



City of Costa Mesa

Inter Office Memorandum

TO: CITY COUNCIL AND PLANNING COMMISSION
CC: TOM HATCH, GARY ARMSTRONG, AND JERRY GUARRACINO
FROM: WILLA BOUWENS-KILLEEN, ZONING ADMINISTRATOR
DATE: MAY 22, 2014
SUBJECT: ZONING ADMINISTRATOR DECISION(S)

A handwritten signature in blue ink, appearing to be "W. Bouwens-Killeen", is written over the "FROM" line of the memorandum.

This is to advise you of the following decision(s) made by the Zoning Administrator within the last week. The decision(s) will become final unless a member of the Planning Commission or City Council requests a review of the decision(s) or an interested party files an appeal by 5:00 p.m. on May 29, 2014. Project descriptions have been kept brief for this notice. As a result, there may be details to the project or conditions of approval that would be of interest to you in deciding whether to request a review of a decision. Please feel free to contact me by e-mail at willa.bouwens-killeen@costamesaca.gov if you have any questions or would like further details.

ZA-99-59 A1 2550 NEWPORT BOULEVARD

Minor conditional use permit to amend ZA-99-59 for an existing rooftop mounted antenna facility for Sprint Wireless to add 3 new panel antennas, 1 new equipment cabinet, and associated cables and equipment behind the screen wall.

Approved, subject to conditions of approval.

Comments received: None.

ZA-14-14 669 W. 18TH STREET

Minor conditional use permit to construct a 1,022 square foot addition to an existing church (Kingdom Hall of Jehovah's Witnesses) consisting of an 810 square foot assembly room for language classes and a 212 square foot office.

Approved, subject to conditions of approval.

Comments received: None.



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

May 22, 2014

Core Development Services
Kim Nguyen
2749 Saturn Street
Brea, CA 92821

**RE: ZONING APPLICATION ZA-99-59 A1
MINOR CONDITIONAL USE PERMIT TO MODIFY EXISTING ROOF-
MOUNTED CELLULAR ANTENNAS
2550 NEWPORT BOULEVARD, COSTA MESA**

Dear Ms. Nguyen:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on May 29, 2014, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Jessica Magana, at (714) 754-5278, or at jessica.magana@costamesaca.gov.

Sincerely,

~~WILLA BOUWENS-KILLEEN, AICP~~
Zoning Administrator

Attachments: Project Description
 Findings
 Conditions of Approval, Code Requirements, and Special District
 Requirements
 Approved Conceptual Plans

cc: Engineering
 Fire Protection Analyst
 Building Safety Division

BACKGROUND

Zoning Action ZA-96-11 allowed a total of nine panel antennas with a maximum height of 33 feet for all related improvements, as measured from grade, for roof-mounted antennas and screening materials. Subsequently, ZA-99-59 allowed three additional antennas, for a total of twelve antennas with a maximum height of 33 feet for all related improvements. Since additional antennas are proposed, an amendment to the existing Minor Conditional Use Permit is required.

PROJECT DESCRIPTION

Site Location

The 0.91 acre property is zoned Local Business (C1) with a General Plan land use designation of Commercial Residential. The property is surrounded by C1 zoned properties to the north and south, a Multi-Family Residentially zoned property to the east, and the 55 freeway to the west. The property is improved with two mini-storage buildings.

Proposed Use

The applicant proposes to modify an existing roof mounted wireless telecommunications facility by adding three new panel antennas, three remote radio units (RRU), four batteries, one baseband unit, and associated hybrid cables. The height of the new antennas is proposed to be the same as allowed under both ZA-96-11 and ZA-99-59.

Analysis

The proposed antennas will maintain the same height as the existing antennas and will be screened from public view. One antenna will be placed on the north elevation of the building adjacent to the northbound side of Newport Boulevard. Since the 55 Freeway separates both sides of Newport Boulevard, the antenna will not be visible to vehicular traffic on Newport Boulevard. Additionally, all antennas will be painted and textured to match the existing building to further reduce its visibility from public view. Conditions have been included to ensure that all proposed and existing equipment cabinets, antennas, wiring, cables and conduit will be screened from view at all times. All new mechanical equipment will be located behind existing equipment screening.

Conditions have been included to ensure antenna frequencies do not interfere with the frequency used for Public Safety communications. The applicant has submitted a letter explaining that the wireless facility will have no impact on circulation and will generate no noise, odor, smoke, or have any other adverse impact on the subject or surrounding properties. The environmental radio frequency radiation generated by the antennas will not exceed ANSI/IEEE standards.

The proposed antennas and screening comply with Costa Mesa General Plan Community Design Element Goal CD8A.8 in that the proposed antennas will be screened and will match the exterior of the existing building.

FINDINGS

A. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:

1. The proposed use is compatible with developments in the same general area; specifically the new antennas will be screened with materials painted to match the existing building and will maintain the height of the existing antennas.

2. Granting the Minor Conditional Use Permit will not be detrimental to the health, safety and general welfare of the public or other properties or improvements within the immediate vicinity since the antenna frequencies will comply with ANSI/IEEE standards.

3. Granting the Minor Conditional Use Permit will not allow a use, density or intensity that is not in accordance with the General Plan designation for the property since the antennas will be screened from the street or nearby properties, minimizing visual impacts.

B. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:

1. The new antennas will have a compatible and harmonious relationship between the proposed building and the site development and use, and the building and site developments and uses that exist or have been approved for the general neighborhood. The new antennas will be screened and will be compatible with the existing building.

2. Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation have been considered and will not be affected by the new antennas.

3. The antennas comply with performance standards described elsewhere in this Zoning Code.

4. The new antennas are consistent with the General Plan, specifically Community Design Element CD-8A.8 in that the screening for the antennas will be painted to match the exterior of the building. They are also consistent with the Newport Boulevard Specific Plan in that visual impacts to nearby residential properties will be minimal.

5. This zoning application is for a project-specific case and is not to be construed to be setting a precedent for future development.

- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15301, Class 1, Existing Facilities, of the CEQA Guidelines.
- D. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CONDITIONS OF APPROVAL

- Plng. 1. All proposed and existing equipment cabinets, antennas, wiring, cables and conduit shall be screened from view. Screening shall be of a material and color compatible with the existing material and color of building and/or placed behind existing building wall. Such screening material shall be approved by Planning staff prior to installation.
2. All proposed and existing equipment cabinets, antennas, wiring, cables, and conduit shall be well maintained and kept in good condition at all times. Any broken, damaged, faded, and exposed material shall be replaced and approved by Planning staff prior to installation.
3. Any future modifications to the equipment or antennas shall be done with the prior approval of Planning staff and may require filing and approval of a minor conditional use permit.
4. Maximum building height may not exceed 33 feet measured from property grade.
5. At all times, the applicant shall not prevent the City of Costa Mesa from having adequate spectrum capacity on the City's 800 MHz radio frequency.
6. The applicant shall provide a 24-hour phone number to which interference problems may be reported.
7. The applicant shall provide a "single point of contact" in its Engineering and Maintenance Departments to ensure continuity on all interference issues. The name, telephone number, fax number, and email address of that person shall be provided to the City's designated representative.
8. The conditions of approval and Code requirements of Zoning Application ZA-99-59 A1 shall be blueprinted on the face of the site plan of the plan check submittal package.
9. The applicant shall contact the Planning Division to arrange for an inspection of the site prior to the final building inspection(s). This inspection is to confirm that the conditions of approval and Code requirements have been satisfied.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- | | |
|--------------|--|
| Plng. | <ol style="list-style-type: none">1. Approval of the zoning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by obtaining building permits for the authorized construction and initiates construction. If the applicant is unable to obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension <u>prior</u> to the expiration of the planning application.2. All construction-related activity shall be limited to between the hours of 7 a.m. and 7 p.m., Monday through Friday, and 9 a.m. to 6 p.m. Saturday. Construction is prohibited on Sundays and federal holidays. Exceptions may be made for activities that will not generate noise audible from off-site, such as painting and other quiet interior work.3. Antennas shall comply with the Antenna Development Standards in Section 13-142 of the Costa Mesa Zoning Code. |
| Bldg. | <ol style="list-style-type: none">4. Comply with the requirements of the 2013 California Building Code, 2013 California Electrical Code, 2013 California Energy Code (or the applicable adopted California Building Code, California Electrical Code, and California Energy Code at the time of plan submittal or permit issuance), and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. |
| Bus.
Lic. | <ol style="list-style-type: none">5. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections will not be granted until all such licenses have been obtained. |

Sprint

PROJECT: 2.5 EQUIPMENT DEPLOYMENT
 SITE NAME: NEWPORT
 SITE CASCADE: OG03XC089-A
 SITE ADDRESS: 2550 NEWPORT BLVD
 COSTA MESA, CA 92626
 SITE TYPE: ROOFTOP

PLAN ARED FOR:
Sprint
 330 Commerce
 Irvine, CA 92602

PLANS PREPARED BY:
core
 DEVELOPMENT SERVICES
 A&E SERVICES
 2749 Saturn Street
 Brea, California 92821
 (714)728-8404 (714)333-4411 fax
 www.core.us.com

EQUIPMENT MANUFACTURER:
Alcatel-Lucent

MI A PARTNER:

ENGINEERING LICENSE:

DRAWING NOTICE:
 THESE DOCUMENTS ARE CONFIDENTIAL AND ARE THE SOLE PROPERTY OF SPRINT AND MAY NOT BE REPRODUCED, DISSEMINATED OR REDISTRIBUTED WITHOUT THE EXPRESS WRITTEN CONSENT OF SPRINT.

REVISIONS:	DESCRIPTION	DATE	BY	REV
ISSUED FOR 50% CDs		02/11/14	JWB	0
ISSUED FOR 100% CDs		05/07/14	RD	1

SITE NAME:
NEWPORT

SITE CASCADE:
 OG03XC089-A

SITE ADDRESS:
 2550 NEWPORT BLVD
 COSTA MESA, CA 92626

SHEET DESCRIPTION:
 TITLE SHEET

SHEET NUMBER:
T-1

SITE INFORMATION

PROPERTY OWNER:
 AMERCO REAL ESTATE COMPANY, A NEVADA CORP
 2727 N CENTRAL AVE., SUITE 500 PHOENIX, AZ 85004

LATITUDE (NAD83):
 33° 39' 39.999" N
 117° 53' 49.2" W

LONGITUDE (NAD83):
 -117° 53' 49.2" W
 33° 39' 39.999" N

COUNTY:
 ORANGE

ZONING JURISDICTION:
 CITY OF COSTA MESA

ZONING DISTRICT:
 TBD

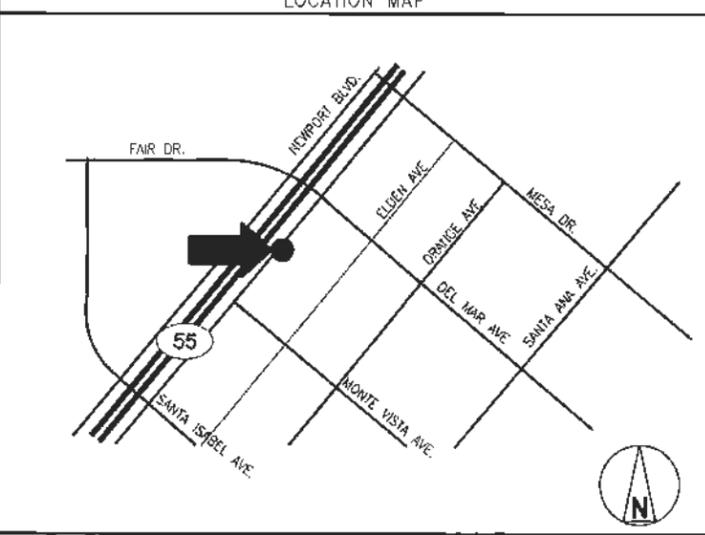
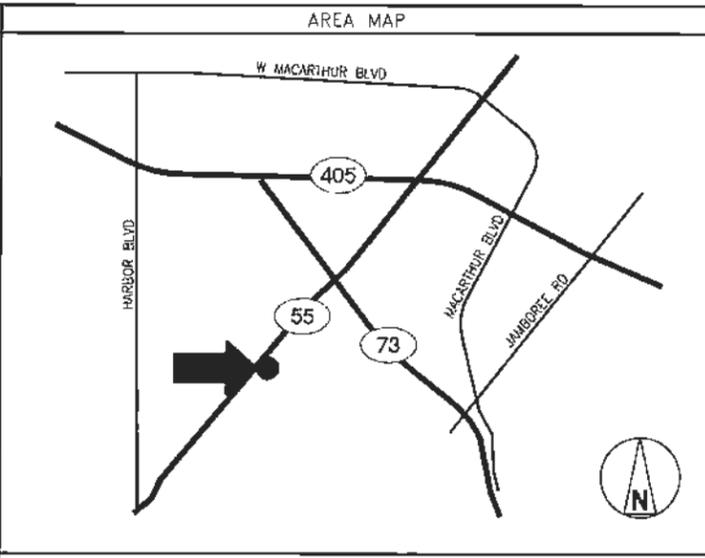
APN:
 398 411-09

POWER COMPANY:
 SOUTHERN CALIFORNIA EDISON

AAV PROVIDER:
 TBD

SPRINT AGENT:
 NAME: JAMIL SANDOVAL
 PHONE: 714.984.3610
 JSANDOVAL@CORE.US.COM

SPRINT CM:
 NAME: JON FRANKLIN
 PHONE: 909.528.4709
 JON.F.FRANKLIN@SPRINT.COM



PROJECT DESCRIPTION

- INSTALL (3) (N) 2.5GHz PANEL ANTENNAS NEXT TO (E) PANEL ANTENNAS
- INSTALL (1) (N) 2.5GHz BASESTATION UNIT WITHIN (C) MOUNTS CABINET
- INSTALL (3) (N) 2.5GHz RRU'S NEAR NEW 2.5GHz ANTENNAS
- INSTALL (3) (N) FIBER CABLES WITHIN (E) CABLE TRAYS
- INSTALL (4) (N) BATTERIES WITHIN (E) BATTERY CABINET

APPLICABLE CODES

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALL IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2013 CALIF. ADMINISTRATIVE CODE (INCL. TITLES 24 & 25)
- 2013 CALIFORNIA BUILDING CODES
- 2013 CALIFORNIA ELECTRICAL CODES
- 2013 CALIFORNIA MECHANICAL CODES
- 2013 CALIFORNIA PLUMBING CODES
- 2013 CALIFORNIA FIRE CODES
- 2013 CALIFORNIA ENERGY CODES
- IIA-222-G STANDARD
- LOCAL BUILDING CODES
- CITY/COUNTY ORDINANCES

DRAWING INDEX

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
SP-1	SPRINT SPECIFICATIONS
SP-2	SPRINT SPECIFICATIONS
A-1	SITE PLAN
A-2	EQUIPMENT PLAN
A-3	ANTENNA LAYOUTS
A-4	NORTHEAST ELEVATIONS
A-5	SOUTHEAST ELEVATIONS
A-6	EQUIPMENT DETAILS
A-7	EQUIPMENT DETAILS
F-1	GROUNDING & ELECTRICAL PLAN

**MINOR CONDITIONAL USE PERMIT/
 ADMINISTRATIVE ADJUSTMENT NO. ZA-99-59 A2**

Approval in Concept

SUBJECT TO CONDITIONS
 CITY OF COSTA MESA
 PLANNING DEPT.

BY *J. Magana* DATE *9/22/14*



THESE OUTLINE SPECIFICATIONS IN CONJUNCTION WITH THE SPRINT STANDARD CONSTRUCTION SPECIFICATIONS, INCLUDING CONTRACT DOCUMENTS AND THE CONSTRUCTION DRAWINGS DESCRIBE THE WORK TO BE PERFORMED BY THE CONTRACTOR.

CONTRACTOR SUPPLIED:

SUPPLIER WILL SUPPLY ALL MINOR MATERIALS NECESSARY FOR PERFORMANCE OF SERVICES. MINOR MATERIALS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING ("MINOR MATERIALS"):

- A. CONDUIT IN LENGTHS LESS THAN OR EQUAL TO 5 FEET;
- B. WIRE;
- C. BREAKERS;
- D. GROUNDING CABLE;
- E. ANTENNA AND LINE INSTALLATION HARDWARE;
- F. CONDUIT CLAMPS;
- G. CONDUIT CONNECTORS;
- H. WEATHERPROOFING MATERIALS;
- I. GROUNDING KITS;
- J. HOISTING GRIPS;
- K. SNAP-IN HANGERS WITH GROMMETS;
- L. BUTTERFLY HANGER KITS;
- M. COAX BLOCKS AND HARDWARE;
- N. ANGLE ADAPTERS, U BOLTS, AND OTHER MISCELLANEOUS HARDWARE;
- O. CROSSOVER PLATES;
- P. RFI CABLES;
- Q. PIPE MOUNTS, PIPE TO PIPE MOUNTS;
- R. ICE BRIDGES IN LENGTHS LESS THAN OR EQUAL TO 5 FEET;
- S. LIQUID TIGHT;
- T. COMMON CONSUMABLES, INCLUDING BUT NOT LIMITED TO TAPES, SOLVENTS, ADHESIVES, LUGS, NUTS, BOLTS, WASHERS, ETC.; AND
- U. SUCH OTHER MINOR MATERIALS NOT SPECIFICALLY MENTIONED IN THIS SECTION BUT WHICH ARE REASONABLY NECESSARY TO COMPLETE THE SERVICES.

SPRINT SUPPLIED:

- A. BASE BAND UNITS;
- B. BATTERY CABINETS;
- C. MMBS UNIT CABINETS;
- D. RRUS;
- E. REITS;
- F. ANTENNAS AND BRACKETS;
- G. HFCS;
- H. BATTERIES;
- I. JUMPERS; AND
- J. ANY OEM SPECIFIC EQUIPMENT (CARD, SHELF, OR CABINET) THAT NEEDS TO BE INSTALLED IN OR NEXT TO MMBS UNIT.

SECTION 01 100 - SCOPE OF WORK

THE WORK:

SHALL COMPLY WITH APPLICABLE NATIONAL CODES AND STANDARDS, LATEST EDITION, AND PORTIONS THEREOF.

PRECEDENCE:

SHOULD CONFLICTS OCCUR BETWEEN THE STANDARD CONSTRUCTION SPECIFICATIONS FOR WIRELESS SITES INCLUDING THE STANDARD CONSTRUCTION DETAILS FOR WIRELESS SITES AND THE CONSTRUCTION DRAWINGS, INFORMATION ON THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE.

SITE FAMILIARITY:

CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.

ON SITE SUPERVISION:

THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

DRAWINGS, SPECIFICATIONS AND DETAILS REQUIRED AT JOBSITE:

THE CONSTRUCTION CONTRACTOR SHALL MAINTAIN A FULL SET OF THE CONSTRUCTION DRAWINGS AT THE JOBSITE FROM MOBILIZATION THROUGH CONSTRUCTION COMPLETION.

- A. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. PROVIDE ALL MATERIALS AND LABOR AS REQUIRED TO PROVIDE A COMPLETE AND FUNCTIONING SYSTEM. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- B. CONTRACTOR SHALL NOTIFY SPRINT CONSTRUCTION MANAGER OF ANY VARIATIONS PRIOR TO PROCEEDING WITH THE WORK. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS NOTED OTHERWISE. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- C. MARK THE FIELD SET OF DRAWINGS IN RED, DOCUMENTING ANY CHANGES FROM THE CONSTRUCTION DOCUMENTS.

METHODS OF PROCEDURE (MOPS) FOR CONSTRUCTION:

CONTRACTOR SHALL PERFORM WORK AS DESCRIBED IN THE FOLLOWING INSTALLATION AND COMMISSIONING MOPS.

- A. TOP HAT
- B. HOW TO INSTALL A NEW CABINET
- C. BASE BAND UNIT IN EXISTING UNIT
- D. INSTALLATION OF BATTERIES
- E. INSTALLATION OF HYBRID CABLE
- F. INSTALLATION OF RRUS
- G. CABLING
- H. TS-0200 REV 4 - ANTENNA LINE ACCEPTANCE STANDARDS
- I. SPRINT CELL SITE ENGINEERING NOTICE - EN 2012-001, REV 1
- J. COMMISSIONING MOPS

SECTION 01 200 - COMPANY FURNISHED MATERIAL AND EQUIPMENT

COMPANY FURNISHED MATERIAL AND EQUIPMENT IS IDENTIFIED ON THE RF DATA SHEET IN THE CONSTRUCTION DRAWINGS.

CONTRACTOR IS RESPONSIBLE FOR SPRINT PROVIDED MATERIAL AND EQUIPMENT TO ENSURE IT IS PROTECTED AND HANDLED PROPERLY THROUGHOUT THE CONSTRUCTION DURATION.

CONTRACTOR RESPONSIBLE FOR RECEIPT OF SPRINT FURNISHED EQUIPMENT AT CELL SITE OR CONTRACTOR'S LOCATION. CONTRACTOR TO COMPLETE SHIPPING AND RECEIPT DOCUMENTATION IN ACCORDANCE WITH COMPANY PRACTICE.

SECTION 01 300 - CELL SITE CONSTRUCTION

NOTICE TO PROCEED:

NO WORK SHALL COMMENCE PRIOR TO COMPANY'S WRITTEN NOTICE TO PROCEED AND THE ISSUANCE OF WORK ORDER.

SITE CLEANLINESS:

CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH! AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE SITE ALL REMAINING RUBBISH, IMPLEMENTS, TEMPORARY FACILITIES, AND SURPLUS MATERIALS.

SECTION 01 400 - SUBMITTALS & TESTS

ALTERNATES:

AT THE COMPANY'S REQUEST, ANY ALTERNATIVES TO THE MATERIALS OR METHODS SPECIFIED SHALL BE SUBMITTED TO SPRINTS CONSTRUCTION MANAGER FOR APPROVAL. SPRINT WILL REVIEW AND APPROVE ONLY THOSE REQUESTS MADE IN WRITING. NO VERBAL APPROVALS WILL BE CONSIDERED.

TESTS AND INSPECTIONS:

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION TESTS, INSPECTIONS AND PROJECT DOCUMENTATION.
- B. CONTRACTOR SHALL ACCOMPLISH TESTING INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - 1. COAX SWEEPS AND FIBER TESTS PER IS-0200 REV 4 ANTENNA LINE ACCEPTANCE STANDARDS.
 - 2. AZIMUTH AND DOWNTILT PROVIDE AN AUTOMATED REPORT UPLOADED TO SITERRA USING A COMMERCIAL MADE-FOR-THE-PURPOSE ELECTRONIC ANTENNA ALIGNMENT TOOL (AAT) INSTALLED AZIMUTH, CENTERLINE AND DOWNTILT MUST CONFORM WITH RF CONFIGURATION DATA.
 - 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL CORRECTIONS TO ANY WORK IDENTIFIED AS UNACCEPTABLE IN SITE INSPECTION ACTIVITIES AND/OR AS A RESULT OF TESTING.
 - 4. ALL TESTING REQUIRED BY APPLICABLE INSTALLATION MOPS.
- C. REQUIRED CLOSEOUT DOCUMENTATION INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
 - 1. AZIMUTH, DOWNTILT, AZL FROM SUNSIGHT INSTRUMENTS - ANTENNA ALIGNMENT TOOL (AAT)
 - 2. SWEEP AND FIBER TESTS
 - 3. SCANBARF BARCODE PHOTOGRAPHS OF TOWER TOP AND INACCESSIBLE SERIALIZED EQUIPMENT
 - 4. ALL AVAILABLE JURISDICTIONAL INFORMATION
 - 5. PDF SCAN OF REDLINES PRODUCED IN FIELD
 - 6. A PDF SCAN OF REDLINE MARK-UPS SUITABLE FOR USE IN ELECTRONIC AS-BUILT DRAWING PRODUCTION
 - 7. LIEN WAIVERS
 - 8. FINAL PAYMENT APPLICATION
 - 9. REQUIRED FINAL CONSTRUCTION PHOTOS
 - 10. CONSTRUCTION AND COMMISSIONING CHECKLIST COMPLETE WITH NO DEFICIENT ITEMS
 - 11. ALL POST NTP TASKS INCLUDING DOCUMENT UPLOADS COMPLETED IN SITERRA (SPRINTS DOCUMENT REPOSITORY OF RECORD)
 - 12. CLOSEOUT PHOTOGRAPHS:

- D. PROVIDE PHOTOGRAPHS OF FINAL PROJECT PER THE FOLLOWING LIST. ADDITIONAL PHOTOGRAPHS MAY BE REQUIRED TO SUPPORT ACCEPTANCE PROCESSES:
 - (i) MAIN HYBRID CABLE ROUTE (MINIMUM TWO PHOTOS)
 - (ii) PHOTOS OF EACH ANTENNA AND RRU
 - (iii) MANUFACTURER'S NAME TAG FOR ALL SERIALIZED EQUIPMENT
 - (iv) PULL AND DISTRIBUTION BOXES INTERMEDIATE BETWEEN RRUS AND MMBS (DOOR OPEN)
 - (v) MMBS CABINET WITH DOOR OPEN SHOWING MODIFICATIONS
 - (vi) POWER CABINET, DOORS OPEN, BATTERIES INSTALLED
 - (vii) BREAK OUT CYLINDERS
 - (viii) ASR SIGNAGE FOR SPRINT OWNED TOWERS
 - (ix) RADIATION EXPOSURE WARNING SIGNS
 - (x) PHOTOGRAPH FROM EACH SECTOR FROM APPROXIMATELY RAD CENTER OF ANY NEW ANTENNA AT HORIZON
- E. LOAD PHOTOS TO SITERRA PROJECT LIBRARY IN 15 CREATE NEW CATEGORY; 2500MHZ DEPLOYMENT, AND SECTION; PERMANENT CONSTRUCTION. LABEL PHOTOS WITH SITE CASCADE AND VIEW BEING DEPICTED. CAMERAS USED TO TAKE PHOTOGRAPHS SHALL GPS ENABLED SUCH THAT THE GPS COORDINATES ARE INCLUDED IN THE PHOTO MEDIA-FILE INFORMATION.

COMMISSIONING:

PERFORM ALL COMMISSIONING AS REQUIRED BY APPLICABLE MOPS.

INTEGRATION:

PERFORM ALL INTEGRATION ACTIVITIES AS REQUIRED BY APPLICABLE MOPS.

SECTION 07 500 - ROOF CUTTING, PATCHING AND REPAIR

SUMMARY:

THIS SECTION SPECIFIES CUTTING AND PATCHING EXISTING ROOFING SYSTEMS WHERE CONDUIT OR CABLES EXIT THE BUILDING ONTO THE ROOF OR BUILDING-MOUNTED ANTENNAS, AND AS REQUIRED FOR WATER-TIGHT PERFORMANCE. ROOFTOP ENTRY OPENINGS IN MEMBRANE ROOFTOPS SHALL BE CONSTRUCTED TO COMPLY WITH LANDLORD, ANY EXISTING WARRANTY, AND LOCAL JURISDICTIONAL STANDARDS.

1.4 SUBMITTALS:

- A. PRE CONSTRUCTION ROOF PHOTOS: COMPLETE A ROOF INSPECTION PRIOR TO THE INSTALLATION OF SPRINT EQUIPMENT ON ANY ROOFTOP BUILD AT A MINIMUM INSPECT AND PHOTOGRAPH (MINIMUM 3 EA.) ALL AREAS IMPACTED BY THE ADDITION OF THE SPRINT EQUIPMENT.
- B. PROVIDE SIMILAR PHOTOGRAPHS SHOWING ROOF CONDITIONS AFTER CONSTRUCTION (MINIMUM 3 EA.)
- C. ROOF INSPECTION PHOTOGRAPHS SHOULD BE UPLOADED WITH CLOSEOUT PHOTOGRAPHS.

SECTION 09 900 - PAINTING

QUALITY ASSURANCE:
 A. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

B. COMPLY WITH ALL ENVIRONMENTAL REGULATIONS FOR VOLATILE ORGANIC COMPOUNDS. MATERIALS:

A. MANUFACTURERS: BENJAMIN MOORE, ICI/DEVCO COATINGS, PPG, SHERWIN-WILLIAMS, OR APPROVED EQUIVALENT. PROVIDE PREMIUM GRADE PROFESSIONAL QUALITY PRODUCTS FOR COATING SYSTEMS.

PAINT SCHEDULE:

- A. EXTERIOR ANTENNAE AND ANTENNA MOUNTING HARDWARE: ONE COAT OF PRIMER AND TWO FINISH COATS. PAINT FOR ANTENNAE SHALL BE NON-METALLIC BASED AND CONTAIN NO METALLIC PARTICLES. PROVIDE COLORS AND PATTERNS AS REQUIRED TO MASK APPEARANCE OF ANTENNAE ON ADJACENT BUILDING SURFACES AND AS ACCEPTABLE TO THE OWNER. REFER TO ANTENNA MANUFACTURER'S INSTRUCTIONS WHENEVER POSSIBLE.
- B. ROOF TOP CONSTRUCTION TOUCH UP - IMPACT SURFACES TO BE REPAIRED FOLLOW INDUSTRY STANDARDS AND REQUIREMENTS OF OWNER TO MATCH EXISTING COATING AND FINISH.

PAINTING APPLICATION:

- 1. INSPECT SURFACES, REPORT UNSATISFACTORY CONDITIONS IN WRITING; BEGINNING WORK MEANS ACCEPTANCE OF SUBSTRATE.
- 2. COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR PREPARATION, PRIMING AND COATING WORK. COORDINATE WITH WORK OF OTHER SECTIONS.
- 3. MATCH APPROVED MOCK-UPS FOR COLOR, TEXTURE, AND PATTERN. RE-COAT OR REMOVE AND REPLACE WORK WHICH DOES NOT MATCH OR SHOWS LOSS OF ADHESION.
- 4. CLEAN UP, TOUCH UP AND PROTECT WORK.

TOUCHUP PAINTING:

- 1. GALVANIZING DAMAGE AND ALL HOLES AND NUTS SHALL BE TOUCHED UP AFTER TOWER ERECTION WITH "GALVANOX," "DRY GALV," OR "ZINC-IT"
- 2. FIELD TOUCHUP PAINT SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 3. ALL METAL COMPONENTS SHALL BE HANDLED WITH CARE TO PREVENT DAMAGE TO THE COMPONENTS, THEIR PRESERVATIVE TREATMENT, OR THEIR PROTECTIVE COATINGS.

SECTION 11 700 - ANTENNA ASSEMBLY, REMOTE RADIO UNITS AND CABLE INSTALLATION

SUMMARY:

THIS SECTION SPECIFIES INSTALLATION OF ANTENNAS, RRU'S, AND CABLE EQUIPMENT, INSTALLATION, AND TESTING OF COAXIAL FIBER CABLE.

ANTENNAS AND RRUS:

THE NUMBER AND TYPE OF ANTENNAS AND RRU'S TO BE INSTALLED IS DETAILED ON THE CONSTRUCTION DRAWINGS.

HYBRID CABLE:

HYBRID CABLE WILL BE DC/FIBER AND FURNISHED FOR INSTALLATION AT EACH SITE. CABLE SHALL BE INSTALLED PER THE CONSTRUCTION DRAWINGS AND THE APPLICABLE MANUFACTURER'S REQUIREMENTS.

JUMPERS AND CONNECTORS:

FURNISH AND INSTALL 1/2" COAX JUMPER CABLES BETWEEN THE RRU'S AND ANTENNAS. JUMPERS SHALL BE TYPE LDF 4, FIC 12-50, OR 540, OR FXL 540. SUPPLER-FLEX CABLES ARE NOT ACCEPTABLE. JUMPERS BETWEEN THE RRU'S AND ANTENNAS OR TOWER TOP AMPHIBIERS SHALL CONSIST OF 1/2 INCH FOAM DIELECTRIC, OUTDOOR RATED COAXIAL CABLE. DO NOT USE SUPERFLEX OUTDOORS. JUMPERS SHALL BE FACTORY FABRICATED IN APPROPRIATE LENGTHS WITH A MAXIMUM OF 4 FEET EXCESS PER JUMPER AND HAVE CONNECTORS AT EACH END, MANUFACTURED BY SUPPLIER. IF JUMPERS ARE FIELD FABRICATED, FOLLOW MANUFACTURER'S REQUIREMENTS FOR INSTALLATION OF CONNECTORS.

REMOTE ELECTRICAL TILT (RET) CABLES:

MISCELLANEOUS:

INSTALL SPLITTERS, COMBINERS, FILTERS PER RF DATA SHEET, FURNISHED BY SPRINT.

ANTENNA INSTALLATION:

THE CONTRACTOR SHALL ASSEMBLE ALL ANTENNAS ONSITE IN ACCORDANCE WITH THE INSTRUCTIONS SUPPLIED BY THE MANUFACTURER. ANTENNA HEIGHT, AZIMUTH, AND FEED ORIENTATION INFORMATION SHALL BE A DESIGNATED ON THE CONSTRUCTION DRAWINGS.

CONTINUE SHEET SP-2

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330 Commerce
Irvine, CA 92602

PLANS PREPARED BY:

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www.core.us.com

EQUIPMENT MANUFACTURER:

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ISSUED FOR 100% CDs	03/07/14	RD	1

SITE NAME:

NEWPORT

SITE CASCADE:

OG03XC089-A

SITE ADDRESS:

2550 NEWPORT BLVD
COSTA MESA, CA 92626

SHEET DESCRIPTION:

SPRINT SPECIFICATIONS

SHEET NUMBER:

SP-1

A. THE CONTRACTOR SHALL POSITION THE ANTENNA ON TOWER PIPE MOUNTS SO THAT THE BOTTOM STRUT IS LEVEL. THE PIPE MOUNTS SHALL BE PLUMB TO WITHIN 1 DEGREE.

B. ANTENNA MOUNTING REQUIREMENTS: PROVIDE ANTENNA MOUNTING HARDWARE AS INDICATED ON THE DRAWINGS.

HYBRID CABLES INSTALLATION:

A. THE CONTRACTOR SHALL ROUTE, TEST, AND INSTALL ALL CABLES AS INDICATED ON THE CONSTRUCTION DRAWINGS AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

B. THE INSTALLED RADIUS OF THE CABLES SHALL NOT BE LESS THAN THE MANUFACTURER'S SPECIFICATIONS FOR BENDING RADI.

C. EXTREME CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE CABLES DURING HANDLING AND INSTALLATION.

1. INSTALLING MAIN HYBRID CABLES: ALL CABLES SHALL BE PERMANENTLY FASTENED TO THE COAX LADDER AT 4'-0" OC USING NON-MAGNETIC STAINLESS STEEL CLIPS.

2. FASTENING INDIVIDUAL FIBER AND DC CABLES ABOVE BREAKOUT ENCLOSURE (MEDUSA), WITHIN THE MMBS CABINET AND ANY INTERMEDIATE DISTRIBUTION BOXES:

a. FIBER: SUPPORT FIBER BUNDLES USING 1/2" VELCRO STRAPS OF THE REQUIRED LENGTH @ 18" OC. STRAPS SHALL BE UV, OIL AND WATER RESISTANT AND SUITABLE FOR INDUSTRIAL INSTALLATIONS AS MANUFACTURED BY TEXTOL OR APPROVED EQUAL.

b. DC: SUPPORT DC BUNDLES WITH ZIP TIES OF THE ADEQUATE LENGTH. ZIP TIES TO BE UV STABILIZED, BLACK NYLON, WITH TENSILE STRENGTH AT 12,000 PSI AS MANUFACTURED BY NELCO PRODUCTS OR EQUAL.

3. FASTENING JUMPLERS: SECURE JUMPERS TO THE SIDE ARMS OR HEAD FRAMES USING STAINLESS STEEL WRAPS OR STAINLESS STEEL BUTTERFLY CLIPS.

4. CARE INSTALLATION

a. INSPECT CABLE PRIOR TO USE FOR SHIPPING DAMAGE, NOTIFY THE CONSTRUCTION MANAGER.

b. CARE HOUSING: CABLE INSTALLATION SHALL BE PLANNED TO ENSURE THAT THE LINES WILL BE PROPERLY HOUSED IN THE CABLE ENVELOP AS INDICATED ON THE DRAWINGS. AVOID TWISTING AND CROSSEOVERS.

c. HOIST CABLE USING PROPER HOUSING GRIPS. DO NOT EXCEED MANUFACTURER'S RECOMMENDED MAXIMUM BEND RADIUS.

5. GROUNDING OF TRANSMISSION LINES: ALL TRANSMISSION LINES SHALL BE GROUNDLED AS INDICATED ON DRAWINGS.

6. HYBRID CABLE COLOR CODING: ALL COLOR CODING SHALL BE AS REQUIRED IN TS 0200 RLV 4.

7. HYBRID CABLE LABELING: INDIVIDUAL HYBRID AND DC BUNDLES SHALL BE LABELED ALPHA-NUMERICALLY ACCORDING TO SPRINT CELL SITE ENGINEERING NOTICE - EN 2012-001, REV 1.

WEATHERPROOFING EXTERIOR CONNECTORS AND HYBRID CABLE GROUND KITS:

A. ALL FIBER & COAX CONNECTORS AND GROUND KITS SHALL BE WEATHERPROOFED.

B. WEATHERPROOFED USING ONE OF THE FOLLOWING METHODS. ALL INSTALLATIONS MUST BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INDUSTRY BEST PRACTICES.

1. COLD SHRINK: ENCOMPASS CONNECTOR IN COLD SHRINK TUBING AND PROVIDE A DOUBLE WRAP OF 2" ELECTRICAL TAPE EXTENDING 2" BEYOND TUBING. PROVIDE 3M COLD SHRINK CXS SERIES OR EQUAL.

2. SELF-AMALGAMATING TAPE: CLEAN SURFACES. APPLY A DOUBLE WRAP OF SELF-AMALGAMATING TAPE 2" BEYOND CONNECTOR. APPLY A SECOND WRAP OF SELF-AMALGAMATING TAPE IN OPPOSITE DIRECTION. APPLY DOUBLE WRAP OF 2" WIDE ELECTRICAL TAPE EXTENDING 2" BEYOND THE SELF-AMALGAMATING TAPE.

3. 3M SLIM LOCK CLOSURE #16: SUBSTITUTIONS WILL NOT BE ALLOWED.

4. OPEN FLAME ON JOB SITE IS NOT ACCEPTABLE.

SECTION 11 800 - INSTALLATION OF MULTIMODAL BASE STATIONS (MMBS) AND RELATED EQUIPMENT

SUMMARY:

A. THIS SECTION SPECIFIES MMBS CABINETS, POWER CABINETS, AND INTERNAL EQUIPMENT INCLUDING BUT NOT LIMITED TO RECTIFIERS, POWER DISTRIBUTION UNITS, BASE BAND UNITS, SURGE ARRESTORS, BATTERIES, AND SIMILAR EQUIPMENT FURNISHED BY THE COMPANY FOR INSTALLATION BY THE CONTRACTOR (OFCI).

B. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MISCELLANEOUS MATERIALS AND PROVIDE ALL LABOR REQUIRED FOR INSTALLATION EQUIPMENT IN EXISTING CABINET OR NEW CABINET AS SHOWN ON DRAWINGS AND AS REQUIRED BY THE APPLICABLE INSTALLATION MOPS.

C. COMPLY WITH MANUFACTURER'S INSTALLATION AND START-UP REQUIREMENTS.

DC CIRCUIT BREAKER LABELING

A. LABEL CIRCUIT BREAKERS ACCORDING TO SPRINT CELL SITE ENGINEERING NOTICE - EN 2012-001, REV 1.

SECTION 11 800 - INSTALLATION OF MULTIMODAL BASE STATIONS (MMBS) AND RELATED EQUIPMENT

SUMMARY:

A. THIS SECTION SPECIFIES MMBS CABINETS, POWER CABINETS, AND INTERNAL EQUIPMENT INCLUDING BUT NOT LIMITED TO RECTIFIERS, POWER DISTRIBUTION UNITS, BASE BAND UNITS, SURGE ARRESTORS, BATTERIES, AND SIMILAR EQUIPMENT FURNISHED BY THE COMPANY FOR INSTALLATION BY THE CONTRACTOR (OFCI).

B. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MISCELLANEOUS MATERIALS AND PROVIDE ALL LABOR REQUIRED FOR INSTALLATION EQUIPMENT IN EXISTING CABINET OR NEW CABINET AS SHOWN ON DRAWINGS AND AS REQUIRED BY THE APPLICABLE INSTALLATION MOPS.

C. COMPLY WITH MANUFACTURER'S INSTALLATION AND START UP REQUIREMENTS.

SUPPORTING DEVICES:

A. MANUFACTURED STRUCTURAL SUPPORT MATERIALS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY THE FOLLOWING:

1. ALLIED TUBE AND CONDUIT
2. B-LINE SYSTEM
3. SUNISTRUT DIVERSIFIED PRODUCTS
4. THOMAS & BETTS

B. FASTENERS: TYPES, MATERIALS, AND CONSTRUCTION FEATURES AS FOLLOWS:

1. EXPANSION ANCHORS: CARBON STEEL WEDGE OR SLEEVE TYPE.
2. POWER-DRIVEN THREADED STUDS: HEAT-TREATED STEEL, DESIGNED SPECIFICALLY FOR THE INTENDED SERVICE.
3. FASTEN BY MEANS OF WOOD SCREWS ON WOOD.
4. TOGGLE BOLTS ON HOLLOW MASONRY UNITS.
5. CONCRETE INSERTS OR EXPANSION BOLTS ON CONCRETE OR SOLID MASONRY.
6. MACHINE SCREWS, WELDED THREADED STUDS, OR SPRING-TENSION CLAMPS ON STEEL.
7. EXPLOSIVE DEVICES FOR ATTACHING HANGERS TO STRUCTURE SHALL NOT BE PERMITTED.
8. DO NOT WELD CONDUIT, PIPE STRAPS, OR ITEMS OTHER THAN THREADED STUDS TO STEEL STRUCTURES.
9. IN PARTITIONS OF LIGHT STEEL CONSTRUCTION, USE SHEET METAL SCREWS.

SUPPORTING DEVICES:

A. INSTALL SUPPORTING DEVICES TO FASTEN ELECTRICAL COMPONENTS SECURELY AND PERMANENTLY IN ACCORDANCE WITH NEC.

B. COORDINATE WITH THE BUILDING STRUCTURAL SYSTEM AND WITH OTHER TRADES.

C. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, FASTEN ELECTRICAL ITEMS AND THEIR SUPPORTING HARDWARE SECURELY TO THE STRUCTURE IN ACCORDANCE WITH THE FOLLOWING:

D. ENSURE THAT THE LOAD APPLIED BY ANY FASTENER DOES NOT EXCEED 25 PERCENT OF THE PROOF TEST LOAD.

E. USE VIBRATION AND SHOCK-RESISTANT FASTENERS FOR ATTACHMENTS TO CONCRETE SLABS.

ELECTRICAL IDENTIFICATION:

A. UPDATE AND PROVIDE TYPED CIRCUIT BREAKER SCHEDULES IN THE MOUNTING BRACKET, INSIDE DOORS OF AC PANEL BOARDS WITH ANY CHANGES MADE TO THE AC SYSTEM.

B. BRANCH CIRCUITS FEEDING AVIATION OBSTRUCTION LIGHTING EQUIPMENT SHALL BE CLEARLY IDENTIFIED AS SUCH AT THE BRANCH CIRCUIT PANELBOARD.

SECTION 26 200 - ELECTRICAL MATERIALS AND EQUIPMENT

CONDUIT:

A. RIGID GALVANIZED STEEL (RGS) CONDUIT SHALL BE USED FOR EXTERIOR LOCATIONS ABOVE GROUND AND IN UNFINISHED INTERIOR LOCATIONS AND FOR ENCASED RUNS IN CONCRETE. RIGID CONDUIT AND FITTINGS SHALL BE STEEL, COATED WITH ZINC. EXTERIOR AND INTERIOR BY THE HOT DIP GALVANIZING PROCESS. CONDUIT SHALL BE PRODUCED TO ANSI SPECIFICATIONS C801, FEDERAL SPECIFICATION WW-C-581 AND SHALL BE LISTED WITH THE UNDERWRITERS' LABORATORIES. FITTINGS SHALL BE THREADED - SET SCREW OR COMPRESSION FITTINGS WILL NOT BE ACCEPTABLE. RGS CONDUITS SHALL BE MANUFACTURED BY ALLIED, REPUBLIC OR WHEATLAND.

B. UNDERGROUND CONDUIT IN CONCRETE SHALL BE POLYVINYLCHLORIDE (PVC) SUITABLE FOR DIRECT BURIAL AS APPLICABLE. JOINTS SHALL BE BELLED, AND FLUSH SOLVENT WELDED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. CONDUIT SHALL BE CARLON ELECTRICAL PRODUCTS OR APPROVED EQUAL.

C. TRANSITIONS BETWEEN PVC AND RIGID (RGS) SHALL BE MADE WITH PVC COATED METALLIC LONG SWEEP RADIUS ELBOWS.

D. EMT OR RIGID GALVANIZED STEEL CONDUIT MAY BE USED IN FINISHED SPACES. CONDUIT IN WALLS AND CEILING: EMT SHALL BE MILD STEEL, ELECTRICALLY WELDED, ELECTRO-GALVANIZED OR HOT-DIPPED GALVANIZED AND PRODUCED TO ANSI SPECIFICATION C803, FEDERAL SPECIFICATION WW-C-583, AND SHALL BE LISTED. EMT SHALL BE MANUFACTURED BY ALLIED, REPUBLIC OR WHEATLAND, OR APPROVED EQUAL. FITTINGS SHALL BE METALLIC COMPRESSION SET SCREW CONNECTIONS SHALL NOT BE ACCEPTABLE.

E. LIQUID TIGHT FLEXIBLE METALLIC CONDUIT SHALL BE USED FOR FINAL CONNECTION TO EQUIPMENT. FITTINGS SHALL BE METALLIC GLAND TYPE COMPRESSION FITTINGS, MAINTAINING THE INTEGRITY OF CONDUIT SYSTEM. SET SCREW CONNECTIONS SHALL NOT BE ACCEPTABLE. MAXIMUM LENGTH OF FLEXIBLE CONDUIT SHALL NOT EXCEED 6- FEET. LFMC SHALL BE PROTECTED AND SUPPORTED AS REQUIRED BY NEC. MANUFACTURERS OF FLEXIBLE CONDUITS SHALL BE CARLON, ANACONDA METAL HOSE OR UNIVERSAL METAL HOSE, OR APPROVED EQUAL.

F. MINIMUM SIZE CONDUIT SHALL BE 3/4 INCH (21MM).

HUBS AND BOXES:

A. AT ENTRANCES TO CABINETS OR OTHER EQUIPMENT NOT HAVING INTEGRAL INTEGRATED HUBS PROVIDE METALLIC THREADED HUBS OF THE SIZE AND CONFIGURATION REQUIRED. HUB SHALL INCLUDE LOCKNUT AND NEOPRENE O RING SEAL. PROVIDE IMPACT RESISTANT 105 DEGREE C PLASTIC BUSHINGS TO PROTECT CABLE INSULATION.

B. CABLE TERMINATION FITTINGS FOR CONDUIT

1. CABLE TERMINATORS FOR RGS CONDUITS SHALL BE TYPE CRC BY O Z/GEORNEY OR EQUAL.
2. CABLE TERMINATORS FOR LFMC SHALL BE ETCO CL2075; OR MADE FOR THE PURPOSE PRODUCTS BY ROXTEC.

C. EXTERIOR PULL BOXES AND PULL BOXES IN INTERIOR INDUSTRIAL AREAS SHALL BE PLATED CAST ALLOY, HEAVY DUTY, WEATHERPROOF, DUST PROOF, WITH GASKET, PLATED IRON ALLOY COVER AND STAINLESS STEEL COVER SCREWS, CROUSE-HINDS WAB SERIES OR EQUAL.

D. CONDUIT OUTLET BODIES SHALL BE PLATED CAST ALLOY WITH SIMILAR GASKETED COVERS. OUTLET BODIES SHALL BE OF THE CONFIGURATION AND SIZE SUITABLE FOR THE APPLICATION. PROVIDE CROUSE-HINDS FORM B OR EQUAL.

E. MANUFACTURER FOR BOXES AND COVERS SHALL BE HOFFMAN, SQUARE "D", CROUSE-HINDS, COOPER, ADALET, APPLICATION, O-Z GEORNEY, RACO, OR APPROVED EQUAL.

SUPPLEMENTAL GROUNDING SYSTEM

A. FURNISH AND INSTALL A SUPPLEMENTAL GROUNDING SYSTEM AS INDICATED ON THE DRAWINGS. SUPPORT SYSTEM WITH NON-MAGNETIC STAINLESS STEEL CLIPS WITH RUBBER GROMMETS. GROUNDING CONNECTORS SHALL BE TINNED COPPER WIRE, SIZES AS INDICATED ON THE DRAWINGS. PROVIDE STRANDED OR SOLID BARE OR INSULATED CONDUCTORS AS INDICATED.

B. SUPPLEMENTAL GROUNDING SYSTEM: ALL CONNECTIONS TO BE MADE WITH CAD WELDS, EXCEPT AT EQUIPMENT USE LUGS OR OTHER AVAILABLE GROUNDING MEANS AS REQUIRED BY MANUFACTURER; AT GROUND BARS USE TWO HOLE SPADES WITH NO OX.

C. STOLEN GROUND-BARS: IN THE EVENT OF STOLEN GROUND BARS, CONTACT SPRINT CM FOR REPLACEMENT INSTRUCTION USING THREADED ROD KITS.

EXISTING STRUCTURE:

A. EXISTING EXPOSED WIRING AND ALL EXPOSED OUTLETS, RECEPTACLES, SWITCHES, DEVICES, BOXES, AND OTHER EQUIPMENT THAT ARE NOT TO BE UTILIZED IN THE COMPLETED PROJECT SHALL BE REMOVED OR DE-ENERGIZED AND CAPPED IN THE WALL, CEILING, OR FLOOR SO THAT THEY ARE CONCEALED AND SAFE. WALL, CEILING, OR FLOOR SHALL BE PATCHED TO MATCH THE ADJACENT CONSTRUCTION.

CONDUIT AND CONDUCTOR INSTALLATION:

A. CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON-PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BODIES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE FISHED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE RIGIDLY CLAMPED TO BOXES BY GALVANIZED MALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED MALLEABLE IRON LOCKNUT ON OUTSIDE AND INSIDE.

B. CONDUCTORS SHALL BE PULLED IN ACCORDANCE WITH ACCEPTED GOOD PRACTICE.

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Irvine, CA 92612

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SITE NAME:

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SITE CASCADE:

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SITE ADDRESS:

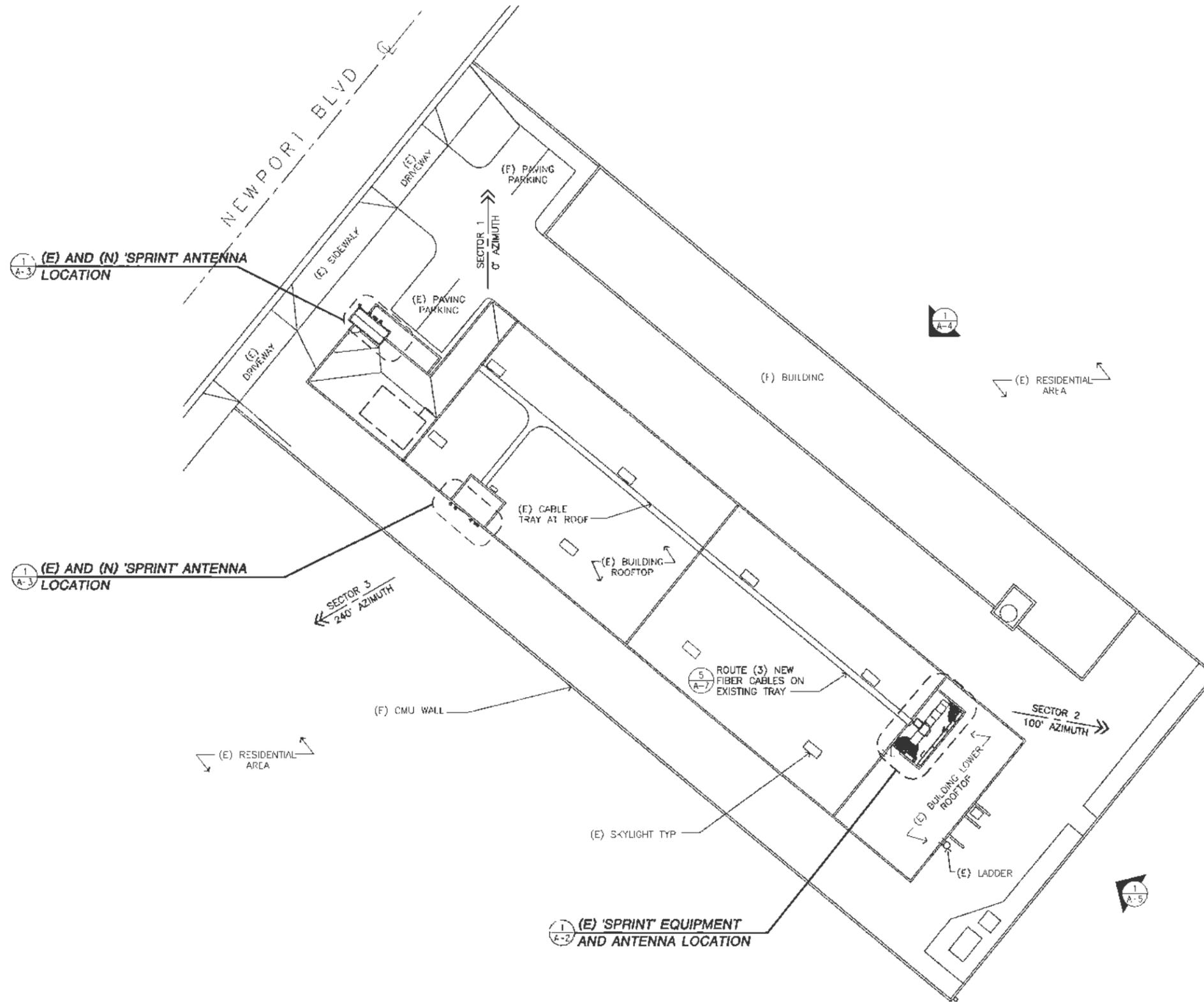
**2550 NEWPORT BLVD
COSTA MESA, CA 92626**

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SPRINT SPECIFICATIONS

SHEET NUMBER:

SP-2



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SHEET DESCRIPTION:

SITE PLAN

SHEET NUMBER:

A-1

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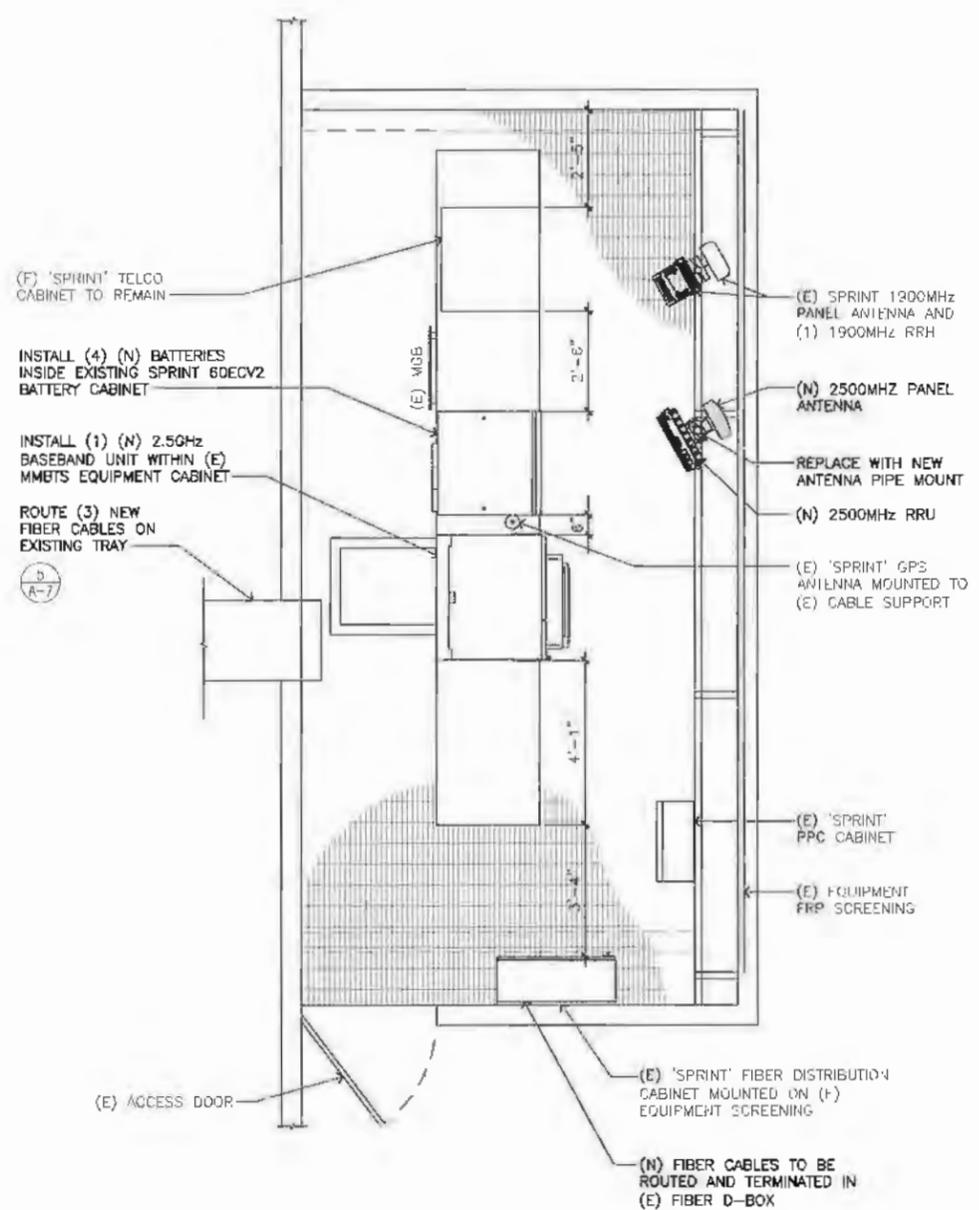
NEWPORT

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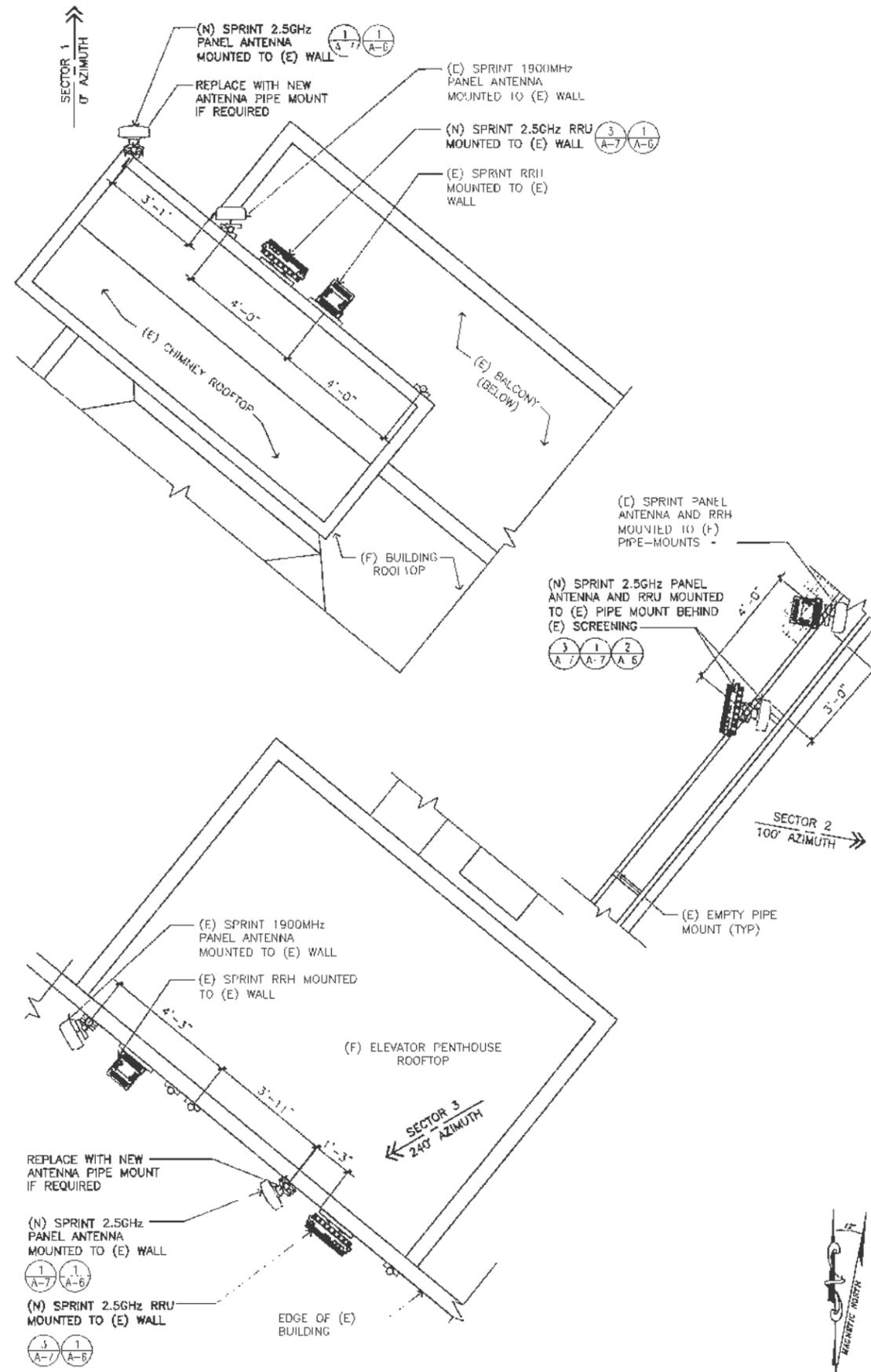
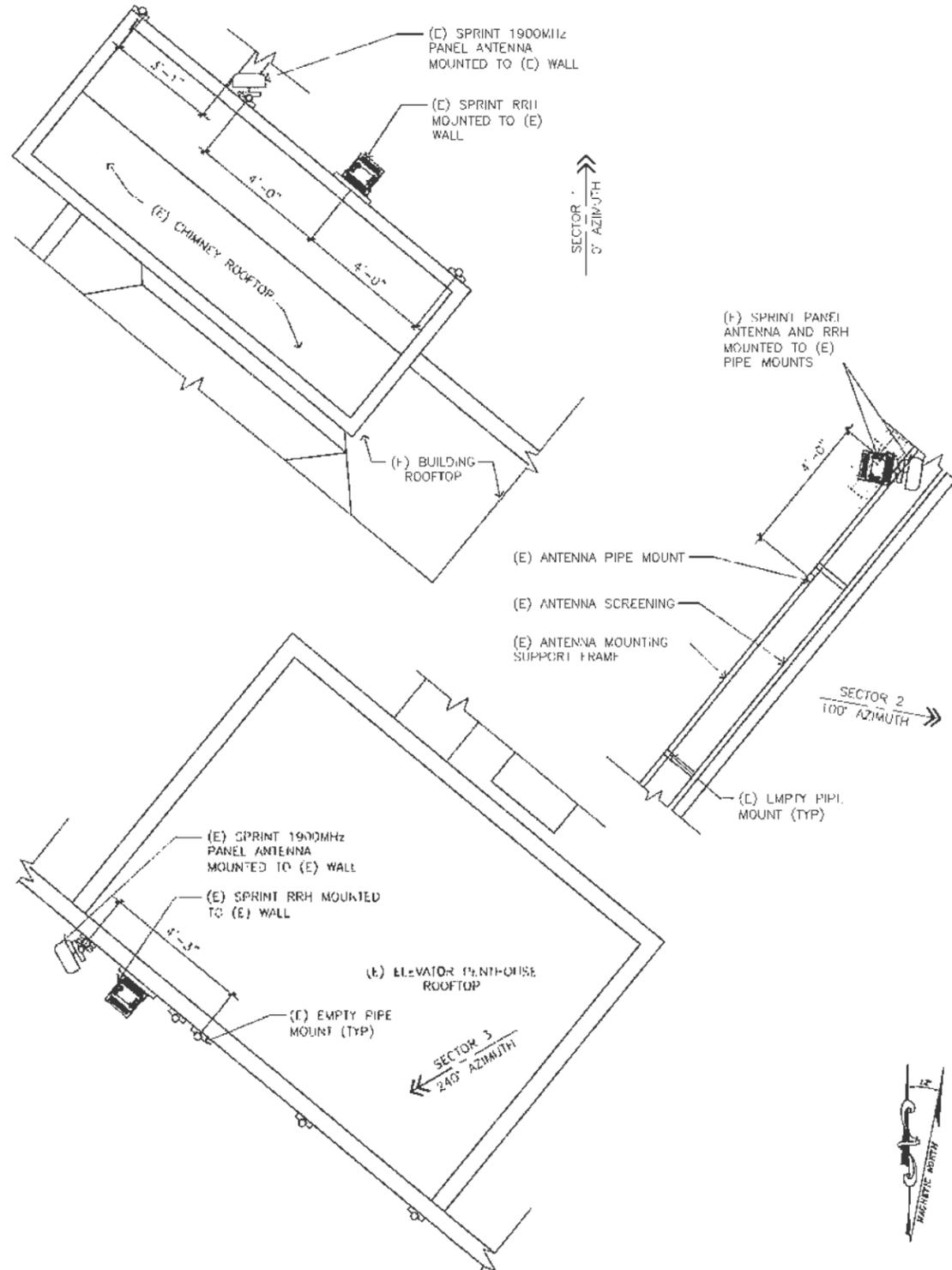
EQUIPMENT PLAN

A-2



SECTOR	ANTENNA	AZIMUTH	RAD CENTER	NUMBR OF ANTENNAS	ANTENNA MODEL	ELECTRICAL TILT	MCHANICAL TILT	RRH	FIBER OPTIC MODEL	FIBER OPTIC LENGTH (±10')
1	2500	0°	26'-3"	1	RFS APXVTM14-C-120	2	0	1	HB05B-M12-coax F 1.25"	70'-0"±
2	2500	100°	25'-0"	1	RFS APXVTM14-C-120	-2	0	1	HB05B-M12-coax F 1.25"	30'-0"±
3	2500	240°	31'-3"	1	RFS APXVTM14-C-120	-2	0	1	HB05B-M12-coax F 1.25"	40'-0"±

VERIFY CURRENT EBT'S PRIOR TO BUILD



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NEWPORT

SITE CASCADE:

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SITE ADDRESS:

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COSTA MESA, CA 92626

SHEET DESCRIPTION:

ANTENNA LAYOUTS

SHEET NUMBER:

A-3

EXISTING ANTENNA PLAN

SCALE 1/2"=1'-0" 0 1' 2' 4'

2 FINAL ANTENNA PLAN

SCALE 1/2"=1'-0" 0 1' 2' 4'

1

REVISIONS:

DESCRIPTION	DATE	BY	REV
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ISSUED FOR 100% CDS	03/07/14	RD	1



EXISTING NORTHEAST ELEVATION

SCALE
 1/4"=1'-0" 0 2' 4' 8' **1**



FINAL NORTHEAST ELEVATION

SCALE
 1/4"=1'-0" 0 2' 4' 8' **2**

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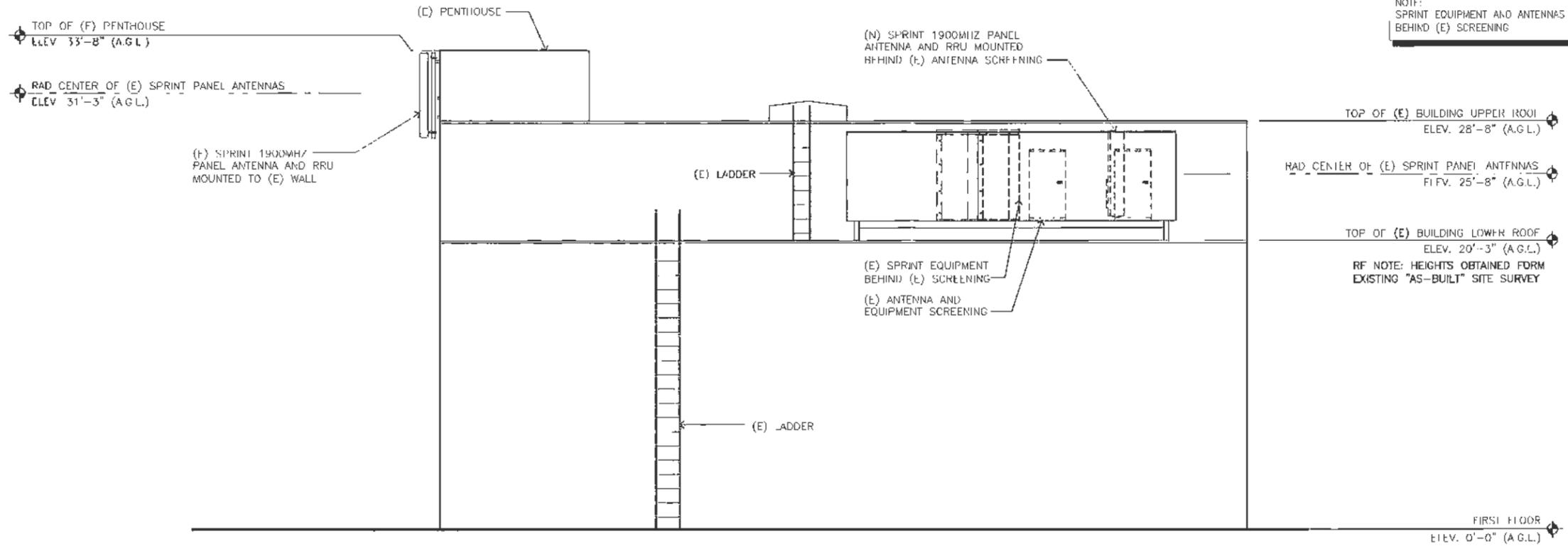
SHEET DESCRIPTION:

ELEVATIONS

SHEET NUMBER:

A-5

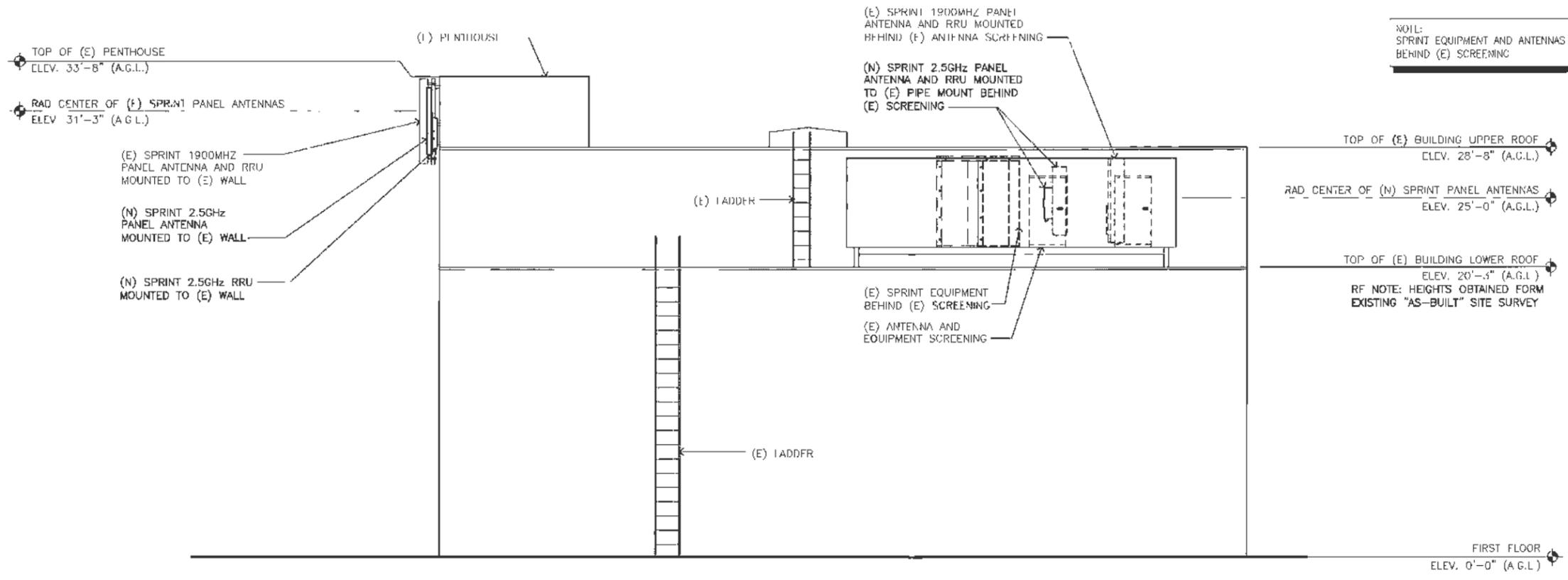
NOTE:
SPRINT EQUIPMENT AND ANTENNAS
BEHIND (E) SCREENING



EXISTING SOUTHEAST ELEVATION

SCALE
1/4" = 1'-0" 0 2' 4' 8' 1

NOTE:
SPRINT EQUIPMENT AND ANTENNAS
BEHIND (E) SCREENING



FINAL SOUTHEAST ELEVATION

SCALE
1/4" = 1'-0" 0 2' 4' 8' 2



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

May 22, 2014

Raymond H. Richards
143 E. 21st Street #C
Costa Mesa, CA 92627

**RE: MINOR CONDITIONAL USE PERMIT (ZA-14-14) FOR A MINOR
AMENDMENT TO ZONE EXCEPTION PERMIT ZE-73-01
669 West 18th STREET, COSTA MESA**

Dear Mr. Richards:

Staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on May 29, 2014, unless appealed by an affected party including filing of the necessary application and payment of the appropriate fee or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Antonio Gardea, at (714) 754-5692, or at antonio.gardea@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Background/Project Description
 Findings
 Conditions of Approval, Code Requirements, and Special District
 Requirements
 Applicant's Project Description Letter
 Site Plan, Elevations, and Floor Plans

cc: Director of Economic & Development / Deputy CEO
 Public Services Director
 City Engineer
 Transportation Services Manager
 Fire Protection Analyst

Newport Mesa Congregation of Jehovah's Witnesses
Attn: Richard G. Williams
669 West 18th Street
Costa Mesa, CA 92627

BACKGROUND

Project Site/Environs

The property is located on the south side of West 18th Street and is a through lot to Park Drive. The 46,004-square foot site is developed with a 4,112-square foot building. A total of 88 parking spaces are provided on site. The property is zoned as R2-HD (Multiple-Family Residential – High Density District) and has a General Plan Designation of High Density Residential. The site is located in a residential neighborhood.

Prior Land Use Approvals

On February 13, 1973, Planning Commission approved Zone Exception Permit ZE-73-01 to allow construction of a religious meeting hall in a residential zone.

PROJECT DESCRIPTION

The applicant is proposing to modify the original permit to construct an addition on the west side of the existing building that could serve as additional assembly space. According to the applicant, the meeting room will be used to better accommodate the special needs of Hindi Language and American Sign Language groups. The addition includes an 810-square foot meeting room and 212-square foot office space. As part of the project the parking lot would be restriped.

ANALYSIS

Amendment to Zone Exception Permit ZE-73-01

As noted earlier, the applicant is proposing to modify the original Zone Exception Permit to construct a 1,022-square foot building addition that would match the existing exterior finishes, roof materials and slope. The addition will serve as a meeting room to accommodate groups with special needs.

According to Costa Mesa Municipal Code Section 13-51.52, Churches and other places of religious assembly are subject to the following development standards:

- (a) Outdoor activity areas are permitted provided that that area does not encroach into required street setback, parking and circulation, or interior landscaped areas; except as approved through the issuance of a minor conditional use permit.
- (b) Accessory facilities in the same or separate building are permitted, including classrooms, assembly rooms, restrooms, kitchen, and a library.
- (c) All churches and other places of religious assembly shall comply with the review procedures indicated in Table 13-30, as well as with all other applicable development standards of this title.

Response: The proposed expansion of the existing church does not include any outdoor activity areas. The addition follows the existing building line along the 20-foot front setback from West 18th Street. The addition to the building will remove six existing parking spaces but not any landscaped areas. The proposed expansion includes an office area and an entry porch adjacent to the parking area. The existing church has counseling and conference rooms as well as a literature area. The proposed addition is adjacent to the existing restrooms. The applicant submitted the minor conditional use permit in accordance with the review procedures for minor changes to existing permitted uses.

In addition to the development standards noted above, Costa Mesa Municipal Code Section 13-15.53 requires that churches and other places of religious assembly that are within 200 feet of residentially-zoned property comply with the following development standards, unless the standards are modified through the issuance of a conditional use permit.

- (a) All exterior lighting shall be shielded and/or directed away from residential areas.
- (b) Outdoor public communication systems shall not be audible in adjacent residential areas.
- (c) Trash facilities shall be screened from view and designed and located appropriately to minimize potential noise and odor impacts to adjacent residential areas.
- (d) Outdoor activity areas shall be oriented away or sufficiently buffered from adjacent residential areas to prevent disturbance of the peaceful use of such areas by residents.
- (e) For new construction, a landscaped planter area, a minimum of five (5) feet in width, shall be provided as an additional buffer to adjacent residential areas. The planter area shall contain appropriate plant materials to provide an immediate and effective screen. Plant materials shall meet with the approval of the planning division. For interior alterations, the planning division may also require the construction of a landscaped planter area to buffer adjacent residential areas, if feasible.
- (f) For new construction, all interior property lines abutting residentially-zoned property shall have a minimum six-foot high masonry wall, as measured from the highest grade. An eight-foot high masonry wall may be required, based on the church's/places of religious assembly operational characteristics, in order to provide additional protection to adjacent residential uses. A planning application may be required for walls exceeding six (6) feet in height. For interior alterations, the planning division may also require the construction of a masonry wall to buffer adjacent residential areas, if feasible.
- (g) Hours of operation for religious services shall not occur any time between 11:00 p.m. and 6:00 a.m.

(h) Truck deliveries shall not occur anytime between 8:00 p.m. and 7:00 a.m.

Response: The existing church has lighting directed away from the surrounding residences, does not use an outdoor public address system, and has a trash enclosure located on the west side of the property near Park Street. The site was originally developed with landscaped planters along at the north, west, and south sides of the property and a six foot tall block walls along the side property lines to screen the church from the adjacent residential uses. The hours of operation do not occur between 11:00 p.m. and 6:00 a.m. as there are no sunrise or midnight services at for any of the religious groups that use this location.

Parking

The proposed project provide parking in excess of the current parking standard for churches and places of religious assembly. A minimum of 76 parking spaces are required and 87 parking spaces are proposed to be provided on site. Although the addition would remove several existing parking spaces and the parking area is being restriped to meet ADA standards, the applicant intends to add more parking spaces to make up the difference and comply with the minimum number of spaces required by the Zoning Code. Consequently, three parking spaces would be striped in an existing gap along the row of parking. Four parking spaces would also be added along the drive aisle nearest to Park Street. The parking area immediately behind the building would also be restriped to include two compact spaces with the intention of minimizing the number of parking spaces that are removed. For nonresidential projects with more than 25 required parking spaces, a maximum of ten percent of required parking may be designated as small car spaces if authorized by minor conditional use permit. However, because parking in excess of that required is being provided, the compact spaces are not included to satisfy the minimum number of spaces required and thereby do not require approval of a minor conditional use permit.

The number of required parking spaces for this religious assembly use has changed since it originally obtained City approvals. The staff report for the original entitlement indicates that the minimum parking required was 84 spaces and 88 were shown on the site plan. It is unclear what parking ratio was used to devise the minimum number of spaces required at the time. The current parking requirement for churches is one space for each three fixed seats or one space for every 35 square feet of seating area if there are no fixed seats within the main auditorium or assembly area. In 2010, the main assembly area was remodeled and City records indicate that 73 parking spaces were required based on a maximum of 220 fixed seats.

The latest plans show that the number of fixed seats would be reduced to 155, effectively reducing the number of required parking to 52 spaces, based on current standards. However taking a conservative approach, the proposed addition would result in an increase of parking requirement of 24 parking spaces because addition may also serve as assembly space. Consequently, a total of 76 parking spaces are required. With the

proposed reconfiguration of the parking lot, 87 on-site parking spaces would be provided, 11 more than required.

Additional Discussion

For purposes of determining intensity of development, staff compared the property to the General Plan designation most church properties have which is Public/Institutional; on that basis, a maximum .25 Floor Area Ratio (FAR) would be permitted. The proposed project results in a .11 FAR; therefore the proposed intensity is consistent and compatible to what is permitted for other church/institutional properties in the City.

The existing architecture blends in with and is compatible with the residential character of the surrounding neighborhood. The existing roof hip will be raised approximately two feet in order to keep the existing 4:12 roof pitch. The addition extends the north façade of the building and uses the same angled walls for architectural continuity. The building addition will match the asphalt shingle roof and stucco finish of the existing building.

For new construction and interior alterations, landscaped planter areas and masonry walls may be required to provide a visual screen and protect the adjacent residential uses. A masonry wall and landscaped planter was constructed as a buffer along the west side of the property adjacent to the two-story apartment building. This planter area is sparsely landscaped with low-scale shrubs. Due to narrowness of the planter along the west side of the property, installation of trees would not be practical. The parking lot consists almost entirely of concrete without any planter areas because of drainage and flooding concerns. In an effort to provide visual relief, staff is adding a condition that new trees be planted and that the existing landscaping be refurbished. In accordance with Costa Mesa Municipal Code Section 13-106 (a) (1), Required landscaping materials, the ratio of trees is derived by dividing the number of parking spaces required by six. Because a total of 24 parking spaces are required for this addition, a condition of approval has been added that the applicant install four additional trees in the existing planter areas.

ENVIRONMENTAL DETERMINATION

If the request is approved, it would be exempt from the provisions of the California Environmental Quality Act under Section 15301 for Existing Facilities. The project site is an existing place of religious assembly where the proposed expansion will not result in an increase of more than 50 percent of the floor area of structures before the addition, or 2,500 square feet. The proposed project is an addition of 1,022 square feet to an existing 4,112 square foot building.

GENERAL PLAN CONFORMITY

The project will be consistent with surrounding uses, as specified in Objective LU-1F.2 of the General Plan Land Use Element.

FINDINGS

- A. The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(2) because:

Required Finding: The proposed development or use is substantially compatible with developments in the same general area and would not be materially detrimental to other properties within the area.

Response: The applicant is proposing to construct an addition to the existing building that will serve as a meeting room to accommodate groups with special needs. The building addition will be constructed with a stucco finish and roof material that matches the existing building. The existing architecture blends in with and is compatible with the residential character of the surrounding neighborhood.

Required Finding: Granting the conditional use permit or minor conditional use permit will not be materially detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood.

Response: Granting the minor conditional use permit to allow construction of the addition will not be detrimental to the properties in the immediate neighborhood because adequate parking is provided for the meeting room that may serve as additional assembly space. The site abuts properties containing high density residential uses. The existing building is designed with materials that blend in with and harmonize with the residential surroundings. The addition will be constructed of materials to match the existing finishes of the building.

Required Finding: Granting the conditional use permit or minor conditional use permit will not allow a use, density or intensity which is not in accordance with the general plan designation and any applicable specific plan for the property.

Response: For purposes of determining intensity of development, staff compared the property to the General Plan designation most church properties have which is Public/Institutional; on that basis, a maximum .25 Floor Area Ratio (FAR) would be permitted. The proposed project results in a .11 FAR; therefore the proposed intensity is consistent and compatible to what is permitted for other church/institutional properties in the City.

- B. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines; and the City environmental procedures, and is exempt from CEQA under Section 15301 for Existing Facilities.

- C. The project, as conditioned, is consistent with Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code in that the development project's traffic impacts will be mitigated by the payment of traffic impact fees.

CONDITIONS OF APPROVAL

- Plng. 1. The use shall be limited to the type of operation as described herein. Any change in the operational characteristics shall require review by the Planning Division and may require an amendment to the conditional use permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change. The applicant is reminded that Code allows the Planning Commission to modify or revoke any planning application based on findings related to public nuisance and/or noncompliance with conditions of approval [Title 13, Section 13-29(o)].
2. The conditional use permit herein approved shall be valid until revoked, but shall expire upon discontinuance of the activity authorized hereby for a period of 180 days or more. The conditional use permit may be referred to the Planning Commission for modification or revocation at any time if the conditions of approval have not been complied with, if the use is being operated in violation of applicable laws or ordinances, or if, in the opinion of the development services director or his designee, any of the findings upon which the approval was based are no longer applicable.
3. No modification(s) of the approved building elevations including, but not limited to, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process such as a minor design review or a variance, or in the requirement to modify the construction to reflect the approved plans.
4. The conditions of approval and ordinance or code provisions of planning application ZA-14-014 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
5. A copy of the conditions of approval for the conditional use permit must be kept on premises and presented to any authorized City official upon request. New business/property owners shall be notified of conditions of approval upon transfer of business or ownership of land.
6. Applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses

incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.

7. The applicant shall plant three (3), 15-gallon canopy-type evergreen trees and one (1), 24-inch box tree in the existing planters. The applicant shall refurbish the existing landscaping (shrubs and ground cover) in the existing planters prior to final building inspection.
- Parks. 8. The applicant shall plant a 24-inch box, Pyrus 'Redspire' street tree in the landscape parkway along 18th Street prior to final building inspection.

CODE REQUIREMENTS

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

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|--------------|----------|---|
| PIng. | 1. | Approval of the zoning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by obtaining a business license and legally establishes the business. If the applicant is unable to establish the use within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the planning application. |
| Bus.
Lic. | 2.
3. | 2. Parking stalls shall be double striped per City Design Standards.
3. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained. |
| Bldg. | 4. | 4. Comply with the requirements of the 2013 California Building Code, 2013 California Electrical Code, 2013 California Mechanical Code , 2013 California Plumbing Code, 2013 California Green Building Standards Code, and 2013 California Energy Code (or the applicable adopted California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Areas of alteration and additions shall comply with 2013 California Green Building Standards Code Section 5.303.2. |
| | 5. | 5. Applicant shall contact the Air Quality Management District (AQMD) at (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD. |
| | 6. | 6. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information. |
| | 7. | 7. Submit a precise grading plans, an erosion control plan and a hydrology study. A precise grading plan shall not be required if any of the following are met:
1- An excavation which does not exceed 50 CY on any one site and which is less than 2 ft in vertical depth, or which does not create a cut slope greater than 1 ½:1 (excluding foundation area). |
| | 8. | 8. Submit a soils report for this project. Soil's Report recommendations shall be printed on both the architectural and the precise grading plans. |
| | 9. | 9. On graded sites the top of exterior foundation shall extend above the |

elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus 2 percent. 2013 California Building Code CRC 403.1.7.3. Lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. CRC R401.3.

- Trans. 10. Fulfill mitigation of off-site traffic impacts at the time of issuance of occupancy by submitting to the Planning Division the required traffic impact fee pursuant to the prevailing schedule of charges adopted by the City Council. The traffic impact fee is calculated based up on the average daily trip generation rate of 9.11 trip ends per TSF for the proposed project and includes a credit for any previously existing use. At the current rate per trip end, the traffic impact fee is estimated at \$500.00. NOTE: The Traffic Impact Fee will be recalculated at the time of issuance of building permit based upon any changes in the prevailing schedule of charges adopted by the City Council and in effect at that time.
- Eng. 11. For demolition, grading, or building permits involving projects with a valuation of \$10,000 or more, the contractor shall use a City-permitted hauler(s) to haul any debris or solid waste from the job site (refer to Section 8-83(h), Regulations, of Title 8 of the Costa Mesa Municipal Code). Use of a City-permitted hauler for such projects is the responsibility of the designated contractor. Non-compliance is subject to an administrative penalty as follows: \$1,000 or 3% of the total project value, whichever is greater.

**Newport Mesa Congregation
of Jehovah's Witnesses**
669 West 18th Street
Costa Mesa, CA 92627

March 25, 2014

Planning Commission
City of Costa Mesa
77 Fair Drive
Costa Mesa, CA 92628-1200

Subject : **MINOR CONDITIONAL USE PERMIT**, Application for
Site : 669 West 18th Street, Costa Mesa, CA 92627
Use : "Church" ~ Kingdom Hall of Jehovah's Witnesses
Gentlemen :

The following statements are given in support of our application for a Minor Conditional Use Permit.

Purpose : In order to better accommodate the special needs of an existing Hindi Language group and potentially other small groups, such as American Sign Language, the Title Holder seeks to obtain the City's approval for a Room Addition.

Given the zoning surrounding the site, and there being no Conditional Use Permit of Record, it is understood that a Minor Conditional User Permit will be required for a Room Addition.

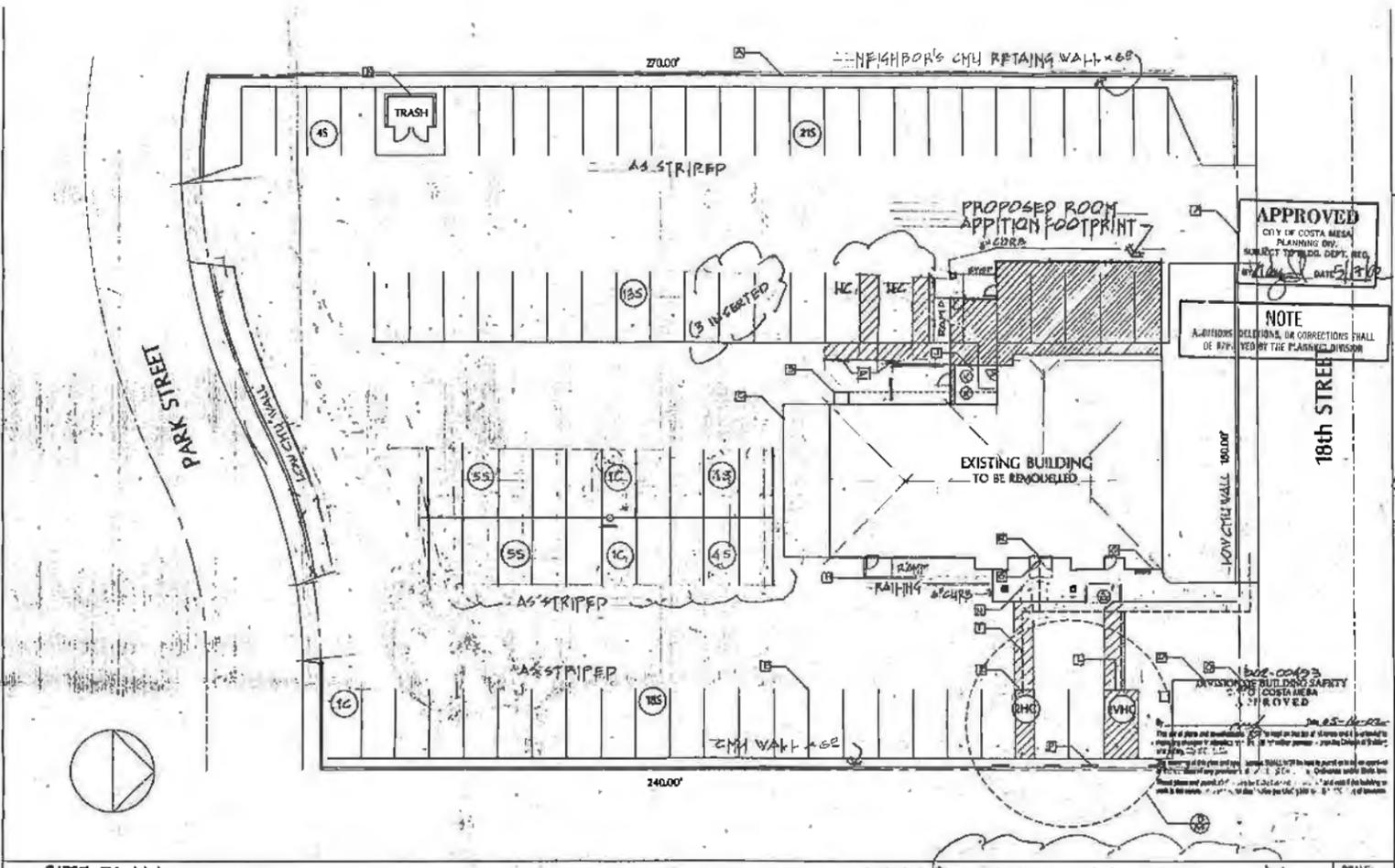
Impact : Land (area) use and on-site parking and landscaping will remain within City Requirements. Vehicular traffic will remain essentially unchanged. The architectural style, finish and features of the room addition will match those of the existing building.

History : Development of the site was originally accepted by the City of Costa Mesa under a letter dated January 22, 1975. The use and purpose of the site has remained unchanged, and it is serving the needs of and being maintained by two English and two Spanish speaking congregations.

By : Newport Mesa Congregation of Jehovah's Witnesses,



Richard G. Williams,
President, Title Holding Corporation



ARCHITECT:
MAXWELL & ASSOCIATES
2175 PACIFIC AVENUE # C-4
COSTA MESA, CALIFORNIA 92627
TELEPHONE NO. 444.632.8010
FACSIMILE NO. 444.646.5073
E-MAIL: maxwell@mmaxwell.com
ATTN: GARY C. MAXWELL

OWNER-BUILDER:
NEWPORT MESA CONGREGATION
JEHOVAH'S WITNESSES
669 WEST 18TH STREET
COSTA MESA, CALIFORNIA 92627

OWNER:
NEWPORT MESA CONGREGATION
JEHOVAH'S WITNESSES
669 WEST 18TH STREET
COSTA MESA, CALIFORNIA 92627

M.E.P. ENGINEERING:
PAUL KANDARIAN
1491 GLENVIEW STREET
LAGUNA BEACH, CA 92651
TELEPHONE NO. (444) 491-3541
EMAIL: PEKSLAND@aol.com

CODE ANALYSIS:
CONSTRUCTION TYPE: TYPE V-N
NON-SPRINKLERED
EXISTING OCCUPANCY GROUP: A-3
STORIES: ONE
CODES: INT. IBC, IBC, IFC, IFCB AND IBCB NEG

FLOOR AREA:
CHURCH - CONFERENCE: 150 SQ. FT.
CHURCH - COUNSELLING: 200 SQ. FT.
CHURCH - LOUNGE: 500 SQ. FT.
CHURCH - SEATING: 1200 SQ. FT.
MECH. TOILET, JANITOR: 120 SQ. FT.
TOTAL = 4112 SQ. FT.

PARKING:
REQUIRED: 1725 / 3 = 575 SPACES
REQUIRED ACCESSIBLE: 11 VAN ACCESSIBLE
PROVIDED: 2 CAR ACCESSIBLE
2 CAR ACCESSIBLE
75 STANDARD
3 COMPACT
TOTAL PROVIDED: 254

LOT DATA:
LOT SIZE: 180' x 240' x VARIES x 270'
LOT AREA: 46,004 SQ. FT.
LANDSCAPING: 3,285.00 SQ. FT.
(2,200.00 SQ. FT. REQ'D)

OCCUPANT LOAD:
ASSEMBLY - FIXED SEATS: 1300000
(225 SQ. FT.)
ASSEMBLY - COUNSELLING: 20000
(300 SQ. FT. x 1 / 15 SQ. FT.)
ASSEMBLY - CHURCH: 41000
(201 SQ. FT. x 1 / 7 SQ. FT.)
ASSEMBLY - CONFERENCE: 10000
(100 SQ. FT. x 1 / 15 SQ. FT.)
TOTAL = 261 OCCUPANTS

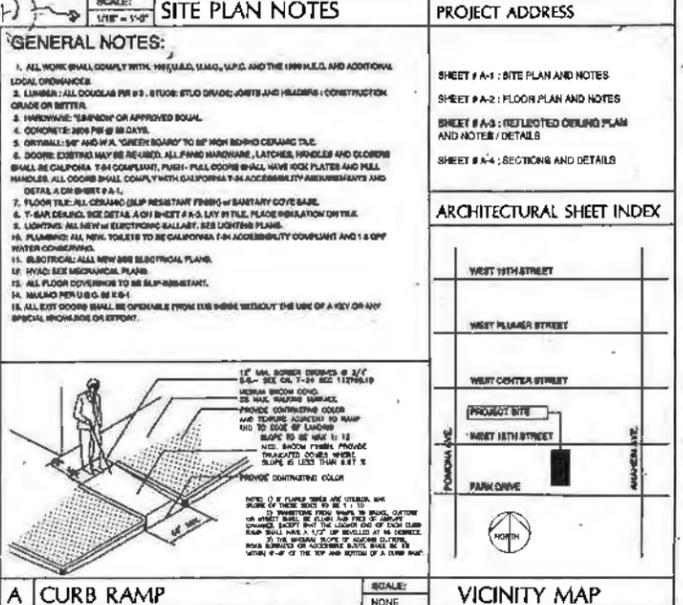
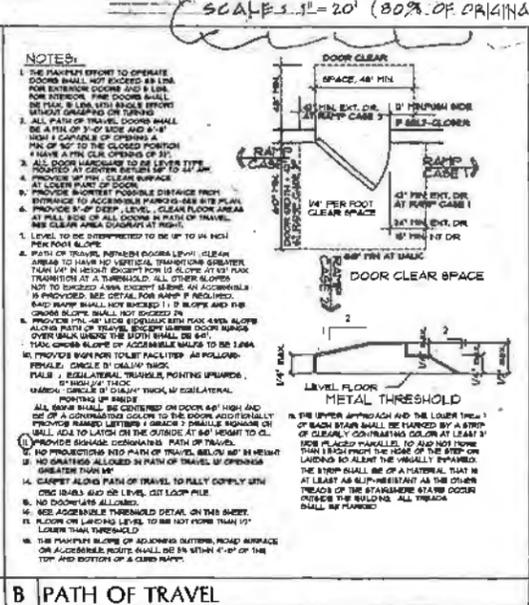
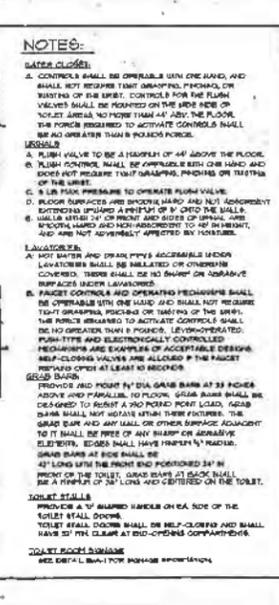
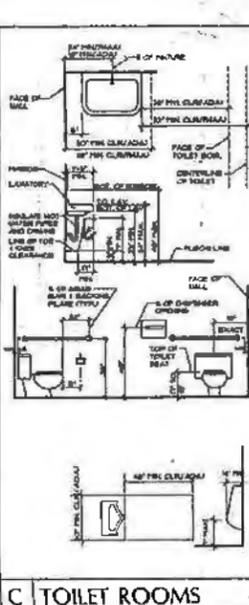
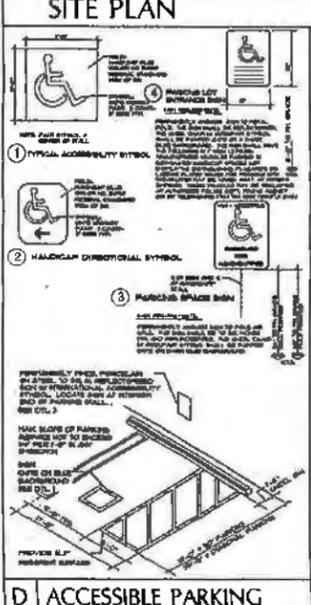
PROJECT DESCRIPTION:
NO ADDED FLOOR AREA.
NO CHANGE OF USE.
INTERIOR TENANT IMPROVEMENT
MODIFICATIONS TO RECONFIGURE
NON-BEARING WALLS AND SOME
BEARING WALLS TO ACCOMMODATE
ACCESSIBILITY FEATURES AND
RESTRICTED PORTION OF LOT FOR
IMPROVING ACCESSIBLE PARKING.

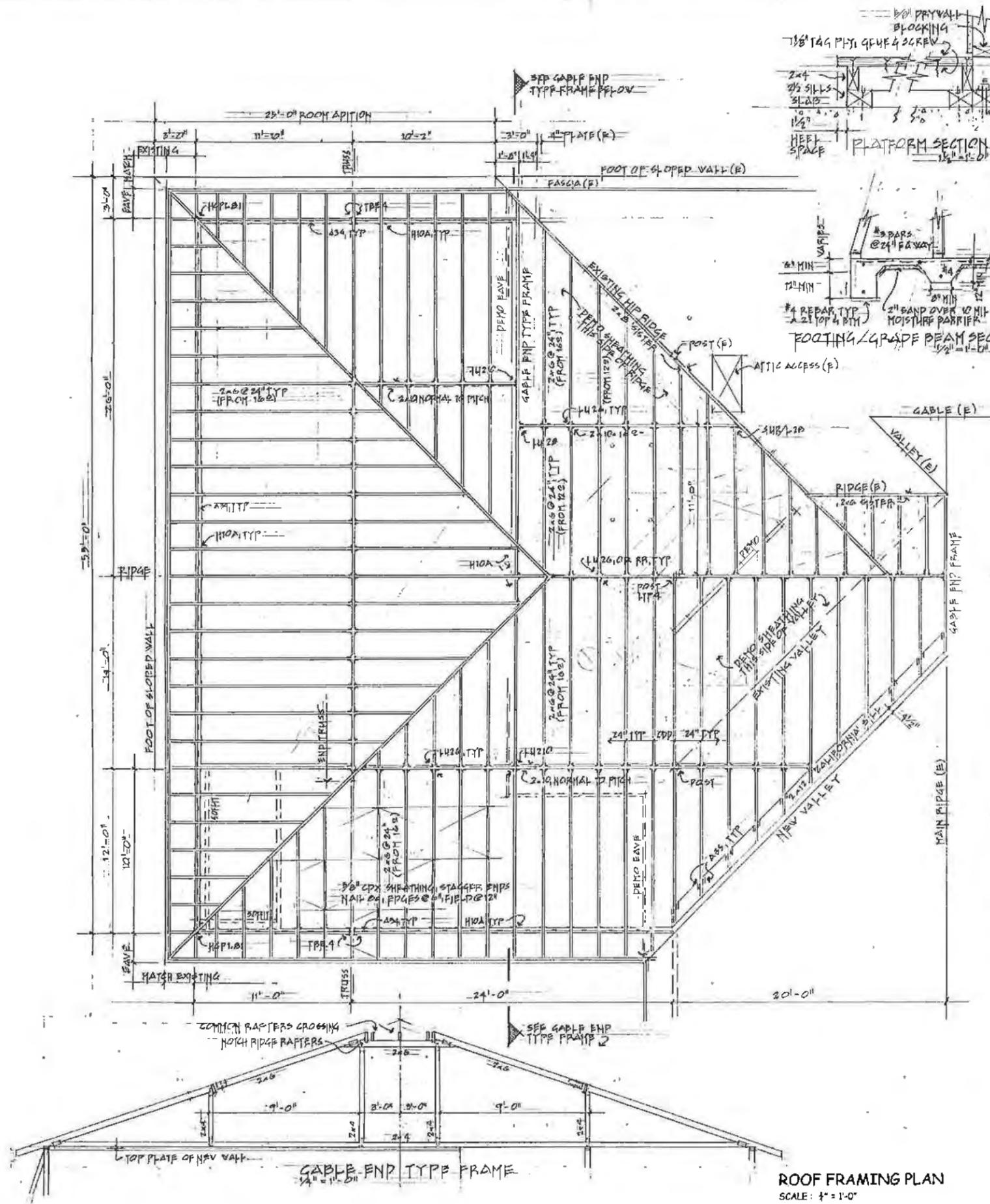
LEGAL DESCRIPTION:
PARCEL 1: WEST 60.00 FEET OF EAST
150.00 FEET OF LOT 505 OF THE
NEWPORT MESA TRACT
PARCEL 2: WEST 60 FEET OF THE EAST
210 FEET OF LOT 505 OF THE NEWPORT
MESA TRACT
PARCEL 3: WEST 60 FEET OF THE EAST
270 FEET OF LOT 505, NEWPORT MESA
TRACT.
ALL IN THE CITY OF COSTA MESA,
COUNTY OF ORANGE AS PER MAP
RECORDED IN BOOK 5, PAGE 1 OF
MISCELLANEOUS RECORDS IN THE OFFICE
OF THE COUNTY RECORDER OF SAID
COUNTY.

Address:
669 WEST 18TH STREET
COSTA MESA, CA 92627
A.P.N. 424-281-06

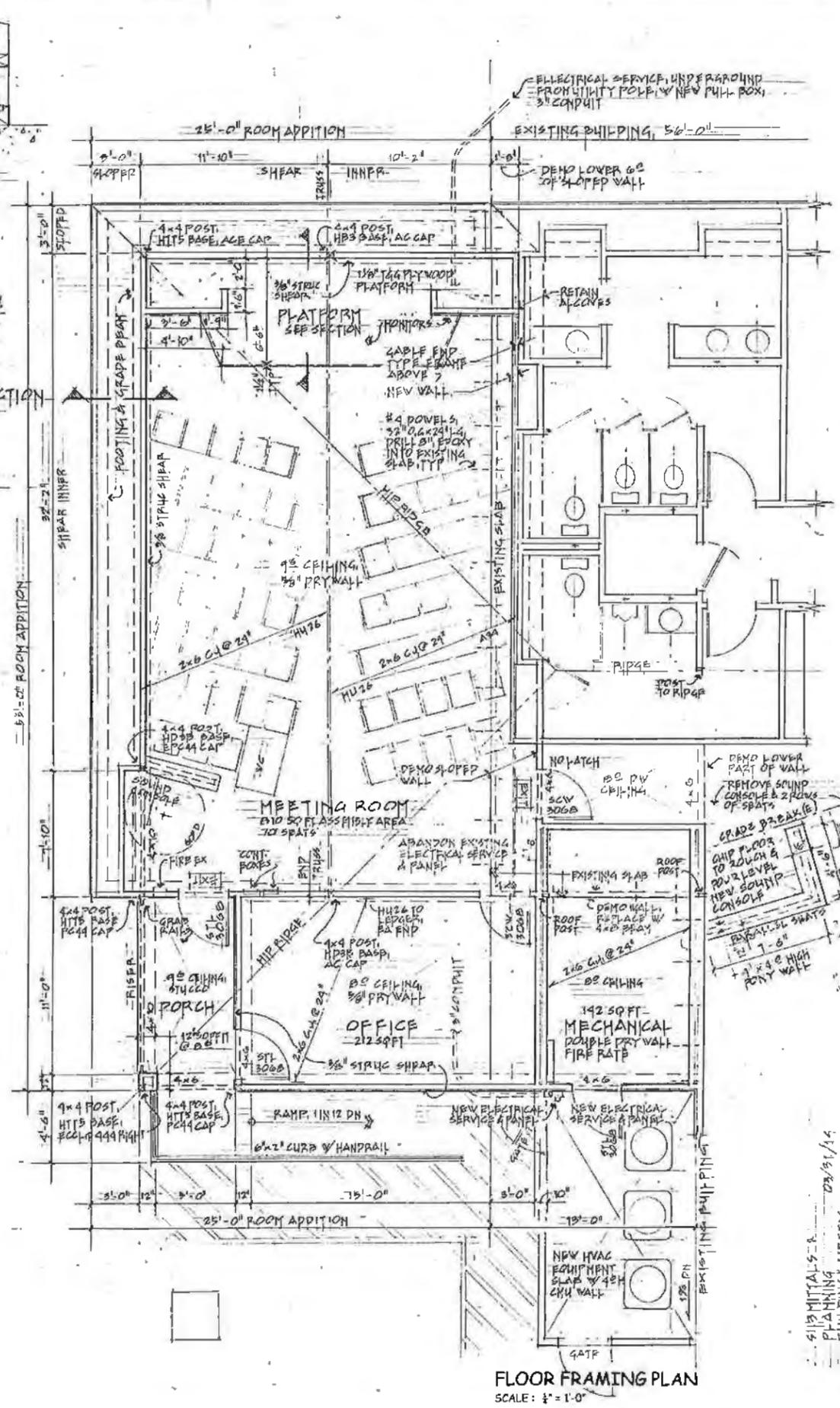
REGIONAL BUILDING
COMMITTEE # 9

OWNER REMODEL : EXISTING
KINGDOM HALL OF JEHOVAH'S WITNESSES
669 W. 18th STREET
COSTA MESA, CALIFORNIA 92627





ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

REVISIONS:

CONTACT:
RAYMOND H. RICHARDS, P.E.
143 EAST 21ST STREET #C, COSTA MESA, CA 92627
949 642 6592

OWNER/BUILDER ~ ~ ~ PROPOSED ROOM ADDITION TO
KINGDOM HALL of JEHOVAH'S WITNESSES
669 W 18TH SREET, COSTA MESA, CA 92627

