



# CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

March 22, 2012

John L. King  
15 Corporate Plaza, Suite 250  
Newport Beach, CA 92660

**RE: ZONING APPLICATION ZA-12-07  
MINOR CONDITIONAL USE PERMIT TO ALLOW SHARED PARKING FOR A  
PROPOSED PHYSICAL FITNESS FACILITY (CROSS FIT) IN A 5,000 SQ. FT.  
TENANT SPACE  
3186 PULLMAN STREET, COSTA MESA**

Dear Mr. King:

Staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5 p.m. on March 29, 2012, unless appealed by an affected party including filing of the necessary application and payment of the appropriate fee or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Mel Lee, at (714) 754-5611, or at [mel.lee@costamesaca.gov](mailto:mel.lee@costamesaca.gov).

Sincerely,

WILLA BOUWENS-KILLEEN, AICP  
Zoning Administrator

Attachments:      Project Description  
                         Findings  
                         Conditions of Approval, Code Requirements, and Special District  
                         Requirements  
                         Approved Conceptual Plans

cc:      Engineering  
         Fire Protection Analyst  
         Building Safety Division

Sierra Nevada Investment Group, LLC  
404 Patricia Way  
Arcadia, CA 91006

## **PROJECT DESCRIPTION**

- The property is located on the west side of Pullman Street and contains a one-story, 38,910 square-foot industrial building originally constructed in the late 1970's. The property is zoned MP (Industrial Park) and has a General Plan land use designation of Industrial Park. The entire building is currently vacant.
- The property owner is subdividing the interior of the building to provide multiple tenant uses. Another application, ZA-12-08 proposes to use 16,860 square feet of the building for church purposes.
- This application is to use 5,000 square-foot of the building for a physical fitness facility (Cross Fit). The proposed use consists of the following:
  - An approximately 2,700 square-foot central work out area, restrooms, offices, men's and women's locker rooms, and a kitchen and storage room.
  - Proposed hours of operation:
    - Group Classes (1 instructor and 15 students maximum):
      - Monday through Friday, 6:00 am – 8:00 am; and 6:00 pm – 8:00 pm.
      - Saturday, 9:00 am – 11:00 am.
      - Sunday, closed.
    - Private Classes (1 instructor and 2 students maximum):
      - Monday through Friday, 9:00 am - 5:00 pm.
      - Private classes are by appointment only and scheduled throughout the day; however, they will not be scheduled during the times group classes are taking place. No more than two private classes would occur at the same time.
- Approximately 117 on-site parking spaces are provided for the entire building, which complies with the parking requirements for industrial uses per code. For the proposed use, code requires 51 on-site parking spaces; 15 on-site parking spaces are provided for this use per the previously mentioned industrial parking requirements per code. As a result, the applicant is requesting approval of a minor conditional use permit to deviate from shared parking requirements.
- Staff does not anticipate any parking impacts because a maximum of 16 people will be in the space at any one time as related to the group classes, and the group classes will be offset from the regular business hours (8:00 am – 5:00 pm), with 15 on-site parking spaces allocated to the suite. Additionally, if parking shortages or other parking-related problems arise, the business operator shall institute whatever operational measures necessary to minimize or eliminate the problem, including, but not limited to reducing the number of group classes.
- The use, as conditioned, is consistent with the Zoning Code and the City's General Plan because, with the proposed conditions, the proposed use should not adversely impact surrounding uses.

## **FINDINGS**

- A. The information presented complies with Costa Mesa Municipal Code Section 13-

29(g)(2) in that the proposed use is compatible with developments in the same general area. Granting the minor conditional use permit will not be detrimental to the health, safety and general welfare of the public or other properties or improvements within the immediate vicinity. Granting the minor conditional use permit will not allow a use, density or intensity, that is not in accordance with the general plan designation for the property. Specifically, private classes (1 instructor and 2 students maximum) are by appointment only and scheduled throughout the day; however, they will not be scheduled during the times group classes are taking place. No more than two private classes would occur at the same time. For group classes, a maximum of 16 people will be in the space at any one time (1 instructor and 15 students maximum). The group classes will be offset from the regular business hours (8:00 am – 5:00 pm), with 15 on-site parking spaces allocated to the suite. Additionally, if parking shortages or other parking-related problems arise, the business operator shall institute whatever operational measures necessary to minimize or eliminate the problem, including, but not limited to reducing the number of group classes.

- B. The proposed project complies with Costa Mesa Municipal Code Section 13-29 (e) because:
1. The proposed use is compatible and harmonious with uses both on-site as well as those on surrounding properties.
  2. Safety and compatibility of the design of the buildings, and other site features including functional aspects of the site development such as automobile and pedestrian circulation have been considered.
  3. The use is consistent with the General Plan designation because the project will not exceed the allowable General Plan intensity for the site.
- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15301, Class 1, Existing Facilities, of the CEQA Guidelines.
- D. The project, as conditioned, is consistent with Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code in that the development project's traffic impacts will be mitigated by the payment of traffic impact fees.

### **CONDITIONS OF APPROVAL**

- P1ng. 1. The use shall be limited to the type of operation as described in the staff report and the attached applicant's description letter. The business operation shall be limited to the following:
- Group Classes (1 instructor and 15 students maximum):
- Monday through Friday, 6:00 am – 8:00 am; and 6:00 pm – 8:00 pm.
  - Saturday, 9:00 am – 11:00 am.

- Sunday, closed.

Private Classes (1 instructor and 2 students maximum):

- Monday through Friday, 9:00 am- 5:00 pm.

Private classes shall be by appointment only. They shall not be scheduled during the times group classes are taking place. No more than two private classes shall occur at the same time.

2. If parking shortages or other parking-related problems arise, the business operator shall institute whatever operational measures necessary to minimize or eliminate the problem, including, but not limited to reducing the number of or eliminating scheduled group classes.
3. The use shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The applicant and/or business owner shall institute whatever security and operational measures are necessary to comply with this requirement.
4. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to commencement of the business. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.

### **CODE REQUIREMENTS**

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. Approval of the zoning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) obtains building permits for the authorized construction and initiates construction; and/or 2) obtains a business license and/or legally establishes the business. If the applicant is unable to establish the use/obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the zoning application.
  2. Permits shall be obtained for all signs according to the provisions of the Costa Mesa Sign Ordinance.
  3. Use shall comply with all requirements of Articles 3 and 9, Chapter V, Title 13 of the Costa Mesa Municipal Code relating to commercial development standards.
  4. Parking stalls shall be double-striped in accordance with City standards.
  5. Street address shall be visible from the public street and shall be displayed on the freestanding sign. If there is no freestanding sign, the street address may be displayed on the fascia adjacent to the main entrance or on another prominent location. When the property has alley

access, address numerals shall be displayed in a prominent location visible from the alley. Numerals shall be a minimum twelve (12) inches in height with not less than three-fourth-inch stroke and shall contrast sharply with the background. Identification of individual units shall be provided adjacent to the unit entrances. Letters or numerals shall be four (4) inches in height with not less than one-fourth-inch stroke and shall contrast sharply with the background.

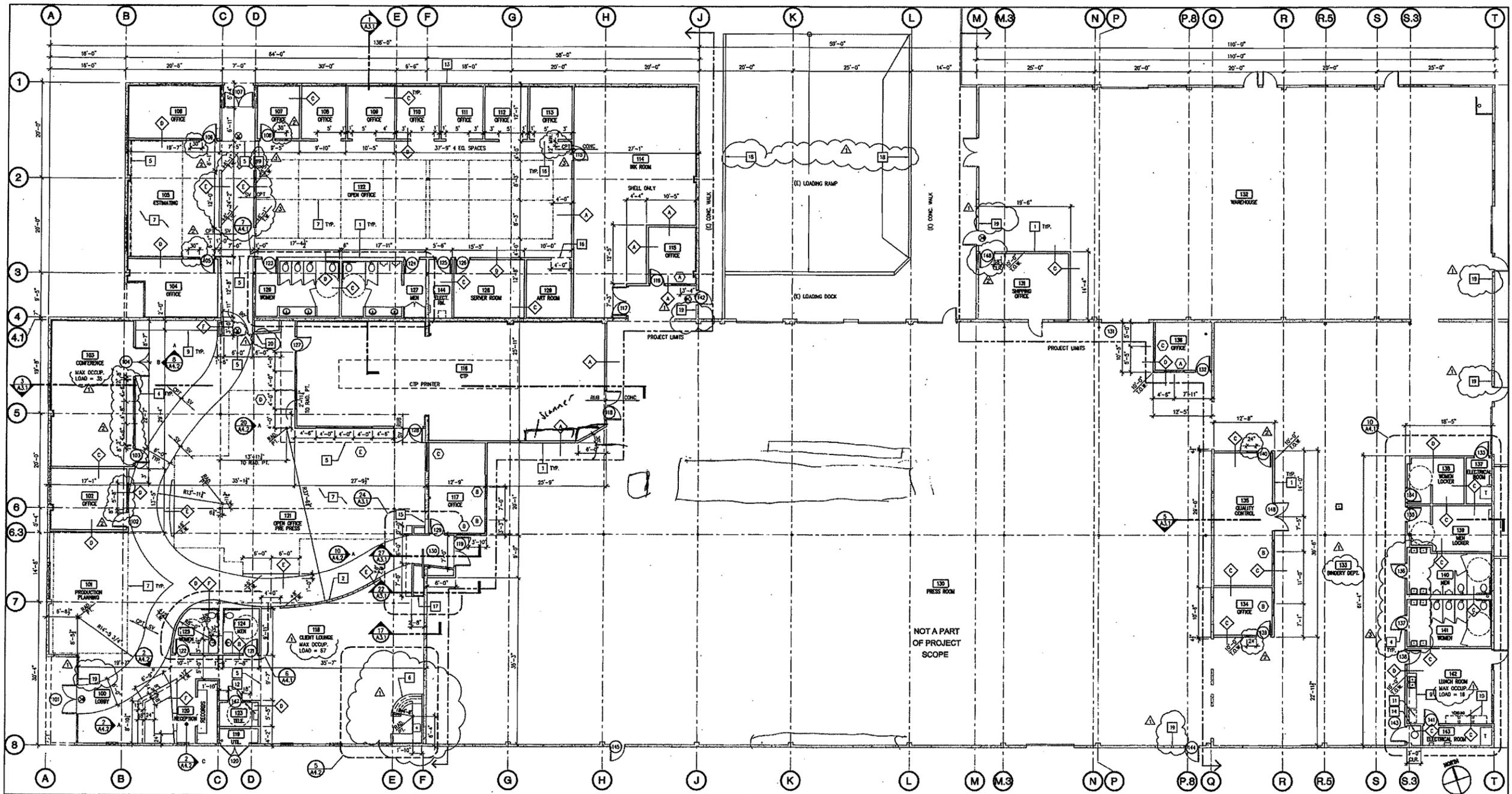
- Bldg. 6. Comply with the requirements of the 2010 California Building Code, 2010 California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards Code and 2010 California Energy Code (or the applicable adopted California Building Code, California Residential Code California Electrical Code, California Mechanical Code California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
7. Submit a soils report for the project. Soils report recommendations shall be blueprinted on both the architectural and grading plans.
- Bus. Lic. 8. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
9. Business license(s) shall be obtained prior to the initiation of the business.
- Eng. 10. For demolition, grading, or building permits involving projects with a valuation of \$10,000 or more, the contractor shall use a City-permitted hauler(s) to haul any debris or solid waste from the job site (refer to Section 8-83(h), Regulations, of Title 8 of the Costa Mesa Municipal Code). Use of a City-permitted hauler for such projects is the responsibility of the designated contractor. Non-compliance is subject to an administrative penalty as follows: \$1,000 or 3% of the total project value, whichever is greater.
- Trans. 11. Fulfill mitigation of off-site traffic impacts at the time of building occupancy by submitting the required traffic impact fee pursuant to the prevailing schedule of charges adopted by the City Council. The traffic impact fee is calculated based upon the average daily trip generation rate of 63 net trip ends for the proposed use and includes credits for existing uses. At the current rate per trip end, the traffic impact fee is estimated at \$11,403.00. NOTE: The Traffic Impact Fee will be recalculated at the time of issuance of building permit/occupancy of the building based upon any changes in the prevailing schedule of charges adopted by the City Council and in effect at that time.

### **SPECIAL DISTRICT REQUIREMENTS**

The requirement of the following special districts are hereby forwarded to the applicant:

- Sani. 1. It is recommended that the applicant contact the Costa Mesa Sanitary District at 949.645.8400 for current district requirements.
- AQMD 4. Applicant shall contact the Air Quality Management District at 800.288.7664 for potential additional conditions of development or for additional permits required by the district.





FLOOR PLAN 1/8"=1'-0" 4

- (C) TILT-UP CONCRETE PANEL
  - (E) STUD WALL
  - FLOOR OUT W/ 2 1/2" METAL STUDS W/ ONE LAYER 5/8" GYP. BD. & 2" THERMAL BATT INSULATION-SEE 6/A9.1
  - (H) METAL STUD @ PARTITION 5/8" GYP. BD. E.A. SIDE - SEE 20/A9.1 FOR MET. STUD SIZE AND SPACING
- WALL TYPE
  - N.R. FULL HEIGHT SEE 20/A9.1
  - N.R. WALL SEE 20/A9.1
  - N.R. WALL SEE 1/A9.2
  - N.R. WALL SEE 4/A9.2
  - N.R. WALL SEE 5/A9.2
  - N.R. DBL. WALL PARTITION SEE 10/A9.2
  - EXIT SIGN - SHADED SEGMENT REPRESENTS SIGN FACE

18 EXISTING 42" HIGH CONC. GAUFRAM.

19 PROVIDE TACTILE EXIT SIGN WITH THE WORD "EXIT" COMPLY WITH REQUIREMENTS OF CBC 1117B.5.1-B. SEE 19/A9.3 NOTES 15, 16, 17

20 PROVIDE TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE" COMPLY WITH REQUIREMENTS OF CBC 1117B.5.1-B. SEE 19/A9.3 NOTES 15, 16, 17

- 9 CABINETS - SEE INT. ELEV.
- 10 VENDING MACHINES - N.I.C.
- 11 REFRIGERATOR - N.I.C.
- 12 HANDICAP PHONE COUNTER +34"
- 13 INFILL (E) DOOR OPENING WITH METAL STUD & SMOOTH PLASTER EXTERIOR. PART TO MATCH (E) CONC. PANEL.
- 14 WATER HEATER
- 15 INFILL (E) OPENING W/ METAL STUD & GYP. BD.
- 16 CASED OPENING
- 17 22" BLIND ACCESS PANEL
- 1 NEW WALL
- 2 6'-0" TRANSLUCENT PANEL WALL - (3) A9.1/A9.2
- 3 6'-0" PARTITION W/ SOFFIT - SEE INT. ELEV.
- 4 NEW DOOR
- 5 LINE OF SOFFIT - SEE REP
- 6 BAR COUNTER - SEE INT. ELEV.
- 7 WORKSTATIONS +5'-10" MAX.
- 8 FURNITURE

LEGEND

KEY NOTES

**COLORGRAPHICS ORANGE COUNTY HEADQUARTERS FACILITY**  
 3186 PULLMAN STREET  
 COSTA MESA, CALIFORNIA

**JACOBSON ASSOCIATES**  
 ARCHITECTURE PLANNING  
 3111 Second Avenue, Suite 3  
 Corona del Mar, California 92625  
 949/759-8587 FAX 949/759-9381

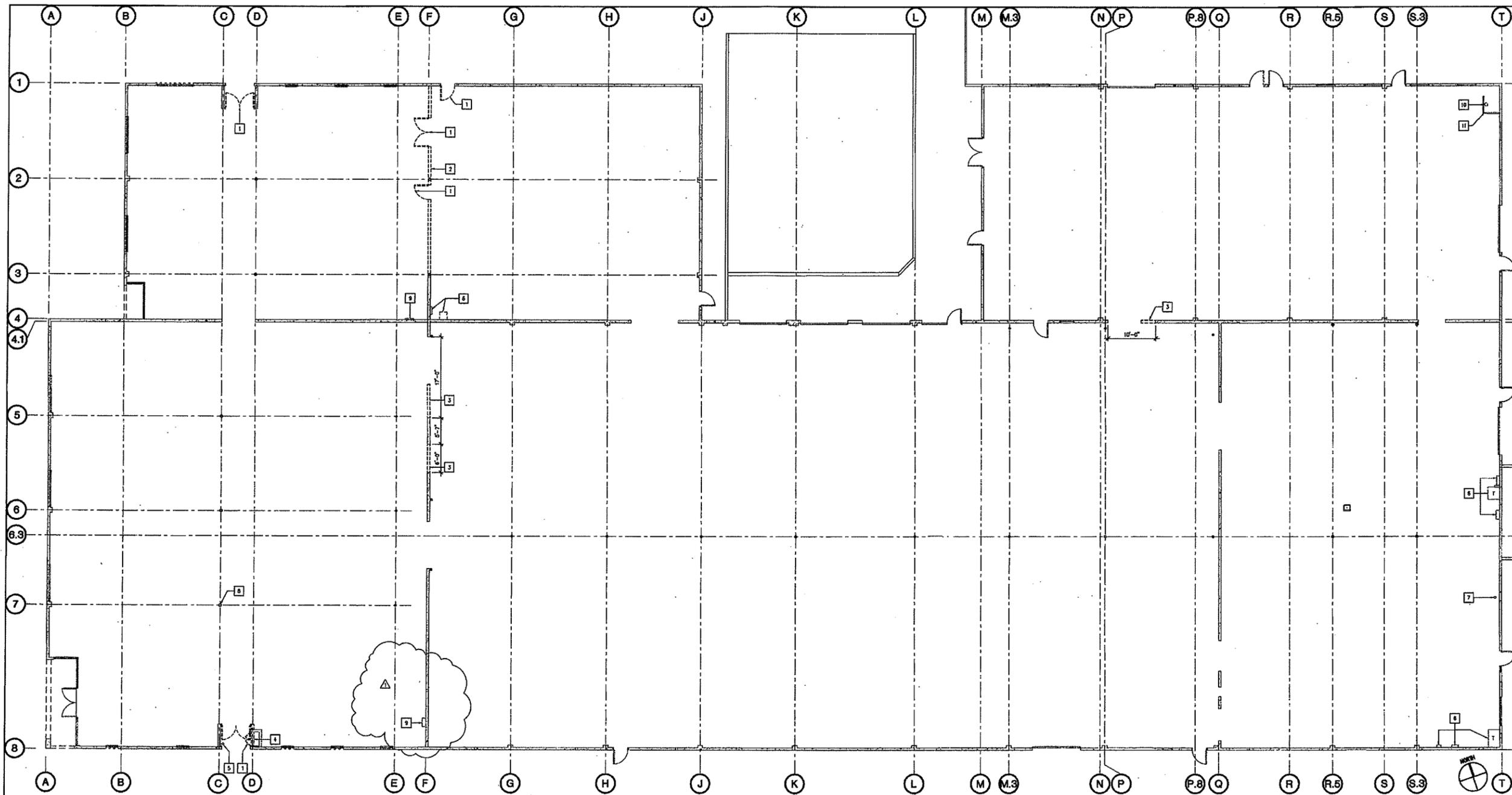
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REVISION	DESCRIPTION	DATE	REVISION	DESCRIPTION	DATE
1	PLAN CHECK CORRECTIONS	04/22/05			
2	VALUE ENGINEERING	05/05/05			
3	PLAN CHECK CORRECTIONS	05/05/05			

SHEET TITLE	
FLOOR PLAN	

JOB NAME: COLORGRAPHICS ORANGE COUNTY  
 JOB NO.: 04020  
 DATE: 03/15/05  
 DRAWN BY: CV  
 CHECKED BY: TJ  
 FILE NAME: 04020A21  
 SHEET NO.: **A2.1**



**DEMOLITION FLOOR PLAN** 1/8"=1'-0" **4**

- |   |   |
|---|---|
| 2 REMOVE (E) ELECTRICAL PANEL           | 1 REMOVE (E) DOOR   |
| 10 (E) FIRE SPRINKLER RISER TO REMAIN   | 2 REMOVE (E) NON LOAD BEARING WALL                          |
| 11 (E) 42" STEEL PIPE GAUPOST AND RAILS | 3 SAWCUT CONC. PANEL FOR NEW OR WIDER OPENING - SEE STRUCT. |
|   | 4 (E) GAS METER   |
|   | 5 (E) WATER SHUT OFF TO REMAIN                              |
|   | 8 (E) ELECT. PANEL OR TRANSFORMER TO REMAIN                 |
|   | 7 (E) GAS LINE TO REMAIN                                    |
|   | 9 (E) STRUCTURAL COLUMN TO REMAIN, TYP.                     |

**KEY NOTES**

**COLORGRAPHICS ORANGE COUNTY HEADQUARTERS FACILITY**  
 3186 PULLMAN STREET  
 COSTA MESA, CALIFORNIA

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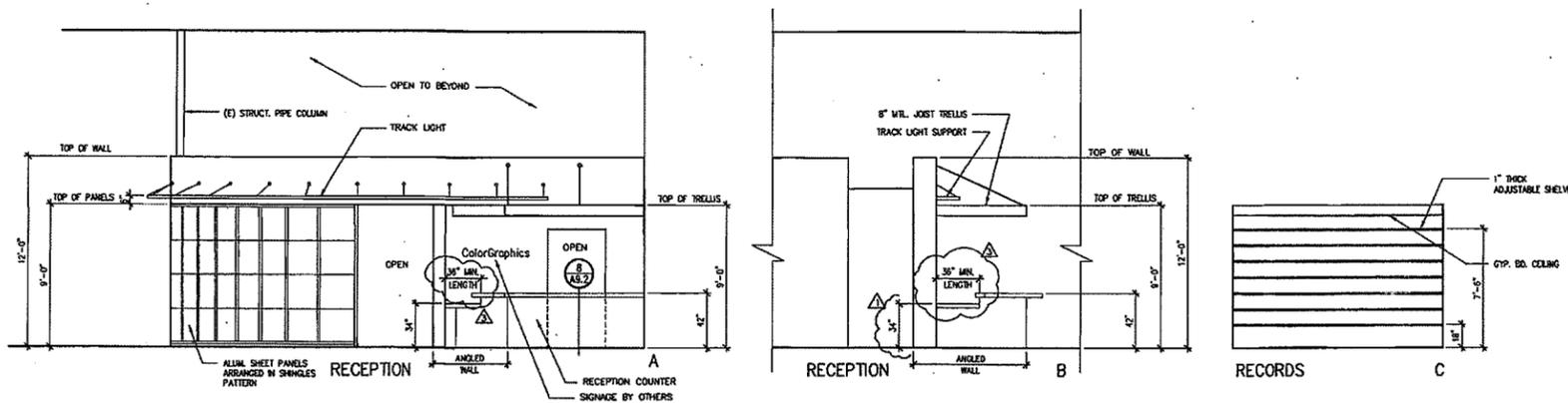
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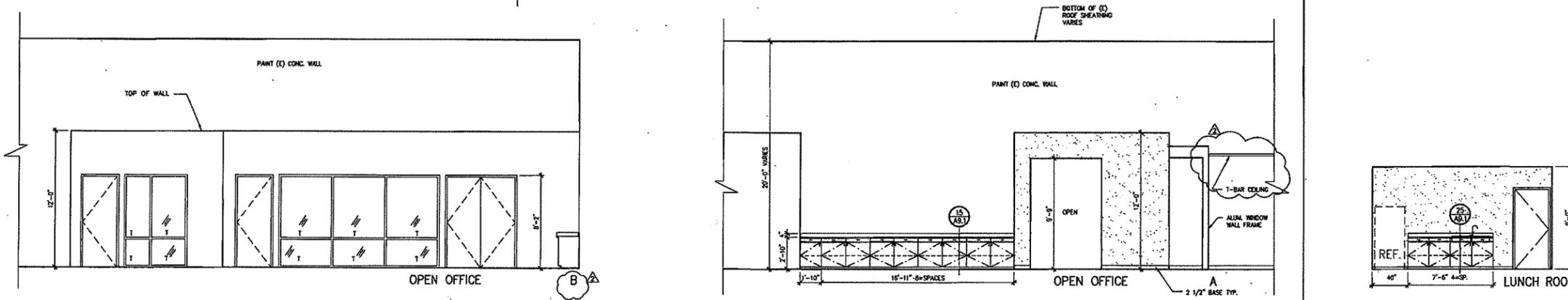
REVISION	DESCRIPTION	DATE	REVISION	DESCRIPTION	DATE
1	PLAN CHECK CORRECTIONS	04/22/05			
	VALUE ENGINEERING	05/15/05			
	PLAN CHECK CORRECTIONS	05/19/05			

SHEET TITLE:  
**DEMOLITION FLOOR PLAN**

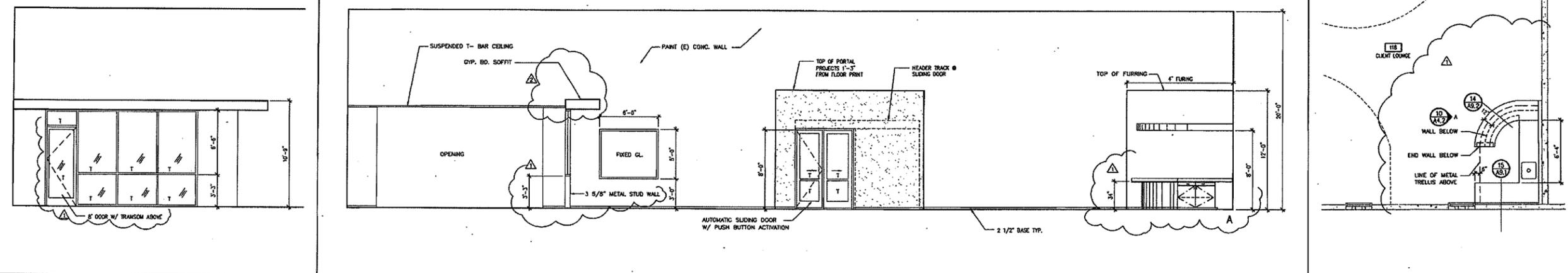
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 FILE NAME: 04020A21  
 SHEET NO.: **D2.1**



ELEVATIONS - RECEPTION 120 & RECORDS 1/4"=1'-0" 2



ELEVATIONS - OPEN OFFICE 121 1/4"=1'-0" 6 ELEV. - LUNCH RM. 142 1/4"=1'-0" 3



ELEVATION - CLIENT LOUNGE 118 1/4"=1'-0" 10 PLAN - CLIENT LOUNGE 118 1/4"=1'-0" 5

**CTP - 116** 1/4"=1'-0" 20

**COLORGRAPHICS ORANGE COUNTY HEADQUARTERS FACILITY**  
 3186 PULLMAN STREET  
 COSTA MESA, CALIFORNIA

**JACOBSON ASSOCIATES ARCHITECTURE PLANNING**

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 949/759-8587 FAX 949/759-5381

REVISION	DESCRIPTION	DATE	REVISION	DESCRIPTION	DATE
1	PLAN CHECK CORRECTIONS	04/22/05			
2	VALUE ENGINEERING	05/5/05			
3	PLAN CHECK CORRECTIONS	05/9/05			

**ENLARGE PLANS AND INTERIOR ELEVATIONS**

JOB NAME: COLORGRAPHICS ORANGE COUNTY  
 JOB NO.: 04020  
 DATE: 03/15/05  
 DRAWN BY: CV  
 CHECKED BY: TJ  
 FILE NAME: 0401444.2  
 SHEET NO.: **A4.2**

