



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

March 22, 2012

Mr. Steve Hagye
11 Poppyfield Lane
Las Flores, CA 92688

**RE: ZONING APPLICATION ZA-12-09
ADMINISTRATIVE ADJUSTMENT FOR A DECREASE IN STREET SIDE
SETBACK
2100 FEDERAL AVENUE, COSTA MESA**

Dear Mr. Hagye:

Review of the administrative adjustment for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, as modified, based on the findings and subject to the conditions of approval (attached). The decision will become final at 5 p.m. on March 29, 2012, unless appealed by an affected party (including filing of the necessary application and payment of the appropriate fee) or is called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Rebecca Robbins, at (714) 754-5609 or rebecca.robbins@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project description
 Findings
 Conditions of approval
 Approved conceptual plans

cc: Engineering
 Fire Protection Analyst
 Building Division

Janae Justice
2100 Federal Avenue
Costa Mesa, CA 92627

PROJECT DESCRIPTION

The property is located at 2100 Federal Avenue in a single-family residential neighborhood in the R1 zone. The immediate neighboring properties include one-story single-family residences to the south and east, across Federal Avenue to the west, and across Pine Place to the north.

The proposed project involves a request for an administrative adjustment to encroach into the required street side setback (six-foot setback proposed; 10-foot setback required) for a 456 square-foot living room addition.

ANALYSIS

ADMINISTRATIVE ADJUSTMENT

Staff supports a decrease in the required street side setback, as modified, under the following conditions:

- The street side setback is increased to seven feet (six feet proposed) to reduce the visual impact on Pine Place and to provide area for a landscape buffer (see below).
- The fence along Pine Place is to be relocated to create a three-foot street side setback from the property line and landscaped with a tree type (i.e. palm) that would be suitable for that limited area. This would leave a distance of four feet from the fence to the living room addition.
- The three-foot planter could start (notch) along the side elevation of the house, but is not required to extend the full length of the side yard.

Staff supports the encroachment, as modified to a seven-foot setback, based on the following:

- The property is a corner lot and the orientation of the existing residence on the property makes it difficult for an adequate sized addition to satisfy the property owner's needs yet, at the same time, comply with setback requirements.
- The proposed encroachment will be located along the street side of the subject property and next to the front setback area of the abutting property, thereby minimizing impacts to the abutting neighbor. In addition, the abutting neighbor nearest the area of the proposed addition (east side) submitted a letter in support of the request.
- The varying roof slopes on south side elevation (street side) create breaks in the building plane for visual interest.
- Staff's modification for the provision of a three-foot fence setback and three feet of landscaping along Pine Place (which would otherwise permit a fence along the property line with no setback), further enhances the view from the street.

ADDITIONAL DISCUSSION

A condition of approval is included requiring the fence along the front property line (Federal Avenue) be modified and/or relocated to meet Code requirements for walls and fences above 3 feet in height.

GENERAL PLAN CONFORMITY

The General Plan designation for the property is Low Density Residential, which allows a maximum density of one dwelling unit per 5,445 square-foot of lot area. The site contains one dwelling unit on a 7,061 square-foot lot and is therefore consistent with the lot's General Plan designation.

FINDINGS

1. The information presented substantially complies with Section 13-29(g)(1) of the Costa Mesa Municipal Code because:
 - a. Special circumstances applicable to the property exist to justify granting of the administrative adjustment for a seven-foot street side setback. Strict application of the zoning ordinance would deprive the property owner of privileges enjoyed by owners of other property in the vicinity under identical zoning classification. Specifically, the property is a corner lot and the orientation of the existing residence on the property makes it difficult for an adequate sized addition to satisfy the property owner's needs, yet at the same time, comply with setback requirements.
 - b. The deviation would not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which the property is situation.
 - c. Granting the administrative adjustment will not allow a use, density or intensity, which is not in accordance with the general plan designation for the property.
2. The proposed project complies with Costa Mesa Municipal Code Section 13-29(e) because:
 - a. The proposed encroachment into the required street side setback for a living room addition is compatible and harmonious with uses both on-site as well as those on surrounding properties. The encroachment will be located along the street side of the subject property and next to the front setback area of the abutting property, thereby minimizing impacts to the abutting neighbor. In addition, the abutting neighbor near the area of the proposed addition (east side) submitted a letter in support of the request.
 - b. Safety and compatibility of the design of the buildings, parking areas,

landscaping, and other site features including functional aspects of the site development such as automobile and pedestrian circulation have been considered. Staff's inclusion of the provision of a three-foot fence setback and three feet of landscaping along Pine Place (which would otherwise permit a fence along the property line with no setback), further enhances the view from the street.

- c. The proposed addition is consistent with both the General Plan and the Zoning designations because the proposed construction will not increase the number of dwelling unit on the property.
 - d. The zoning application is for a project-specific case and does not establish a precedent for future development.
3. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt from CEQA under Section 15301 for Existing Facilities.
 4. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CONDITIONS OF APPROVAL

- Plng.
1. The plans submitted for plan check shall be modified to provide: (1) a seven-foot street side setback to the living room addition; (2) the relocation of the fence along Pine Place to a three-foot street side setback from the property line for additional landscaped area; and (3) a tree (or trees) within the Pine Place setback landscape area with a type (i.e. palm) that would be suitable for that limited area.
 2. The fence along the front property line (Federal Avenue) shall be modified and/or relocated to meet Code requirements for walls and fences within two weeks of this approval (by April 5, 2012).
 3. The conditions of approval and Code provisions of Zoning Application ZA-12-09 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
 4. All new and existing construction shall be architecturally compatible with regards to building material, style, colors, etc. with the existing structure. Plans submitted for plan check shall indicate how this will be accomplished.
 5. Every effort shall be made to follow sustainable building (i.e., "green") practices in the construction of the residence.
 6. The applicant shall contact the Planning Division to arrange Planning inspection of the site prior to the Building Division's final inspections. This inspection is to confirm that the conditions of approval and Code requirements have been satisfied.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

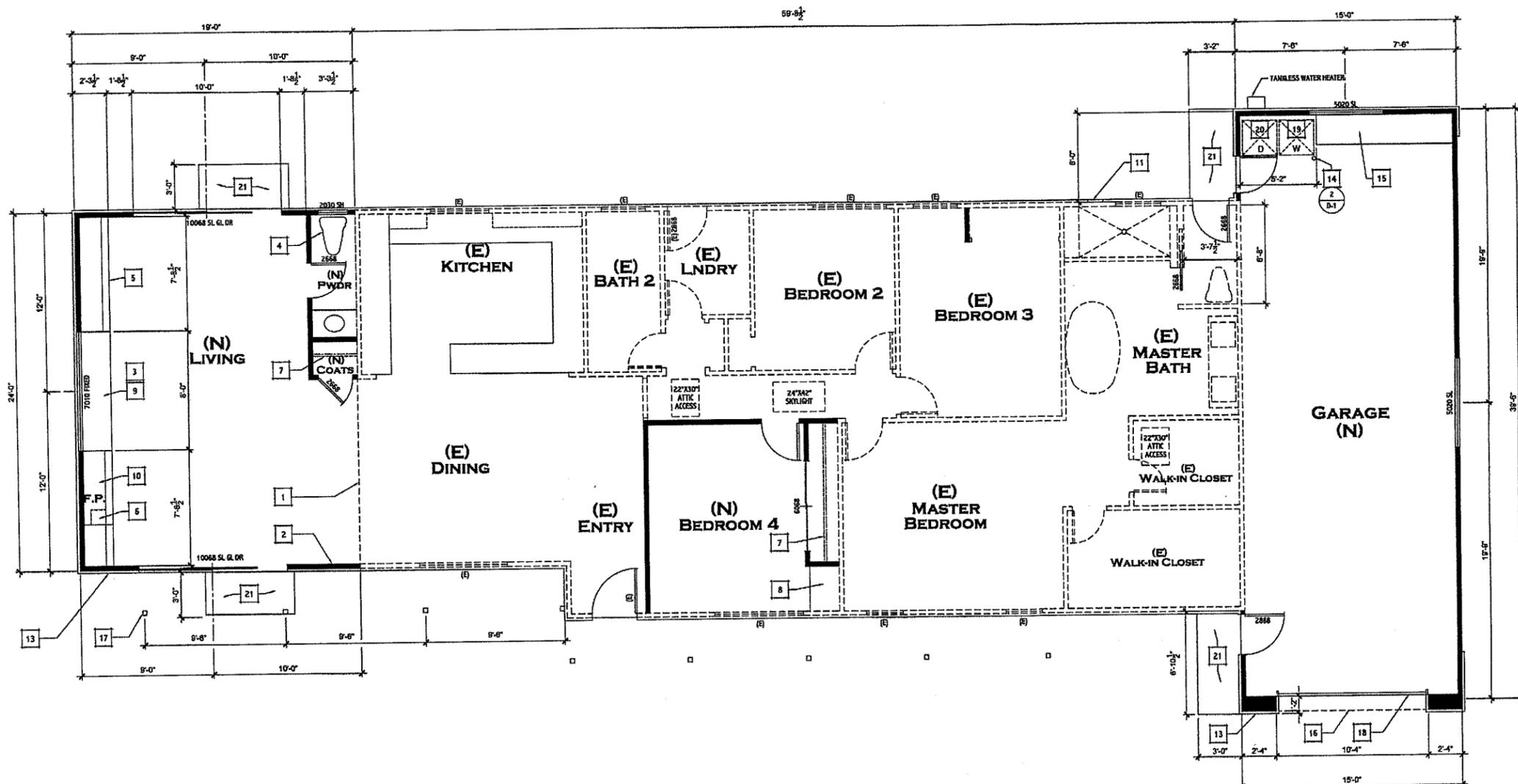
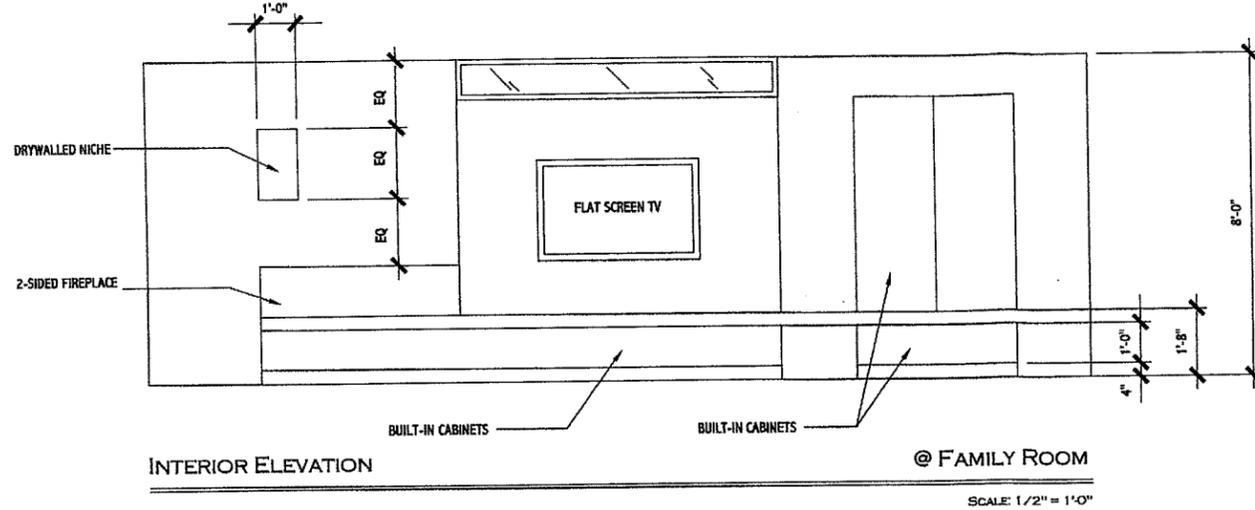
- | | |
|--------------|---|
| Plng. | <ol style="list-style-type: none"> 1. Approval of the planning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by obtaining building permits for the authorized construction and initiates construction. If the applicant is unable to obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the planning application. 2. Development shall comply with all requirements of Chapter 5, of Title 13, of the Costa Mesa Municipal Code relating to development standards for residential projects. 3. Street addresses shall be displayed in a manner visible to the street. Street address numerals shall be a minimum 6 inches in height with not less than ½-inch stroke and shall contrast sharply with the background. 4. Any new mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division. All roof-mounted equipment is prohibited. 5. All construction-related activity shall be limited to between the hours of 7 a.m. and 7 p.m., Monday through Friday, and 9 a.m. to 6 p.m. Saturday. Construction is prohibited on Sundays and federal holidays. Exceptions may be made for activities that will not generate noise audible from off-site, such as painting and other quiet interior work. |
| Bus.
Lic. | <ol style="list-style-type: none"> 6. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy, and utility releases will not be granted until all such licenses have been obtained. |
| Bldg. | <ol style="list-style-type: none"> 7. Comply with the requirements of the 2010 California Building Code, 2010 California Electrical Code, 2010 California Mechanical Code, 2010 California Plumbing Code, and 2010 California Energy Code (or the applicable adopted California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. |
| Eng. | <ol style="list-style-type: none"> 8. A Construction Access Permit and deposit will be required by City of Costa Mesa, Engineering Division prior to start of any on-site work, necessary during construction for street sweeping and to guarantee replacement costs in case of damage to existing public improvements. 9. For demolition, grading, or building permits involving projects with a valuation of \$10,000 or more, the contractor shall use a City-permitted hauler(s) to haul any debris or solid waste from the job site (refer to Section 8-83(h), Regulations, of Title 8 of the Costa Mesa Municipal |

Code). Use of a City-permitted hauler for such projects is the responsibility of the designated contractor. Non-compliance is subject to an administrative penalty as follows: \$1,000 or 3% of the total project value, whichever is greater.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- Sani. 1. It is recommended that the developer contact the Costa Mesa Sanitary District at (949) 645-8400 for current district requirements.
- AQMD 2. Applicant shall contact the Air Quality Management District (800) 288 7664 for potential additional conditions of development or for additional permits required by the district.
- State 3. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation.



FLOOR PLAN

■ NEW WALL - - - - - EXISTING WALLS

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- THE OWNER/BUILDER IS SOLELY RESPONSIBLE FOR SELECTION OF ALL INTERIOR FIXTURES, APPLIANCES AND THEIR INSTALLERS. IT IS EXCLUSIVELY THE OWNER/BUILDER'S RESPONSIBILITY TO VERIFY, APPROVE AND SUPERVISE THE INSTALLATION OF ALL INTERIOR FIXTURES AND APPLIANCES PER MANUFACTURER'S SPECIFICATIONS, CALIF. BLDG. CODE AND LOCAL CODES.
1. LINE OF EXISTING WALL.
 2. ■■■■■ INDICATES NEW WALL CONSTRUCTION.
 3. 18" HIGH CABINET.
 4. TOILET: 30" CLEAR WIDTH MINIMUM.
 5. BUILT-IN CABINET.
 6. DRYWALL NICHE.
 7. SHELF AND POLE.
 8. 32" HIGH DESK.
 9. CONCRETE COUNTER TOP.
 10. 2-SIDED CORNER GAS FIREPLACE BY: ORIAL, MODEL # 150. ANSI REPORT # Z21-88-2009, ANSI Z441-89, CSA # 2.33-2009.
 11. TANKLESS WATER HEATER BY: MORITZ, MODEL # N-075W.
 12. EXISTING ELECTRICAL PANEL.
 13. SIMULATED STONE VENEER-SEE EXTERIOR ELEVATIONS.
 14. 3" DIA. PIPE COLLUM, CONCRETE FILLED, AT +36" ABOVE SLAB. EMBED 24" INTO FTG.
 15. WORK BENCH WITH CABINETS BELOW.
 16. STUCCO SOFFIT.
 17. 4X4 POST.
 18. 18' x 8' ROLL-UP GARAGE DOOR.
 19. WASHER SPACE.
 20. DRYER SPACE.
 21. CONCRETE STUOP.

GENERAL PLAN NOTES:

- THE OWNER/BUILDER HAS SELECTED STERLING ENGINEERING AS THE STRUCTURAL ENGINEER OF RECORD. REFER TO THEIR DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL ITEMS. INSTALLATION SHALL BE PER THE 2010 C.B.C. UNDER THE SUPERVISION OF THE OWNER.
- THE OWNER/BUILDER HAS ELECTED TO BE SOLELY RESPONSIBLE FOR THE SELECTION OF ALL ROOFING, FLASHING, WEATHERPROOFING AND THEIR INSTALLERS. IT IS EXCLUSIVELY THE OWNER/BUILDER'S RESPONSIBILITY TO VERIFY, APPROVE AND SUPERVISE INSTALLATION OF ALL ROOFING, FLASHING, AND WEATHERPROOFING PER MANUFACTURER'S SPECIFICATIONS, C.B.C. AND LOCAL CODES.
1. (EGRESS) THE OWNER/BUILDER'S SELECTED WINDOW MANUFACTURER SHALL PROVIDE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NO MORE THAN 44" ABOVE THE FLOOR, U.B.C. SEC. 310.4.
 2. WATER CLOSETS SHALL BE CERTIFIED TO USE A MAXIMUM OF 1.28 GALLONS PER FLUSH.
 3. SHOWER HEADS SHALL BE CERTIFIED TO USE A MAXIMUM OF 2.5 GALLONS PER MINUTE.
 4. GLAZING WITHIN 24" OF DOOR, GLAZING WITHIN 18" OF FLOOR, GLAZING IN SHOWER OR BATH/TUB DOOR AND ENCLOSURES, SHALL BE TEMPERED CRC R308.1-4.
 5. SINK FAUCETS TO USE A MAXIMUM OF 2.2 GALLONS PER MINUTE.
 6. LAVATORY FAUCETS TO USE A MAXIMUM OF 2.2 GALLONS PER MINUTE.
 7. ALL SHOWER AND TUB/SHOWER CONTROL VALVES SHALL BE EITHER A PRESSURE BALANCE OR A THERMOSTATIC MIXING VALVE.
 8. CAULK ALL JOINTS WHERE PLUMBING FIXTURES CONTACT WALLS OR FLOORS.
 9. BATH/TUB DRAINS SHALL BE PROVIDED WITH NON-SLIP-JOINT TRAP.
 10. ALL AIR DUCTS PENETRATING SEPARATION WALLS OR CEILINGS BETWEEN GARAGE AND LIVING AREA TO BE 28 GA. MIN. PER CRC R302.5.2.
 11. WINDOWS IN ROOMS OR FRAMED OPENINGS SHALL BE CENTERED, UNLESS DIMENSIONED OTHERWISE.

WINDOW LEGEND

NOTE: ALL NEW WINDOWS TO BE VINYL. ALL NEW WINDOWS TO BE DUAL PANE.

FG	FIXED GLASS	M/O	MULLED OVER	AT	ARCH TOP
GB	GLASS BLOCK	O/	OVER	ET	ECLIPSE TOP
SH	SINGLE HUNG	RS	ROLLER SHADE	HR	HALF ROUND
SL	SLIDER	TC	TEMPERED GLASS	RND	ROUND
CS	CASEMENT	XX	SLIDER/FIXED/SLIDER	OV	OVAL

DOOR NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE, 1 3/8" THK. U.N.O.
2. ALL EXTERIOR DOORS TO BE SOLID CORE, 1 3/4" THK. U.N.O.
3. "SGD/TC" INDICATES: SLIDING GLASS DOOR, TEMPERED GLASS.
4. "FR/TC" INDICATES: FRENCH DOOR, TEMPERED GLASS.

NOTE: THE BUILDER IS SOLELY RESPONSIBLE FOR THE SELECTION OF ALL DOORS, WINDOWS AND THEIR INSTALLERS. IT IS EXCLUSIVELY THE BUILDER'S RESPONSIBILITY TO VERIFY.

EXISTING HOUSE	1,594 S.F.
HOUSE ADDITION	456 S.F.
TOTAL	2,050 S.F.
EXISTING GARAGE(DEMO)	270 S.F.
NEW GARAGE	520 S.F.

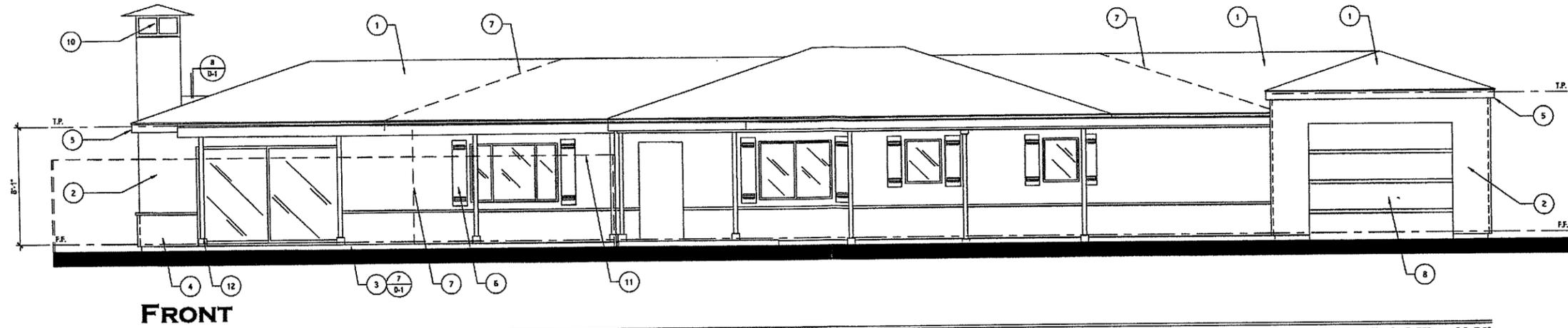
S7 RESIDENTIAL DESIGN
 11 POPPYFIELD LANE
 LAS FLORES, CA 92688

MUZZY/JUSTICE RESIDENCE
 2100 FEDERAL WAY
 COSTA MESA, CA

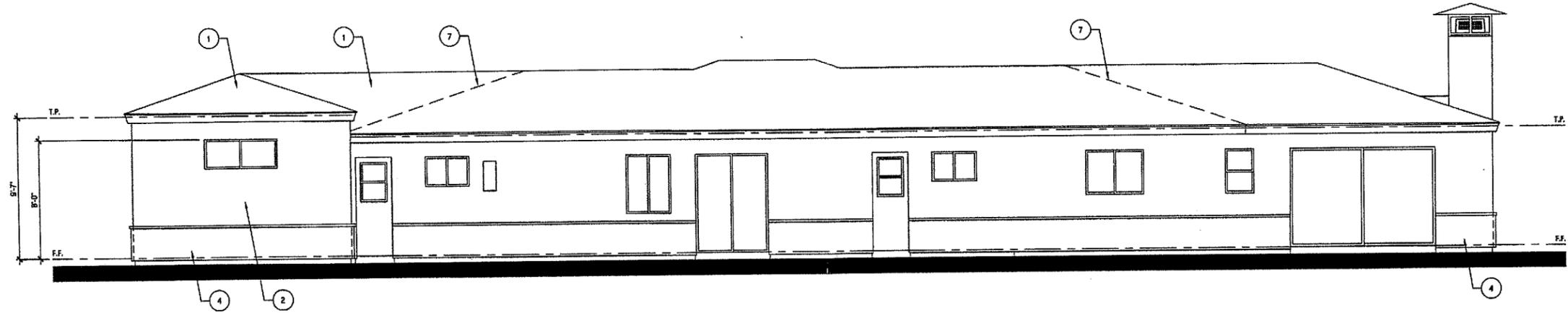
NO.	REVISION	DATE

SHEET DESCRIPTION
FLOOR PLAN

PLOT DATE	1-12-12
JOB NO.	
DRAWN BY	
SHEET	1



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

NOTE:

- c91.24.1 MIN NAILING SHALL COMPLY WITH THE FOLLOWING:
- c92.24.1.1 11 GA CORROSION-RESIS. 3/4" INTO SHEATHING PER TABLE #15
- c93.24.1.2 THE HEADS OF ALL TILES SHALL BE NAILED.
- c95.24.1.4 ALL RAKE TILES SHALL BE NAILED WITH TWO NAILS
- c96.24.1.5 THE NOSES OF ALL RIDGE, HIP AND RAKE TILES SHALL BE SET IN A BEAD OF APPROVED ROOFERS MASTIC.

INSULATION:

- ROOF R-19 BATT INSULATION
- WALLS R-13 BATT INSULATION
- UNDER FLOOR R-19 BATT INSULATION

ELEVATION NOTES

THE OWNER/BUILDER IS SOLELY RESPONSIBLE FOR ALL EXTERIOR MATERIALS AND THEIR INSTALLERS. IT IS EXCLUSIVELY THE OWNER/BUILDER'S RESPONSIBILITY TO VERIFY, APPROVE AND SUPERVISE INSTALLATION OF ALL EXTERIOR MATERIALS PER MANUFACTURER'S SPECIFICATIONS, C.B.C. AND LOCAL CODES.

1. 1/2" OSB SHEATHING & NEW GLASS "A" COMPO SHINGLE TO MATCH.
2. EXTERIOR STUCCO OVER LATH AND BUILDING PAPER. INSTALL PER C.B.C. SECTIONS 1402 AND 2507 AND 2508.
3. GALVANIZED METAL WEEP SCREED.
4. SYNTHETIC STONE TO MATCH EXISTING. INSTALL PER WHF'S SPECIFICATIONS.
5. 2 x EAVE TO MATCH EXISTING.(SEE FRAMING PLAN)
6. DECORATIVE WOOD SHUTTERS TO MATCH EXISTING.
7. LINE OF EXISTING HOUSE.
8. 10'-0" x 8'-0" CUSTOM ROLL-UP GARAGE DOOR.
9. CONCRETE PORCH/STOOD/PATIO.
10. MANUFACTURER APPROVED GALVANIZED METAL TERMINATION CAP WITH I.C.B.O. APPROVED SPARK ARRESTOR.
11. LINE OF EXISTING WOOD FENCE.
12. 4X4 POST TO MATCH EXISTING.

NOTE: ALL EXPOSED WOOD TRIM, BEAMS, POSTS, ETC. TO MATCH EXISTING.

S7 RESIDENTIAL DESIGN
 11 POPPYFIELD LANE
 LAS FLORES, CA 92688

MUZZY/JUSTICE RESIDENCE
 2100 FEDERAL WAY
 COSTA MESA, CA

NO.	REVISION	DATE

SHEET DESCRIPTION	
EXTERIOR ELEVATIONS FRONT & REAR	
PLOT DATE 1-12-12	SHEET 4
JOB NO.	
DRAWN BY	

