



PLANNING COMMISSION

AGENDA REPORT

MEETING DATE: SEPTEMBER 26, 2016

ITEM NUMBER: PH6

SUBJECT: PLANNING APPLICATION PA-16-56 FOR A CONDITIONAL USE PERMIT TO ALLOW EXTENDED HOURS OF OPERATION FOR CUSTOMER SERVICE AND THE SALE OF ALCOHOLIC BEVERAGES FOR ON-SITE CONSUMPTION AFTER 11 PM FOR AN EXISTING RESTAURANT (THE PIZZA PRESS) LOCATED AT 901 SOUTH COAST DRIVE, UNIT C-120

DATE: SEPTEMBER 15, 2016

FROM: PLANNING DIVISION/DEVELOPMENT SERVICES DEPARTMENT

PRESENTATION BY: JUSTIN ARIOS, ASSISTANT PLANNER

FOR FURTHER INFORMATION CONTACT: JUSTIN ARIOS (714) 754-5667
justin.arios@costamesaca.gov

DESCRIPTION

The proposed project requests a conditional use permit for the following:

1. Extended hours of operation for customer service at a restaurant (The Pizza Press) located within 200 feet of a residential zone. The Pizza Press proposes operating hours from 11 AM to 1 AM, daily.
2. The sale of alcoholic beverages for on-site consumption after 11 PM located within 200 feet of a residential zone. The tenant space is 2,927 square feet in size with an existing 506 square foot outdoor patio area.

APPLICANT OR AUTHORIZED AGENT

Kevin Hufford is the authorized agent for the property owner, Metro Pointe Retail Associates.

ENVIRONMENTAL DETERMINATION

This project is exempt from the provision of the California Environmental Quality Act (CEQA) under Section 15301 for Existing Facilities.

RECOMMENDATION

Approve by adoption of Planning Commission resolution, subject to conditions of approval.

BACKGROUND

The Pizza Press is currently located at the subject property 901 South Coast Drive, Unit C-120, within the Metro Pointe Center near the intersection of Harbor Boulevard and Wilson Street. The center is within the PDC (Planned Development Commercial) zone. Zones abutting the Metro Pointe Center include PDC (Planned Development Commercial) zone and R1 (Single Family Residential District) zone across South Coast Drive to the north; the I-405 Freeway to the south; PDC (Planned Development Commercial) zone to the east; and PDR-HD (Planned Development Residential – High Density) across South Coast Drive to the west.

ANALYSIS

The applicant is requesting a conditional use permit for extended hours of operation and for the sale of alcoholic beverages for on-site consumption after 11 PM at 901 South Coast Drive, Unit C-120. A conditional use permit is required for extended operating hours of customer service and sales of alcohol after 11 PM when located within 200 feet of a residential zone; a residentially zoned property (PDR-HD residential zone) is located to the west of the Metro Pointe Center.

The restaurant (The Pizza Press) currently has a Type 41 ABC license for beer and wine sales; however, they are not allowed to operate past 11 PM, unless they have obtained a conditional use permit. The proposed restaurant is located in a multi-tenant building, including other restaurants, within the western portion of the Metro Pointe Center. The use immediately adjacent to the restaurant includes the Edwards Stadium, Color Me Mine, and other restaurants (D&K Cafe, Arriba Baja Grill, and The Flame Broiler). Other uses within the center include restaurants, Best Buy, and multiple clothing stores. The proposed hours of operation for The Pizza Press are between 11 AM and 1 AM, daily.

Parking

Although the actual building that The Pizza Press occupies is located further than 200 feet from a residential zone, the parking that serves this suite (specifically the parking structure on the west portion of the property) is located within 200 feet of a residential zone (PDR-HD).

Under the original final development plan for the Metro Pointe Center (PA-95-21), the subject suite was developed to support restaurant uses and adequate parking was provided for that type of use. Therefore, no additional parking is required for the proposed The Pizza Press restaurant.

Noise

The restaurant with existing outdoor dining patio is located within a planned commercial center with similar uses, including other restaurant uses. Although the parking for the property is within 200 feet of residentially zoned property, noise impacts as a result of the restaurant and outdoor patio are not anticipated due to the separation of this use by other buildings in the center. In addition, the Edwards Stadium has final movie showings starting around 10:30 PM (daily) and Karl Strauss Brewery and Restaurant operates until 11 PM

(Monday through Thursday) and until 12 PM (Friday and Saturday), with the sale of alcoholic beverages for on-site consumption.

Staff has contacted the Police Department to confirm if any concerns exist related to the proposed use. Based on feedback from Police Department, there are no concerns related to the proposed use.

Staff Justifications for Approval

Staff supports the above requests based on the following:

- *The proposed use, as conditioned, is compatible with the uses in the surrounding area.* Compliance with the conditions of approval will allow this use to operate with minimal impact on surrounding properties and uses. Although the parking that supplies the Metro Pointe Center property abuts residentially zoned property to the west, the proposed Pizza Press restaurant is buffered by existing buildings within the Metro Pointe Center. Residential uses are protected from any noise or nuisance associated with the restaurant by the 4- and 6-story office buildings located north of the restaurant and South Coast Drive. The proposed restaurant is not considered a use that will increase density or intensity allowed per the General Plan designation. The General Plan designation for the Metro Pointe Center is Regional Commercial, which allows for retail and restaurant uses. Other similar commercial uses are located within the center located to the north and west of The Pizza Press. As such, the proposed use, as conditioned, will not generate adverse noise, traffic, or parking impacts that are unusual for commercially-zoned properties. Conditions of approval require noise sources be conducted in a manner that will allow the quiet enjoyment of the surrounding neighborhood.

CONDITION #4: The business shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The applicant and/or business owner shall institute whatever security and operational measures are necessary to comply with this requirement.

- *The Police Department does not have any objection to the use.* The Police Department has reviewed the proposed use and has no objections to the approval of the application. As of the date of this report, the City has not received any complaints from the public regarding the proposed use.
- *No adverse parking impacts are anticipated.* City Code requires that restaurants be parked at a rate of 10 spaces per 1,000 square feet. Under the original final development plan for the Metro Pointe Center (PA-95-21), the subject suite was developed to support a restaurant use and adequate parking was provided for that type of use. Additional parking, therefore, is not required with the addition of The Pizza Press restaurant.

GENERAL PLAN CONFORMANCE

The proposed restaurant with alcohol sales after 11 PM within 200 feet of a residential zone is permitted in the PDC zone, subject to approval of a conditional use permit. Subject to conditions, the proposed use is in conformance with the 2015-2035 General Plan. Specifically, the project complies with the following Land Use Policies:

LU-1.1 Provide for the development of a mix and balance of housing opportunities, commercial goods and services, and employment opportunities in consideration of the needs of the business and residential segments of the community.

The proposed use will provide for a new entrepreneurial business in Costa Mesa and provide new employment opportunities in the community.

LU-3.1 Protect existing stabilized residential neighborhoods, including mobile home parks (and manufactured housing parks) from the encroachment of incompatible or potentially disruptive land uses and/or activities.

ENVIRONMENTAL DETERMINATION

The project is exempt from the provisions of the California Environmental Quality Act under Section 15301, for Existing Facilities.

LEGAL REVIEW

The draft resolutions have been reviewed and approved as to form by the City Attorney's Office.

PUBLIC NOTICE

Pursuant to Title 13, Section 13-29(d), of the Costa Mesa Municipal Code, three types of public notification have been completed no less than 10 days prior to the date of the public hearing:

1. Mailed notice. A public notice was mailed to all property owners within a 500-foot radius of the project site. The required notice radius is measured from the external boundaries of the property. (See attached Notification Radius Map.)
2. On-site posting. A public notice was posted on each street frontage of the project site.
3. Newspaper publication. A public notice was published once in the Daily Pilot newspaper.

As of September 13, 2016, no communications have been received regarding this proposal. Any public comments received prior to the September 26, 2016 Planning Commission will be provided in a supplemental memo.

ALTERNATIVES

Resolution of approval or denial are attached. The denial of the request for extended customer service and alcohol sales after 11 PM within 200 feet of a residential zone shall include denial findings by the Planning Commission, as expressed at the public hearing.

CONCLUSION

The proposed project requests a conditional use permit for extended business hours and the sale of alcoholic beverages for on-site consumption after 11 PM located within 200 feet of residential zone, located at 901 South Coast Drive, Unit C-120. The proposed use, with the recommended conditions of approval, will be consistent with City's Zoning Code and General Plan, and has been determined will minimize any adverse impacts to the surrounding properties.



JUSTIN ARIOS
Assistant Planner



GARY ARMSTRONG, AICP
Economic Development & Development
Services Director / CEO

Attachments: 1. Vicinity Map/Zoning Map
2. Site Photos
3. Authorized Agent's Project Description
4. Draft Planning Commission Resolutions
5. Plans

cc: Director of Economic & Development / Deputy CEO
Sr. Deputy City Attorney
Public Services Director
City Engineer
Transportation Services Manager
Fire Protection Analyst
File (2)

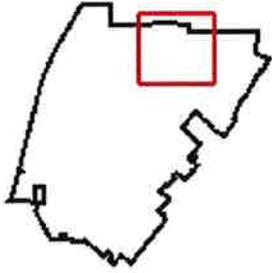
Authorized Agent: Kevin Hufford
3530 Wilshire Blvd., Suite 1610
Los Angeles, CA 90010

Property Owner: Metro Pointe Retail Associates
949 S. Coast Dr., Suite 600
Costa Mesa, CA 92626

City of Costa Mesa

CITY OF COSTA MESA - [Created: 9/14/2016 3:03:31 PM] [Scale: 513.21] [Page: 8.5 x 11 / Portrait]

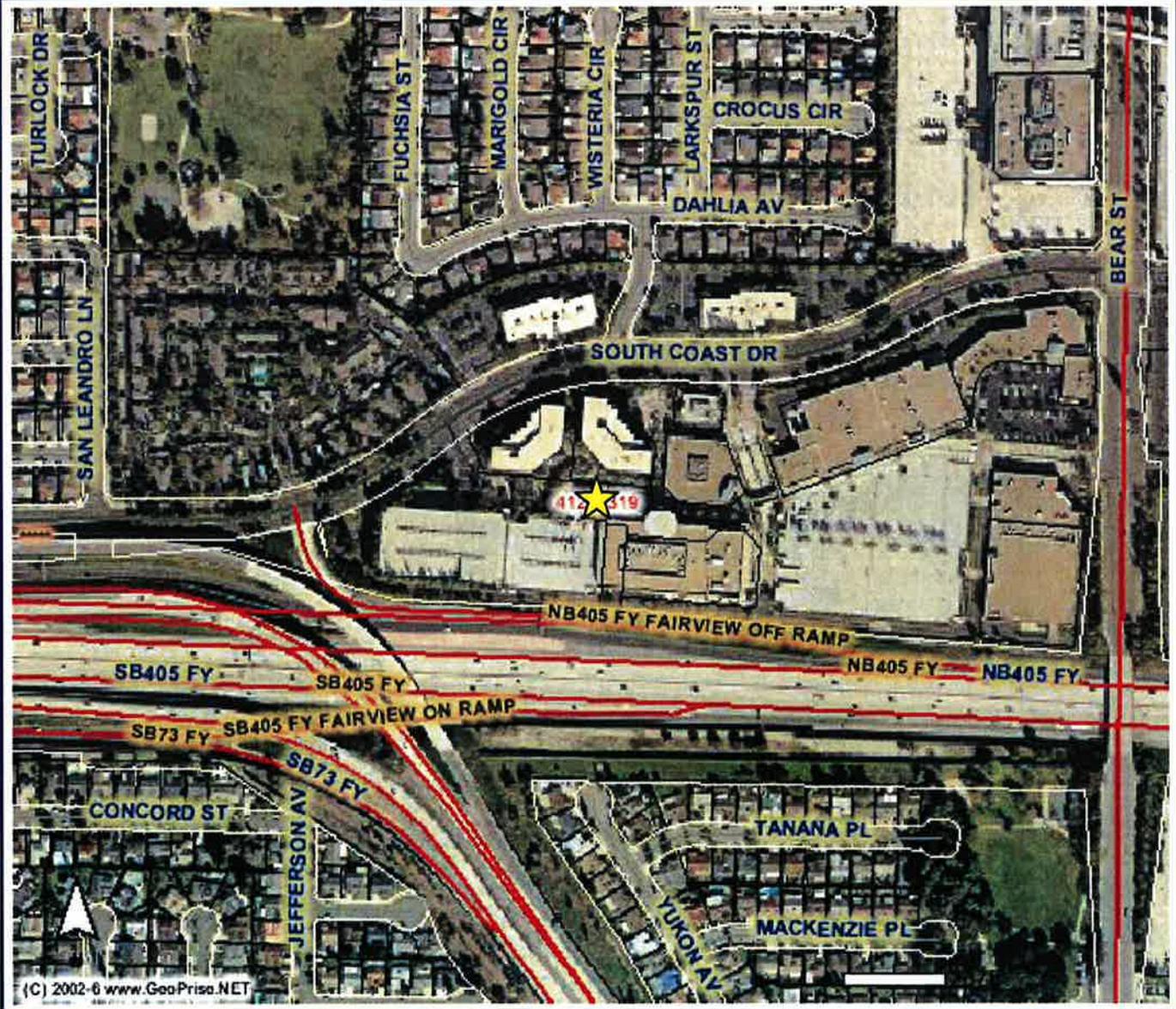
Overview Map



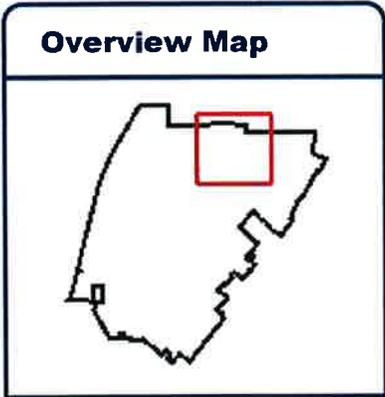
Legend

- | | | | |
|----------------|--------------------------|--------------|------------------------------|
| Address Points | Roads | Major | SECONDARY Hydrology Channels |
| Freeway | Collector Freeway (cont) | Newport BLVD | Primary (cont) |

Map Display

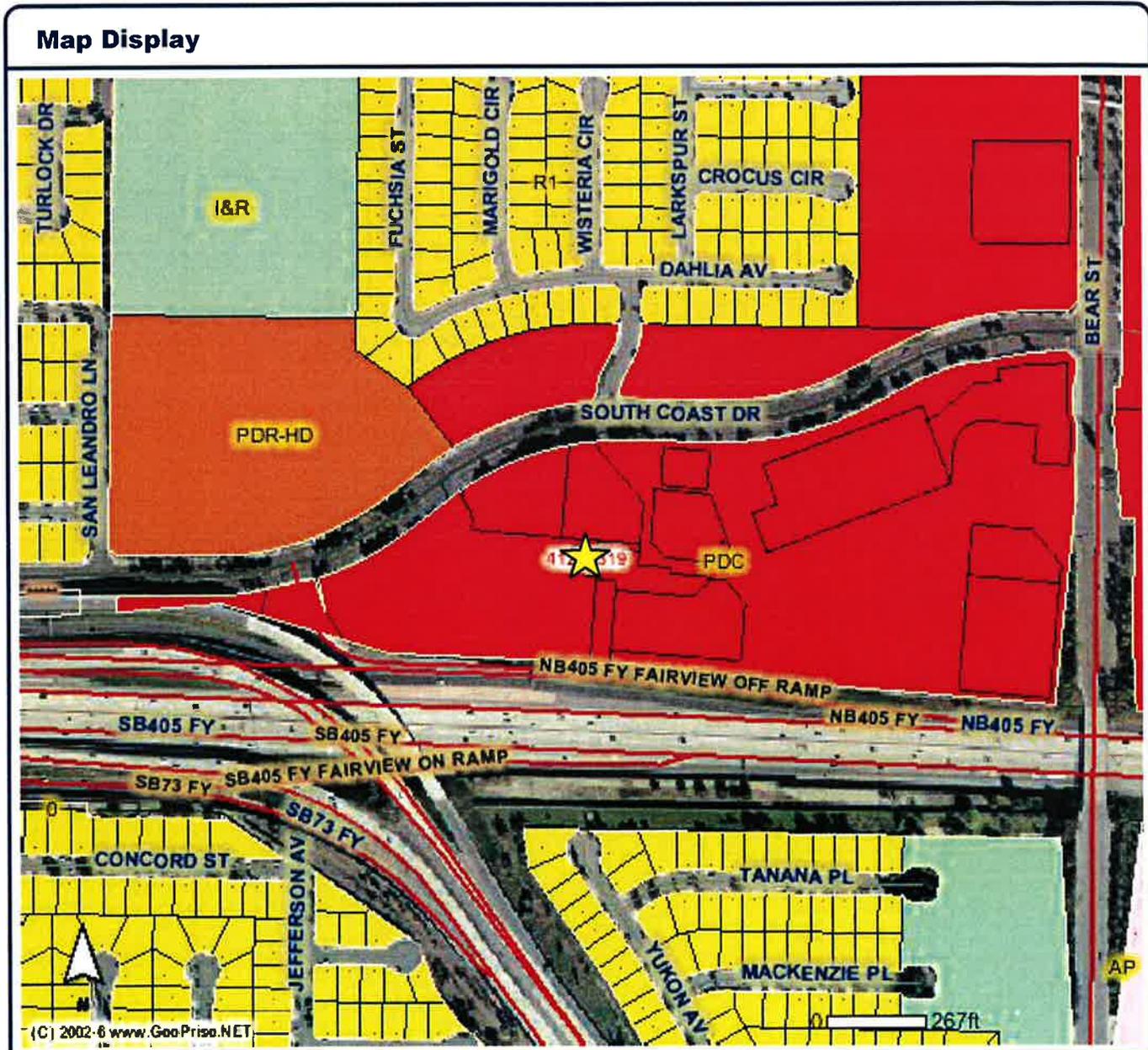


(C) 2002-6 www.GeoPrise.NET

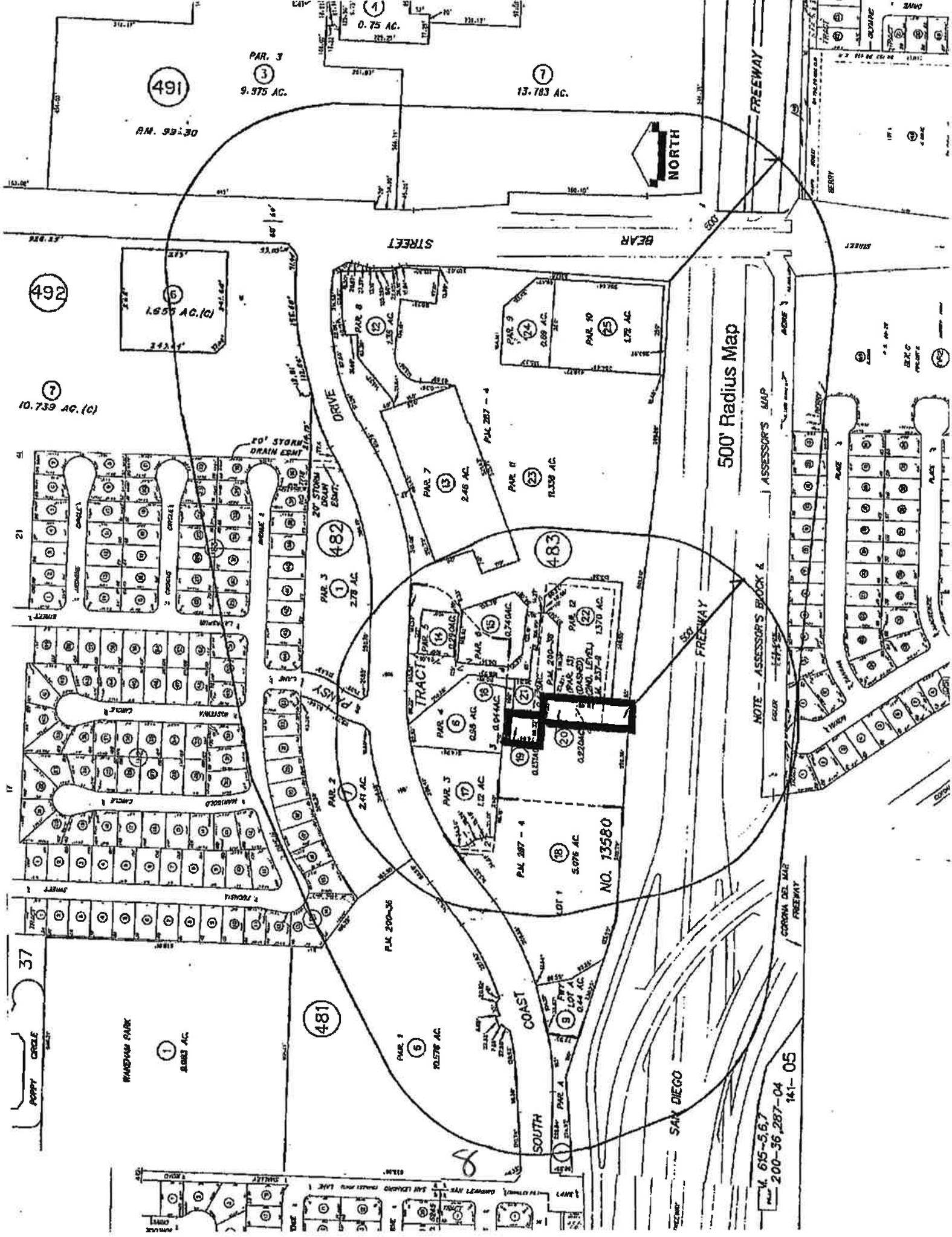


Legend

Address Points	Freeway	Collector	SECONDARY Hydrology Channels	Street Centerlines
Roads (cont)	Major	Newport BLVD	Street Names	ROW Lines
Primary (cont)	Parcel Lines			



7



491

PAR. 3
3
9.575 AC.

7
13.783 AC.

R.M. 99-30



STREET

BEAR

FREEWAY

492

5
1.655 AC.(C)

7
10.739 AC.(C)

482

483

1
2.78 AC.

14
0.270 AC.

15
0.740 AC.

16
0.270 AC.

17
1.2 AC.

18
0.270 AC.

19
0.270 AC.

20
0.270 AC.

21
0.270 AC.

22
1.370 AC.

23
1.339 AC.

24
0.687 AC.

25
1.78 AC.

26
1.339 AC.

27
1.339 AC.

28
1.339 AC.

29
1.339 AC.

30
1.339 AC.

31
1.339 AC.

37

POPPY CIRCLE

WANDYAN PARK

1
8.883 AC.

481

PAR. 1
5
18.578 AC.

COAST

SOUTH

SAK SAN DIEGO

501

FREEWAY

500' Radius Map

NOTE - ASSESSOR'S BLOCK & ASSESSOR'S MAP

NO. 13580
5.078 AC.
LOT 1
PAR. A
0.44 AC.
PAR. B
0.44 AC.
PAR. C
0.44 AC.
PAR. D
0.44 AC.
PAR. E
0.44 AC.
PAR. F
0.44 AC.
PAR. G
0.44 AC.
PAR. H
0.44 AC.
PAR. I
0.44 AC.
PAR. J
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PAR. K
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PAR. L
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PAR. M
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PAR. R
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PAR. S
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PAR. T
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PAR. U
0.44 AC.
PAR. V
0.44 AC.
PAR. W
0.44 AC.
PAR. X
0.44 AC.
PAR. Y
0.44 AC.
PAR. Z
0.44 AC.

141-05

200-36,287-04

615-567

ATTACHMENT 2





View to Residential from Parking Structure Main Entry



View to Residential from Parking Structure

ATTACHMENT 3

City of Costa Mesa
Development Services Department
77 Fair Drive
Costa Mesa, CA 92626

RE: Craft Beer N' Pizza, Inc. DBA: The Pizza Press
901 S. Coast Dr. Unit 120
Costa Mesa, CA 92626
Conditional Use Permit

Operational Explanation

The Pizza Press experience delivers delicious new creations, old classics, and the rare chance to create your very own pizza—prepared right in front of you! Families will marvel at our modern twist on the Roaring Twenties decor, complete with quirky newspapers from yesteryear. Whether you're on the go, ordering in, or stopping by, discover how The Pizza Press is revolutionizing America's favorite food.

In addition to "Publish Your Own Pizza", our professional chef made sure to create eight delicious pizzas inspired by newspapers from around the country, including "The Times", "The Tribune", and "The Chronicle". He also made sure we were in tune with current market trends, such as the use of fresh and nutritious ingredients in a fast, build-your-own environment. The result is a unique and newsworthy spin on one of America's most popular foods.

At The Pizza Press, every patron is a publisher and every pizza is a brand new edition. It's this custom approach to "pizza storytelling" that makes our concept truly newsworthy.

When hungry guests step into line at The Pizza Press, they are greeted by "newsboys" and a menu of pizzas named for regional newspapers. But our guests find it even more fun to publish their own pizzas, creating original editions from our generous list of sauces, meats, and veggies. Since every pizza is assembled right before our guests' eyes, there are never any surprises: all of our thin-crust pizzas, no matter how many add-ons, are always "hot off the press" in under four minutes!

Fun and fast are good, but fresh is even better. People will come back to The Pizza Press to create more pizza editions because of the high-quality and locally sourced ingredients your franchise provides. Trademark thin crusts are the perfect way to feature your fresh-made sauces and tasty toppings; and your super-hot conveyor oven will bring out the natural flavors of these premium ingredients.

With the addition of a beer & wine license, we will be able to accompany all our customers' requests and satisfy their tastes. We have over 50 craft beers on tap with a unique beer flights for tasting all of our amazing craft choices. As it is with our pizza our beers are of the best quality and unique tastes.

The Pizza Press

RESOLUTION NO. PC-16-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING CONDITIONAL USE PERMIT PA-16-56 TO ALLOW THE EXTENDED HOURS OF OPERATION FOR CUSTOMER SERVICES AND THE SALE OF ALCOHOLIC BEVERAGES FOR ON-SITE CONSUMPTION AFTER 11 PM LOCATED AT 901 SOUTH COAST DRIVE, UNIT C-120

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Kevin Hufford, authorized agent on behalf of the property owner, Metro Pointe Retail Associates, requesting approval of a conditional use permit for the following:

1. Extended hours of operation for customer service at a restaurant (The Pizza Press) located within 200 feet of a residential zone. The Pizza Press proposes operating hours from 11 AM to 1 AM, daily.
2. The sale of alcoholic beverages for on-site consumption after 11 PM located within 200 feet of a residential zone. The tenant space is 2,927 square feet in size with an existing 506 square foot outdoor patio area.

WHEREAS, a duly noticed public hearing held by the Planning Commission on September 26, 2016 with all persons having the opportunity to speak for and against the proposal;

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15301 for Existing Facilities.

WHEREAS, the CEQA categorical exemption for this projects reflects the independent judgement of the City of Costa Mesa.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, and subject to the conditions of approval contained within Exhibit B, the Planning Commission hereby **APPROVES** Planning Application PA-16-56 with respect to the property described above.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-16-56 and upon applicant's compliance with each and all of the conditions in Exhibit B, and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

BE IT FURTHER RESOLVED that if any section, division, sentence, clause, phrase or portion of this resolution, or the document in the record in support of this resolution, are for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

PASSED AND ADOPTED this 26th day of September, 2016.

Robert L. Dickson Jr., Chair
Costa Mesa Planning Commission

STATE OF CALIFORNIA)
)ss
COUNTY OF ORANGE)

I, Gary Armstrong, Acting Secretary to the Planning Commission of the City of Costa Mesa, do hereby certify that the foregoing Resolution was passed and adopted at a meeting of the City of Costa Mesa Planning Commission held on September 26, 2016 by the following votes:

AYES: COMMISSIONERS

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS

ABSTAIN: COMMISSIONERS

Gary Armstrong, Acting Secretary
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS

- A. The proposed project complies with Costa Mesa Municipal Code Section 13-29(e) because:

Finding: The proposed use is compatible and harmonious with uses on surrounding properties.

Facts in Support of Findings: The restaurant is located near other commercial uses, including restaurant and retail uses. As such, the proposed use will not generate adverse noise, traffic, or parking impacts that are unusual for commercially-zoned properties. Also, the proposed The Pizza Press restaurant is buffered by existing buildings within the Metro Pointe Center. Residential uses are protected from any noise or nuisance associated with the restaurant by the 4- and 6-story office buildings located north of the restaurant and by South Coast Drive. As proposed and conditioned, there should be no noise to the surrounding neighborhood and uses. Conditions of approval require the business to be conducted in a manner that will allow the quiet enjoyment of the surrounding neighborhood.

Finding: Safety and compatibility of the design of the parking areas, landscaping, luminaries, and other site features including functional aspects of the site development such as automobile and pedestrian circulation have been considered.

Facts in Support of Findings: The proposed use will not have any effect on the safety and compatibility of design at the subject site. The proposed alcohol sales will be ancillary to the proposed restaurant, so no increase in the intensity of the use is anticipated.

Finding: The project, as conditioned, is consistent with the General Plan.

Facts in Support of Findings: The proposed use is permitted in the C1 zone, subject to approval of a conditional use permit and is therefore consistent with the General Plan and Zoning Code. Specifically, the proposed use is consistent with Land Use Policy LU-3.1 – to protect existing neighborhoods, in that there should be no noise impacts to the nearby residential neighborhoods. Also, the proposed use is consistent with Land Use Policy LU-1.1, which states “provide for the development of a mix and balance of housing opportunities, commercial goods and services, and employment opportunities in consideration of the needs of the business and residential segments of the community.”

Finding: The planning application is for a project-specific case and does not establish a precedent for future development.

Facts in Support of Findings: Approval will apply to this project-specific location. Conditions have been included that are specific to the proposed project.

- B. The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:

Finding: The proposed use is substantially compatible with developments in the same general area and would not be materially detrimental to other properties within the area.

Facts in Support of Findings: The use, as conditioned, is not anticipated to have any negative effects on the surrounding properties. Specifically, noise effects to the surrounding properties will be avoided, as existing commercial buildings within the Metro Pointe Center provide a buffer between the restaurant and existing residential uses. As such, the outdoor dining patio is will not be detrimental to other properties in the area.

Finding: Granting the conditional use permit will not be materially detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood.

Facts in Support of Findings: Potential noise impacts have been considered and the project will not have a negative impact on the surrounding neighborhood because existing commercial buildings, the 4- and 6-story office buildings located north of the restaurant within the Metro Pointe Center provide a buffer between the restaurant and existing residential uses.

Finding: Granting the conditional use permit will not allow a use, density, or intensity which is not in accordance with the General Plan designation and any applicable specific plan for the property.

Facts in Support of Findings: The proposed project does not include any change in density or intensity at the subject property. The proposed restaurant use is not considered a use that will increase density or intensity allowed per the General Plan designation. The General Plan designation for the Metro Pointe Center is Regional Commercial, which allows for retail and restaurant uses. The restaurant is located near other commercial uses within the Metro Pointe Center located to the north and west of The Pizza Press.

- C. The project is exempt from the provisions of the California Environmental Quality Act under Section 15301 for Existing Facilities.
- D. The project is exempt from Chapter XII, Article 3, Transportation Demand Management, of Title 13 of the Costa Mesa Municipal Code.

EXHIBIT B

CONDITIONS OF APPROVAL

- Plng.
1. The use shall be limited to the type of operation described in this staff report, which includes a restaurant with the sale of alcoholic beverages for on-site consumption to 1 AM daily, located within 200 feet of residential zone located 901 South Coast Drive, Unit C-120. Any change in the operational characteristics including, but not limited to, increased hours of operation, or provision for live entertainment, will require approval of an amendment to the conditional use permit, subject to Planning Commission approval.
 2. The licensee shall not employ or use the services of any full- or part-time active or reserve peace officer currently employed by the City of Costa Mesa or any contiguous agency for security purposes.
 3. Live entertainment, amplified music and/or dancing may only be permitted subject to City issuance of a "public entertainment permit." Contact Code Enforcement (714-754-**5623**) for application information.
 4. The maximum occupancy, as determined by provisions of the Uniform Building Code or other applicable codes, shall be posted in public view within the premises, and it shall be the responsibility of management to ensure that this limit is not exceeded at any time. Occupant loads for the open patio area and the enclosed building area shall be calculated and posted separately.
 5. There shall be no room or designated area reserved for the exclusive use of designated persons or "private club members."
 6. The business shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The applicant and/or business owner shall institute whatever security and operational measures are necessary to comply with this requirement.
 7. There shall be no sales of alcoholic beverages for off-site consumption.
 8. At all times the premises is open for business, the sale and service of alcoholic beverages shall be made only in conjunction with the sale and service of food.
 9. The quarterly gross sales of alcoholic beverages shall not exceed the gross sales of food and meals during the same time period. The applicant shall at all times maintain records which reflect separately the gross sales of food and gross sales of alcoholic beverages of the business. The records shall be kept no less frequently than on a quarterly basis and shall be made available to the Director of Economic & Development/Deputy CEO or his/her designee on demand.
 10. The restaurant shall remain a "bona fide eating place" as defined by section 23038 of the California Business and Professions Code.
 11. The parking lot shall be posted with signs directing customers and employees to use consideration when entering their cars and leaving the parking lot.
 12. Music or other entertainment shall not be audible beyond the area under the control of the licensee.
 13. Developer shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding")

brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.

14. All sales and service staff (within 90 days of hire) shall complete Responsible Beverage Service (RBS) training with a provider approved by the California Department of Alcoholic Beverage Control. A copy of the training certificates shall be kept on premises and presented to any authorized City official upon request.

CODE REQUIREMENTS (PA-16-56)

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- | | |
|-------|--|
| Plng. | <ol style="list-style-type: none">1. All exits shall be clearly marked with "EXIT" signs.2. All conditions of the California Alcoholic Beverage Control Board shall be complied with.3. All exterior lighting shall be shielded and/or directed away from residential areas.4. Outdoor public communication systems shall not be audible in adjacent residential areas.5. Trash facilities shall be screened from view and designed and located appropriately to minimize potential noise and odor impacts to residential areas.6. Outdoor seating areas shall be oriented away or sufficiently buffered from adjacent residential areas.7. A landscaped planter area, a minimum of five (5) feet in width, shall be provided as an additional buffer to adjacent residential areas. The planter area shall contain appropriate plant materials to provide an immediate and effective screen. Plant materials shall meet with the approval of the Planning Division.8. Truck deliveries shall not occur anytime between the hours of 8:00 pm and 7:00 am. |
| Bldg. | <ol style="list-style-type: none">9. Comply with the requirements of the following adopted codes: 2013 California Building Code, 2013 California Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Green Building Standards Code, and 2013 California Energy Code (or the applicable adopted, California Residential Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards, and |

California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.

Requirements for accessibility to sites, facilities, buildings and elements by individuals with disability shall comply with chapter 11B of the 2013 California Building Code.

- 1- Accessibility shall be to and through the front door and to the commercial space from the public sidewalk.
 - 2- Accessible restrooms/bathrooms in the commercial space.
 - 3- Accessible parking.
 - 4- Accessible entry door, ramps, landings, sidewalks, hallways, strike edge clearances and elevation changes.
10. Prior to demolition contact South Coast Air Quality Management District located at:
21865 Copley Dr.
Diamond Bar, CA 91765-4178
Tel: 909-396-2000
 11. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
 12. Provide a plan to the County of Orange Health Dept. for review and approval.
 13. Prior to issuing the Building permit the conditions of approval shall be required to be incorporated on the approved Architectural plans.

RESOLUTION NO. PC-16-__

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING CONDITIONAL USE PERMIT PA-16-56 TO ALLOW THE EXTENDED HOURS OF OPERATION FOR CUSTOMER SERVICES AND THE SALE OF ALCOHOLIC BEVERAGES FOR ON-SITE CONSUMPTION AFTER 11 PM LOCATED AT 901 SOUTH COAST DRIVE, UNIT C-120

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, an application was filed by Kevin Hufford, authorized agent on behalf of the property owner, Metro Pointe Retail Associates, requesting approval of a conditional use permit for the following:

1. Extended hours of operation for customer service at a restaurant (The Pizza Press) located within 200 feet of a residential zone. The Pizza Press proposes operating hours from 11 AM to 1 AM, daily.
2. The sale of alcoholic beverages for on-site consumption after 11 PM located within 200 feet of a residential zone. The tenant space is 2,927 square feet in size with an existing 506 square foot outdoor patio area; and

WHEREAS, a duly noticed public hearing was held by the Planning Commission on September 26, 2016, with all persons having the opportunity to speak for and against the proposed project.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, the Planning Commission hereby **DENIES** PA-16-56 with respect to the property described above.

PASSED AND ADOPTED this 26th day of September, 2016.

Robert L. Dickson Jr., Chair
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS (DENIAL)

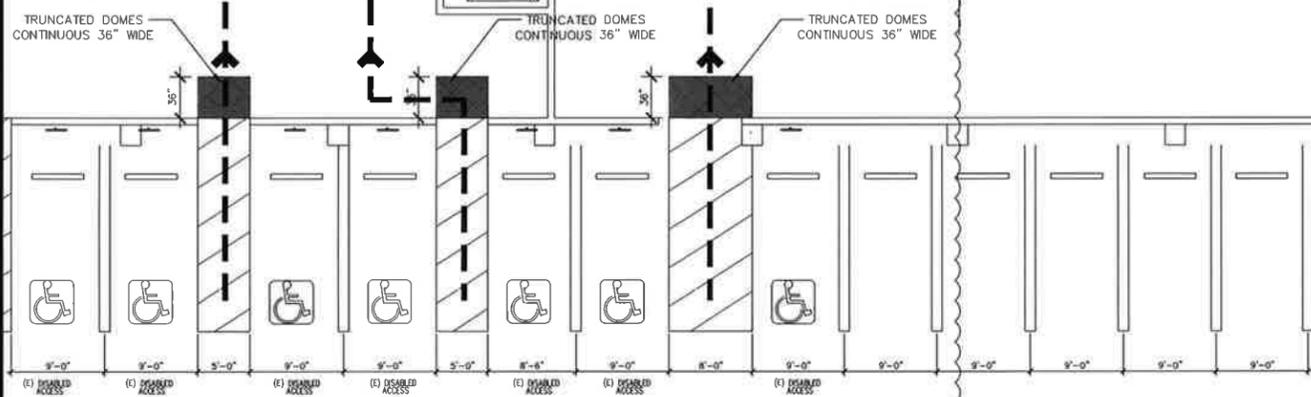
- A. The proposed project does not comply with Costa Mesa Municipal Code Section 13-29(e) because:
 - 1. A compatible and harmonious relationship does not exist between the proposed use and existing buildings, site development, and uses on surrounding properties.
 - 2. The proposed use is not consistent with the General Plan.
- B. The information presented does not comply with Costa Mesa Municipal Code Section 13-29(g)(2) with regard to the conditional use permit amendment in that the proposed use is not compatible with developments in the same general area. Granting the request will be materially detrimental to the health, safety, and general welfare of the public or otherwise injurious to properties or improvements within the immediate neighborhood.
- C. The Costa Mesa Planning Commission has denied Planning Application PA-16-56. Pursuant to Public Resources Code Section 21080(b)(5) and CEQA Guidelines Section 15270(a) CEQA does not apply to this project because it has been rejected and will not be carried out.
- D. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

PATH OF TRAVEL

SCALE 2
1/8"=1'-0"

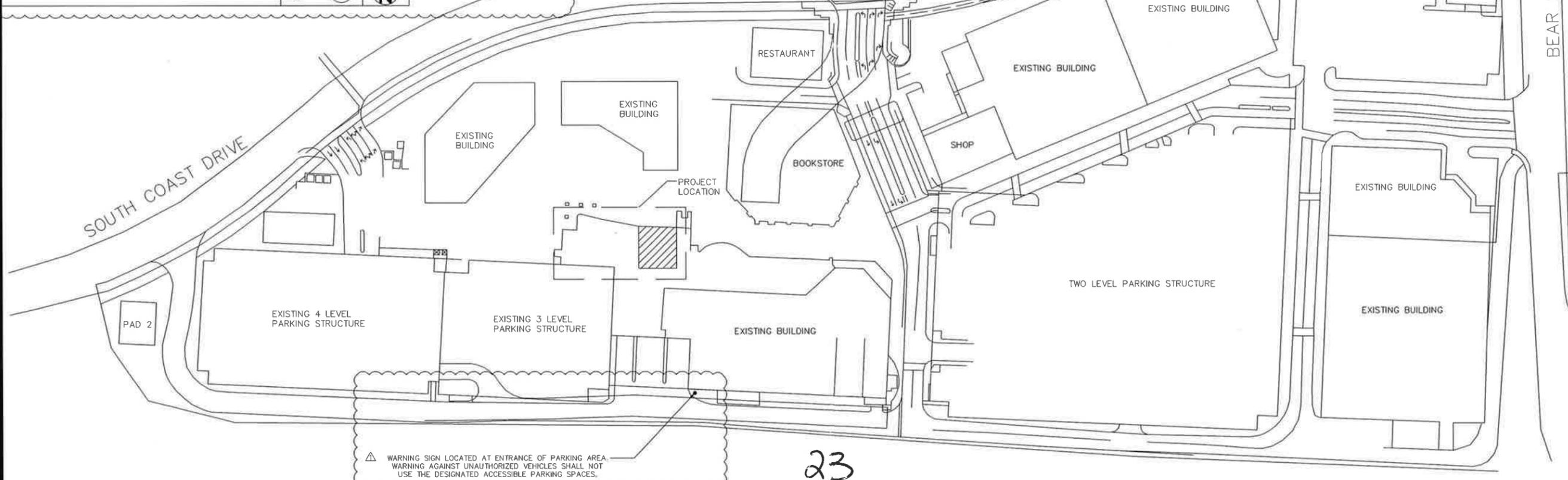
NOTE: NO ABRUPT CHANGES IN ELEVATION ALONG THE PATH OF TRAVEL SHOWN. THE SLOPE AND CROSS-SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 5% AND 2% RESPECTIVELY (INSPECTOR TO VERIFY).

ACCESSIBLE ROUTE OF TRAVEL: 4'-0" WIDE MINIMUM, 3% MAX. SLOPE IN DIRECTION OF TRAVEL, 2% MAX. CROSS SLOPE.



SITE PLAN

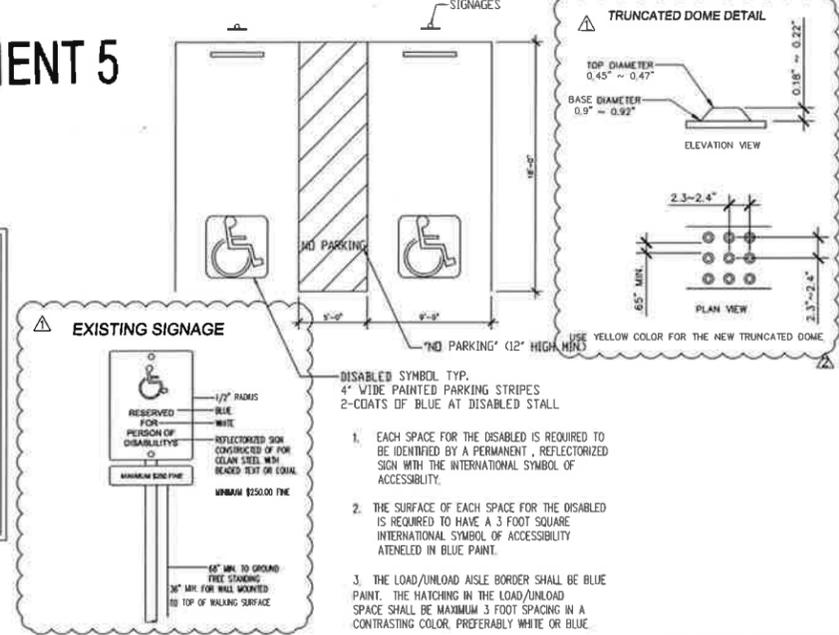
SCALE 1
NTS



WARNING SIGN LOCATED AT ENTRANCE OF PARKING AREA. WARNING AGAINST UNAUTHORIZED VEHICLES SHALL NOT USE THE DESIGNATED ACCESSIBLE PARKING SPACES.

ATTACHMENT 5

EXISTING ACCESSIBLE PARKING (NO CHANGE)



- DISABLED SYMBOL TYP.
4" WIDE PAINTED PARKING STRIPES
2-COATS OF BLUE AT DISABLED STALL
1. EACH SPACE FOR THE DISABLED IS REQUIRED TO BE IDENTIFIED BY A PERMANENT, REFLECTORIZED SIGN WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
 2. THE SURFACE OF EACH SPACE FOR THE DISABLED IS REQUIRED TO HAVE A 3 FOOT SQUARE INTERNATIONAL SYMBOL OF ACCESSIBILITY ATTENEED IN BLUE PAINT.
 3. THE LOAD/UNLOAD AISLE BORDER SHALL BE BLUE PAINT. THE HATCHING IN THE LOAD/UNLOAD SPACE SHALL BE MAXIMUM 3 FOOT SPACING IN A CONTRASTING COLOR, PREFERABLY WHITE OR BLUE.

JVN CONSTRUCTION
3669 SAN GABRIEL RIVER PARKWAY
PICO RIVERA, CA 90660
JOHN LAU / CA LIC. #856932 / 626-383-6819



BUILD. COR. 2/15/18
BUILD. COR. 2/29/18

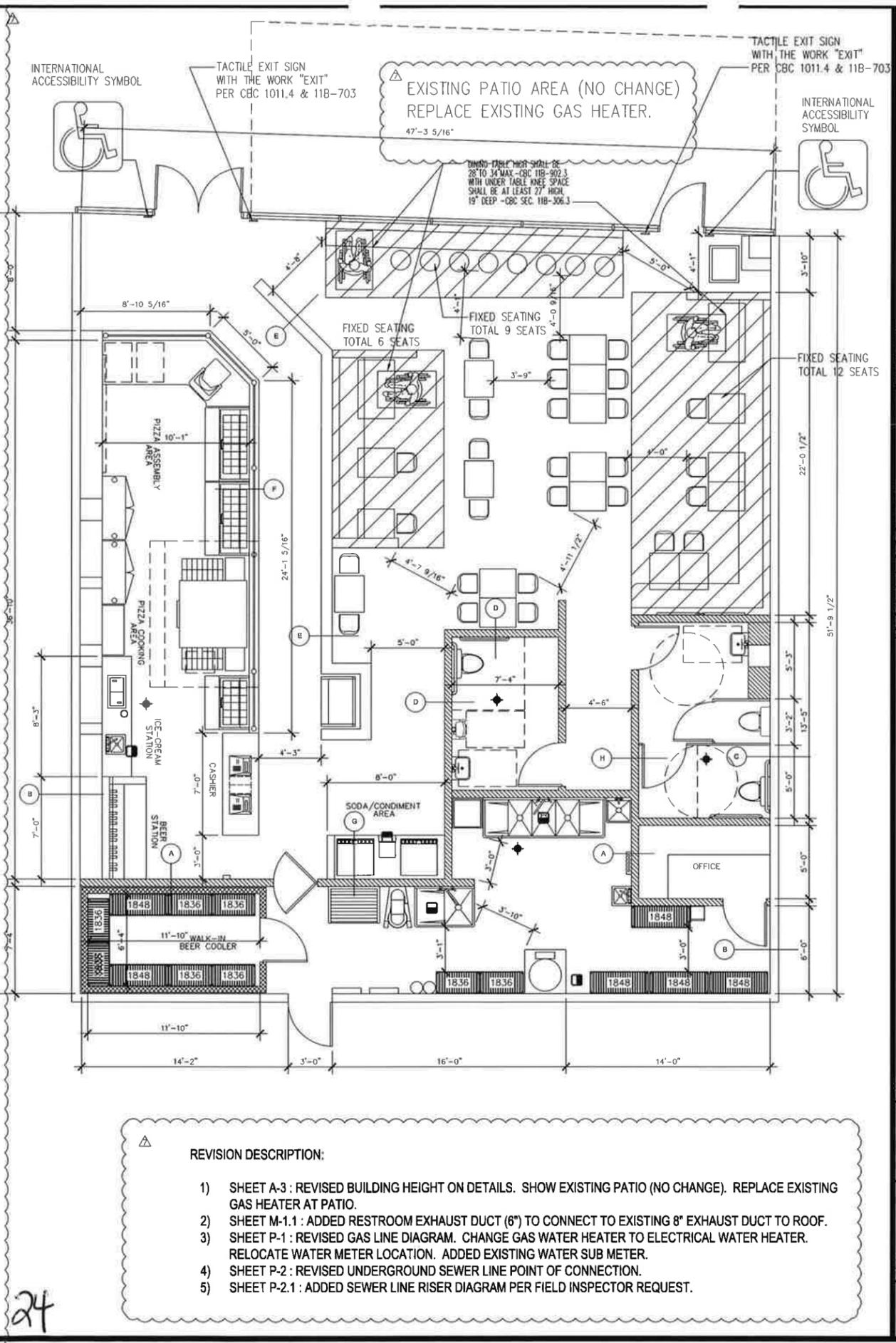
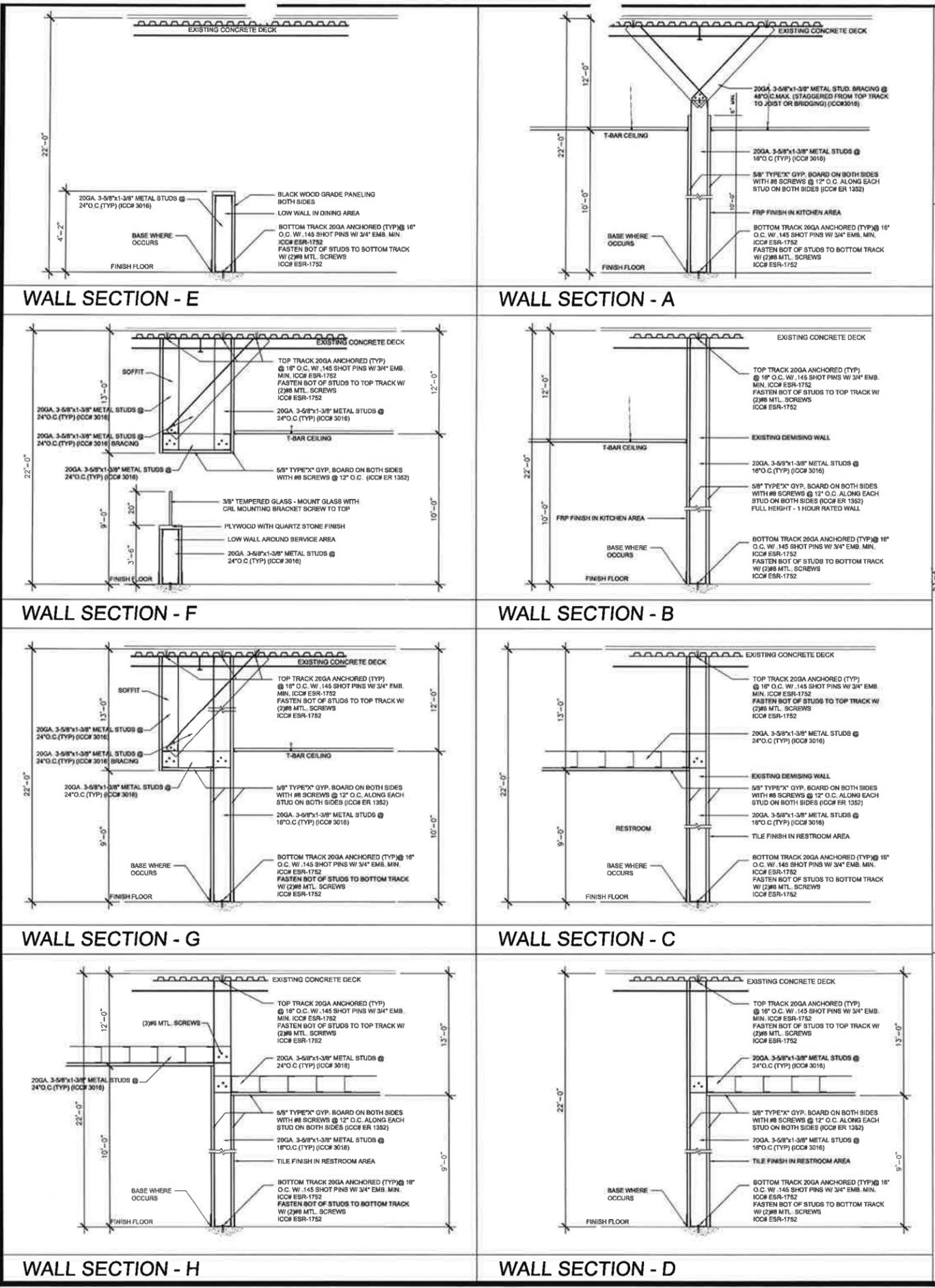
THE PIZZA PRESS
901 South Coast Dr. #120C,
COSTA MESA CA 92626

SITE PLAN

PROJECT: 0218-001
DRAWN BY: J. LAU
CHECKED BY: K. YEUNG
DATE: 01-18-15
SCALE: N.T.S.

A-0.4

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- REVISION DESCRIPTION:**
- 1) SHEET A-3 : REVISED BUILDING HEIGHT ON DETAILS. SHOW EXISTING PATIO (NO CHANGE). REPLACE EXISTING GAS HEATER AT PATIO.
 - 2) SHEET M-1.1 : ADDED RESTROOM EXHAUST DUCT (6") TO CONNECT TO EXISTING 8" EXHAUST DUCT TO ROOF.
 - 3) SHEET P-1 : REVISED GAS LINE DIAGRAM. CHANGE GAS WATER HEATER TO ELECTRICAL WATER HEATER. RELOCATE WATER METER LOCATION. ADDED EXISTING WATER SUB METER.
 - 4) SHEET P-2 : REVISED UNDERGROUND SEWER LINE POINT OF CONNECTION.
 - 5) SHEET P-2.1 : ADDED SEWER LINE RISER DIAGRAM PER FIELD INSPECTOR REQUEST.

JVN CONSTRUCTION
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 PICO RIVERA, CA 90660
 JOHN LAU / CA LIC. #836932 / 626-383-6819

REGISTERED PROFESSIONAL ENGINEER
 No. C 47140
 Exp. 12-31-18
 CIVIL
 STATE OF CALIFORNIA

CONTRACTOR PERMITS
 BUILD. COR. 2/15/16
 BUILD. COR. 2/29/16
 REVISION 4/7/16
 AS-BUILT 4/23/16

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 901 South Coast Dr #120C,
 COSTA MESA CA 92626

PROJECT
 WALL SECTIONS & EQUIPMENT WALL BACKING PLAN

DATE 02/16/2016
 DRAWN BY J. LAU
 CHECKED BY K. YEUNG
 DATE 01-18-15
 N.T.S.

A-3

WALL FINISH SCHEDULE

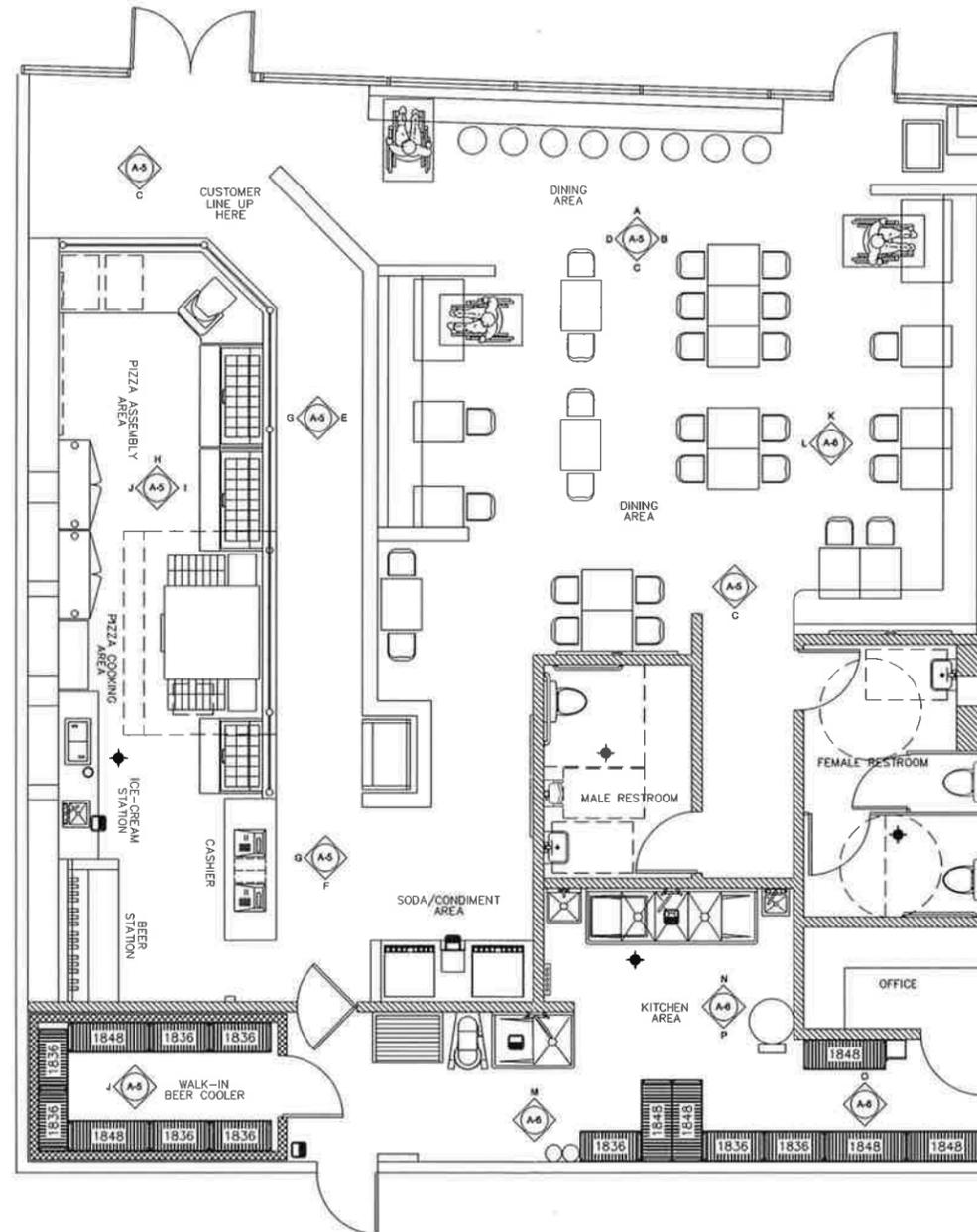
- FRP** MARLITE - S100 S/2/S WHITE
WATER RESISTANCE PANEL IN KITCHEN & STORAGE AREA
FULL HEIGHT, SMOOTH & WASHABLE
- T1** ARIZONA TILE - WHITE CERAMIC TILE
4"x12" SUBWAY WALL TILE WITH BLACK EPOXY GROUT,
INSTALL BRICK PATTERN WITH THICK GROUT LINE.
- T2** ARIZONA TILE - WHITE CERAMIC TILE
DECORATIVE TILE WITH BLACK EPOXY GROUT,
2" ABOVE RESTROOM WALL TILE.
- Q1** MS - INTERNATIONAL STONE
PREMIUM QUARTZ STONE WITH 2" MITERING EDGE,
ARTIC WHITE
- P1** SHERWIN WILLIAMS - SW 7065 PURE WHITE
PREMIUM QUARTZ STONE WITH 2" MITERING EDGE,
RAFTER - FLAT / RESTROOM - SEMI GLOSS / WALL - SATIN
- WD** MDF - CUSTOM
WOOD PANEL - PAINT BLACK
SHERWIN WILLIAMS - SW6991 BLACK MAGIC
- WC** PIZZA PRESS - CUSTOM
WOOD COVER DECAL. APPLY ON SMOOTH FINISH WALL

BASE FINISH SCHEDULE

- B1** DAL TILE - WHITE CERAMIC COVERED BASE TILE
6" HIGH COVERED BASE WITH 3/8" COVERED RADIUS,
RESTROOM AREA
- EP** EPOXY FLOOR GREY COLOR - MIN. 3/16" THICK,
WITH 6" HIGH COVERED BASE, 3/8" RADIUS,
SERVICE, STORAGE, KITCHEN, & WALK-IN COOLER AREA

CEILING FINISH SCHEDULE

- TB** T-BAR CEILING
USG GYPSUM WHITE CEILING PANEL - SMOOTH AND WASHABLE
KITCHEN, STORAGE, PIZZA PREP & PIZZA COOKING AREA
- MT** WALK-IN COOLER METAL PANEL
METAL PANEL TO BE SMOOTH & WASHABLE
ALL PENETRATION MUST BE PROPERLY SEALED.



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PICO RIVERA, CA 90660
JOHN LAU / CA LIC. #856932 / 626-383-6819

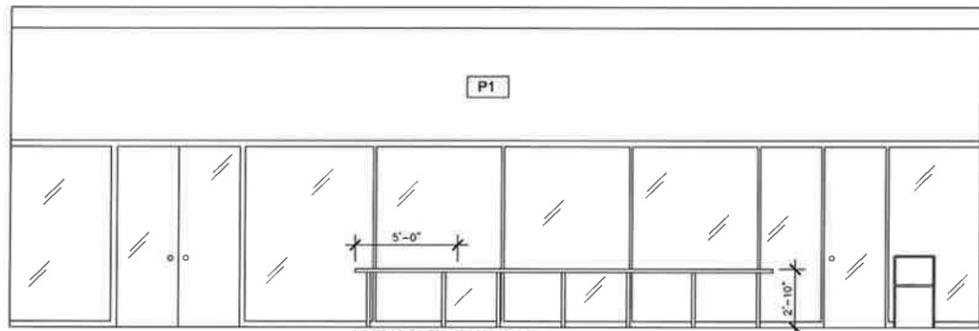


CONTRACTOR INFO
OWNER INFO

THE PIZZA PRESS
901 South Coast Dr #120C,
COSTA MESA CA 92626

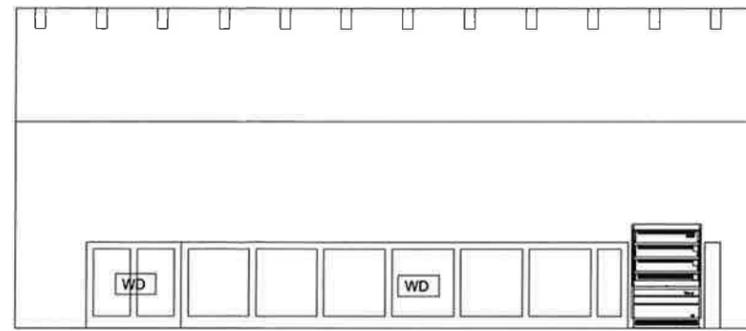
PROJECT #	0216-001
PROJECT NAME	JLAU
DATE BY	K.YEUNG
REVISION BY	K.YEUNG
DATE	01-18-15
SCALE	N.T.S.

SHEET # **A-4**

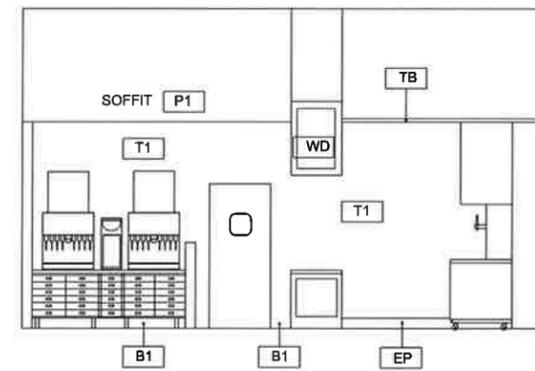


DINING TABLE HIGH SHALL BE 28" TO 34" MAX - CBC 11B-902.3 WITH UNDER TABLE KNEE SPACE SHALL BE AT LEAST 27" HIGH 19" DEEP - CBC SEC. 11B-306.3

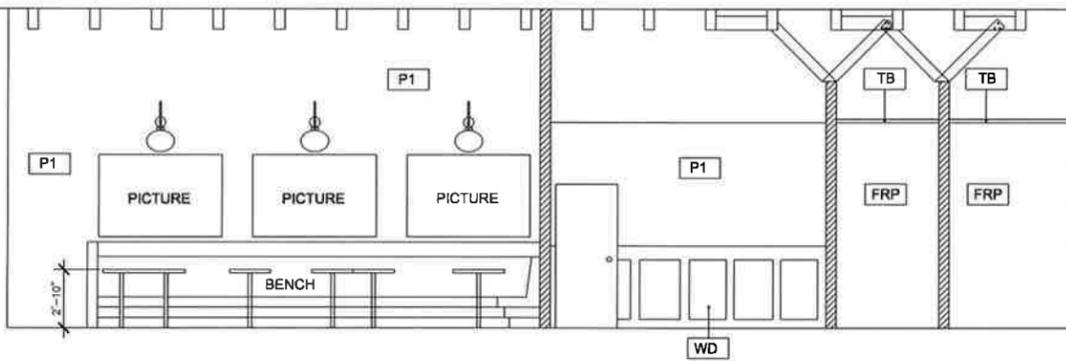
ELEVATION - A



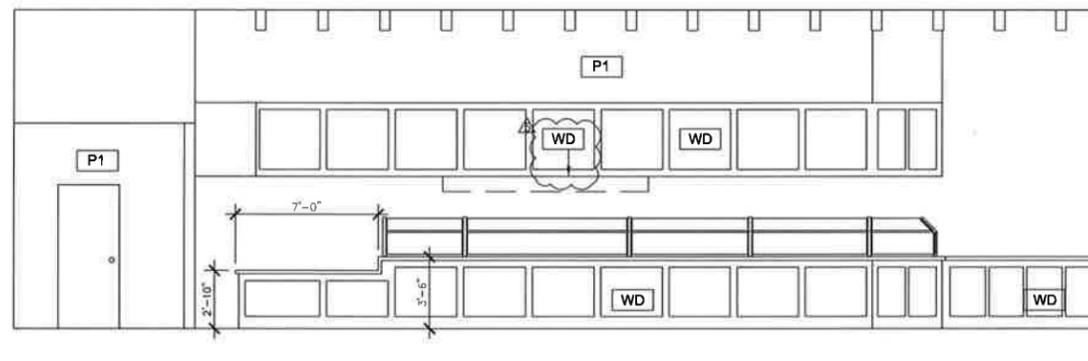
ELEVATION - E



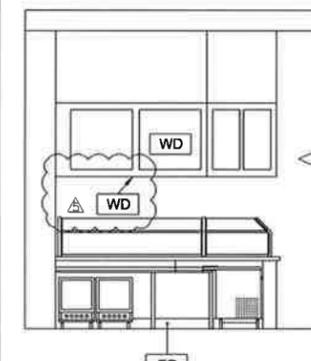
ELEVATION - F



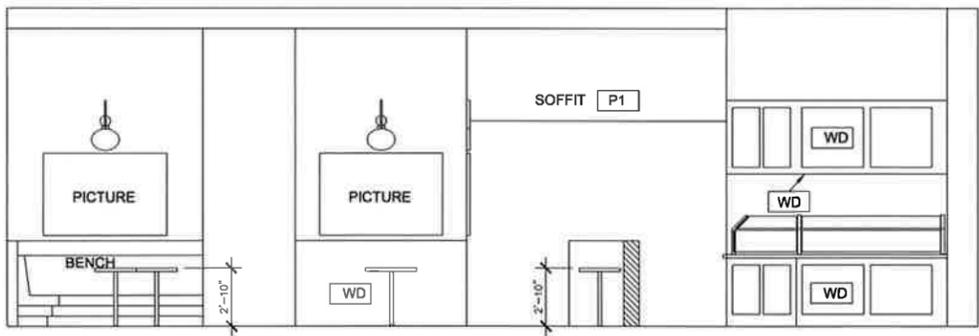
ELEVATION - B



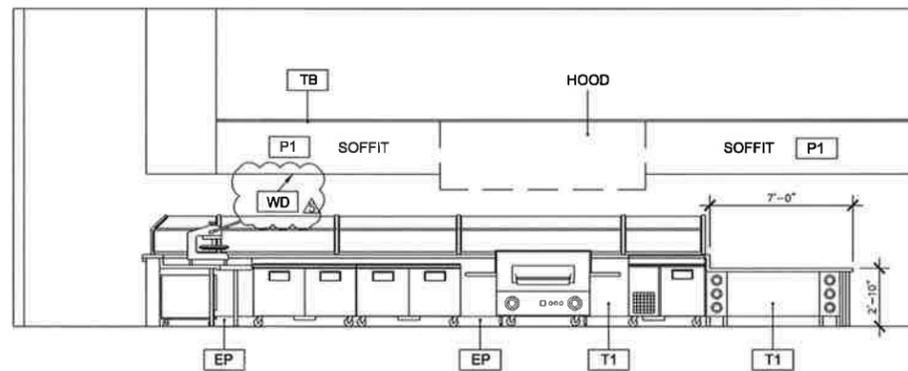
ELEVATION - G



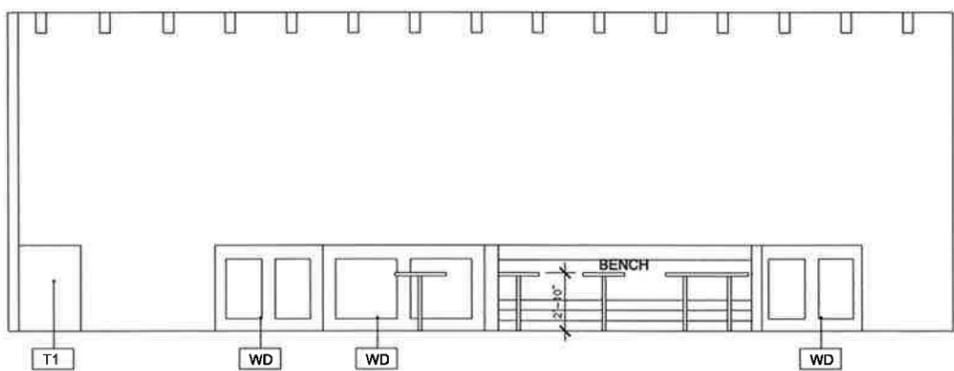
ELEVATION - H



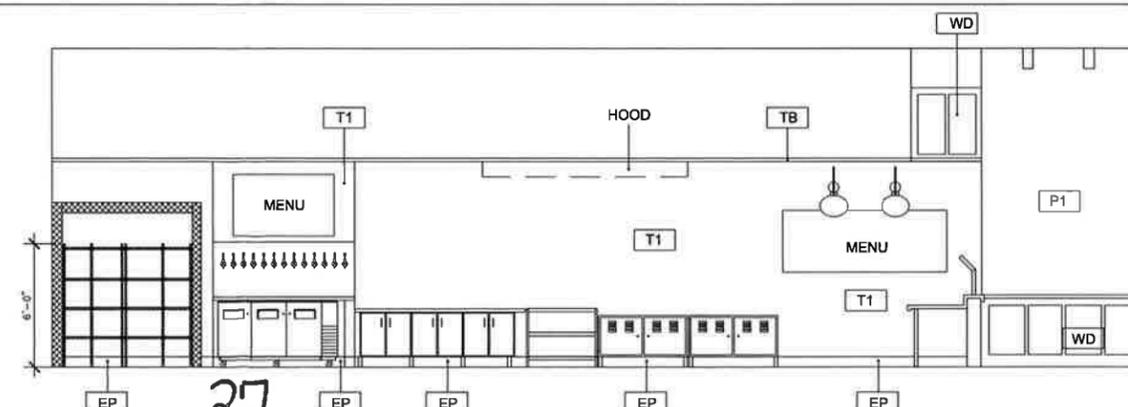
ELEVATION - C



ELEVATION - I



ELEVATION - D



ELEVATION - J

JVN CONSTRUCTION
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 PICO RIVERA, CA 90660
 JOHN LAU / CA LIC. #856932 / 626-363-6819



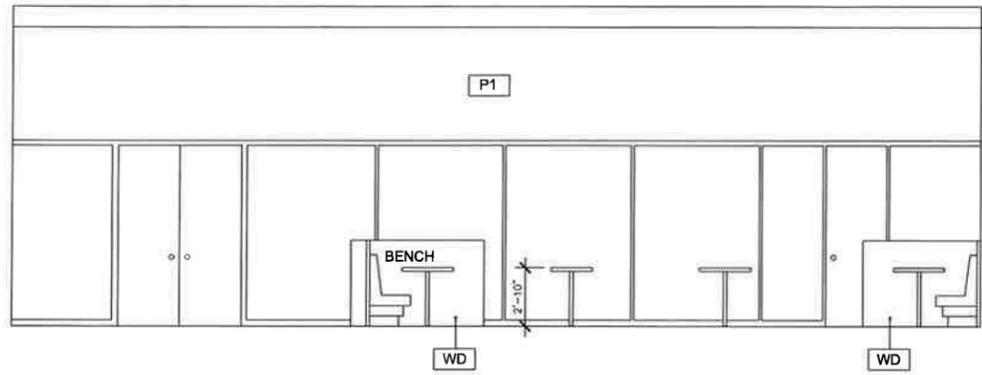
CONTRACTOR INFO
 BUILD. COR. 2/15/16
 BUILD. COR. 2/29/16
 HEALTH 3/7/16

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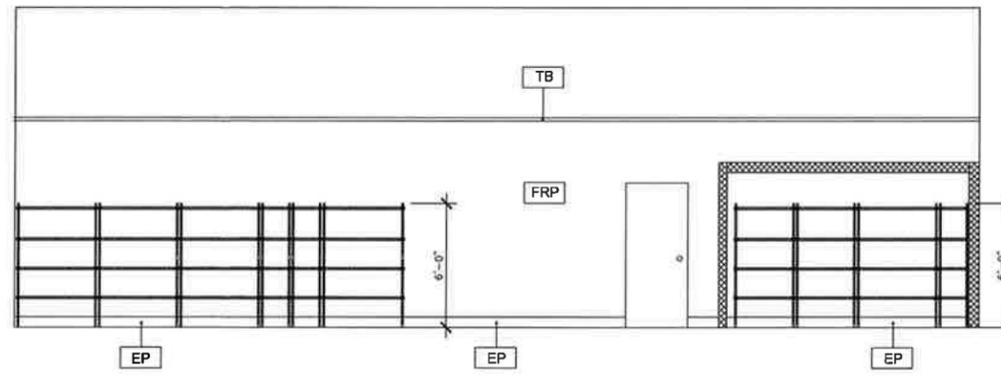
PROJECT
 SHEET NO.
 INTERIOR ELEVATIONS

DATE: 01/16/2017
 DRAWN BY: J. LAU
 CHECKED BY: K. YELING
 DATE: 01-18-15
 SCALE: N.T.S.

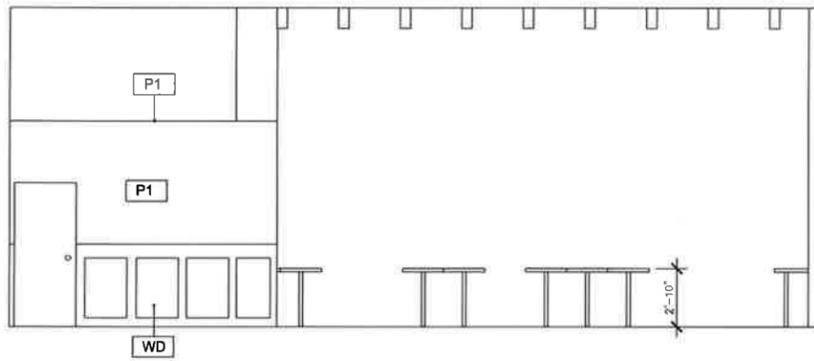
SHEET #
A-5



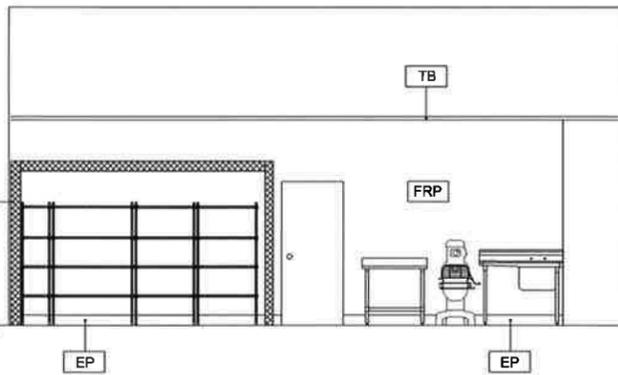
ELEVATION - K



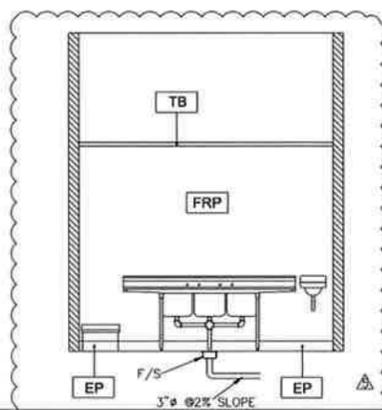
ELEVATION - P



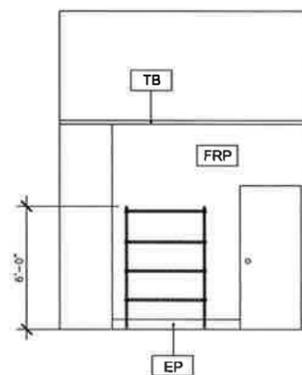
ELEVATION - L



ELEVATION - M



ELEVATION - N



ELEVATION - O

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 JOHN LAU / CA LIC. #856932 / 626-383-6819



CONTRACTOR INFO

BUILD. COR. 2/15/16

HEALTH 3/7/16

THE PIZZA PRESS.
 901 South Coast Dr #120C,
 COSTA MESA CA 92626

PROJECT

SHEET SIZE

INTERIOR ELEVATIONS

PROJECT #	0216-001
DESIGNED BY	J. LAU
CHECKED BY	K. YEUNG
DATE	01-18-15
SCALE	N.T.S.

A-6