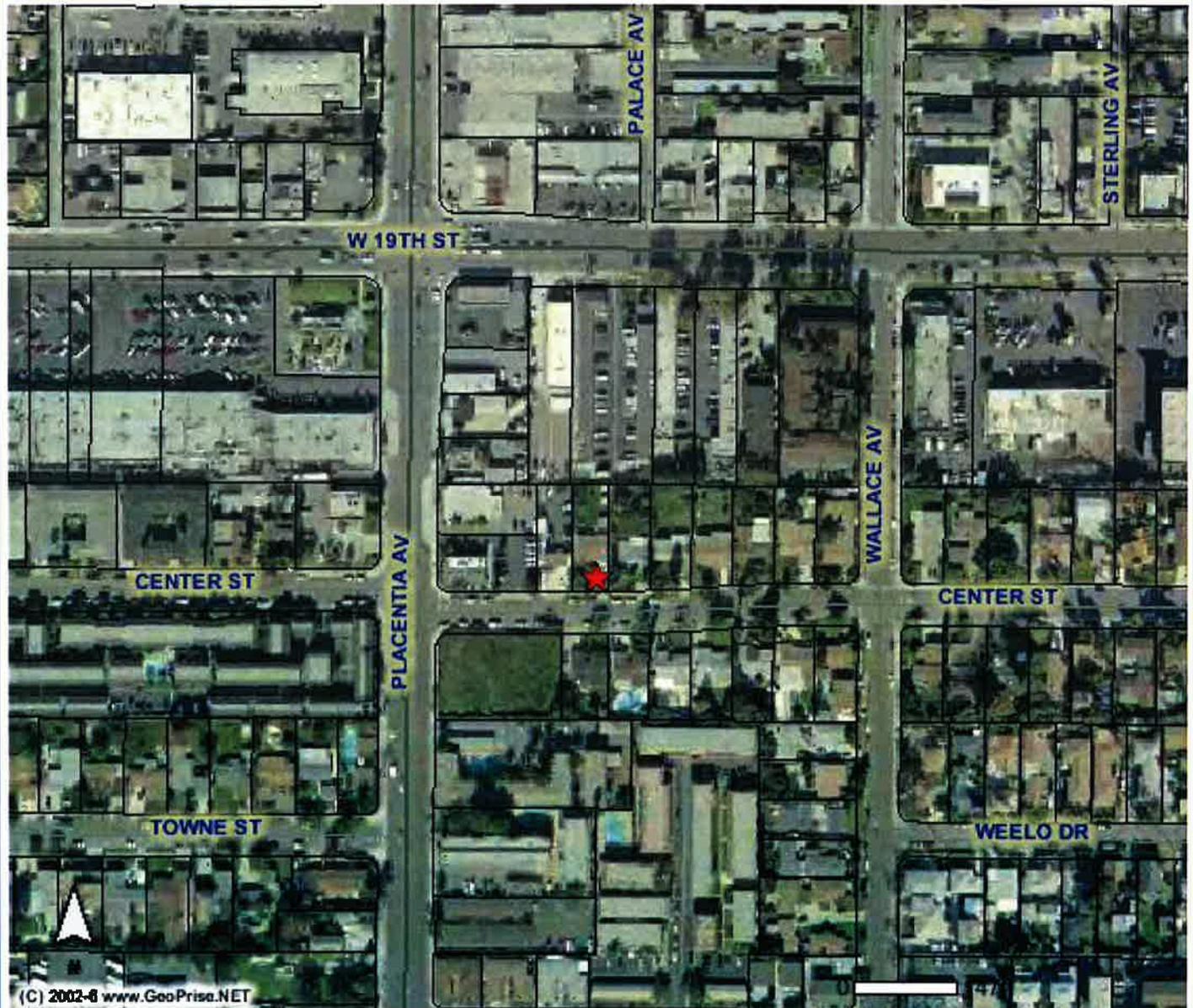
### Overview Map



### Legend

- |  |  |  |  |
|--|--|--|--|
|  Address Points |  Roads                    |  Major Newport BLVD |  SECONDARY Hydrology Channels |
|  Freeway        |  Collector Freeway (cont) |  Primary (cont)     |  |

### Map Display



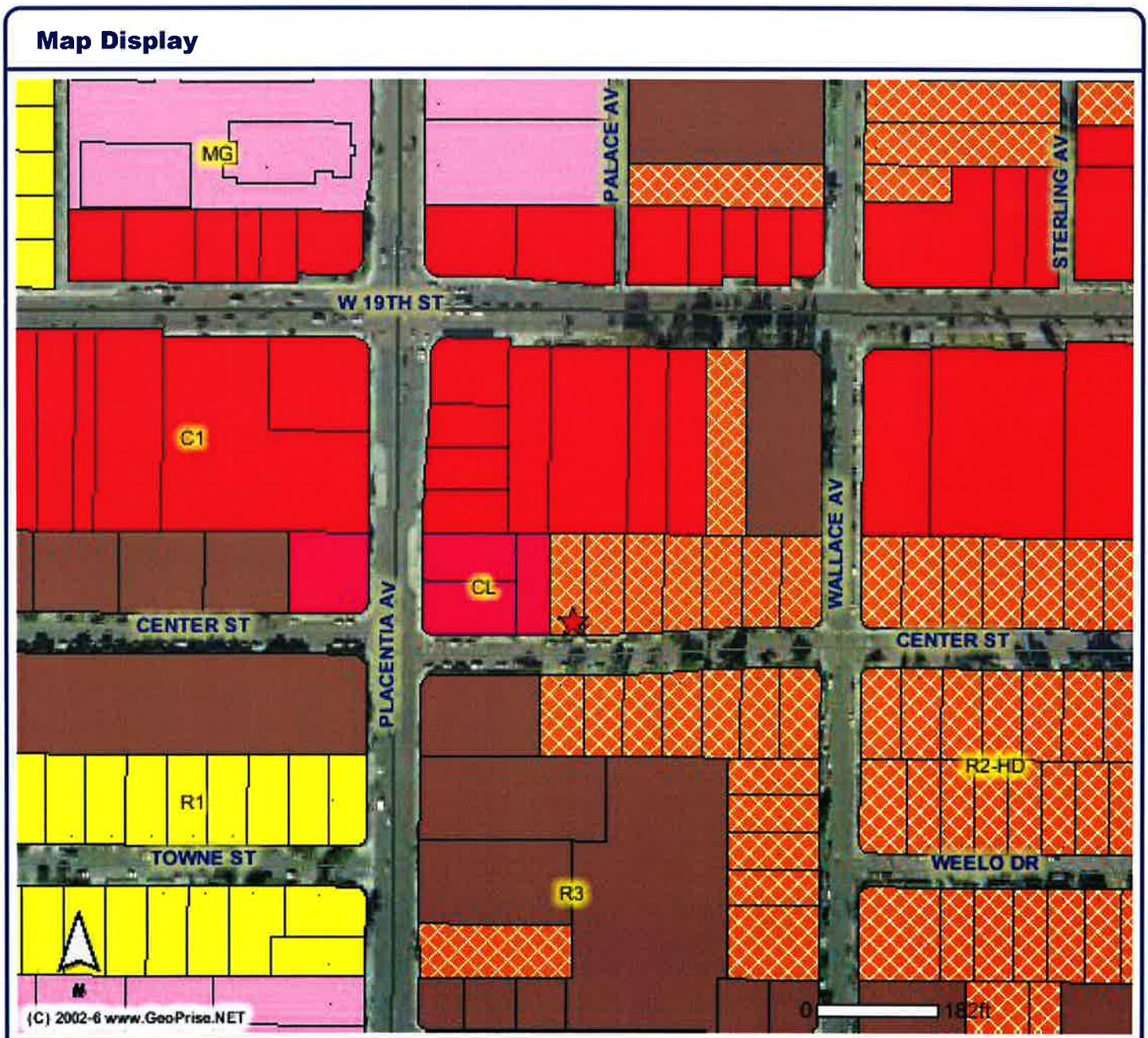
# City of Costa Mesa

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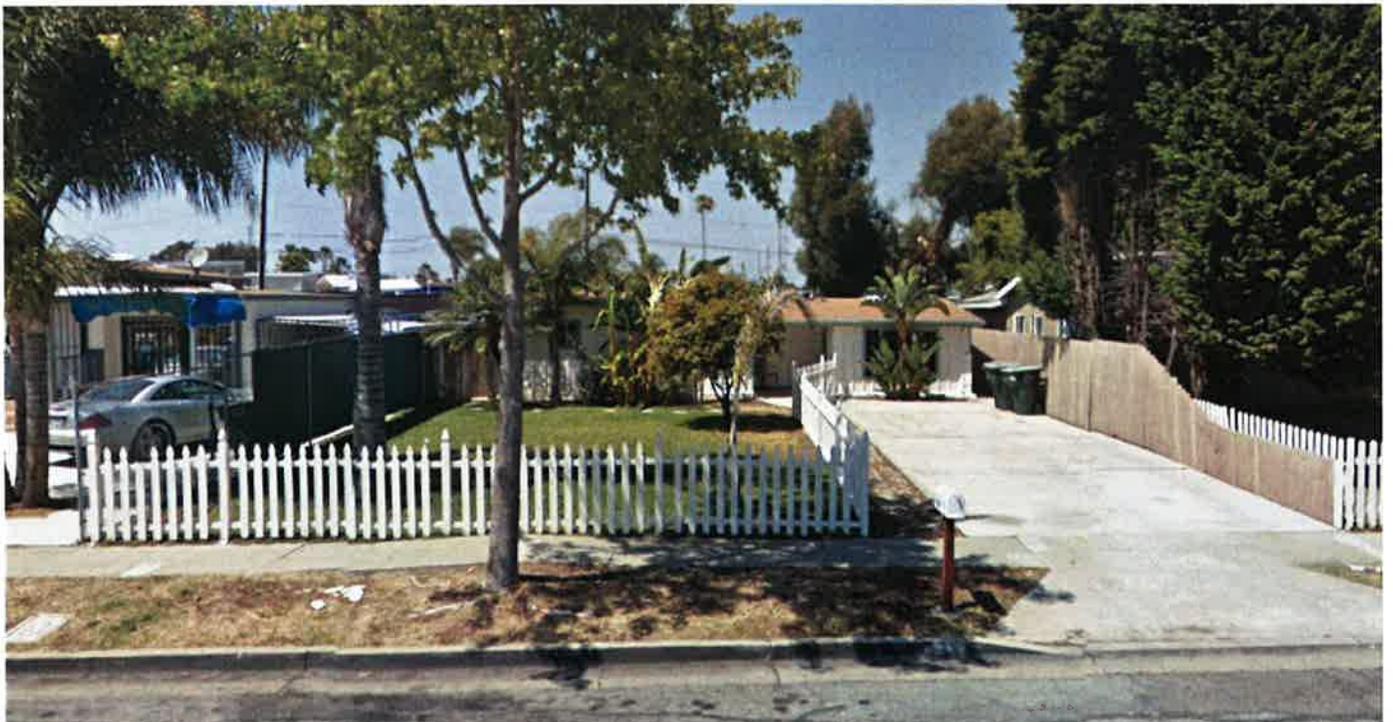


### Legend

Address Points	Collector	SECONDARY Hydrology Channels	Street Centerlines
Freeway	Freeway	SECONDARY Hydrology Channels	Parcel Lines
Roads (cont)	Major	Street Names	City Boundary
	Newport BLVD		
	Primary (cont)		









APPLICATION LETTER for  
788 Center St. Costa Mesa, CA 92627,

ATTACHMENT 3

To whom it may concern,

Joel Templeton and Kevin Rager are the owners of a Single Family Residence located at 788 Center St, Costa Mesa, CA 92627. The current home is about 1,200sqft, built in 1941, and in need of substantial repair. The Applicants desire to remove the current residence, utilize R2 zoning, and build two single family residences that will be roughly 2,200sqft each. The new homes will adhere to the Small Lot Ordinance guidelines with architectural elements similar to other homes in the area.

I must highlight that this project is Owner Occupied. Joel Templeton and Kevin Rager each intend to occupy the respective residences upon completion of the project. The end result of this application is have two legal parcels with new houses for each owner to hold title of one house.

Thank You,

*Kevin Rager*

Cell: 949-922-8997

## RESOLUTION NO. PC-16-

### A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING PLANNING APPLICATION PA-16-47 FOR A TWO-UNIT SMALL LOT SUBDIVISION RESIDENTIAL DEVELOPMENT AND TENTATIVE PARCEL MAP NO. PM 2016-174 FOR PROPERTY AT 788 CENTER STREET IN THE R2-HD ZONE

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Joel Templeton and Kevin Rager, the property owner, requesting approval of the following:

- 1. Planning Application PA-16-47:** Design review to construct a two-unit, two-story, residential small lot subdivision on a 7,500 square foot lot in the R2-HD zone. The two-story detached dwelling units are both proposed at 2,222 square feet, and each consist of 3 bedrooms, 3 bathrooms, and a two-car garage with minimum interior dimensions of 20 feet by 20 feet. The project will be developed per the residential small lot development standards and meets all other development standards.
- 2. Tentative Parcel Map PM-2016-174:** A subdivision in accordance with the small lot subdivision standards to create two fee simple lots.

WHEREAS, a duly noticed public hearing held by the Planning Commission on September 26, 2016 with all persons having the opportunity to speak for and against the proposal;

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15303 for Construction and Conversion of Small Structures.

WHEREAS, the CEQA categorical exemption for this projects reflects the independent judgement of the City of Costa Mesa.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, and subject to the conditions of approval contained within Exhibit

B, the Planning Commission hereby **APPROVES** Planning Application PA-16-47 and Parcel Map PM-2016-174.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-16-47 and Parcel Map PM-2016-174 and upon applicant's compliance with each and all of the conditions in Exhibit B, and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

BE IT FURTHER RESOLVED that if any section, division, sentence, clause, phrase or portion of this resolution, or the documents in the record in support of this resolution, are for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

**PASSED AND ADOPTED this 26<sup>th</sup> day of September, 2016.**

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Robert L. Dickson Jr., Chair  
Costa Mesa Planning Commission

STATE OF CALIFORNIA )  
 )ss  
COUNTY OF ORANGE )

I, Gary Armstrong, Acting Secretary to the Planning Commission of the City of Costa Mesa, do hereby certify that the foregoing Resolution was passed and adopted at a meeting of the City of Costa Mesa Planning Commission held on September 26, 2016 by the following votes:

AYES: COMMISSIONERS

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS

ABSTAIN: COMMISSIONERS

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Gary Armstrong, Acting Secretary  
Costa Mesa Planning Commission

## EXHIBIT A

### FINDINGS

- A. The proposed project complies with Costa Mesa Municipal Code Section 13-29(g)(14) because:

**Finding:** The project complies with the City of Costa Mesa Zoning Code and meets the purpose and intent of the Residential Design Guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.

**Facts in Support of Findings:** The design of the two-story homes complies with the building mass and form, window placement, setbacks, elevation treatments, and architectural consistency guidelines. The proposed residences include elevations with varied roof forms and elevation treatments to enhance visual interest. The buildings are placed on the property with sufficient setbacks to provide private useable open space and minimizes the potential privacy impacts to surrounding properties. The location of the units takes into consideration the side yards of the abutting homes. The residence to east is a single story structure, approximately 4 feet 7 inches from the property line and the single story commercial building to the west is approximately 10 feet 1 inch from the property line. The exterior elevations of the proposed homes also incorporate enhanced windows, including a variety of sizes and window trim to provide visual interest. In addition, a required six-foot tall decorative block wall along the perimeter of the development lot will improve the aesthetics of the site and the abutting properties. The project will include consistent architectural design, as each unit includes a combination stucco finish and siding with varying colors, use of vinyl windows, and front porch will be built along the entryways of both units to provide visual interest.

**Finding:** The visual prominence associated with the construction of a two-story house or addition in a predominantly single-story neighborhood has been reduced through appropriate transitions between the first and second floors and the provision of second floor offsets to avoid flat two-story walls.

**Facts in Support of Finding:** The subject site is in a neighborhood with both single-story residences and a two-story commercial building. The proposed project provides variation to street-facing elevations to reduce visual prominence and provide visual interest. Building mass and form were considered, as offsets and building projections were made an integral part of the design. Recesses in building plane have been incorporated into the

design to provide visual relief, including a variation in roof forms, orientation and pitch. The two units provide individual and identifiable entries to add interest and variety to the streetscape. The two story structures are designed with articulation on all elevations to avoid a boxy appearance from the street and neighboring views. Elevations are enhanced with combination of materials, varied roof forms, front entry porches, as well as accents and details. Roofing materials include shingle roofing. The project will include consistent architectural design, as each unit includes siding with varying colors, use of vinyl windows, and front entry porches to provide visual interest.

- B. The proposed project complies with Costa Mesa Municipal Code Section 13-29(g)(13) because:

**Finding:** The creation of the subdivision and related improvements is consistent with the General Plan and the Zoning Code.

**Facts in Support of Finding:** The creation of the subdivision is consistent with General Plan Land Use Policy LU-1.3, Goal LU-3, and Objective LU-4 in that adequate infrastructure exists to serve the proposed project; the project promotes homeownership opportunities to improve the balance between renter and owner occupied housing in the City; and the project would not result in the loss of any habitat, or require extensive infrastructure improvements to provide service to the site. The project design complies with development standards of the Small Lot Subdivision Ordinance.

**Finding:** The proposed use of the subdivision is compatible with the General Plan.

**Facts in Support of Finding:** The proposed project has a density of 10 units per acre, consistent with the General Plan designation of High Density Residential, which allows 14.5 dwelling units per acre.

**Finding:** The subject property is physically suitable to accommodate the subdivision in terms of type, design, and density of development, and will not result in substantial environmental damage nor public health problems, based on compliance with the Zoning Code and General Plan, and consideration of appropriate environmental information.

**Facts in Support of Finding:** The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3), New Construction or Conversion of Small Structures. The project complies with the maximum allowed density for the site and provides adequate open space, parking and setbacks from adjacent properties.

**Finding:** The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code Section 66473.1.

**Facts in Support of Finding:** The project provides private open space areas under partial roof canopies and incorporates landscaping, such as trees, to ensure natural and passive heating and cooling from the sun exposure. The project also provides private open space areas under entry porches.

**Finding:** The subdivision and development of the property will not unreasonably interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.

**Facts in Support of Finding:** The proposed project, as conditioned, does not interfere with the public right of way.

**Finding:** The discharge of sewage from this subdivision into the public sewer system will not violate the requirements of the California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000 of the Water Code).

**Facts in Support of Finding:** The applicant will be required to comply with all regulations set forth by the Costa Mesa Sanitation District as well as the Mesa Water District.

- D. **Finding:** The project is exempt from the provisions of the California Environmental Quality Act under Section 15303 (Class 3) for New Construction or Conversion of Small Structures.

**Facts in Support of Finding:** In urbanized areas, up to three single-family residences may be constructed under the Class 3 exemption. The project proposes to construct two residential units and therefore qualifies for a Class 3 exemption.

- E. The project is exempt from Chapter XII, Article 3 Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

## EXHIBIT B

### CONDITIONS OF APPROVAL

- Plng.
1. The expiration of Planning Application PA-16-47 shall coincide with the expiration of the approval of the Tentative Parcel Map PM-2016-174 which is valid for two years. An extension request is needed to extend the expiration for each additional year after the initial two-year period.
  2. The conditions of approval for PA-16-47 and Tentative Parcel Map PM-2016-174 shall be blueprinted on the face of the site plan as part of the plan check submittal package. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
  3. With specific regard to the interior fencing between the two new homes (not outside development lot perimeter), the applicant shall submit a detailed wall and fence plan for review. The location and heights of fences/walls shall comply with Code requirements, as well as any visibility standards for traffic safety related to ingress and egress. The private, interior fences or walls between the homes shall be a minimum of six feet in height.
  4. Prior to final inspection, the applicant shall construct a minimum six-foot tall decorative masonry wall around the perimeter of the project site. Where walls on adjacent properties already exist, the applicant shall work with the adjacent property owner(s) to prevent side-by-side walls with gaps in between them and/or provide adequate privacy screening by trees and landscaping.
  5. Prior to issuance of grading permits, developer shall submit for review and approval a Construction Management Plan. This plan features methods to minimize disruption to the neighboring residential uses to the fullest extent that is reasonable and practicable. The plan shall include construction parking and vehicle access and specifying staging areas and delivery and hauling truck routes. The plan should mitigate disruption to residents during construction. The truck route plan shall preclude truck routes through residential areas and major truck traffic during peak hours. The total truck trips to the site shall not exceed 200 trucks per day (i.e., 100 truck trips to the site plus 100 truck trips from the site) unless approved by the Development Services Director or Transportation Services Manager.
  6. The subject property's ultimate finished grade level may not be filled/raised in excess of 30 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site storm water flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. Such alternatives may include subsurface tie-in to public storm water facilities, subsurface drainage collection systems and/or sumps with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject

property shall preserve or improve the existing pattern of drainage on abutting properties. Applicant is advised that recordation of a drainage easement across the private street may be required to fulfill this requirement.

7. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
8. No modification(s) of the approved building elevations including, but not limited to, change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process or a variance, or in the requirement to modify the construction to reflect the approved plans.
9. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
10. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.
11. Submit subdivision application and comply with conditions of approval and code requirements.
12. A minimum 20-foot by 20-foot clear inside dimension shall be provided for the two-car garages. The proposed garages shall be used for parking as required by code as it is not habitable space; further excess storage which prevents parking the required number of vehicles is prohibited.
13. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
14. Trash facilities shall be screened from view, and designed and located appropriately to minimize potential noise and odor impacts to residential

areas.

15. All driveways shall be complemented by stamped concrete or decorative pavers.
16. Prior to issuance of building permits, developer shall contact the U.S. Postal Service with regard to location and design of mail delivery facilities. Such facilities shall be shown on the site plan, landscape plan, and/or floor plan.
17. Prior to issuance of a certificate of occupancy, the applicant shall file and record a declaration of covenants, conditions, and restrictions (CC&Rs) on the property. The establishment of a homeowner's association shall be optional. Prior to issuance of a building permit, a draft of the CC&Rs shall be remitted to the Development Services Director and City Attorney's office for review and approval. Because there are no common areas for circulation, parking, or landscape purposes, the CC&Rs shall be limited to the ground rules related to: architectural control over future building modifications or additions, architectural design and guidelines for the property, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts. The Development Services Director has the discretion to request any other provisions in the CC&Rs to promote self-governance between the two property owners.
18. Prior to issuance of building permits, the applicant shall provide the Conditions, Covenants, and Restrictions (CC&Rs) to the Development Services Director and City Attorney's office for review. The CC&Rs must be in a form and substance acceptable to, and shall be approved by the Development Services Director and City Attorney's office.
  - a. The CC&R's shall contain restrictions requiring residents to park vehicles in garage spaces provided for each unit. Storage of other items may occur only to the extent that vehicles may still be parked within the required garage at the number for which the garage was originally designed and to allow for inspections by the association to verify compliance with this condition.

Any subsequent revisions to the CC&Rs related to these provisions must be reviewed and approved by the City Attorney's office and the Development Services Director before they become effective.

19. The Homeowner's Association or Maintenance Association shall submit a signed affidavit to the City of Costa Mesa on an annual basis to certify the following:
  - a. The two-car garages in the residential community are being used for vehicle parking by the resident(s).
  - b. The vehicle parking areas within the garage are not obstructed by storage items, including but not limited to, toys, clothing, tools, boxes, equipment, etc.
  - c. The resident(s) have consented to voluntary inspections of the garage to verify the parking availability, as needed.

The form and content of the affidavit shall be provided by the City Attorney's office. Failure to file the annual affidavit is considered a violation of this condition.

- Eng. 20. Maintain the public Right-of-Way in a "wet-down" condition to prevent

excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.

### **CODE REQUIREMENTS**

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
  2. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
  3. Development shall comply with all requirements of Section 13-32 and Article 2.5, Title 13, of the Costa Mesa Municipal Code relating to development standards for residential projects.
  4. All on-site utility services shall be installed underground.
  5. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
  6. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
  7. Two sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
  8. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
  9. Prior to issuance of building permits, the applicant shall provide proof of recordation of Tentative Parcel Map PM-2016-174.
  10. Prior to issuance of occupancy permits, the Developer shall pay a park impact fee or dedicate parkland to meet the demands of the proposed development.
  11. No lot may be sold, leased, or financed, nor shall permits be issued or construction commenced prior to the recordation of the final map with the County Recorder. Building permits may be issued and construction may be commenced prior to recordation of the final map only with prior approval from the Development Services Director.
- Bldg.
12. Comply with the requirements of the adopted 2013 California Residential Code, 2013 California Building Code, 2013 California

Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Green Building Standards Code, and 2013 California Energy Code (or the applicable adopted, California Residential Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards, and California Energy Code, at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.

13. Submit precise grading plans, an erosion control plan and a hydrology study. If it is determined that a grading plan is not required, a drainage plan shall be provided. A precise grading and a hydrology report plan shall not be required if any of the following are met:
  - 1- An excavation which does not exceed 50 CY on any one site and which is less than 2 ft. in vertical depth, or which does not create a cut slope greater than 1 ½:1 (excluding foundation area).
  - 2- A fill less than 1 foot in depth placed on natural grade with a slope flatter than 5:1, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
  - 3- A fill less than 3 ft. in depth, not intended to support structures, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
14. Submit a soil's report for the project. Soil's Report recommendations shall be blueprinted on both the architectural and the precise grading plans.
15. On graded sites, the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus 2 percent. 2013 California Building Code CRC 403.1.7.3  
Lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of six inches within the first ten feet. CRC R401.3
16. Projections, including eaves, shall be one-hour fire resistive construction, heavy timber or of noncombustible material if they project into the five-foot setback area from the property line. They may project a maximum of 12 inches beyond the three-foot setback. CRC Tables R302.1(1) and R302.1(2) (setback area from the property line).
17. Prior to issuing the Building permit the conditions of approval shall be required to be incorporated on the approved Architectural plans.
18. Prior to the issuance of a Building Permit, the City of Costa Mesa Fire Department shall review and approve the project design features to assess compliance with the California Building Code and California Fire Code.
19. The project shall provide an automatic fire sprinkler system according to NFPA 13D.
20. Street addresses shall be visible from the public street and may be displayed either on the front door, on the fascia adjacent to the main entrance, or on another prominent location. When the property has alley access, address numerals shall be displayed in a prominent location visible from the alley. Numerals shall be a minimum six (6) inches in

Fire

height with not less than one-half-inch stroke and shall contrast sharply with the background.

- Trans. 21. Construct residential driveway approach at locations specified on submitted site plan. Drive approach dimensions shall be W=16 feet, X=4 feet, per City Standards.
22. Close unused drive approaches with full height curb and gutter per City Standards.
- Eng. 23. Two copies of the Final Map and one copy of the Property Boundary closure calculations shall be submitted to the City of Costa Mesa Engineering Division for checking.
24. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and construct P.C.C. driveway approaches per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager. ADA compliance required for new driveway approaches.
25. Fulfill Drainage Fee requirements per City of Costa Mesa Ordinance No. 06-19 prior to approval of Final Map/Approval of Plans.
26. Obtain permit from the City of Costa Mesa, Engineering Division to remove existing driveway and/or curb depression that will not be used and replace with full height curb and 4'-4" wide sidewalk per the approved offsite improvement plans. All work shall meet the City of Costa Mesa Standards and ADA requirements.
27. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and construct 4'-4" wide P.C.C. sidewalk per City of Costa Mesa standards along the entire frontages for both Center Street. A minimum of 4ft clearance shall be provided around existing and proposed obstructions.
28. Survey Monuments shall be preserved and referenced or set pursuant to Section 8771 of the Professional Land Surveyors Act and Business and Professional code.
29. Submit cash deposit or surety bond to guarantee monumentation prior to approval of the map. Amount to be determined by City Engineer.
30. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
31. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
32. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
33. A Construction Access Permit and deposit of \$580 will be required by City of Costa Mesa, Engineering Division, prior to start of any on-site

work, necessary during construction for street sweeping and to guarantee replacement costs in case of damage to existing public improvements.

34. In order to comply with the 2003 Drainage Area Management Plan (DAMP), the proposed Project shall prepare a Water Quality Management Plan conforming to the Current National Pollution Discharge Elimination System (NPDES) and the Model WQMP, prepared by a Licensed Civil Engineer or Environmental Engineer, which shall be submitted to the Department of Public Works for review and approval.
  - a) A WQMP (Priority or Non-Priority) shall be maintained and updated as needed to satisfy the requirements of the adopted NPDES program. The plan shall ensure that the existing water quality measures for all improved phases of the project are adhered to.
  - b) Location of BMPs shall not be within the public right-of-way.
35. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa.
36. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
37. The Parcel Map shall be developed in full compliance of CCMMC Sec. 13-208 through 13-261 inclusive.
38. Release and relinquish all vehicular and pedestrian access rights to Center Street to the City of Costa Mesa except at approved locations.
39. Submit an electronic copy of recorded map or signed plan to Engineering Division, City of Costa Mesa, prior to occupancy.
40. Prior to recordation of a final map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor and shall submit to the City Engineer and the County Surveyor a digital-graphic file of said map in a manner described in Subarticle 11/12, Sections 7-9-330/7-9-337 of the Orange County Subdivision Code.
- Pkwy. 41. During construction the Contractor shall protect in place the one (1) City-owned trees. If the trees are damaged during construction, the Contractor shall purchase one (1) replacement tree in the 24" box or bigger. The City shall determine the replacement tree species.

### **SPECIAL DISTRICT REQUIREMENTS**

The requirements of the following special districts are hereby forwarded to the applicant:

- Sani. 1. Applicant will be required to construct sewers to serve this project, at his own expense, meeting the approval of the Costa Mesa Sanitary District.
2. Prior to demolition contact South Coast Air Quality Management District located at:

21865 Copley Dr.  
Diamond Bar, CA 91765-4178  
Tel: 909-396-2000

3. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
4. County Sanitation District fees, fixture fees, inspection fees, and sewer permit are required prior to installation of sewer. To receive credit for buildings to be demolished, call (949) 654-8400.
5. Applicant shall submit a plan showing sewer improvements that meets the District Engineer's approval to the Building Division as part of the plans submitted for plan check.
6. The applicant is required to contact the Costa Mesa Sanitary District at (949) 654-8400 to arrange final sign-off prior to certificate of occupancy being released.
7. Unless an off-site trash hauler is being used, applicant shall contact the Costa Mesa Sanitary District at (949) 654-8400 to pay trash collection program fees and arrange for service for all new residences. Residences using bin or dumpster services are exempt from this requirement.
8. Applicant shall contact Costa Mesa Sanitary District at (949) 654-8400 for any additional district requirements.
- School 9. Pay applicable Newport Mesa Unified School District fees to the Building Division prior to issuance of building permits.
- Water 10. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District.
11. Prior to the issuance of a connection permit, the applicant shall pay the applicable water connection fees.

**RESOLUTION NO. PC-16-**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA DENYING PLANNING APPLICATION PA-16-47 FOR A TWO-UNIT SMALL LOT SUBDIVISION RESIDENTIAL DEVELOPMENT AND TENTATIVE PARCEL MAP NO. PM 2016-174 FOR PROPERTY AT 788 CENTER STREET IN THE R2-HD ZONE**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Joel Templeton and Kevin Rager, the property owner, requesting approval of the following:

- 1. Planning Application PA-16-47:** Design review to construct a two-unit, two-story, residential small lot subdivision on a 7,500 square foot lot in the R2-HD zone. The two-story detached dwelling units are both proposed at 2,222 square feet, and each consist of 3 bedrooms, 3 bathrooms, and a two-car garage with minimum interior dimensions of 20 feet by 20 feet. The project will be developed per the residential small lot development standards with the following deviation from code requirements and meets all other development standards.
- 2. Parcel Map PM 2016-174:** A subdivision in accordance with the small lot subdivision standards to create two fee simple lots; and

WHEREAS, a duly noticed public hearing held by the Planning Commission on September 26<sup>th</sup>, 2016 with all persons having the opportunity to speak for and against the proposal;

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, the Planning Commission hereby **DENIES** Planning Application PA-16-47 and Parcel Map PM 2016-174.

**DENIED this 26<sup>th</sup> day of September, 2016.**

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Robert L. Dickson Jr., Chair  
Costa Mesa Planning Commission



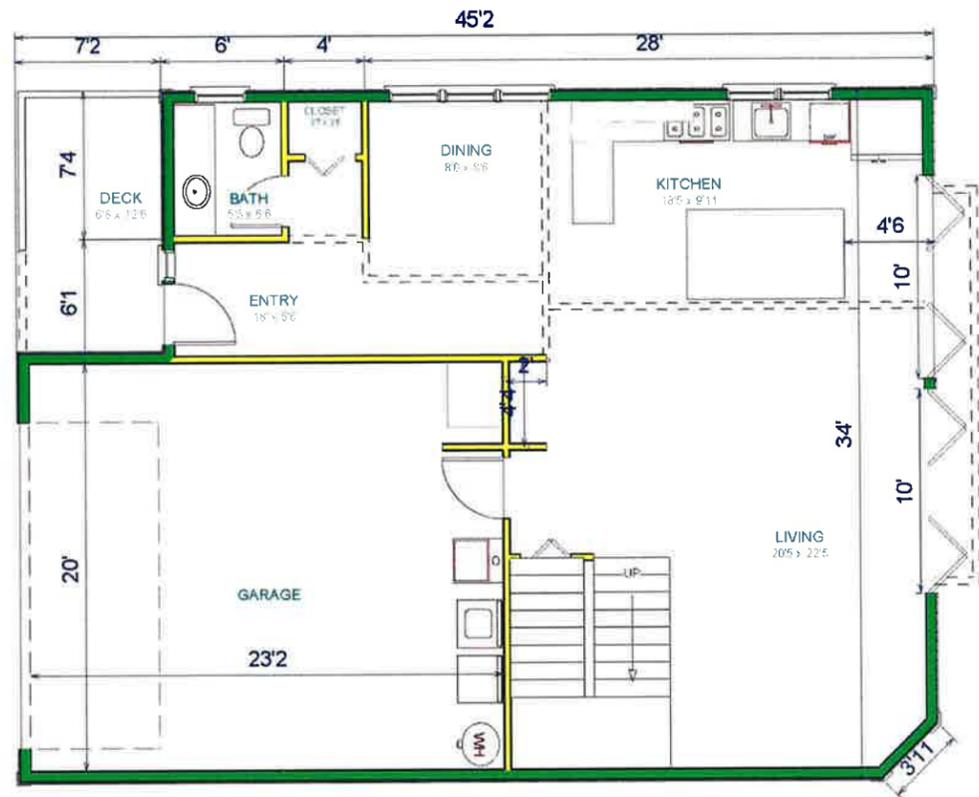
## EXHIBIT A

### FINDINGS (DENIAL)

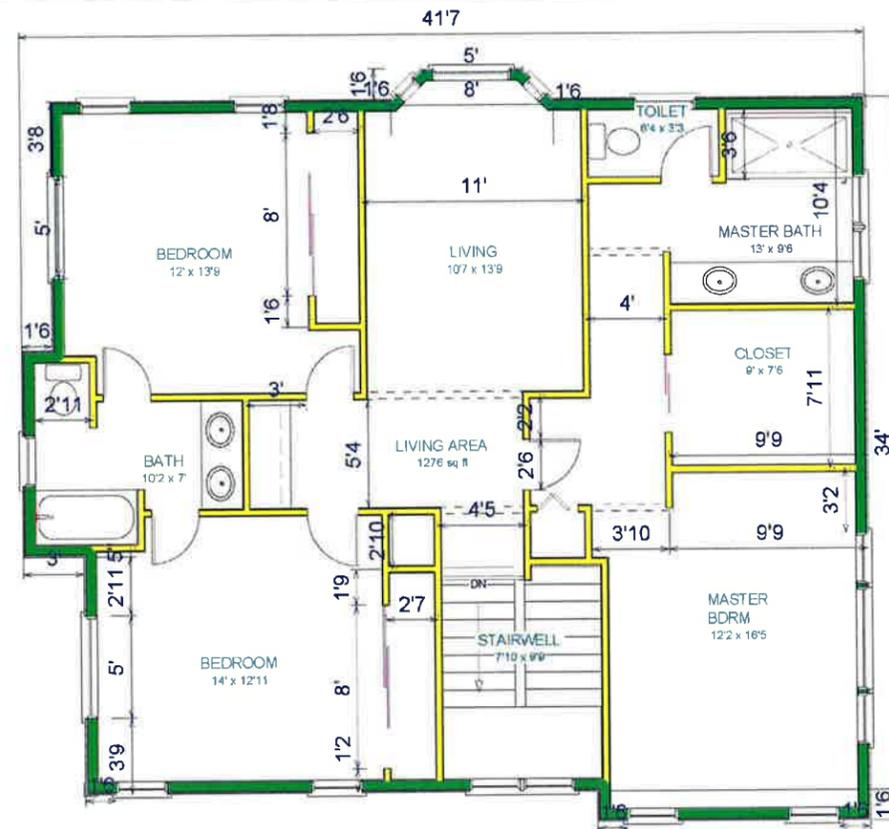
- A. The proposed project does not comply with Costa Mesa Municipal Code Section 13-29(e) because:
1. A compatible and harmonious relationship does not exist between the proposed use and existing buildings, site development, and uses on surrounding properties.
  2. The proposed project does not comply with the performance standards as prescribed in the Zoning Code.
  3. The proposed project is not consistent with the General Plan or Zoning Code.
- B. The proposed project does not comply with Costa Mesa Municipal Code Section Code Section 13-29(g)(13) because:
1. There creation of the subdivision and related improvements is not consistent with the General Plan, any applicable specific plan, and this Zoning Code.
  2. The proposed use of the subdivision is not compatible with the General Plan.
  3. The subject property is not physically suitable to accommodate the subdivision in terms of type, design and density of development, and will result in substantial environmental damage or public health problems, based on noncompliance with the Zoning Code and General Plan, and consideration of appropriate environmental information.
  4. The design of the subdivision does not provide for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code Section 66473.1.
  5. The division and development will interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.
  6. The discharge of sewage from this land division into the public sewer system will violate the requirements of the State Regional Water Quality Control Board pursuant to Division 7 (commencing with State Water Code Section 13000).
- C. The information presented does not comply with Costa Mesa Municipal Code Section 13-29(14) in that the project does not meet the purpose and intent of the Residential Design Guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.
- D. The subdivision of the property is not consistent with the City's General Plan and Zoning Code.
- E. The Costa Mesa Planning Commission has denied Planning Application PA-16-47 and Tentative Parcel Map No. PM-2016-174. Pursuant to Public Resources Code Section 21080(b)(5) and CEQA Guidelines Section 15270(a) CEQA does not apply to this project because it has been rejected and will not be carried out.

- F. The project is exempt from Chapter IX, Article 11, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

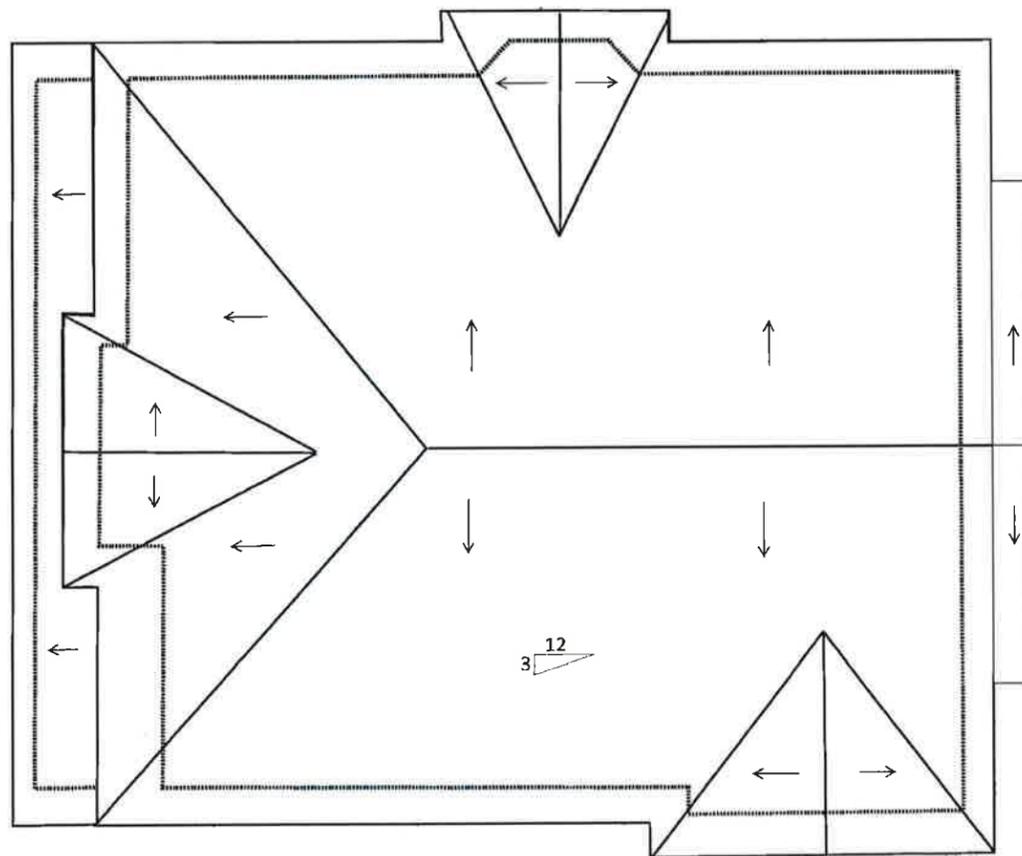




**FIRST LEVEL FLOOR PLAN**  
SCALE - 1/4" = 1'-0"



**SECOND LEVEL FLOOR PLAN**  
SCALE - 1/4" = 1'-0"



**ROOF PLAN**  
SCALE - 1/4" = 1'-0"

**LOT 1 - 3 BEDROOM, 2 1/2" BATH, 2 CAR GARAGE**  
 \*1ST, LIVING AREA: 946 SF.  
 \*2ND, LIVING AREA: 1,276 SF.  
 \*ENTRY PORCHE: 105 SF.  
 \*2 CAR GARAGE: 466 SF.  
 TOTAL: 2,793 SF.

- KEY**
- Perimeter Wall 7-3/8"
  - Interior Wall 4-1/2"
  - Invisible Wall
  - Roof Line



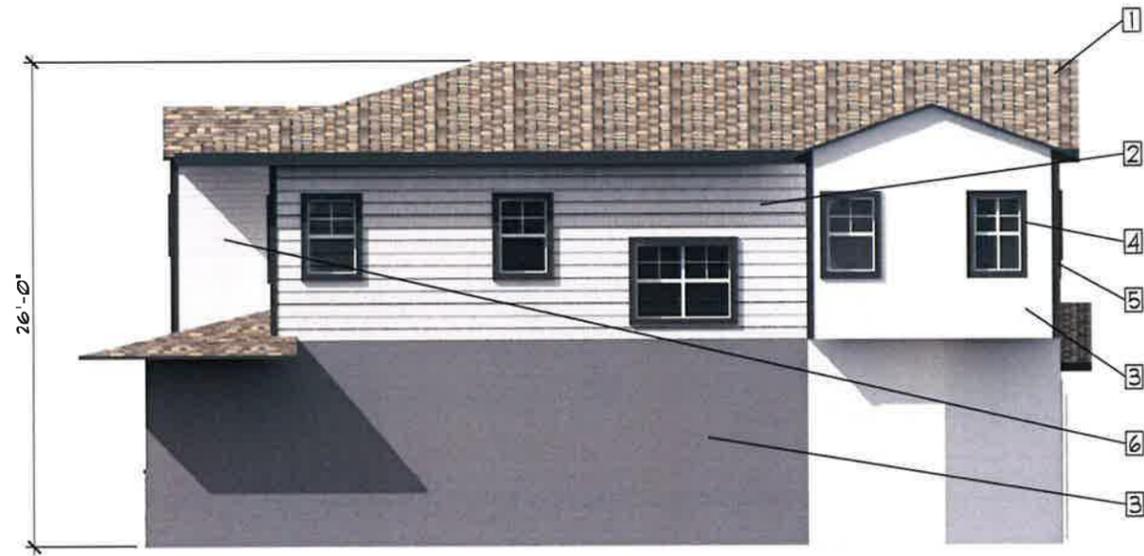
35

**DIY HOUSING**  
1818 FORT TAGGART PLACE  
NEWPORT BEACH, CA 92660

**RESIDENTIAL:**  
788 CENTER STREET,  
Costa Mesa, California

LOT 1  
FLOOR PLAN

JOB #:	212	REV:	9/12/16
DRAWN BY:	R.G.	REV:	
CHECKED BY:	J.T.	REV:	
DATE:	4/26/16	REV:	
SHEET NO.		A	
		2.01	



**EAST ELEVATION**  
SCALE - 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE - 1/4" = 1'-0"

- MATERIAL LEGEND**
1. ROOF ASPHALT SHINGLE
  2. FIBER CEMENT SIDING (SHINGLES)
  3. STUCCO LIGHT SAND FINISH
  4. VINYL GLAZING
  5. EXTERIOR MOLDING
  6. HORIZONTAL SIDING BOARD
  7. STONE VENEER
  8. BRICK VENEER

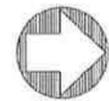


**WEST ELEVATION**  
SCALE - 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE - 1/4" = 1'-0"

36



DIY HOUSING  
1818 PORT TAGGART PLACE  
NEWPORT BEACH, CA 92660

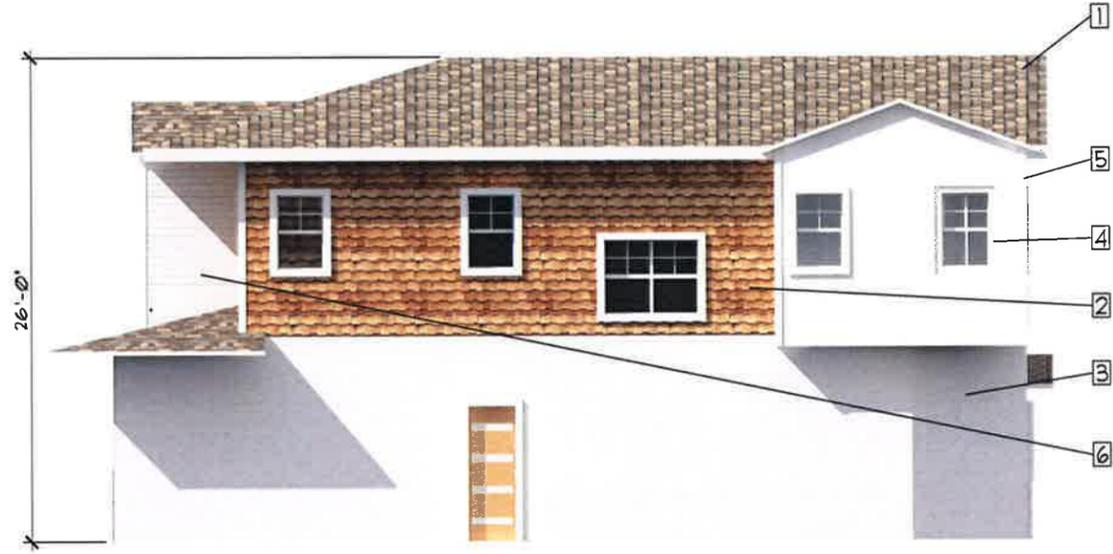


RESIDENTIAL:  
788 CENTER STREET,  
Costa Mesa, California

LOT 1 ELEVATIONS  
NORTH, SOUTH, EAST & WEST

JOB #:	212	REV:	
DRAWN BY:	R.G.	REV:	
CHECKED BY:	J.T.	REV:	
DATE:	7/21/16	REV:	
SHEET NO.	A		
	2.01A		





**EAST ELEVATION**  
SCALE - 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE - 1/4" = 1'-0"

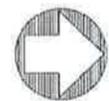
- MATERIAL LEGEND**
1. ROOF ASPHALT SHINGLE
  2. FIBER CEMENT SIDING (SHINGLES)
  3. STUCCO LIGHT SAND FINISH
  4. VINYL GLAZING
  5. EXTERIOR MOLDING
  6. HORIZONTAL SIDING BOARD
  7. STONE VENEER
  8. BRICK VENEER



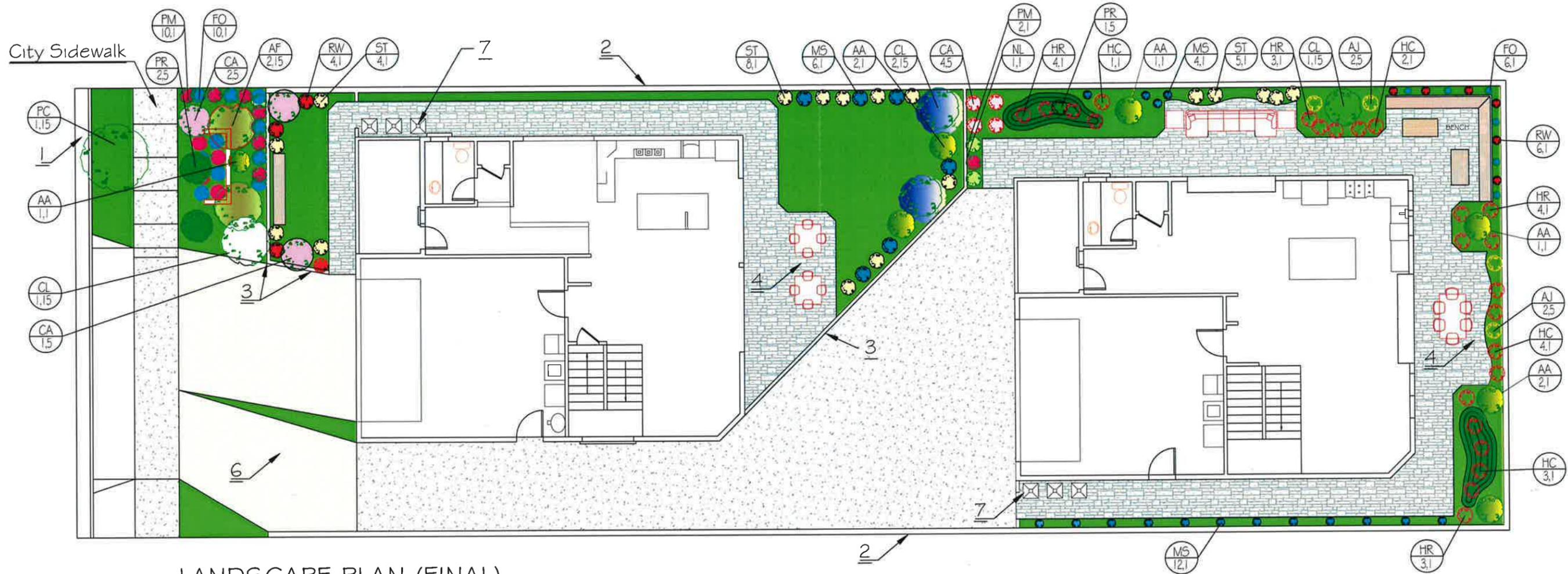
**WEST ELEVATION**  
SCALE - 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE - 1/4" = 1'-0"



JOB #:	212
DRAWN BY:	R.G.
CHECKED BY:	J.T.
DATE:	7/21/16
REV:	
REV:	
REV:	
REV:	
SHEET NO.	A
	2.02A



**LANDSCAPE PLAN (FINAL)**

PLANTING LEGEND-

SYM	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
TREES - (24 box min.size)				
AF	AGONIES FLEXUOSUS 'AFTER DARK'	PEPPERMINT WALLOW	2	15g
CL	CHILOPSISIL 'TIMELESS BEAUTY'	DESERT WILLOW	4	15g
PC	Pyrus Callervana - Street Tree	AFTER DARK TREE	1	15g
AA	AGAVE ATTENUATE 'BOUTIN BLUE'	NCN	7	1g
AJ	ARCTOSTAPHYLOS 'LDHNDURLEY'	MANZANTA	4	5g
CA	CORDYLINAE AUSTRALIS 'CHARLE BOY'	NCN	7	5g
FJ	FATSIA JAPONICA	JAPANESE ARALIA	0	5g
HC	HEMEROCALLIS CRANBERRY BABY	DAYLLY	10	1g
HR	HEMEROCALLIS 'RUSSIAN RHAPSODY'	DAYLLY	14	1g
MS	MISCANTHUS SINENSIS ZEBRUS	ZEBRA GRASS	22	1g
PR	PHOENIX ROEBELEN	PYGMY DATE PALM	3	5g
ST	SANSEVIERIA TRIFASCIATA	MOTHER-IN-LAW'S TONGUE	17	1g
FD	FESTUCA OVINA GLASUCA		16	1g
PM	PINK MUHLY GRASS		12	1g
RW	RED WIND ORNAMENTAL GRASS		10	1g
NL	NORTHERN LIGHTS TUFTED HAIR GRASS		1	1g

GROUND COVER-

- COBBLESTONE GROUND COVER - to be placed in planting beds
- Turf SOD 'Drought Tolerant Blend'
- MULCH - to be placed in planting beds

PLANT SYM -> AA  
QTY. SIZE -> 2.5

- Feature Key-
- 1) New 36' Box Street In existing plant cut out
  - 2) CMU Perimeter Walls: 6'-0" Height, Drco 'La Paz' Block
  - 3) 6' interior wood fence
  - 4) Private Yard Space
  - 5) Utilities - refer to Civil Drawings
  - 6) Enhanced Decorative concrete Pavers
  - 7) Trash Bins



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JOB #:	212	REV:	
DRAWN BY:	R.G.	REV:	
CHECKED BY:	J.T.	REV:	
DATE:	7/19/16	REV:	
SHEET NO.:	L		
	1.0		



LOOKING NORTH WEST  
SCALE - 1/8" = 1'-0"

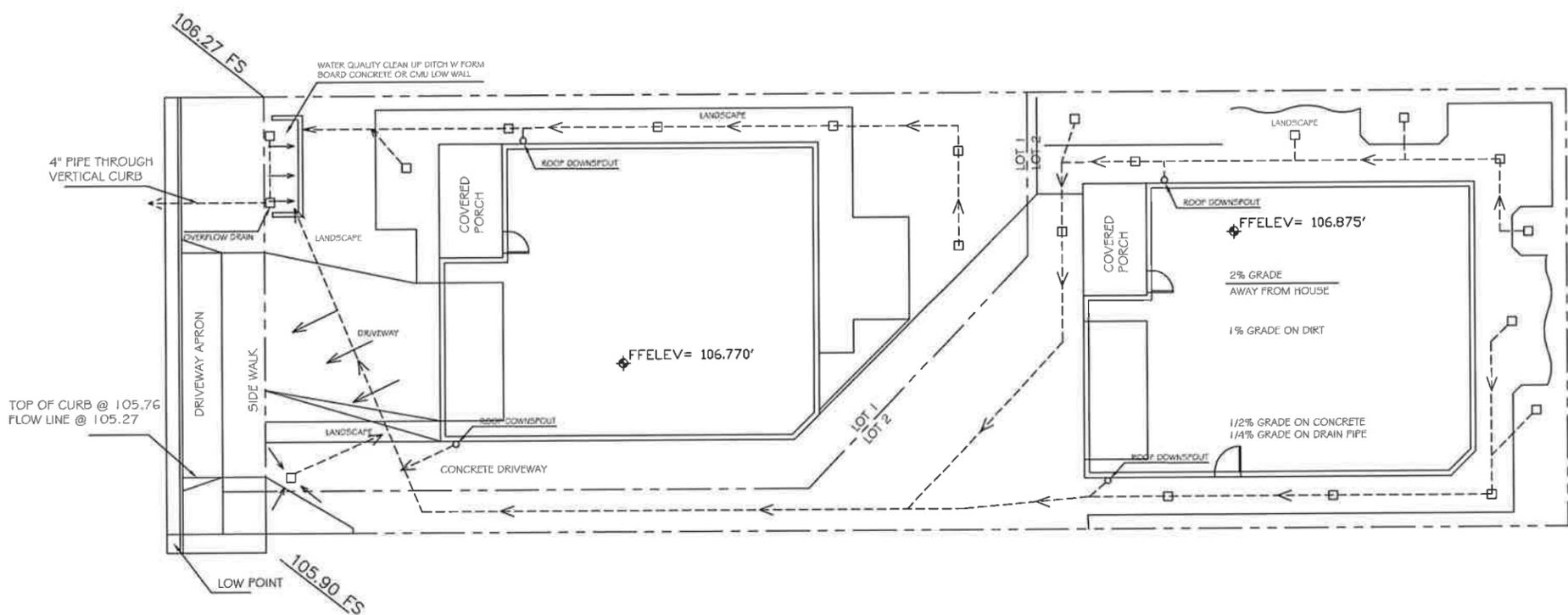


LOOKING NORTH EAST  
SCALE - 1/8" = 1'-0"

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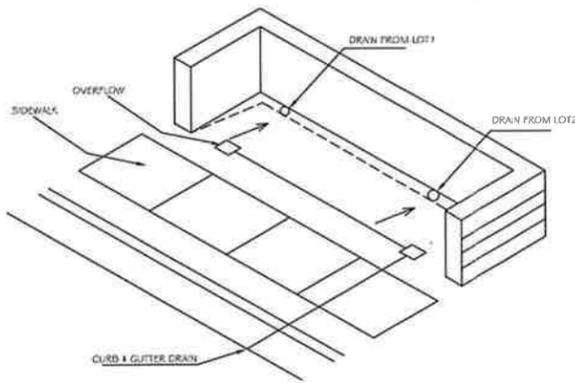
JOB #:	212	REV:	
DRAWN BY:	R.G.	REV:	
CHECKED BY:	J.I.	REV:	
DATE:	7/21/16	REV:	
SHEET NO.	A		
	3.00		





4" PIPE THROUGH VERTICAL CURB

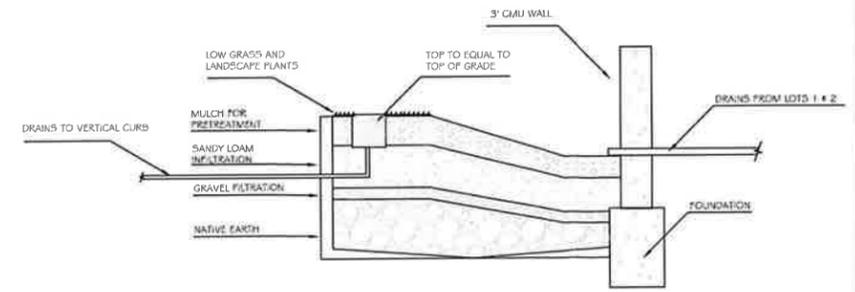
TOP OF CURB @ 105.76  
FLOW LINE @ 105.27



WATER QUALITY CLEAN UP DITCH

**CONSTRUCTION NOTES**  
 1) PVC PIPE  
 2) DRAINS  
 3) TRAFFIC RATE DRAIN

LOW GRASSES IN ADDITION TO PLANTS SHOWN ON LANDSCAPE BOARD FORMED CONCRETE OR CMU LOW WALL ( 3'-0" HIGH, 17'-0" LONG) SEE PHOTOS



**GROUND WATER**  
 GROUNDWATER WAS NOT ENCOUNTERED DURING OUR SHALLOW DEPTH EXPLORATION. BASED ON THE CALIFORNIA GEOLOGICAL SURVEY GROUNDWATER CONTOUR MAP, THE DEPTH TO HISTORICALLY HIGHEST GROUNDWATER IS ESTIMATED AT 30 FEET BGS. HOWEVER, SEASONAL AND LONG-TERM FLUCTUATIONS IN THE GROUNDWATER MAY OCCUR AS RESULT OF VARIATIONS IN SUBSURFACE CONDITIONS, RAINFALL, RUN-OF CONDITIONS, AND OTHER FACTORS.

**NOTES:**  
 . PROVIDE WASHED GRAVEL BACKFILL AROUND ALL PERFORATED PVC DRAIN TILE.

REV. 1	DATE: 05-31-16
REV. 2	DATE: 06-11-16
REV. 3	DATE: 07-06-16

PROJECT TITLE & LOCATION RESIDENTIAL 788 CENTER STREET Costa Mesa, California CLIENT:	SHEET DESCRIPTION: GRADING & DRAINAGE DETAILS
	DRAWN BY: ASH-P DATE: 07-20-16 SCALE: 1"=1/8"

SHEET#  
**D-04**

LANDSCAPE FLOOR PLAN (rev3)

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**LEGAL DESCRIPTION PER TITLE REPORT**  
 REAL PROPERTY IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

**PARCEL 1:**

THE NORTH 150 FEET OF THE EAST 50 FEET OF THE WEST 250 FEET OF LOT 702, NEWPORT MESA TRACT, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 5, PAGE 1, MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY.

EXCEPT THEREFROM AN UNDIVIDED ONE-HALF (1/2) INTEREST IN ALL OIL, GAS, MINERALS AND OTHER HYDROCARBON SUBSTANCES LYING BELOW THE SURFACE OF SAID LAND, BUT WITH NO RIGHT OF SURFACE ENTRY, AS PROVIDED IN DEEDS OF RECORDS.

**PARCEL 2:**

AN EASEMENT FOR ROAD AND UTILITY PURPOSES OVER THE SOUTH 30 FEET OF THE NORTH 180 FEET OF LOT 702 OF NEWPORT MESA TRACT AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 5, PAGE 1 MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY

APN: 424-201-14

**ZONING**

THE FOLLOWING ZONING INFORMATION WAS OBTAINED FROM THE RESIDENTIAL DEVELOPMENT STANDARDS FOUND IN THE COSTA MESA MUNICIPAL CODE.

ZONING: R2-HD-MULTIPLE FAMILY RESIDENTIAL (HIGH DENSITY)

1. FRONT YARD BUILDING SETBACK: MINIMUM 20 FT.
3. SIDE YARD BUILDING SETBACK:
  - INTERIOR PROPERTY LINE 5 FT.
  - PROPERTY LINE ABUTTING A PUBLIC STREET 10 FT.
  - PROPERTY LINE ABUTTING AN ALLEY 5 FT.
4. REAR SETBACK:
  - 2 STORY STRUCTURES 20 FT.
  - 1 STORY STRUCTURES 10 FT.
5. MAXIMUM BUILDING HEIGHT: MAXIMUM 27 FT.
6. MINIMUM LOT AREA FOR NEWLY SUBDIVIDED LOTS: 12,000 SF.
7. MINIMUM LOT WIDTH FOR NEWLY SUBDIVIDED INTERIOR LOTS: 100 FT.
8. MAXIMUM DENSITY: 1 DWELLING UNIT PER 3,000 SF.
9. DISTANCE BETWEEN BUILDINGS: 10 FT. BETWEEN MAIN BUILDINGS, 6 FT. BETWEEN MAIN BUILDINGS AND ACCESSORY STRUCTURES
10. DRIVEWAY WIDTH: 10 FT. MINIMUM

**PROPERTY OWNER INFORMATION:**

PARCEL #1 KEVIN RAGER (MARRIED)

PARCEL #2 JOEL TEMPLETON (SINGLE)

**FLOOD INUNDATION AREA:**

ZONE - "X" PER FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 06059 C 0288 J, EFFECTIVE DECEMBER 9, 2009.

ZONE "X" DENOTES AREAS SUBJECT TO MINIMAL FLOODING.

**EXISTING LOT NET AREA:**

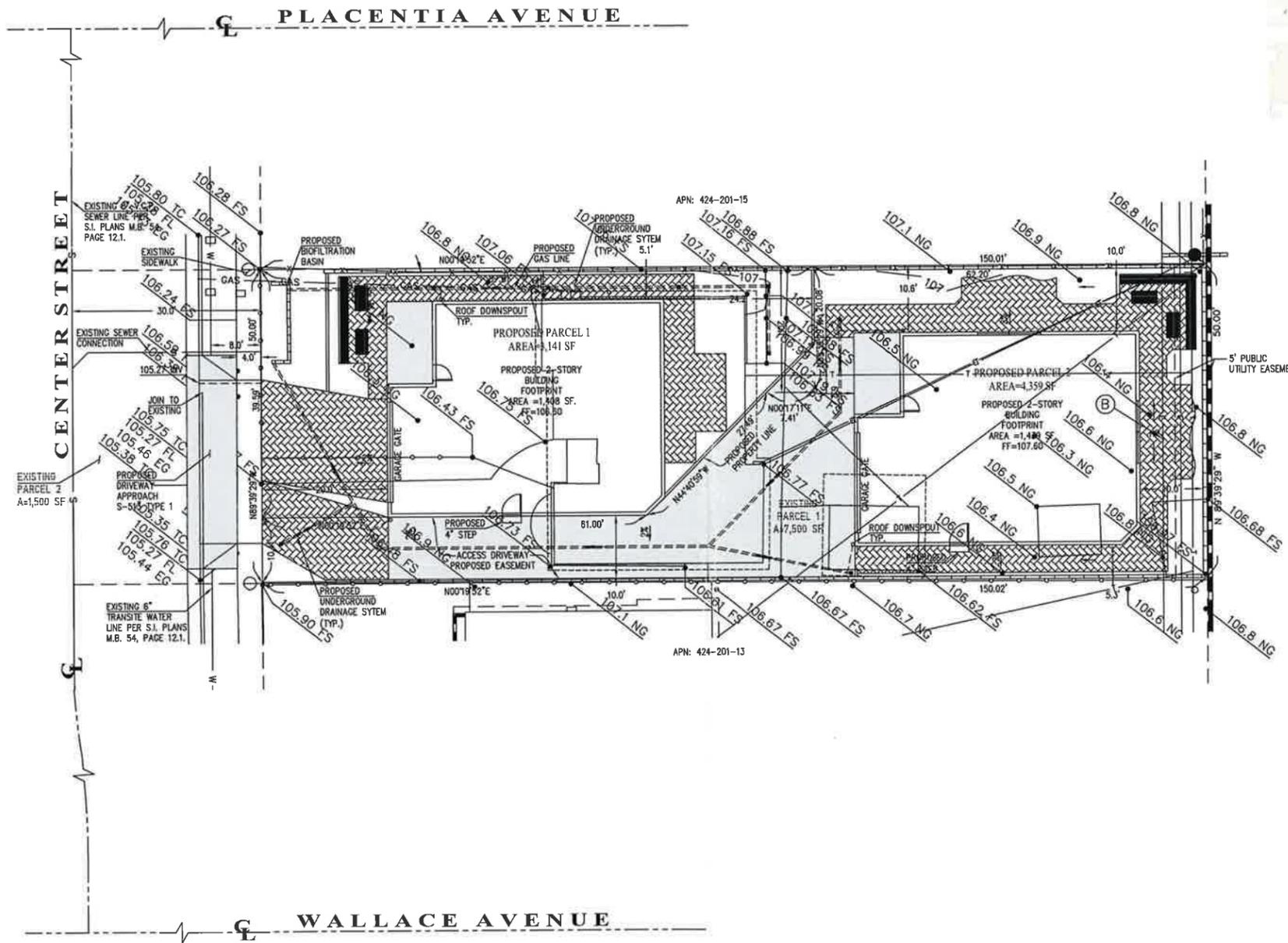
7,500 SF OR 0.17 ACRES

**PROPOSED PARCEL AREA:**

LOT 1 3,141 SF OR 0.072 ACRES  
 LOT 2 4,359 SF OR 0.100 ACRES

**PROPOSED LAND USE:**

R1-SINGLE FAMILY RESIDENTIAL



VICINITY MAP  
N.T.S.

**AREAS:**

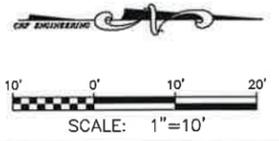
PROPOSED AREAS IMPERVIOUS - 4,477 SF.	PERVIOUS - 3,023 SF.
EXISTING AREAS IMPERVIOUS - 1,534 SF.	PERVIOUS - 5,966 SF.

**LINE LEGEND**

---	STREET CENTERLINE
---	PROPOSED PROPERTY LINE
---	RIGHT OF WAY LINE
---	SEWER LINE
---	WATER LINE
---	ELECTRICAL LINE
---	GAS LINE
---	DRAINAGE PATTERN

**ABBREVIATIONS**

HP	HIGH POINT
FF	FINISHED FLOOR
FS	FINISHED SURFACE
TC	TOP OF CURB
SF	SQUARE FEET
MB	MAP BOOK
SI	STREET IMPROVEMENT
INV	INVERT ELEVATION
VCP	VITRIFIED CLAY PIPE
APN	ASSESSOR PARCEL NUMBER



<p>PREPARED BY:</p>	<p>PROPERTY OWNER:</p> <p>JOEL TEMPLETON &amp; KEVIN RAGER</p> <p>788 CENTER STREET COSTA MESA, CA. 92627</p> <p>P: 714-714-0718 E: JOEL.TEMPLETON@PARKCOBUILDING.COM</p>	<p>PREPARED FOR:</p> <p>JOEL TEMPLETON</p> <p>PARKCO BUILDING COMPANY 3190-F AIRPORT LOOP DRIVE COSTA MESA, CALIFORNIA, 92626.</p> <p>P: 714-714-0718 E: JOEL.TEMPLETON@PARKCOBUILDING.COM</p>	<p>LAND SURVEYOR:</p> <p>JEFFERY L. MAYS PLS 6379.</p> <p>JRN CIVIL ENGINEERS 232 AVENIDA FABRICANTE, SUITE 107, SAN CLEMENTE, CALIFORNIA, 92672.</p> <p>P: 949-248-4885 F: 949-248-4887</p>	<p><b>TENTATIVE PARCEL MAP</b>  <b>County Parcel Number #PM 2016-174</b></p> <p>788 CENTER STREET COSTA MESA, CALIFORNIA, 92627.</p>		<p><b>BASIS OF BEARINGS:</b></p> <p>THE CENTERLINE OF SIMMONS AVENUE HAVING A BEARING OF N00°19'52"E, AS SHOWN ON TRACT MAP NO. 17457, M.B. NO. 920, PAGES 46-47, RECORDED IN THE COUNTY OF ORANGE RECORDER'S OFFICE.</p>	<p><b>LEGAL DESCRIPTION:</b></p> <p>PORTION OF LOT 702, OF THE NEWPORT MESA TRACT, COUNTY OF ORANGE, STATE OF CALIFORNIA, PER MAP RECORDED IN M.B. NO. 5, PAGE 1, IN THE COUNTY OF RECORDER'S OFFICE OF SAID COUNTY.</p> <p>APN: 424-201-14</p>	<p>Date Printed: 06-09-2016</p> <p>Date Surveyed: 03-16-2016</p> <p>Project number: 16-033</p> <p>Drafted By: R.T.</p> <p>Surveyed by: J.M.</p> <p>Checked by: C.R., RCE</p>	<table border="1"> <tr> <td><input type="checkbox"/></td> <td>Design Development</td> </tr> <tr> <td><input type="checkbox"/></td> <td>Progress Const. Docs.</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td>City Submittal</td> </tr> <tr> <td><input type="checkbox"/></td> <td>Bld Package</td> </tr> <tr> <td><input type="checkbox"/></td> <td>Construction Issue</td> </tr> <tr> <td><input type="checkbox"/></td> <td>Record Drawings</td> </tr> <tr> <td><input type="checkbox"/></td> <td>Construction Staking</td> </tr> </table>	<input type="checkbox"/>	Design Development	<input type="checkbox"/>	Progress Const. Docs.	<input checked="" type="checkbox"/>	City Submittal	<input type="checkbox"/>	Bld Package	<input type="checkbox"/>	Construction Issue	<input type="checkbox"/>	Record Drawings	<input type="checkbox"/>	Construction Staking	<p>SHEET</p> <p><b>1</b></p> <p>OF 1 SHEETS</p>
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