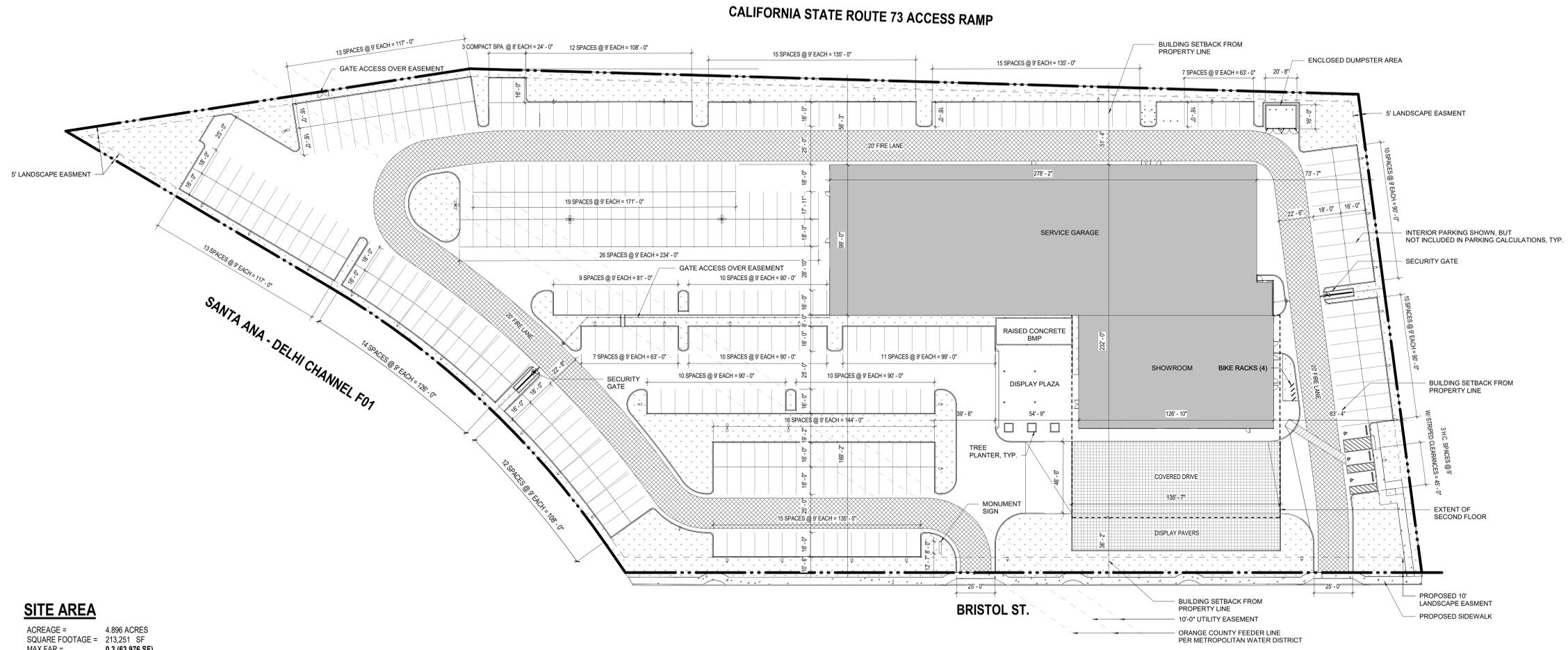

APPENDIX F

Site Plan, Floor Plans, Elevations, Site Photometrics, Correspondence



SITE AREA
 ACREAGE = 4.896 ACRES
 SQUARE FOOTAGE = 213,251 SF
 MAX FAR = 0.3 (63,976 SF)

LEVEL	GROSS AREA	FAR
LEVEL 1	33,807 SF	0.15
LEVEL 2	17,164 SF	0.08
TOTAL GROSS SF	50,971 SF	
TOTAL FAR	0.23	

PARKING CALCULATIONS

PARKING REQUIRED
 (PER COSTA MESA ZONING CODE, ARTICLE 2, TABLE 13-89)
 54,970SF @ 4 SPACES/1,000 SF = **220 SPACES**

CUSTOMER	51 SPACES
DISPLAY	31 SPACES
INVENTORY / EMPLOYEE	188 SPACES
PARKED ON ROOF	73
PARKING PROVIDED =	343 SPACES

ZONING CLASSIFICATION
 C2 - GENERAL BUSINESS

NOTE: PLEASE SEE CIVIL SITE PLAN (C2.00 & C2.01) FOR FURTHER SITE DIMENSIONING & DETAIL

Date	Description

Seal / Signature

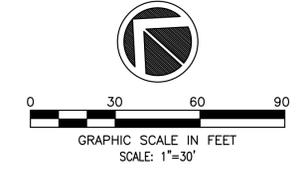
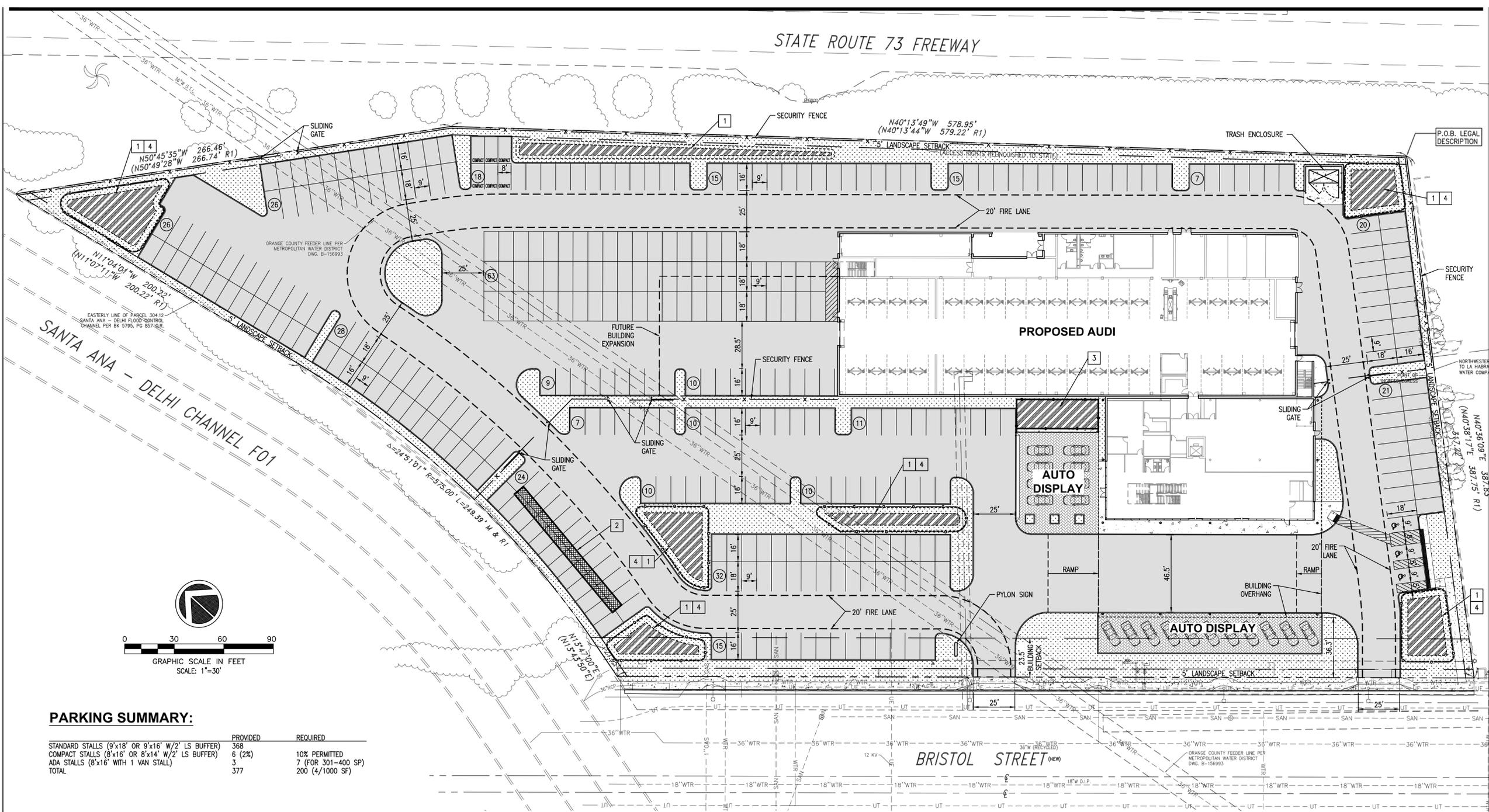
**NOT FOR CONSTRUCTION
 PLANNING REVIEW ONLY**

Project Name	AUDI FLETCHER JONES
Project Number	27.6664.011
Description	SITE PLAN

Scale 1/32" = 1'-0"
 SHEET SIZE: 30" x 42"

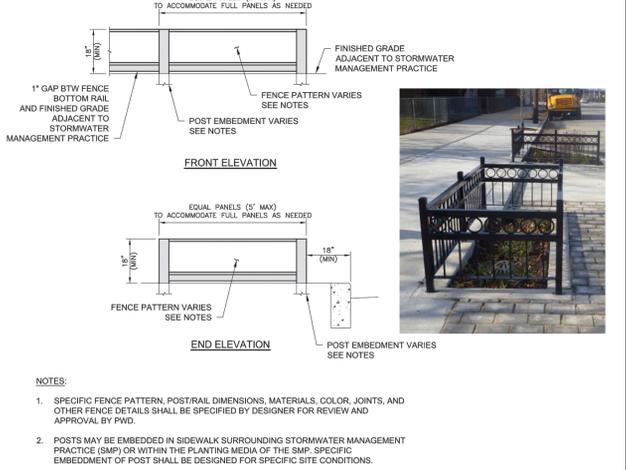
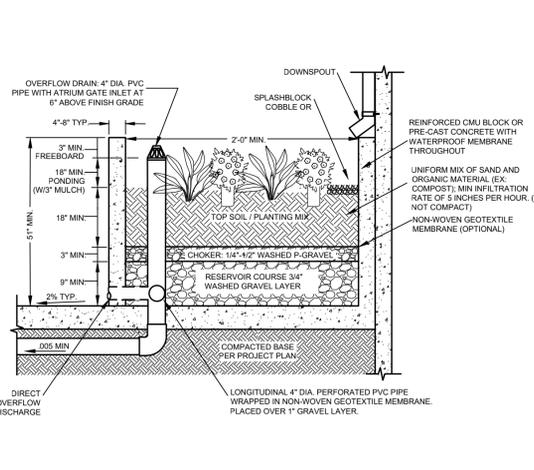
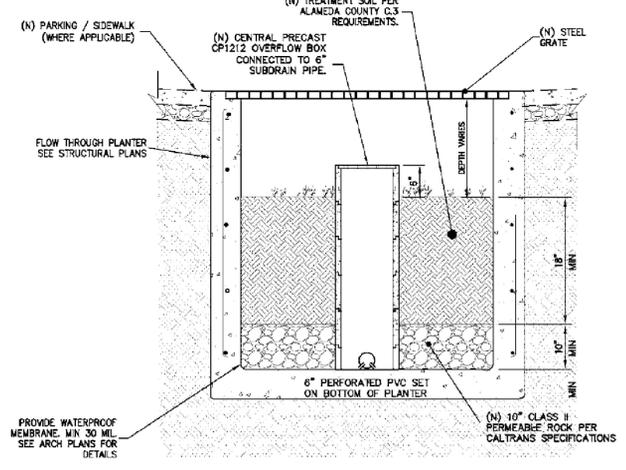
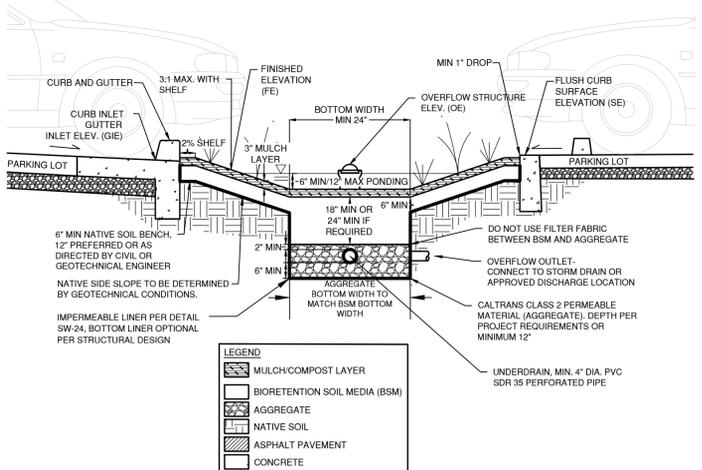
PA0.01

STATE ROUTE 73 FREEWAY

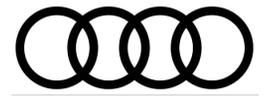


PARKING SUMMARY:

	PROVIDED	REQUIRED
STANDARD STALLS (9'x18' OR 9'x16' W/2' LS BUFFER)	368	
COMPACT STALLS (8'x16' OR 8'x14' W/2' LS BUFFER)	6 (2%)	10% PERMITTED
ADA STALLS (8'x16' WITH 1 VAN STALL)	3	7 (FOR 301-400 SP)
TOTAL	377	200 (4/1000 SF)



Fletcher Jones Motorcars, Inc.
7300 W. SAHARA AVENUE
LAS VEGAS, NV 89117



Gensler
5420 LBJ FREEWAY, SUITE 1100
DALLAS, TX 75240
TELEPHONE: 214.273.1500
FAX: 214.273.1505

CALICHI DESIGN GROUP
CIVIL ENGINEERING
1 N. LASALLE STREET
SUITE 3950
CHICAGO, IL 60602
PHONE: 312.940.4393

Seal / Signature

Date	Description
01.08.2019	CONCEPT PLAN 5A



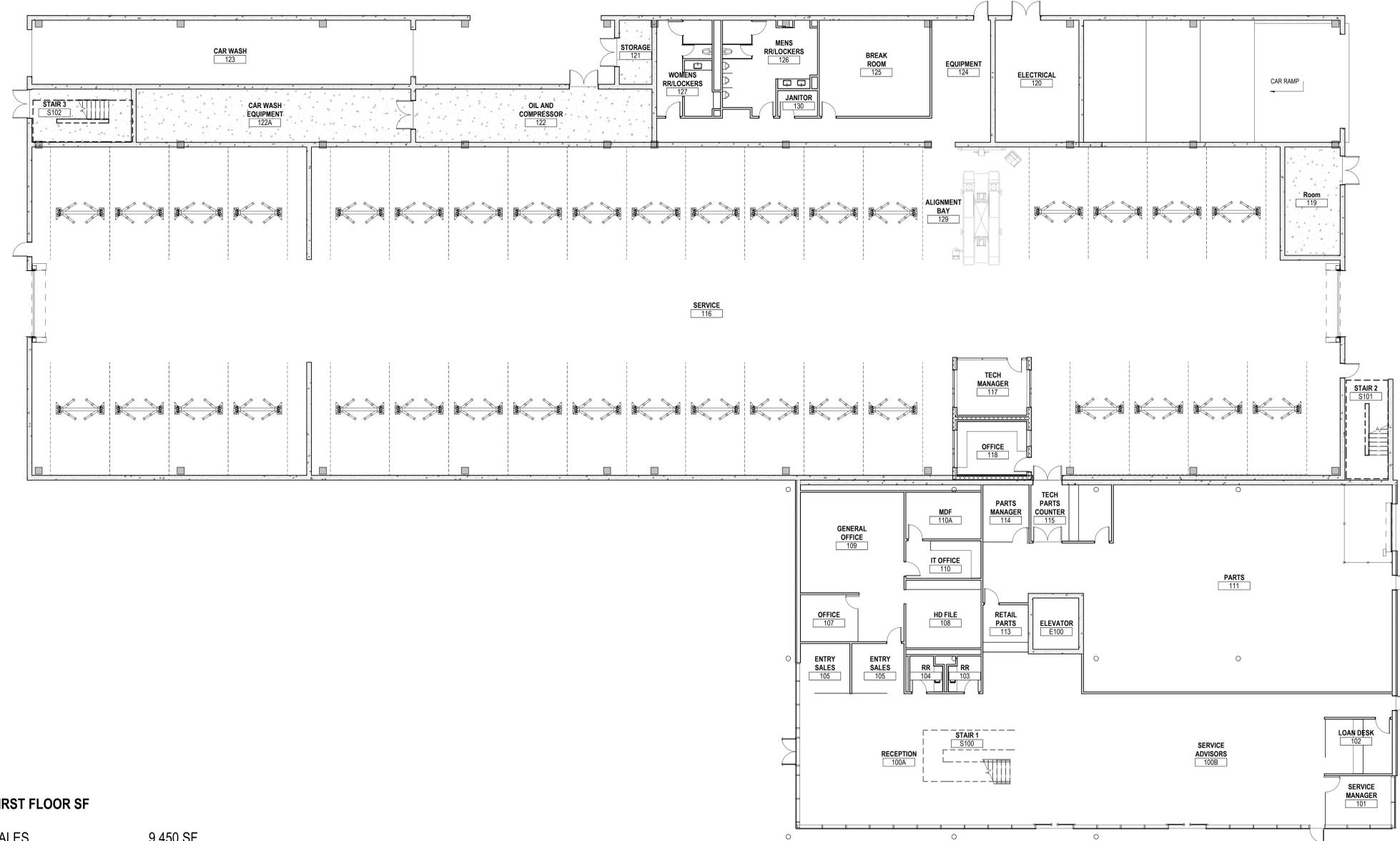
Project Name
AUDI OF COSTA MESA
1275 S. BRISTOL STREET
COSTA MESA, CALIFORNIA 92626

Project Number
27.6664.000

Description
CONCEPT PLAN 5A

Scale
AS SHOWN SHEET SIZE: 24" x 36"

CON-5A Ref. North



FIRST FLOOR SF

SALES	9,450 SF
SERVICE GARAGE	27,540 SF
TOTAL	36,990 SF

SECOND FLOOR SF

SALES	17,980 SF
SURFACE PARKING	27,540 SF
TOTAL	45,520 SF

TOTAL SF

FIRST FLOOR	36,990 SF
SECOND FLOOR	45,520 SF
TOTAL	82,510 SF

Date	Description

Seal / Signature

PRELIMINARY

THESE DOCUMENTS ARE INCOMPLETE AND NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION.

ERICK DEL ANGEL, AIA
 TEXAS ARCHITECT REGISTRATION # 19496

Project Name

AUDI FLETCHER JONES

Project Number

27.6664.011

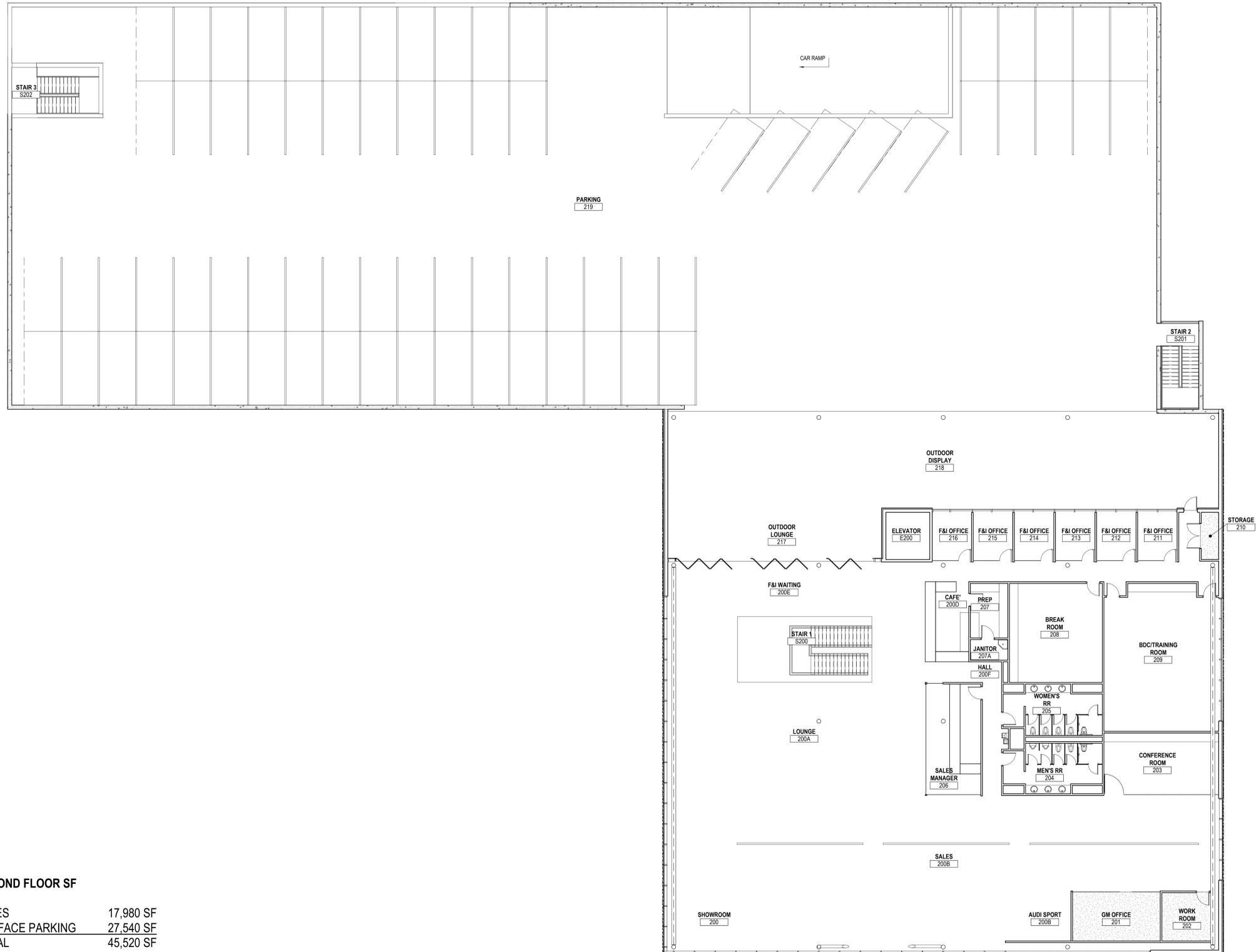
Description

FLOOR PLAN - FIRST FLOOR - OVERALL

Scale SHEET SIZE: 30" x 42"

3/32" = 1'-0"

P01



SECOND FLOOR SF

SALES	17,980 SF
SURFACE PARKING	27,540 SF
TOTAL	45,520 SF

Date	Description
------	-------------

Seal / Signature

PRELIMINARY

THESE DOCUMENTS ARE INCOMPLETE AND NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION.

ERICK DEL ANGEL, AIA
 TEXAS ARCHITECT REGISTRATION # 19496

Project Name

AUDI FLETCHER JONES

Project Number

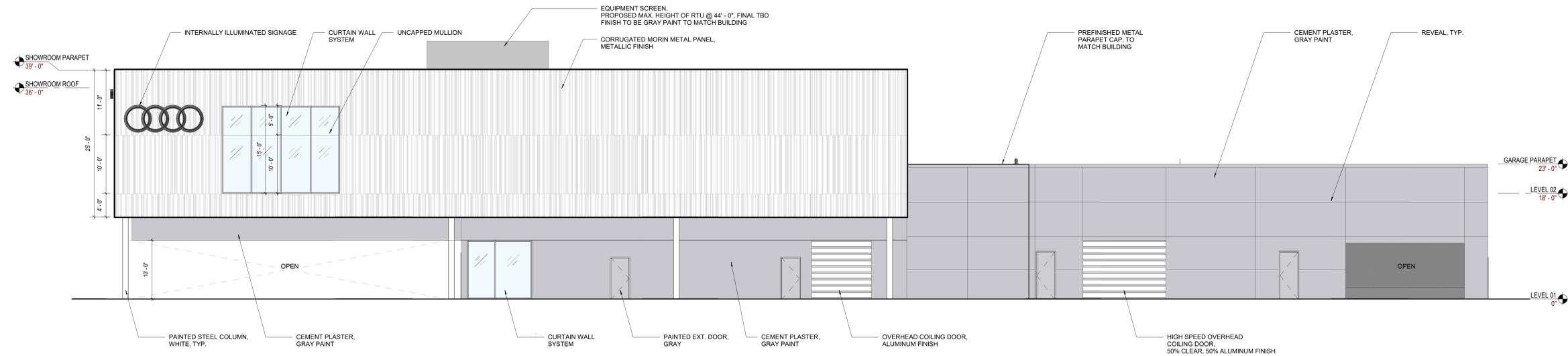
27.6664.011

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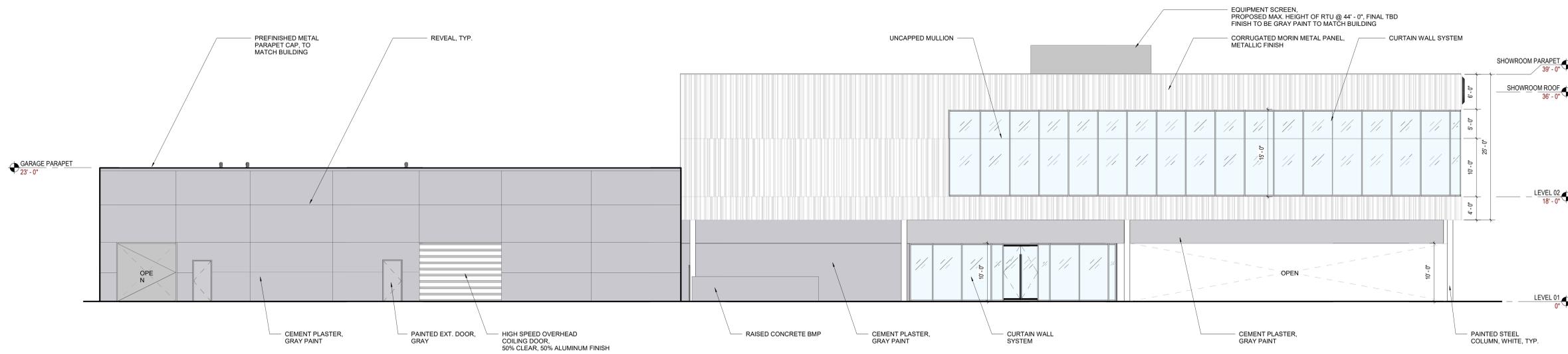
FLOOR PLAN - SECOND FLOOR - OVERALL

Scale SHEET SIZE: 30" x 42"

3/32" = 1'-0"



01 OVERALL ELEVATION - SOUTHEAST
 SCALE: 1/8" = 1'-0"



02 OVERALL ELEVATION - NORTHWEST
 SCALE: 1/8" = 1'-0"

Date	Description
------	-------------

Seal / Signature

**NOT FOR CONSTRUCTION
 PLANNING REVIEW ONLY**

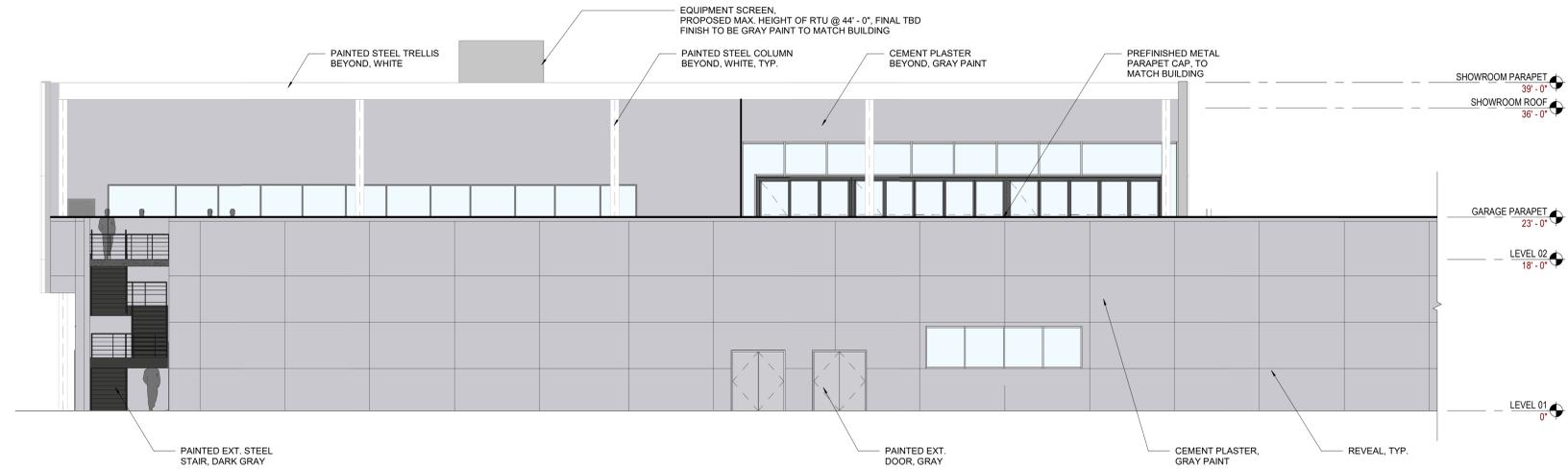
Project Name
AUDI FLETCHER JONES

Project Number
27.6664.011

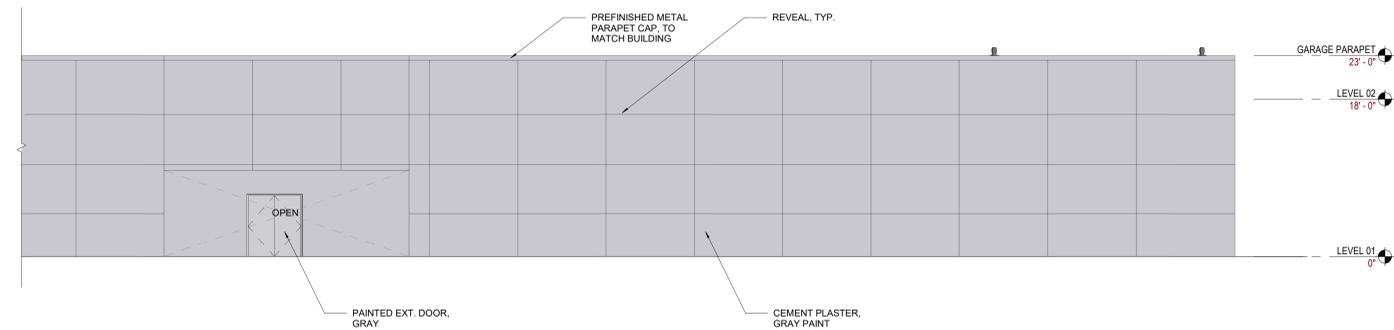
Description
RENDERED ELEVATIONS

Scale SHEET SIZE: 30" x 42"
 1/8" = 1'-0"

PA2.04



01 EXTERIOR ELEVATION - NORTHEAST
 SCALE: 1/8" = 1'-0"



02 EXTERIOR ELEVATION - NORTHEAST
 SCALE: 1/8" = 1'-0"

Date	Description
------	-------------

Seal / Signature

**NOT FOR CONSTRUCTION
 PLANNING REVIEW ONLY**

Project Name

AUDI FLETCHER JONES

Project Number

27.6664.011

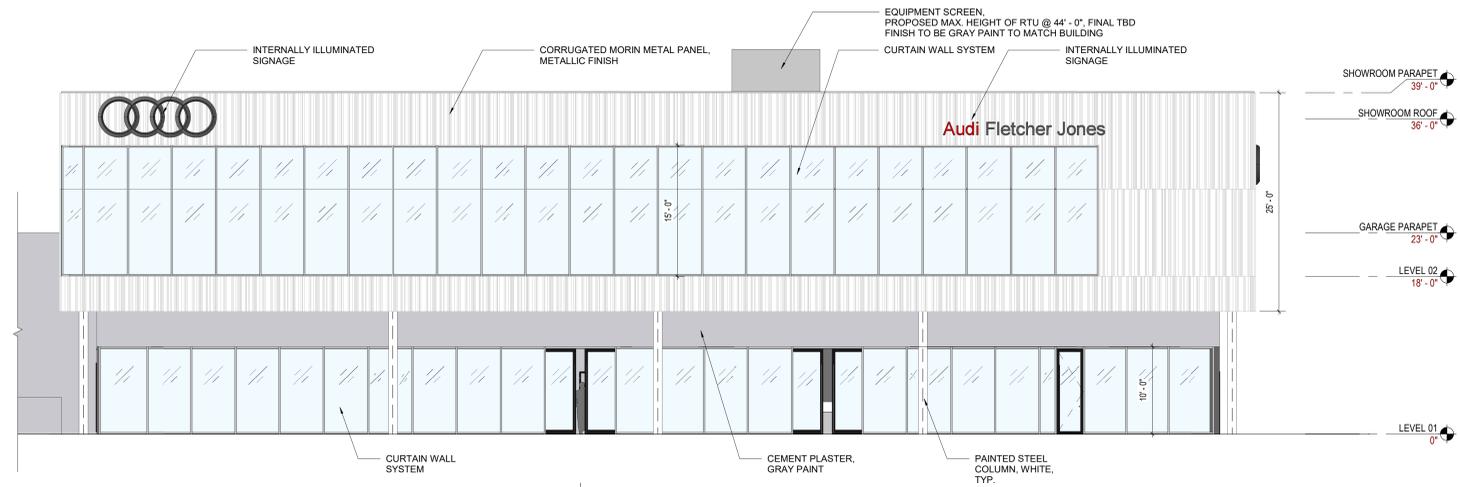
Description

RENDERED ELEVATIONS

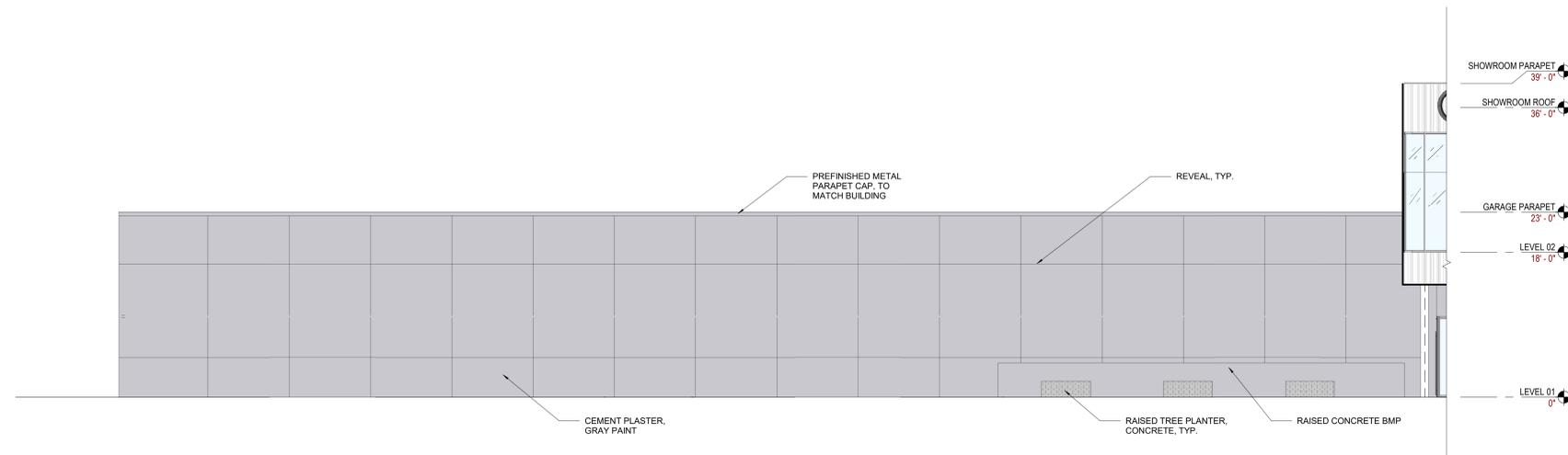
Scale SHEET SIZE: 30" x 42"

1/8" = 1'-0"

PA2.05



01 EXTERIOR ELEVATION - SOUTHWEST
 SCALE: 1/8" = 1'-0"



02 EXTERIOR ELEVATION - SOUTHWEST
 SCALE: 1/8" = 1'-0"

Date	Description
------	-------------

Seal / Signature

**NOT FOR CONSTRUCTION
 PLANNING REVIEW ONLY**

Project Name
AUDI FLETCHER JONES
 Project Number
27.6664.011
 Description
RENDERED ELEVATIONS

Scale
 1/8" = 1'-0"
 SHEET SIZE: 30" x 42"

PA2.06

GENERAL NOTES

FLETCHER JONES
 1100 BRISTOL STREET
 COSTA MESA, CA 92626

Gensler

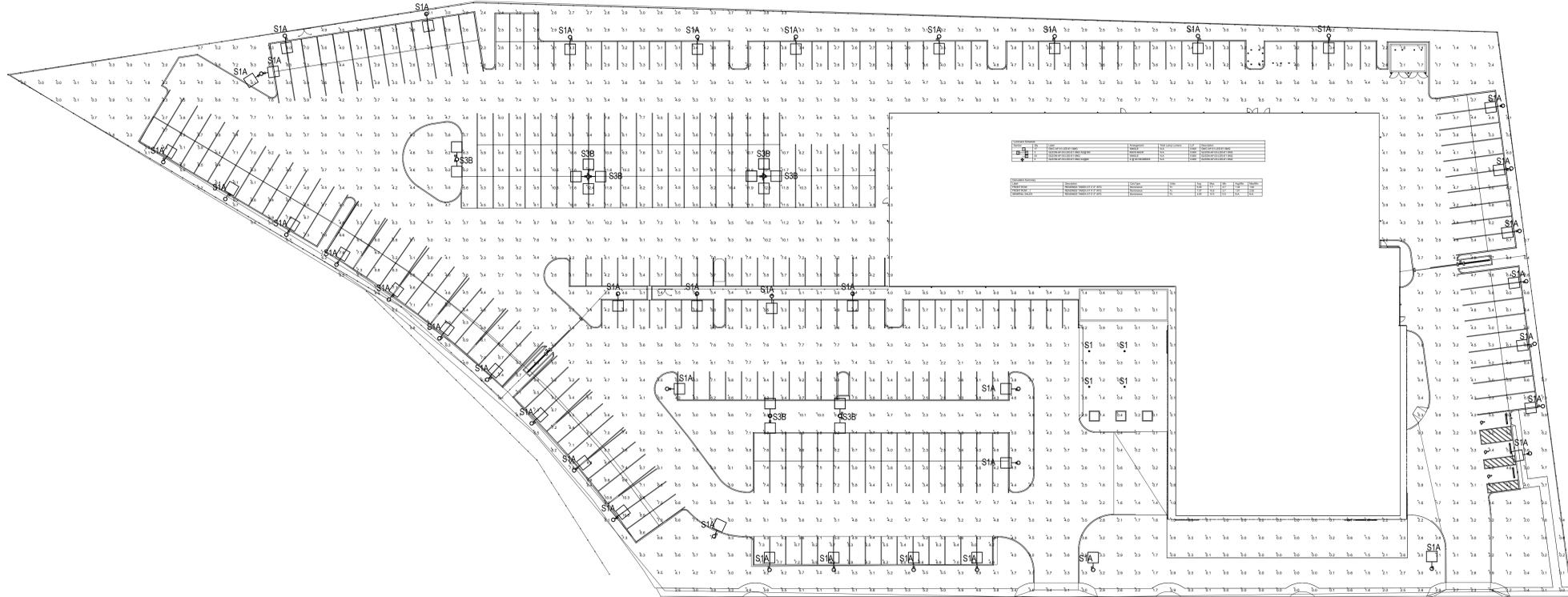
5005 Greenville Ave. Tel 214.273.1500
 Dallas, TX 75206 Fax 214.273.1505
 United States

CIVIL
 CallChi Design Group
 1 North LaSalle Street
 Suite 3950
 Chicago, IL 60602
 Tel (312) 940-4393

LANDSCAPE
 David Neault Associates, Inc.
 41877 Enterprise Circle North
 Suite 140
 Temecula, CA 92590
 Tel (951) 204-5884

MEP
 Glumac
 105 E. 6th Street
 Suite 900
 Austin, TX 78701
 Tel (512) 861-8320

STRUCTURAL
 Walter P. Moore
 707 Wishire Boulevard
 Suite 2100
 Los Angeles, CA 90017
 Tel (310) 254-1900



Symbol	Light Fixture	Height	Beam Spread	Footcandle
S1A	High Bay	15'	120°	100
S1B	High Bay	15'	120°	100
S1C	High Bay	15'	120°	100
S1D	High Bay	15'	120°	100
S1E	High Bay	15'	120°	100
S1F	High Bay	15'	120°	100
S1G	High Bay	15'	120°	100
S1H	High Bay	15'	120°	100
S1I	High Bay	15'	120°	100
S1J	High Bay	15'	120°	100
S1K	High Bay	15'	120°	100
S1L	High Bay	15'	120°	100
S1M	High Bay	15'	120°	100
S1N	High Bay	15'	120°	100
S1O	High Bay	15'	120°	100
S1P	High Bay	15'	120°	100
S1Q	High Bay	15'	120°	100
S1R	High Bay	15'	120°	100
S1S	High Bay	15'	120°	100
S1T	High Bay	15'	120°	100
S1U	High Bay	15'	120°	100
S1V	High Bay	15'	120°	100
S1W	High Bay	15'	120°	100
S1X	High Bay	15'	120°	100
S1Y	High Bay	15'	120°	100
S1Z	High Bay	15'	120°	100
S1AA	High Bay	15'	120°	100
S1AB	High Bay	15'	120°	100
S1AC	High Bay	15'	120°	100
S1AD	High Bay	15'	120°	100
S1AE	High Bay	15'	120°	100
S1AF	High Bay	15'	120°	100
S1AG	High Bay	15'	120°	100
S1AH	High Bay	15'	120°	100
S1AI	High Bay	15'	120°	100
S1AJ	High Bay	15'	120°	100
S1AK	High Bay	15'	120°	100
S1AL	High Bay	15'	120°	100
S1AM	High Bay	15'	120°	100
S1AN	High Bay	15'	120°	100
S1AO	High Bay	15'	120°	100
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S1AQ	High Bay	15'	120°	100
S1AR	High Bay	15'	120°	100
S1AS	High Bay	15'	120°	100
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S1AY	High Bay	15'	120°	100
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S1BE	High Bay	15'	120°	100
S1BF	High Bay	15'	120°	100
S1BG	High Bay	15'	120°	100
S1BH	High Bay	15'	120°	100
S1BI	High Bay	15'	120°	100
S1BJ	High Bay	15'	120°	100
S1BK	High Bay	15'	120°	100
S1BL	High Bay	15'	120°	100
S1BM	High Bay	15'	120°	100
S1BN	High Bay	15'	120°	100
S1BO	High Bay	15'	120°	100
S1BP	High Bay	15'	120°	100
S1BQ	High Bay	15'	120°	100
S1BR	High Bay	15'	120°	100
S1BS	High Bay	15'	120°	100
S1BT	High Bay	15'	120°	100
S1BU	High Bay	15'	120°	100
S1BV	High Bay	15'	120°	100
S1BW	High Bay	15'	120°	100
S1BX	High Bay	15'	120°	100
S1BY	High Bay	15'	120°	100
S1BZ	High Bay	15'	120°	100
S1CA	High Bay	15'	120°	100
S1CB	High Bay	15'	120°	100
S1CC	High Bay	15'	120°	100
S1CD	High Bay	15'	120°	100
S1CE	High Bay	15'	120°	100
S1CF	High Bay	15'	120°	100
S1CG	High Bay	15'	120°	100
S1CH	High Bay	15'	120°	100
S1CI	High Bay	15'	120°	100
S1CJ	High Bay	15'	120°	100
S1CK	High Bay	15'	120°	100
S1CL	High Bay	15'	120°	100
S1CM	High Bay	15'	120°	100
S1CN	High Bay	15'	120°	100
S1CO	High Bay	15'	120°	100
S1CP	High Bay	15'	120°	100
S1CQ	High Bay	15'	120°	100
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S1CT	High Bay	15'	120°	100
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S1CY	High Bay	15'	120°	100
S1CZ	High Bay	15'	120°	100
S1DA	High Bay	15'	120°	100
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S1DC	High Bay	15'	120°	100
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S1DJ	High Bay	15'	120°	100
S1DK	High Bay	15'	120°	100
S1DL	High Bay	15'	120°	100
S1DM	High Bay	15'	120°	100
S1DN	High Bay	15'	120°	100
S1DO	High Bay	15'	120°	100
S1DP	High Bay	15'	120°	100
S1DQ	High Bay	15'	120°	100
S1DR	High Bay	15'	120°	100
S1DS	High Bay	15'	120°	100
S1DT	High Bay	15'	120°	100
S1DU	High Bay	15'	120°	100
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S1EJ	High Bay	15'	120°	100
S1EK	High Bay	15'	120°	100
S1EL	High Bay	15'	120°	100
S1EM	High Bay	15'	120°	100
S1EN	High Bay	15'	120°	100
S1EO	High Bay	15'	120°	100
S1EP	High Bay	15'	120°	100
S1EQ	High Bay	15'	120°	100
S1ER	High Bay	15'	120°	100
S1ES	High Bay	15'	120°	100
S1ET	High Bay	15'	120°	100
S1EU	High Bay	15'	120°	100
S1EV	High Bay	15'	120°	100
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S1EX	High Bay	15'	120°	100
S1EY	High Bay	15'	120°	100
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S1FE	High Bay	15'	120°	100
S1FF	High Bay	15'	120°	100
S1FG	High Bay	15'	120°	100
S1FH	High Bay	15'	120°	100
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S1FJ	High Bay	15'	120°	100
S1FK	High Bay	15'	120°	100
S1FL	High Bay	15'	120°	100
S1FM	High Bay	15'	120°	100
S1FN	High Bay	15'	120°	100
S1FO	High Bay	15'	120°	100
S1FP	High Bay	15'	120°	100
S1FQ	High Bay	15'	120°	100
S1FR	High Bay	15'	120°	100



THE METROPOLITAN WATER DISTRICT
OF SOUTHERN CALIFORNIA

Office of the General Manager

MWD Orange County Feeder
1826+00 to 1832+00
R/W Parcel 1424-8-1
Substr. Job No. 2011-17-029

May 7, 2019

Mr. Austin Hahn, P.E.
Principal
CaliChi Design Group
Suite 3950
1 N. La Salle Street
Chicago, IL 60602

Dear Mr. Hahn:

1275 Bristol Street – Fletcher Jones Dealership

Thank you for your email dated April 16, 2019, submitting prints of your plans (Sheets C0.00, C0.01, C1.00, C1.01, C2.00 through C2.06, C3.00, C3.01, C3.02, C3.05, C3.06, C3.08, C4.00 through C4.04, and C5.00 through C5.04) for the commercial development project at 1275 Bristol Street in the City of Costa Mesa. Also, included with your submittal were responses to our letters dated February 13 and March 18, 2019.

Subsequently, we received your email on April 22, 2019, submitting equipment to be used for the demolition work of the existing Ganahl lumber yard.

We appreciate Fletcher Jones Motorcars and Calichi Design Group for working cooperatively with Metropolitan to ensure that both parties achieve the desired outcomes. However, please note that final approval of the grading plans and parking layout improvement within our 15-foot-wide pipeline easement right-of-way is contingent upon the property owner granting the access easement to Metropolitan, as shown on your submitted plans.

We have reviewed your plans, and our comments and requirements are as follows:

1. The locations of Metropolitan's 36-inch-inside-diameter welded steel Orange County Feeder pipeline and accompanying 15-foot-wide permanent easement right-of-way, as shown on all pertinent sheets of your plans, are generally in agreement with our records. Please identify Metropolitan as MWDSC and not as MWDOC on notes and annotations on all pertinent sheets of your plans.
2. We note your concern in the response on Item No. 3 of our February 13, 2019 letter regarding Metropolitan's reserved rights and potential disruptions to Fletcher Jones Motorcars' business within our 15-foot-wide permanent easement right-of-way. In case of an emergency, Metropolitan will endeavor to cause minimum damage and disruption to the business. In general, Metropolitan will perform an initial inspection and render repair of our pipeline from within, depending on the severity of the damage. However, Metropolitan will still need to exercise the paramount right to use our pipeline easement for the purpose for which it was acquired, if the repair or replacement of the segment(s) of our pipeline is required by open excavation in the subject property.
3. Metropolitan requires a minimum of 3 feet of cover over our pipeline in order to withstand loads no greater than those imposed by an AASHTO H-20 vehicle. As such, the proposed grading which involves cut over our pipeline within our 15-foot-wide permanent easement right-of-way, as shown on Sheets C2.04, C2.05, C2.06, C4.02 and C4.03 of your plans, is not acceptable to Metropolitan. Please revise your grading plans accordingly.

If the finished grade with 3 feet of cover cannot be met, then a 1-foot-thick continuously reinforced concrete pavement at grade must be installed, in accordance with Caltrans' 2018 Standard Plan P4 (copy enclosed), over the width of 15-foot-wide permanent easement right-of-way or the width of Metropolitan's future 20-foot-wide ingress-egress easement. Details of the slab must be submitted for Metropolitan's review and written approval.

4. The locations of the four light poles or utility poles proposed within our 15-foot-wide permanent easement right-of-way, as shown on Sheets C2.00, C2.01, C2.02, C2.03, C3.00 and C3.01 of your plans, are not acceptable to Metropolitan. Please revise these light poles or utility poles to the outside limits of our right-of-way.
5. The locations of the 12-inch storm drain line "STM-D," 15-inch storm drain line "STM-A," and 8-inch VCP sewer line proposed to cross under our pipeline with approximately 10 inches, 9 inches, and 2 feet of vertical clearances, respectively, with provision for a secondary containment consisting of a butyl-jointed HDPE pipe extending 10 feet beyond the edges of our of our pipeline, as shown on Sheets C3.00, C3.01, C3.02, C3.05, C3.06, and C4.0 through C4.03 of your plans, are acceptable to Metropolitan. Please verify the clearance discrepancy for the elevations shown on the bottom of our pipeline shown on Sheets C4.02 and C4.03 of your plans.

Excavation for the proposed storm drain lines and sewer line could affect Metropolitan's facilities. Therefore, the contractor must submit an engineered shoring design to Metropolitan for review and acceptance, a minimum of 30 days before the scheduled start of excavation. Excavation must not begin until the shoring design is accepted by Metropolitan. The submittal must include all required trenches, pits, and tunneling or jacking operations and related calculations. The use of driven piles within 20 feet of the centerline of our pipeline will not be permitted. Before beginning construction, the pipe must be located by potholing under Metropolitan's supervision. There must be a minimum of 2-foot clearance between the pipe and the edge of the drilled hole. There must be a minimum of 1-foot clearance between any part of the shoring and our pipeline.

Metropolitan's pipeline is welded steel pipe and is dependent on the soil on either side for its load carrying capacity. Therefore, the shoring system must provide continuous lateral support of the soil adjacent to Metropolitan's pipeline.

The shoring submittal must be stamped and signed by a California registered civil or structural engineer. The submitted shoring must provide appropriate support for the soil adjacent to and under Metropolitan's facilities. The completed shoring drawings must include a detailed procedure for the installation and removal of the shoring. Design calculations must follow the guidelines set forth in Title 8, Article 6, of the Construction Safety Orders. Accepted methods of analysis should be used. Loads should be in accordance with the Construction Safety Orders or a soils report by a geotechnical consultant. All members should be secured to prevent sliding, falling, or kickouts.

In regions where Metropolitan's pipe is not supported by soil during construction, the backfill under and to an elevation of 6 inches above the top of pipe must be 1-sack minimum cement sand slurry. To prevent adhesion between the slurry and our pipe, a 6-millimeter-minimum layer of polyethylene sheeting must be placed between the concrete support and our pipe. If Metropolitan's pipe is partially exposed during construction, it must be backfilled to a minimum of 6 inches above the top of our pipe with sand compacted to 90 percent compaction.

6. The location of the 12-inch storm drain line "STM-C" proposed to cross over our pipeline at one location, with approximately 2 inches of vertical clearance, as shown on Sheets C3.00, C3.05, C3.06, C4.0 and C4.03 of your plans, is not acceptable to Metropolitan. We will consider allowing a minimum of 6-inches of vertical clearance over our pipeline. We note that a provision of a butyl-jointed HDPE pipe as a secondary containment extending 10 feet beyond the edges of our pipeline.
7. The proposed equipment which includes Kubota mini excavator and CAT 953 track loaded to be used for the demolition of existing asphalt, curb and gutter, green waste, and existing structures over our pipeline easement, are acceptable to Metropolitan. We

Mr. Austin Hahn
Page 4
May 7, 2019

understand from your email that there will be no stockpiling over our pipeline and easement right-of-way.

8. We note on Sheet C0.00 of your plans that potholing of our pipeline will be conducted to verify the actual cover. When the cover over Metropolitan's pipeline is less than 3-feet, the following load restrictions apply during your construction:
 - When the cover is greater than 2 feet but less than 3 feet, equipment must be restricted to that which imposes loads no greater than that of track-type tractor weighing a maximum of 12,000 pounds.
 - When the cover is less than 2 feet, only hand equipment may be used.
9. We note that you have included provision for Metropolitan's contact information on Sheets C0.00 and C0.01 of your plans.

We are returning prints of Sheets C0.00, C0.01, C1.00, C1.01, C2.00, C2.01, C2.02, C2.03, C2.04, C2.05, 2.06, C3.00, C3.01 C3.02, C3.05, C3.06, C3.08, C4.00, C4.01, C4.02 and C4.03 of your plans, stamped: 'REVIEWED – CORRECTIONS NOTED – RESUBMITTAL REQUIRED.'

Facilities constructed within Metropolitan's existing permanent easement right-of-way shall be subject to the paramount right of Metropolitan to use its easement for the purpose for which it was acquired. If at any time Metropolitan or its assigns should, in the exercise of their rights, find it necessary to remove any of the facilities from the easement, such removal and replacement shall be at the expense of the owner of the facility.

For any further correspondence with Metropolitan relating to this project, please make reference to the Substructures Job Number shown in the upper right-hand corner of the first page of this letter. Should you require any additional information, please contact Ken Chung, telephone (213) 217-7670 or email kchung@mwdh2o.com.

Very truly yours,



Shoreh Zareh, P.E.
Manager, Substructures Team

KC/mc
DOC#: 2011-17-029e

Enclosures (22)

Mr. Austin Hahn
Page 5
May 7, 2019

cc: Mr. Justin Arios w/plans
Assistant Planner
City of Costa Mesa
Planning Division
77 Fair Drive, 2nd Floor
Costa Mesa, CA 92626

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Motorcars, Inc.
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CAUCHI DESIGN GROUP
 CIVIL ENGINEERING
 111 LASALLE STREET
 SUITE 3900
 LOS ANGELES, CA 90017
 PHONE 312.540.4833

Date	Description
02/04/2019	PLANNING/SUBMITTAL
03/06/2019	PROGRESS/PRINT
03/15/2019	ISSUED FOR DESIGN DEVELOPMENT
04/15/2019	PROGRESS/PRINT

Project Name	Description
AUDI OF COSTA MESA	EXISTING CONDITIONS AND DEMOLITION PLAN-W
1213 S BRISTOL STREET	
COSTA MESA, CALIFORNIA 92628	
Project Number	27,6664,000

Scale AS SHOWN SHEET SIZE: 24" x 36"

C1.00



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LEGEND

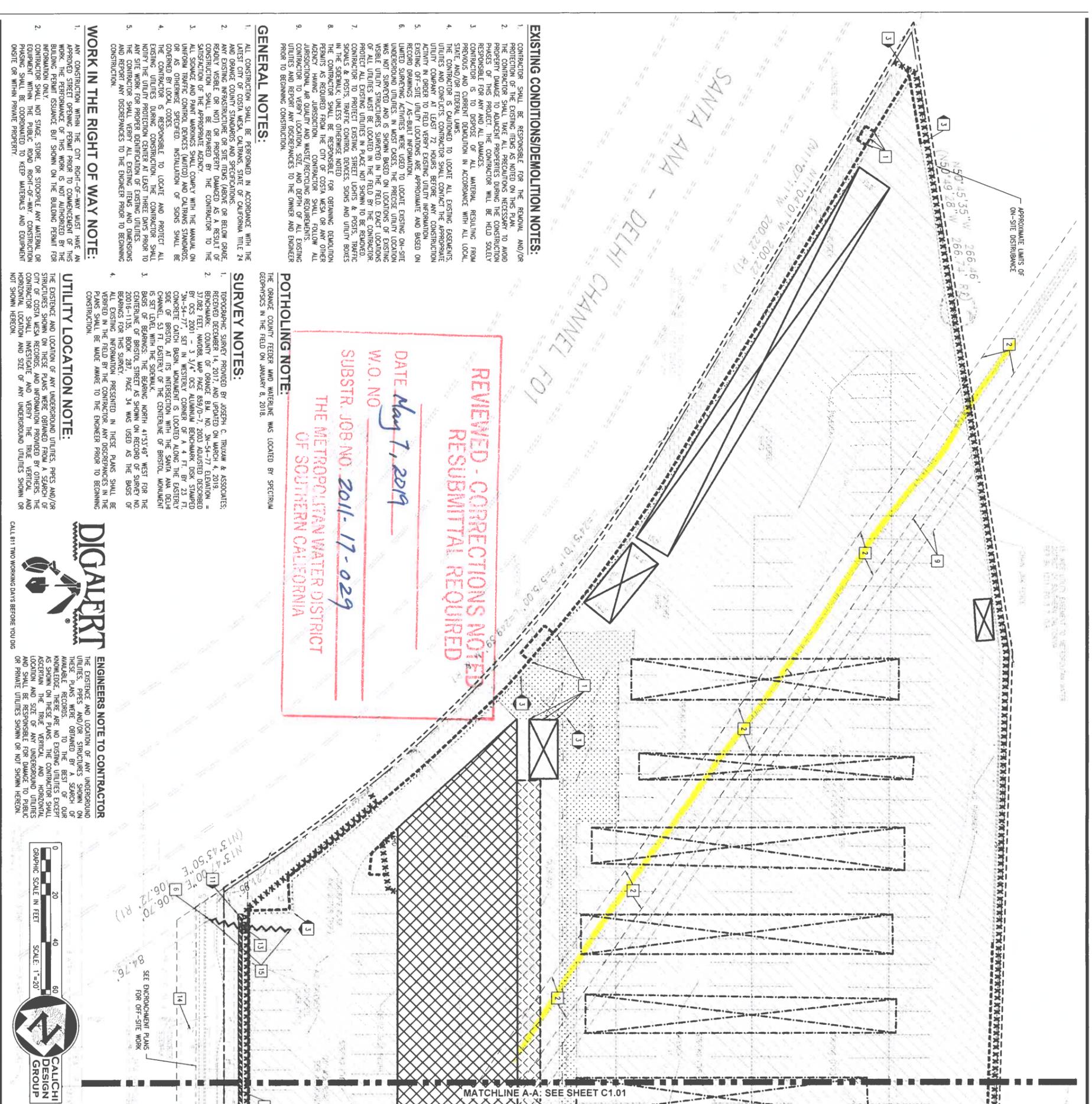
PROPOSED	EXISTING
PROPERTY LINE	PROPERTY LINE
EASEMENT LINE	EASEMENT LINE
SITE IMPROVEMENTS	SITE IMPROVEMENTS
1'-FOOT CONTOUR	1'-FOOT CONTOUR
5'-FOOT CONTOUR	5'-FOOT CONTOUR
WATER LINE	WATER LINE
FIRE PROTECTION WATER LINE	FIRE PROTECTION WATER LINE
SMITARY SEWER LINE	SMITARY SEWER LINE
STORM DRAIN LINE	STORM DRAIN LINE
OVERHEAD ELECTRIC. SEE SEE PLANS	OVERHEAD ELECTRIC. SEE SEE PLANS
GAS SERVICE	GAS SERVICE
UNDERGROUND DATA AND TELEPHONE LINE	UNDERGROUND DATA AND TELEPHONE LINE
FENCE	FENCE
FIRE LINE	FIRE LINE
LANDSCAPE SWALE	LANDSCAPE SWALE
OVERLAND FLOW ROUTE FOR T&C	OVERLAND FLOW ROUTE FOR T&C
TREE	TREE
SIGN	SIGN
WATER VALVE	WATER VALVE
FIRE HYDRANT/FIRE DEPT CONNECTION	FIRE HYDRANT/FIRE DEPT CONNECTION
WATER METER OR BOX	WATER METER OR BOX
SEWER MANHOLE	SEWER MANHOLE
SEWER CLEANOUT	SEWER CLEANOUT
AREA DRAIN, CATCH BASIN, JUNCTION BOX, STORM MANHOLE, OR DRIP INLET	AREA DRAIN, CATCH BASIN, JUNCTION BOX, STORM MANHOLE, OR DRIP INLET
STORM CLEANOUT	STORM CLEANOUT
LIGHT POLE OR UTILITY POLE	LIGHT POLE OR UTILITY POLE

DEMOLITION LEGEND

	CLEAR AND GRUB EXISTING LANDSCAPE AREA. DO NOT DISTURB TREES. UNLESS OTHERWISE INDICATED, IN ALL EXISTING LANDSCAPED AREAS - REMOVE WEEDS, ADD SOO AND PLANTINGS AS REQUIRED BY PRE-CONSTRUCTION VISIT AND CONSTRUCTION MANAGER
	DEMO AND REMOVE ASPHALT PAVEMENT. FULL DEPTH - INCLUDING BASE MATERIALS
	DEMO AND REMOVE CONCRETE PAVEMENT. FULL DEPTH - INCLUDING BASE MATERIALS
	DEMO AND REMOVE EXISTING BUILDING OVERLAP - INCLUDING BASE MATERIALS
	FULL DEPTH PAVEMENT SAWCUT AND CONFORM TO A CLEAN, NEAT EDGE FOR P.C. CONCRETE. EXTEND SAWCUT TO NEAREST SCORE MARK. SEE DETAIL 1 ON SHEET C3.00.
	DEMO AND REMOVE EXISTING CURB AND GUTTER - INCLUDING BASE MATERIALS
	DEMO AND REMOVE EXISTING WALL. FULL DEPTH - INCLUDING BASE MATERIALS
	DEMO AND REMOVE EXISTING FENCE
	DEMO AND REMOVE EXISTING UTILITY
	DEMO AND REMOVE EXISTING TREE. INCLUDING ROOT BALL
	DEMO AND REMOVE EXISTING SHED
	DEMO AND REMOVE EXISTING LUMBER STORAGE BACK

DEMOLITION KEY NOTES

- 1 DEMO AND REMOVE EXISTING BUILDING
- 2 EXISTING 15' ORANGE COUNTY AND EASEMENT CONTRACTOR TO USE EXTREME CAUTION TO START OF DEMOLITION
- 3 DEMO AND REMOVE EXISTING PCC WALLEY DRAINAGE GUTTER
- 4 DEMO AND REMOVE EXISTING SIGN
- 5 DEMO AND REMOVE EXISTING LIGHT POLE
- 6 EXISTING CURB INLET TO REMAIN - PROTECT IN PLACE
- 7 DEMO AND REMOVE EXISTING WATER UTILITY STRUCTURE
- 8 DEMO AND REMOVE EXISTING SMITARY SEWER LINE. CAP STUB AT PROPERTY LINE
- 9 EXISTING 6" WIDE PACIFIC TELEPHONE & TELEGRAPH EASEMENT TO BE WACKED AS A PART OF THIS PROJECT
- 10 EXISTING FIRE HYDRANT TO REMAIN - PROTECT IN PLACE
- 11 DEMO AND REMOVE EXISTING WALL
- 12 EXISTING 6" WIDE SEE UTILITY EASEMENT TO BE WACKED AS A PART OF THIS PROJECT
- 13 DEMO AND REMOVE EXISTING CURB INLET. CUT AND CAP PIPE JUST UPSTREAM OF NEXT DOWNSHAW STRUCTURE. SOIL TO BE WATERLOOED.
- 14 EXISTING LIGHT POLE TO REMAIN - PROTECT IN PLACE
- 15 EXISTING EASEMENT SIGNS TO BE REMOVED/RELOCATED. SEE SITE PLAN
- 16 DEMO AND REMOVE EXISTING STORM DRAINPIPE



REVIEWED - CORRECTIONS NOTED
RESUBMITTAL REQUIRED
 DATE May 7, 2019
 W.O. NO. _____
 SUBSTR. JOB NO. 2011-17-029
 THE METROPOLITAN WATER DISTRICT
 OF SOUTHERN CALIFORNIA

POTHOLES NOTE:

THE ORANGE COUNTY FEEDER AND WATERLINE WAS LOCATED BY SPECIRUM GEOPHYSICS IN THE FIELD ON JANUARY 8, 2018.

SURVEY NOTES:

- 1 TOPOGRAPHIC SURVEY PROVIDED BY JOSEPH C. TRUJAN & ASSOCIATES; RECEIVED DECEMBER 4, 2017, AND DATED ON MARCH 4, 2018 - 37,083 FEET NUMBER MAP PAGE 659/0-7 2001 ADJUSTED DESCRIBED BY OCS 2001 - 3 3/4" OCS ALUMINUM BENCHMARK, DISK STAMPED "M-54-77" SET IN WESTERN CORNER OF A 4 FT. BY 23 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED ALONG THE EASTERY SIDE OF BRISTOL AT ITS INTERSECTION WITH THE SANTA ANA DELTA IS SET IN WESTERN CORNER OF THE CENTERLINE OF BRISTOL MONUMENT
- 2 THE CENTERLINE OF BRISTOL STREET AS SHOWN ON RECORD OF SURVEY NO. 20016-1135, BOOK 287, PAGE 34 WAS USED AS THE BASIS OF ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE MADE WARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

UTILITY LOCATION NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF COSTA MESA RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE ENGINEER HAS MADE A REASONABLE ATTEMPT TO IDENTIFY THE EXISTENCE AND LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON.

EXISTING CONDITIONS/DEMOLITION NOTES:

- 1 CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND/OR PROTECTION OF THE EXISTING ITEMS AS NOTED ON THIS PLAN.
- 2 THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PROCESS OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR THE PROTECTION OF ALL MATERIALS, RESULTING FROM PREVIOUS AND CURRENT DEMOLITION IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL LAWS.
- 3 THE CONTRACTOR IS CAUTIONED TO LOCATE ALL EXISTING EASEMENTS, UTILITIES AND CONDUITS. CONTRACTOR SHALL CONTACT THE APPROPRIATE AGENCY IN ORDER TO OBTAIN NECESSARY UTILITY INFORMATION.
- 4 EXISTING OFF-SITE UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON RECORD DRAWINGS / AS-BUILT INFORMATION.
- 5 LIMITED SURVEYING ACTIVITIES WERE USED TO LOCATE EXISTING ON-SITE UNDERGROUND UTILITIES. IN MOST CASES, THE PRECISE UTILITY LOCATION WAS NOT DETERMINED. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR.
- 6 CONTRACTOR TO PROTECT EXISTING STREET LIGHTS & POSTS, TRAFFIC SIGNALS & POSTS, TRAFFIC CONTROL DEVICES, SIGNS AND UTILITY BOXES.
- 7 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DEMOLITION PERMITS AS REQUIRED FROM THE CITY OF COSTA MESA OR ANY OTHER AGENCY HAVING JURISDICTION. CONTRACTOR SHALL FOLLOW ALL JURISDICTIONAL AIR QUALITY AND WASTE/RECYCLING REQUIREMENTS. CONTRACTOR TO VERIFY LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO THE OWNER AND ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

GENERAL NOTES:

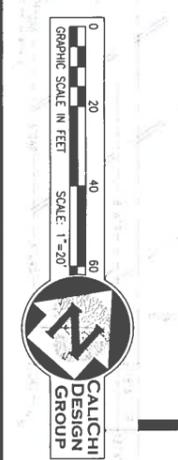
- 1 ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF COSTA MESA, CALIFORNIA, STATE OF CALIFORNIA TITLE 24 AND ORANGE COUNTY STANDARDS AND SPECIFICATIONS.
- 2 ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE) SHALL BE PROTECTED OR PROPERLY DAMAGED AS A RESULT OF CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- 3 ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CALIFORNIA STANDARDS, OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE COVERED BY LOCAL CODES.
- 4 CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WORK IN THE RIGHT OF WAY NOTE:

- 1 ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- 2 CONTRACTOR SHALL NOT STORE, STOCK, OR STORAGE ANY MATERIAL, OR EQUIPMENT ON THE PUBLIC RIGHT-OF-WAY. CONSTRUCTION OF ANY PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ON-SITE OR WITHIN PRIVATE PROPERTY.



DIGALFERT ENGINEERS NOTE TO CONTRACTOR
 THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF AVAILABLE RECORDS. THE ENGINEER HAS MADE A REASONABLE ATTEMPT TO IDENTIFY THE EXISTENCE AND LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON.



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 7200 W. SAHARA AVENUE
 LAS VEGAS, NV 89117



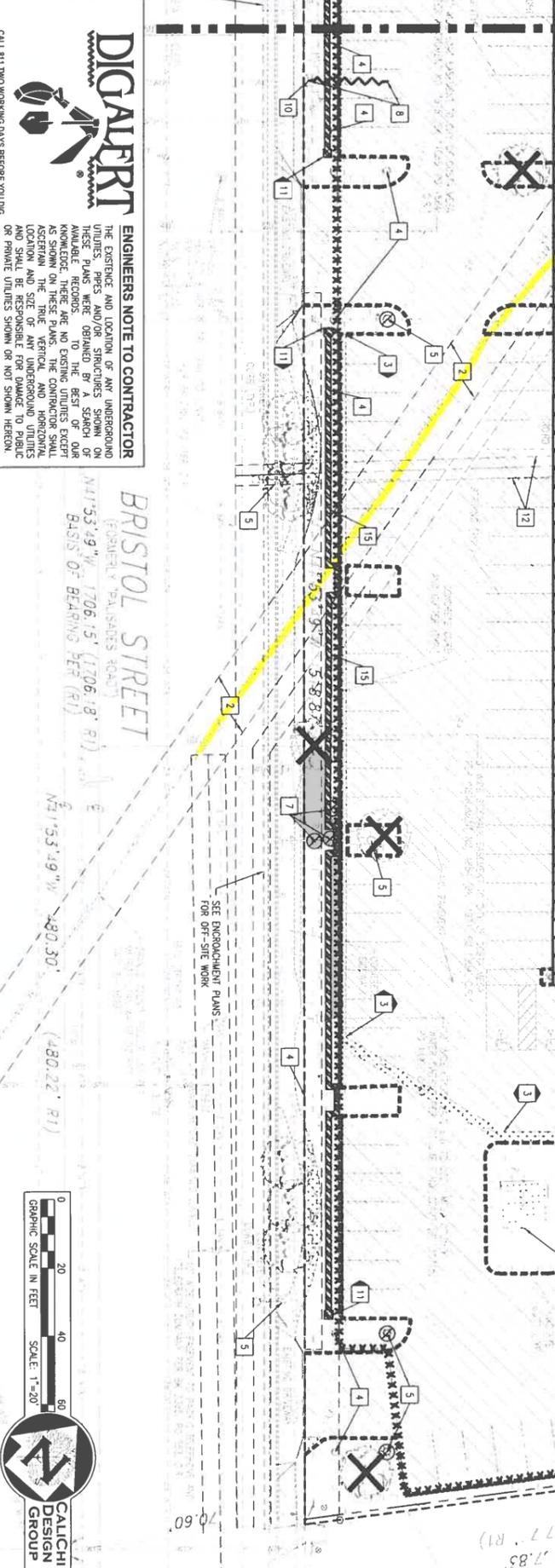
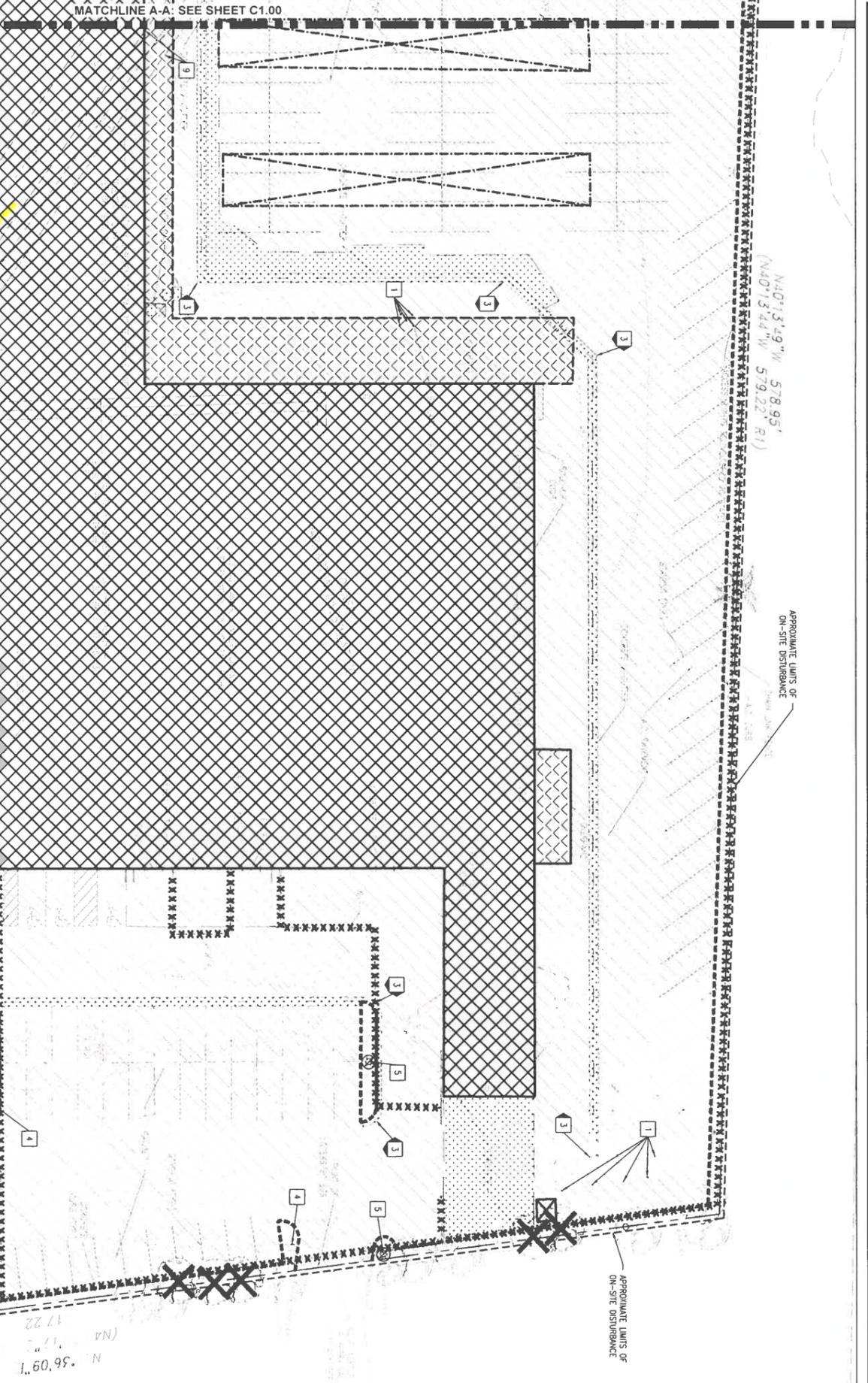
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CAUCHI DESIGN GROUP
 CIVIL ENGINEERING
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 SUITE 300
 COSTA MESA, CALIFORNIA 92626
 PHONE 714.940.4893

REVIEWED - CORRECTIONS NEEDED
RESUBMITTAL REQUIRED

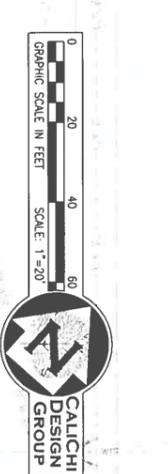
May 7, 2019

WO NO
 SUBMITTED 10/20/11
 THE METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA



DIGALBERT ENGINEERS NOTE TO CONTRACTOR
 THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE AND BELIEF, NO EXISTING UTILITIES OR STRUCTURES WERE SHOWN ON THESE PLANS. THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

BRISTOL STREET
 (FORMERLY TRAILBLAZERS ROAD)
 N41°53'49" W, 578.95'
 N40°13'44" W, 579.22' (R1)
 N41°53'49" W, 706.15' (1706.18' R1)
 N41°53'49" W, 487.30'
 (480.22' R1)



PROPOSED	EXISTING	LEGEND
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	SITE IMPROVEMENTS
---	---	1'-FOOT CONTOUR
---	---	5'-FOOT CONTOUR
---	---	WATER LINE
---	---	FIRE PROTECTION WATER LINE
---	---	SANITARY SEWER LINE
---	---	STORM DRAIN LINE
---	---	OVERHEAD ELECTRIC. SEE SEE PLANS
---	---	GAS SERVICE
---	---	UNDERGROUND DATA AND TELEPHONE LINE
---	---	FENCE
---	---	FIRE LINE
---	---	LANDSCAPE SWALE
---	---	OVERLAND FLOW ROUTE FOR TDC
---	---	TREE
---	---	SIGN
---	---	WATER VALVE
---	---	FIRE HYDRANT/FIRE DEPT CONNECTION
---	---	WATER METER OR BOX
---	---	SEWER MANHOLE
---	---	SEWER CLEANOUT
---	---	AREA DRAIN, CATCH BASIN, JUNCTION BOX
---	---	STORM INLET
---	---	STORM CLEANOUT
---	---	LIGHT POLE OR UTILITY POLE

DEMOLITION KEY NOTES

- 1 DEAD AND REMOVE EXISTING BOLLARD
- 2 EXISTING 15" ORANGE COUNTY AND EASEMENT CONTRACTOR TO USE EXTREME CAUTION TO START OF DEMOLITION
- 3 DEAD AND REMOVE EXISTING PCC VALLEY DRAINAGE GUTTER
- 4 DEAD AND REMOVE EXISTING SIGN
- 5 DEAD AND REMOVE EXISTING LIGHT POLE
- 6 EXISTING CURB INLET TO REMAIN - PROTECT IN PLACE
- 7 DEAD AND REMOVE EXISTING WATER UTILITY STRUCTURE
- 8 DEAD AND REMOVE EXISTING SANITARY SEWER LINE CAP STUB AT PROPERTY LINE
- 9 EXISTING 10" WIDE PLYWOOD TELEPHONE & TELEGRAPH EASEMENT TO BE WACHED AS A PART OF THIS PROJECT
- 10 EXISTING FIRE HYDRANT TO REMAIN - PROTECT IN PLACE
- 11 DEAD AND REMOVE EXISTING WALL
- 12 EXISTING 6" WIDE SEE UTILITY EASEMENT TO BE WACHED AS A PART OF THIS PROJECT
- 13 DEAD AND REMOVE EXISTING CURB INLET, CUT AND CAP PIPE JUST UPSTREAM OF NEXT DOWNSIDE STRUCTURE. SCALE TO BE WATER TIGHT
- 14 EXISTING LIGHT POLE TO REMAIN - PROTECT IN PLACE
- 15 EXISTING EASEMENT SIGNS TO BE REMOVED RELOCATED. SEE SITE PLAN
- 16 DEAD AND REMOVE EXISTING STORM DRAINAGE

Project Name: AUDI OF COSTA MESA
 1275 S BRISTOL STREET
 COSTA MESA, CALIFORNIA 92626
 Project Number: 27.6664.000

Scale: AS SHOWN SHEET SIZE 24" X 36"
C1.01

Date: 02/04/2019 PLANNING/SUBMITTAL
 03/08/2019 PROGRESS PRINT
 03/15/2019 ISSUED FOR DESIGN DEVELOPMENT
 04/15/2019 PROGRESS PRINT

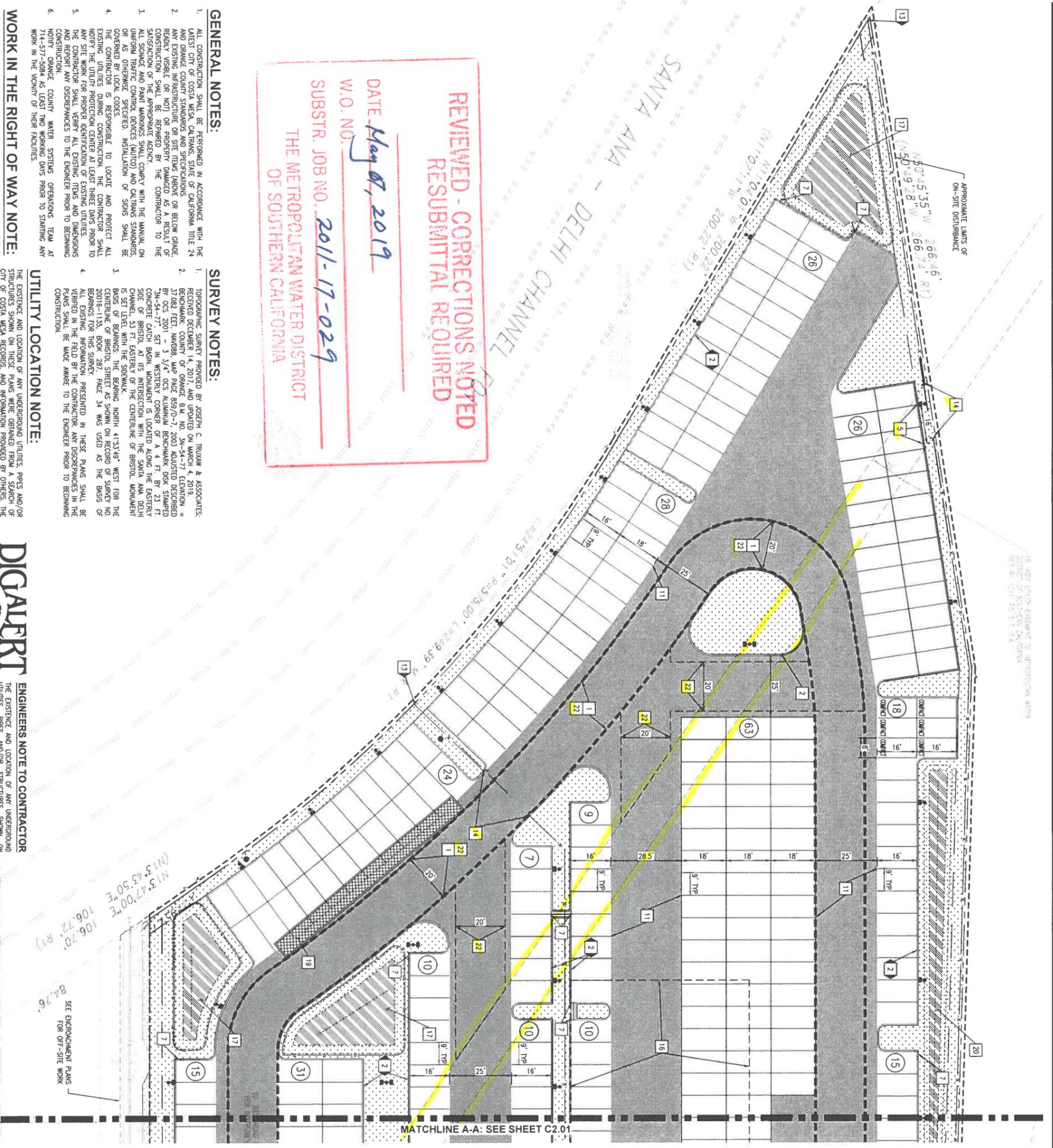
Seal/Signature: [Blank]

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 CHICAGO, IL 60602
 PHONE 312.503.4393



**REVIEWED - CORRECTIONS NOTED
 RESUBMITTAL REQUIRED**

DATE May 8, 2019
 W.O. NO. _____
 SUBSTR. JOB NO. 2011-17-029
 THE METROPOLITAN WATER DISTRICT
 OF SOUTHERN CALIFORNIA

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF COSTA MESA, CALIFORNIA, STATE OF CALIFORNIA TITLE 24 BUILDING DEPARTMENT REGULATIONS AND ALL APPLICABLE CODES.
2. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS ABOVE OR BELOW GRADE, REQUIRING VISIBLE (OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
3. ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND SHALL BE GOVERNED BY LOCAL CODES.
4. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
5. NOTIFY ORANGE COUNTY WATER SYSTEMS OPERATIONS TEAM AT 714-577-5084 AS EARLY AS POSSIBLE PRIOR TO STARTING ANY WORK IN THE VICINITY OF THEIR FACILITIES.

WORK IN THE RIGHT OF WAY NOTE:

1. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
2. CONTRACTOR SHALL NOT STORE, STORE OR STOCKPILE ANY MATERIAL, EQUIPMENT OR SUPPLIES WITHIN THE CITY RIGHT-OF-WAY. ALL STORAGE AND PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ON-SITE OR WITHIN PRIVATE PROPERTY.

SURVEY NOTES:

1. TOPOGRAPHIC SURVEY PROVIDED BY JOSEPH C. TRIVANI & ASSOCIATES, LATEST CITY OF COSTA MESA, CALIFORNIA, STATE OF CALIFORNIA TITLE 24 BUILDING DEPARTMENT REGULATIONS AND ALL APPLICABLE CODES, RECEIVED DECEMBER 14, 2017, AND UPDATED ON MARCH 4, 2018.
2. THE SURVEY WAS CONDUCTED ON 03/04/2018. THE SURVEY POINTS WERE 3.00 METERS (9.84 FEET) NUMBERED LUP PACE 653/0-7. 2013 ADJUSTED DESCRIBED BY OCS 2001 - 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3N-54-77" SET IN WESTERN CORNER OF A 4 FT. BY 23 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED ALONG THE EASTERN SIDE OF BRISTOL AT ITS INTERSECTION WITH THE SANTA ANA DELHI CHANNEL. 50' DISTANCE FROM THE CENTERLINE OF BRISTOL MONUMENT TO THE CENTERLINE OF BRISTOL STREET AS SHOWN ON RECORD OF SURVEY NO. 2016-1135. BOOK 287, PAGE 34 WAS USED AS THE BASIS OF ALL EXISTING INFORMATION. THESE PLANS SHALL BE SUPERSEDED BY ANY INFORMATION PROVIDED BY THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

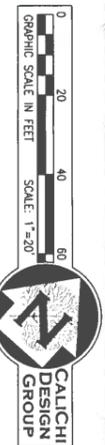
UTILITY LOCATION NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF THE CITY OF COSTA MESA RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES, PIPES AND/OR STRUCTURES SHOWN OR NOT SHOWN HEREON.

ENGINEERS NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF THE CITY OF COSTA MESA RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES, PIPES AND/OR STRUCTURES SHOWN OR NOT SHOWN HEREON.

CALL 811 TWO WORKING DAYS BEFORE YOU DIG



LEGEND

- | | | | |
|-----|---|-----|--|
| | PROPOSED | | EXISTING |
| --- | PROPERTY LINE | --- | EXISTING PROPERTY LINE |
| --- | EASEMENT LINE | --- | EXISTING EASEMENT LINE |
| --- | SITE IMPROVEMENTS | --- | EXISTING SITE IMPROVEMENTS |
| --- | 1'-FOOT CONTOUR | --- | EXISTING 1'-FOOT CONTOUR |
| --- | 5'-FOOT CONTOUR | --- | EXISTING 5'-FOOT CONTOUR |
| --- | WATER LINE | --- | EXISTING WATER LINE |
| --- | FIRE PROTECTION WATER LINE | --- | EXISTING FIRE PROTECTION WATER LINE |
| --- | SEWER LINE | --- | EXISTING SEWER LINE |
| --- | OVERHEAD ELECTRIC. SEE SEE PLANS | --- | EXISTING OVERHEAD ELECTRIC. SEE SEE PLANS |
| --- | UNDERGROUND ELECTRIC. SEE SEE PLANS | --- | EXISTING UNDERGROUND ELECTRIC. SEE SEE PLANS |
| --- | GAS SERVICE | --- | EXISTING GAS SERVICE |
| --- | UNDERGROUND DATA AND TELEPHONE LINE | --- | EXISTING UNDERGROUND DATA AND TELEPHONE LINE |
| --- | FENCE | --- | EXISTING FENCE |
| --- | FREE LINE | --- | EXISTING FREE LINE |
| --- | LANDSCAPE SWALE | --- | EXISTING LANDSCAPE SWALE |
| --- | OVERLAND FLOW ROUTE FOR 10'C | --- | EXISTING OVERLAND FLOW ROUTE FOR 10'C |
| --- | TREE | --- | EXISTING TREE |
| --- | SIGN | --- | EXISTING SIGN |
| --- | WATER VALVE | --- | EXISTING WATER VALVE |
| --- | FIRE HYDRANT/FIRE DEPT CONNECTION | --- | EXISTING FIRE HYDRANT/FIRE DEPT CONNECTION |
| --- | WATER METER OR BOX | --- | EXISTING WATER METER OR BOX |
| --- | SEWER MANHOLE | --- | EXISTING SEWER MANHOLE |
| --- | SEWER CLEANOUT | --- | EXISTING SEWER CLEANOUT |
| --- | AREA DRAIN, CATCH BASIN, JUNCTION BOX, OR DRAIN W/LET | --- | EXISTING AREA DRAIN, CATCH BASIN, JUNCTION BOX, OR DRAIN W/LET |
| --- | STORM MANHOLE | --- | EXISTING STORM MANHOLE |
| --- | STORM CLEANOUT | --- | EXISTING STORM CLEANOUT |
| --- | LIGHT POLE OR UTILITY POLE | --- | EXISTING LIGHT POLE OR UTILITY POLE |

PAVING LEGEND

- PROPOSED LANDSCAPED AREA
- PROPOSED STANDARD DUTY/SIDEWALK PCC. PER DETAIL 2 ON SHEET C05.00
- PROPOSED HEAVY DUTY AC PAVEMENT. PER DETAIL 3 ON SHEET C05.00
- PROPOSED STANDARD DUTY AC PAVEMENT. PER DETAIL 3 ON SHEET C05.00
- PROPOSED DECORATIVE STAMPED CONCRETE. PER DETAIL 2 ON SHEET C05.00. SEE LANDSCAPE PLAN FOR ADDITIONAL DETAILS
- PROPOSED STORMWATER BWP

SITE PLAN KEY NOTES

1. PROPOSED 20 FOOT WIDE FIRE LANE.
2. PROPOSED 6" HAM ROLLED CURB. PER DETAIL 5 ON SHEET C3.04
3. PROPOSED 2" WIDE WALLEY GUTTER. PER DETAIL 7 ON SHEET C5.00
4. PROPOSED 6" TALL VERTICAL BARRIER CURB. PER DETAIL 8 ON SHEET C5.00
5. PROPOSED FLUSH (0" HEIGHT) CURB. PER DETAIL 9 ON SHEET C5.00
6. PROPOSED ACCESSIBLE CURB RAMP WITH DETECTABLE WARNINGS. PER DETAILS 5, 6, AND 7 ON SHEET C5.01
7. PROPOSED 2" WIDE CURB CUT FOR STORM WATER CONVEYANCE. PER DETAIL 6 ON SHEET C5.00
8. PROPOSED VEHICLE DISPLAY.
9. PROPOSED ACCESSIBLE PARKING STALL, WITH PCC WHEELSTOP, ACCESSIBLE LOADING AREA, AND ACCESSIBLE MARKINGS. PER DETAILS 10, 11, AND 12 ON SHEET C5.00. ACCESSIBLE SIGNAGE AND POST PER DETAILS 1 AND 2 ON SHEET C3.01.
10. PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS.
11. PROPOSED 4" PARKING STALL STRIP, TRAFFIC WHITE PAINT, MINIMUM TWO COATS. (TYP)
12. PROPOSED SECURITY FENCE. SEE ARCHITECTURAL PLANS.
13. PROPOSED SECURITY FENCE. SEE LANDSCAPE PLANS
14. PROPOSED GATE/SLOING FENCE FOR LAND ACCESS TO EASEMENT. SEE LANDSCAPE PLANS
15. PROPOSED MONUMENT SIGN. SEE ARCHITECTURAL PLANS
16. FUTURE BUILDING EXPANSION. SEE ARCHITECTURAL PLANS
17. PROPOSED LINED BOBERTHENTION BASIN WITH 18" TALL PERIMETER FENCE. PER DETAIL 8 ON SHEET C5.02. SEE LANDSCAPE PLANS FOR PLANNINGS
18. PROPOSED PAVED CONCRETE WALL FLOW-THROUGH PAVEMENT WITH 4" PERFORATED PCC UNDERDRAIN. PER DETAIL 9 ON SHEET C5.02. SEE LANDSCAPE PLANS FOR PLANNINGS
19. PROPOSED BELOW-GRADE CONCRETE FLOW-THROUGH PLANTER WITH 8" PERFORATED PCC UNDERDRAIN AND DRIVING SURFACE GRADE. PER DETAIL 10 ON SHEET C5.02. SEE LANDSCAPE PLANS FOR PLANNINGS
20. PROPOSED LINED BOBERTHENTION BASIN. PER DETAIL 8 ON SHEET C5.02. SEE LANDSCAPE PLANS FOR PLANNINGS
21. PROPOSED CONCRETE RETAINING WALL.
22. PROPOSED 20" WIDE INGRESS/EGRESS METROPOLITAN WATER DISTRICT EASEMENT
23. PROPOSED PCC SIDEWALK. PER DETAIL 4 ON SHEET C5.01
24. PROPOSED BUILDING PAD DEPRESSSED BY 1 FOOT.

Date

02/04/2019 PLANNING/SUBMITTAL
 03/06/2019 PROGRESS PRINT
 03/15/2019 ISSUED FOR DESIGN DEVELOPMENT
 04/15/2019 PROGRESS PRINT

Seal/Signature

Project Name: AUDI OF COSTA MESA
 1273 S BRISTOL STREET
 COSTA MESA, CALIFORNIA 92626
 Project Number: 27,6664,000

SITE AND PAVING PLAN-W

Scale: AS SHOWN SHEET SIZE 24" x 36"

C2.00



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Fletcher Jones Motorcars, Inc.
 7300 W. SAHARA AVENUE
 LAS VEGAS, NV 89117

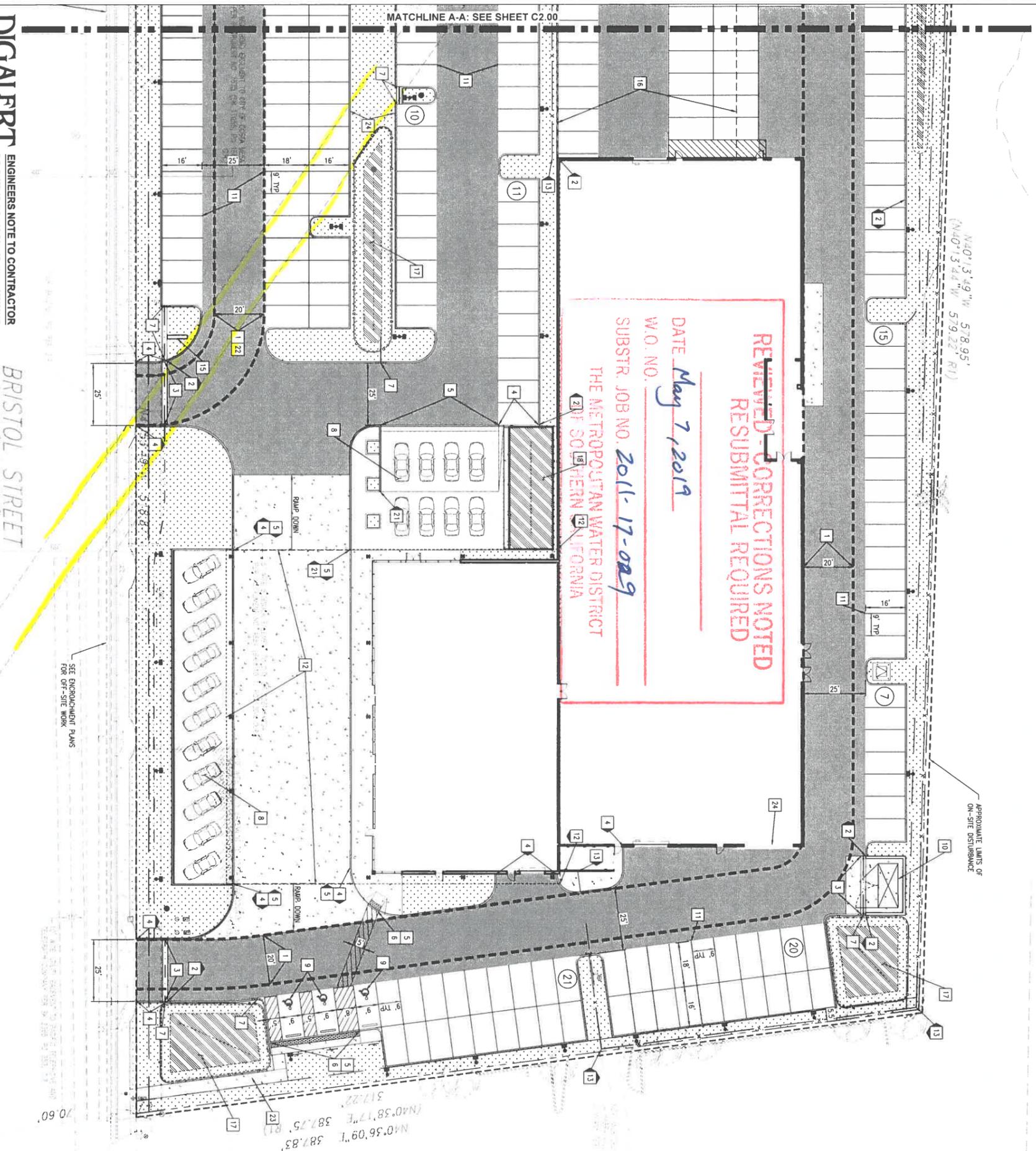


Gensler
 5420 LBJ FREEWAY SUITE 1100
 DALLAS, TX 75240
 TELEPHONE 214.273.1500
 FAX 214.273.1505

CALLUCHI DESIGN GROUP
 CIVIL ENGINEERING
 1 N. LASALLE STREET
 SUITE 350
 CHICAGO, IL 60602
 PHONE 312.940.5293

- | | |
|--|--|
| PROPOSED | EXISTING |
| <ul style="list-style-type: none"> PROPERTY LINE EASEMENT LINE SITE IMPROVEMENTS 1'-FOOT CONTOUR 5'-FOOT CONTOUR WATER LINE FIRE PROTECTION WATER LINE SEWER LINE STORM DRAIN LINE OVERHEAD ELECTRIC, SEE SEE PLANS UNDERGROUND ELECTRIC, SEE SEE PLANS GAS SERVICE UNDERGROUND DATA AND TELEPHONE LINE FENCE FIRE LANE LANDSCAPE SMALE OVERLAND FLOW ROUTE FOR T&E TREE SION WATER VALVE FIRE HYDRANT/FIRE DEPT CONNECTION WATER METER OR BOX SEWER MANHOLE SEWER CLEANOUT AREA DRAIN, CATCH BASIN, JUNCTION BOX, OR DROP INLET STORM MANHOLE STORM CLEANOUT LIGHT POLE OR UTILITY POLE | <ul style="list-style-type: none"> PROPOSED 20 FOOT WIDE FIRE LANE PROPOSED 6" HMA ROLLED CURB, PER DETAIL 5 ON SHEET C3.04 PROPOSED 2" WIDE VALLEY GUTTER, PER DETAIL 7 ON SHEET C5.00 PROPOSED 6" TALL VERTICAL BARRIER CURB, PER DETAIL 8 ON SHEET C3.00 PROPOSED FLUSH (0" HEIGHT) CURB, PER DETAIL 9 ON SHEET C3.00 PROPOSED ACCESSIBLE CURB RAMP WITH DETECTABLE WARNINGS, PER DETAILS 5, 6, AND 7 ON SHEET C3.01 PROPOSED 2" WIDE CURB CUT FOR STORM WATER CONFORMANCE, PER DETAIL 6 ON SHEET C3.00 PROPOSED VEHICLE DISPLAY PROPOSED ACCESSIBLE PARKING STALL WITH PCC WHEELSTOP, ACCESSIBLE LOADING AREA AND ACCESSIBLE MARKINGS, PER DETAILS 10, 11, AND 12 ON SHEET C3.00, ACCESSIBLE SIGNAGE AND POST PER DETAILS 1 AND 2 ON SHEET C3.01 PROPOSED TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS PROPOSED 4" PARKING STALL STRIPE, RAFFETIC WHITE PAINT, MINIMUM TWO COATS. (TYP) PROPOSED LIMITS OF BUILDING OVERHANG, SEE ARCHITECTURAL PLANS PROPOSED SECURITY FENCE, SEE LANDSCAPE PLANS PROPOSED GATE/SLIDING FENCE FOR I&O ACCESS TO EASEMENT, SEE LANDSCAPE PLANS PROPOSED MONUMENT SIGN, SEE ARCHITECTURAL PLANS FOURURE BUILDING EXPANSION, SEE ARCHITECTURAL PLANS PROPOSED UNED BIORETENTION BASIN WITH 18" TALL PERIMETER FENCE, PER DETAIL 8 ON SHEET C3.02, SEE LANDSCAPE PLANS FOR PLANNINGS PROPOSED BASED CONCRETE WALL FLOW-THROUGH PLANTER WITH 4" PERFORATED PVC UNDERDRAIN, PER DETAIL 9 ON SHEET C3.02, SEE LANDSCAPE PLANS FOR PLANNINGS PROPOSED BELOW-GRADE CONCRETE FLOW-THROUGH PLANTER WITH 4" PERFORATED PVC UNDERDRAIN AND DRAIN SURFACE GRATE, PER DETAIL 10 ON SHEET C3.02, SEE LANDSCAPE PLANS FOR PLANNINGS PROPOSED UNED BIORETENTION BASIN, PER DETAIL 8 ON SHEET C3.02, SEE LANDSCAPE PLANS FOR PLANNINGS PROPOSED CONCRETE REMAINING WALL PROPOSED 20' WIDE INGRESS/EGRESS METROPOLITAN WATER DISTRICT EASEMENT PROPOSED PCC SIDEWALK, PER DETAIL 4 ON SHEET C3.01 PROPOSED BUILDING PAD DEPRESSSED BY 1 FOOT. |

REVIEWED - CORRECTIONS NOTED
RESUBMITTAL REQUIRED
 DATE May 7, 2019
 W.O. NO. _____
 SUBSTR. JOB NO. 2011-17-009
 THE METROPOLITAN WATER DISTRICT
 OF SOUTHERN CALIFORNIA



DIGGAUERT ENGINEERS NOTE TO CONTRACTOR

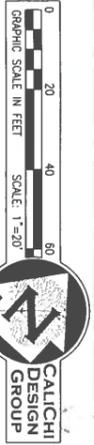
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY BEST SEARCH OR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

BRISTOL STREET
 (FORMERLY "BALSAVINE ROAD")

N41°53'19"W 1706.15' (1706.18' R1)
 BASIS OF BEARING PER (R1)

N41°53'19"W 480.30'
 (480.22' R1)

SEE ENCOMPASSMENT PLANS FOR OFF-SITE WORK



Date	Description
07/04/2019	PLANNING SUBMITTAL
03/08/2019	PROGRESS PRINT
03/15/2019	ISSUED FOR DESIGN DEVELOPMENT
04/15/2019	PROGRESS PRINT

Seal/Signature _____

Project Name
 AUDI OF COSTA MESA
 1273 S BRISTOL STREET
 COSTA MESA, CALIFORNIA 92626
 Project Number
 27.6664.000

Description
 SITE AND PAVING PLANS

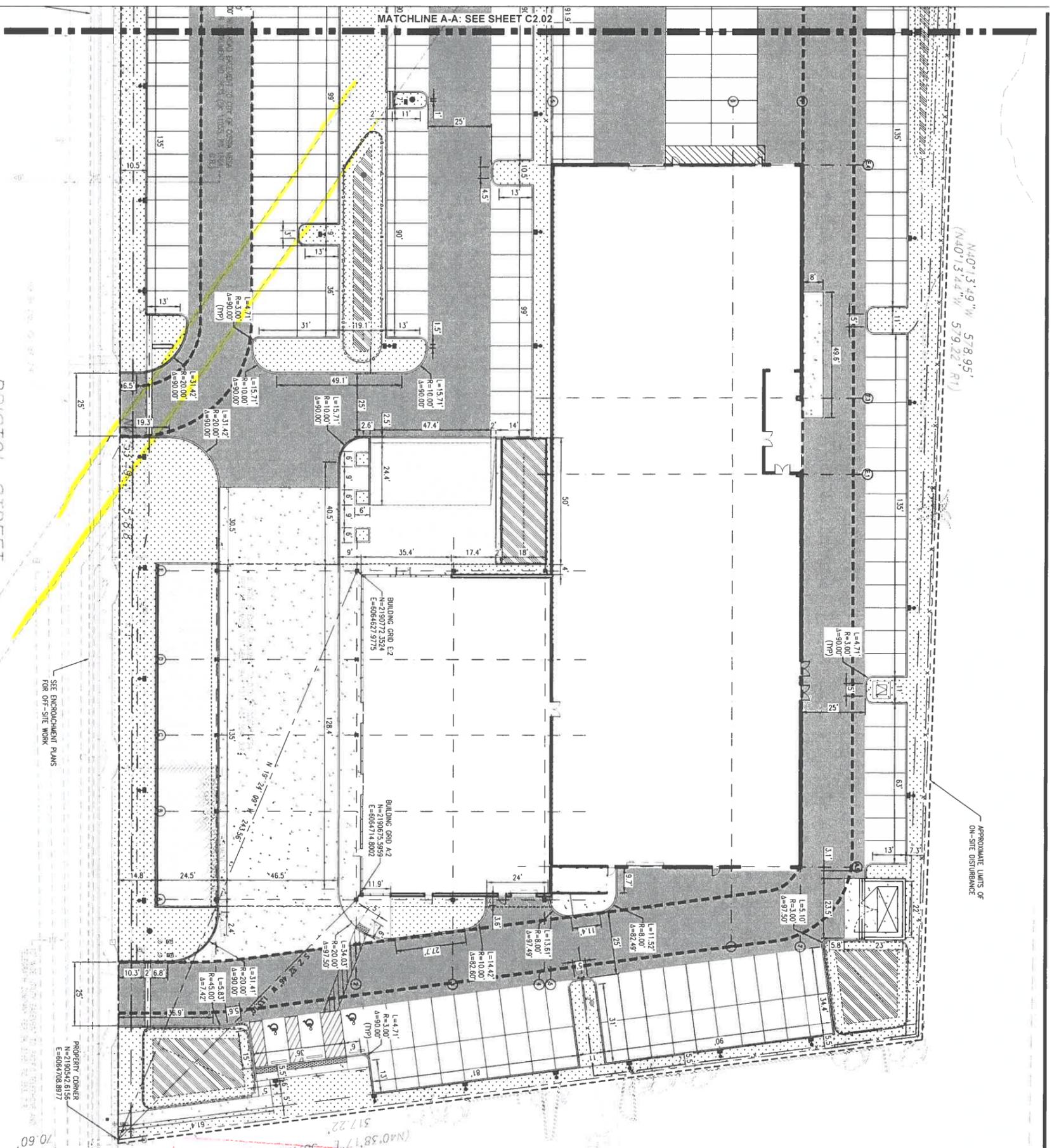
Scale
 AS SHOWN SHEET SIZE 24" x 36"

C2.01



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N40°13'4.9"W 578.95'
 (N40°13'4.4"W 579.22' R1)

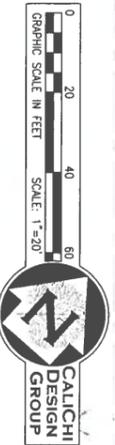


BRISTOL STREET
 FORMERLY "PALM SADES ROAD"

N41°53'1.9"W 706.15' (706.18' R1)
 N41°53'1.9"W 480.30' (480.22' R1)

DIGALPERT
 ENGINEERS NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND AVAILABLE RECORDS. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND/OR STRUCTURES PRIOR TO CONSTRUCTION. ANY PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON CALL 811 TWO WORKING DAYS BEFORE YOU DIG.



- LEGEND**
- | | |
|--|--|
| PROPOSED | EXISTING |
| PROPERTY LINE | PROPERTY LINE |
| EASEMENT LINE | EASEMENT LINE |
| SITE IMPROVEMENTS | SITE IMPROVEMENTS |
| 1-FOOT CONTOUR | 1-FOOT CONTOUR |
| 5-FOOT CONTOUR | 5-FOOT CONTOUR |
| WATER LINE | WATER LINE |
| FIRE PROTECTION WATER LINE | FIRE PROTECTION WATER LINE |
| SANITARY SEWER LINE | SANITARY SEWER LINE |
| STORM DRAIN LINE | STORM DRAIN LINE |
| OVERHEAD ELECTRIC - SEE SEE PLANS | OVERHEAD ELECTRIC - SEE SEE PLANS |
| UNDERGROUND ELECTRIC - SEE SEE PLANS | UNDERGROUND ELECTRIC - SEE SEE PLANS |
| GAS SERVICE | GAS SERVICE |
| UNDERGROUND DATA AND TELEPHONE LINE | UNDERGROUND DATA AND TELEPHONE LINE |
| FENCE | FENCE |
| LANDSCAPE SWALE | LANDSCAPE SWALE |
| OVERLAND FLOW ROUTE FOR TPC | OVERLAND FLOW ROUTE FOR TPC |
| TREE | TREE |
| SIGN | SIGN |
| WATER VALVE | WATER VALVE |
| FIRE HYDRANT/FIRE DEPT CONNECTION | FIRE HYDRANT/FIRE DEPT CONNECTION |
| WATER METER OR BOX | WATER METER OR BOX |
| SEWER MANHOLE | SEWER MANHOLE |
| AREA DRAIN, CATCH BASIN, JUNCTION BOX, OR DROP INLET | AREA DRAIN, CATCH BASIN, JUNCTION BOX, OR DROP INLET |
| STORM MANHOLE | STORM MANHOLE |
| STORM CLEANOUT | STORM CLEANOUT |
| LIGHT POLE OR UTILITY POLE | LIGHT POLE OR UTILITY POLE |

- SITE PLAN LEGEND**
- PROPOSED LANDSCAPED AREA
 - PROPOSED STANDARD DUTY/SIDEWALK PCC, PER DETAIL 2 ON SHEET C05.00
 - PROPOSED HEAVY DUTY AC PAVEMENT, PER DETAIL 3 ON SHEET C05.00
 - PROPOSED STANDARD DUTY AC PAVEMENT, PER DETAIL 3 ON SHEET C05.00
 - PROPOSED DECORATIVE STAMPED CONCRETE, PER DETAIL 2 ON SHEET C05.00
 - SEE LANDSCAPE PLAN FOR ADDITIONAL DETAILS
 - PROPOSED STORMWATER BMP

**REVIEWED - CORRECTIONS NOTED
 RESUBMITTAL REQUIRED**

DATE May 7, 2019

SUBSTR. JOB NO. 2011-17-029

THE METROPOLITAN WATER DISTRICT
 OF SOUTHERN CALIFORNIA

Fletcher Jones
Motorcars, Inc.
 7300 W. SAHARA AVENUE
 LAS VEGAS, NV 89117



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CALICHI DESIGN GROUP
 CIVIL ENGINEERING
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 SUITE 3850
 CHICAGO, IL 60602
 PHONE 312.940.4393

Seal / Signature

DATE 02/24/2019 PLANNING SUBMITTAL
 03/16/2019 ISSUED FOR DESIGN DEVELOPMENT
 04/15/2019 PROGRESS PRINT

Project Name
 AUDI OF COSTA MESA
 1275 S BRISTOL STREET
 COSTA MESA, CALIFORNIA 92626

Project Number
 27.6664.000

Description
 HORIZONTAL CONTROL PLANE

Scale
 AS SHOWN SHEET SIZE 24" x 36"

C2.03

2019 Calichi Design Group

Fletcher Jones Motorcars, Inc.
 7300 W. SAHARA AVENUE
 LAS VEGAS, NV 89117



Gensler
 5420 LBJ FREEWAY, SUITE 1100
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CAUCHI DESIGN GROUP
 CIVIL ENGINEERING
 11N LASALLE STREET
 SUITE 2000 69023
 PHOENIX, AZ 85023
 PHONE 602.990.0233

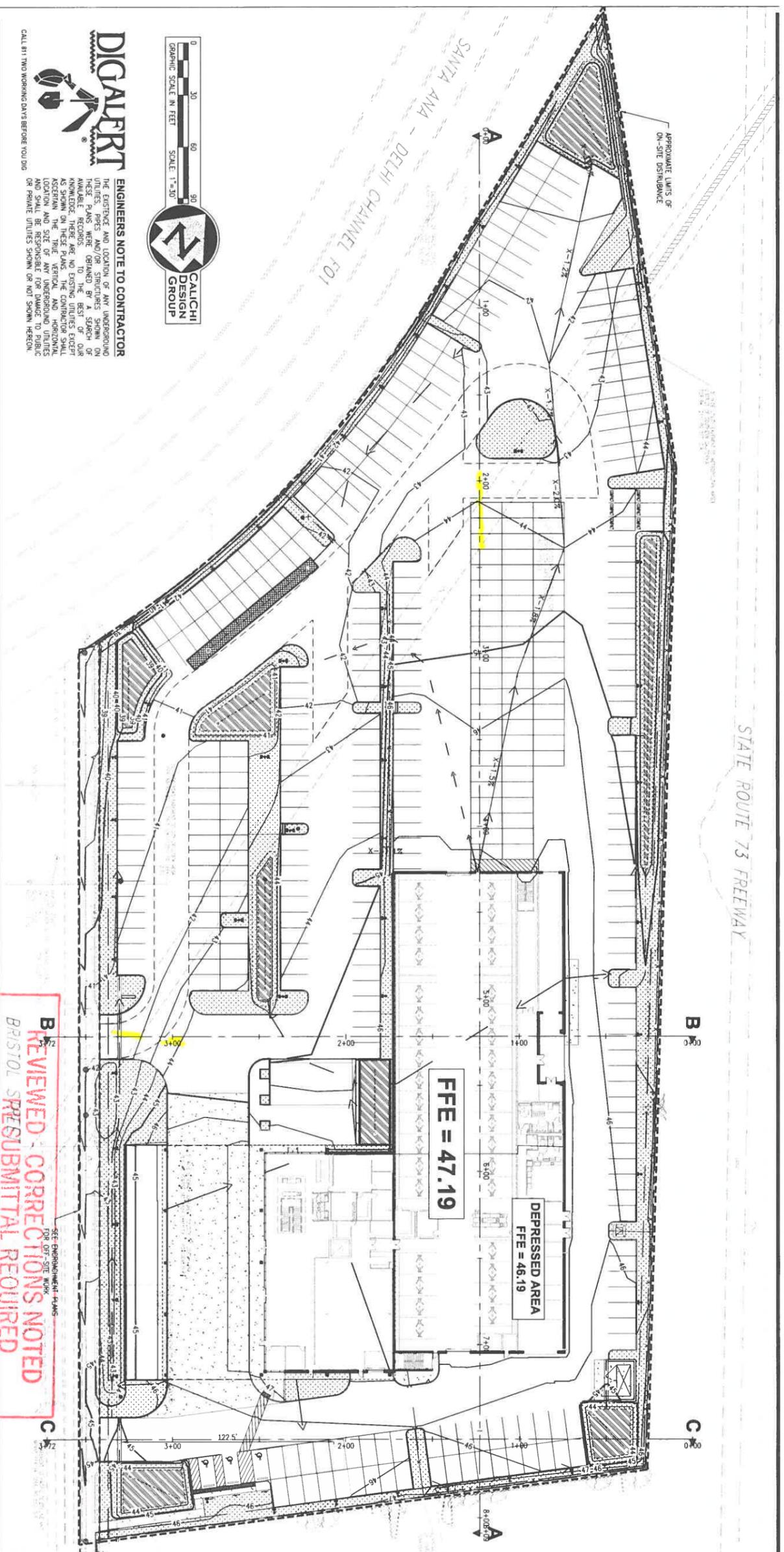
Date	Description
02/04/2019	PLANNING SUBMITTAL
03/28/2019	PROGRESS PRINT
03/15/2019	ISSUED FOR DESIGN DEVELOPMENT
04/15/2019	PROGRESS PRINT

Seal/Signature

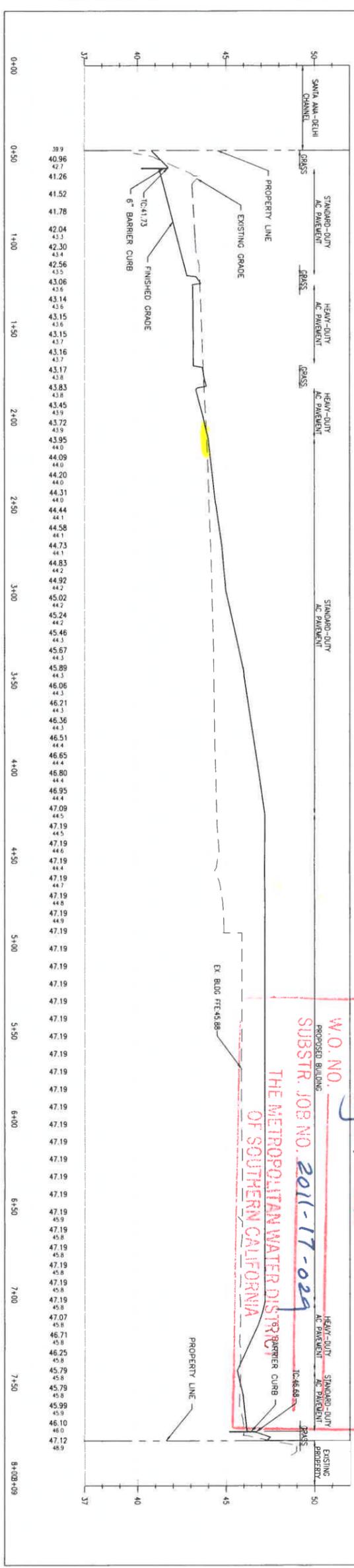
Project Name
 AUDI OF COSTA MESA
 1273 S BRISTOL STREET
 COSTA MESA, CALIFORNIA 92626
Project Number
 27.6664.000

Description
 GRADING SECTIONS
Scale
 AS SHOWN SHEET SIZE: 24" X 36"

C2.04
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SECTION A-A



VERTICAL SCALE: 3'
 HORIZONTAL SCALE: 30'
 VERTICAL EXAGGERATION: 10

REVIEWED - CORRECTIONS NOTED
BRISTOL SUBMITTAL REQUIRED

DATE May 7, 2019
 W.O. NO. _____
 SUBSTR. JOB NO. 2011-17-029
 THE METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA

DIGALERT

ENGINEERS NOTE TO CONTRACTOR
 THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THESE PLANS BY EXCAVATION AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
 CALL 811 TWO WORKING DAYS BEFORE YOU DIG

CAUCHI DESIGN GROUP

 GRAPHIC SCALE IN FEET SCALE: 1"=30'

Fletcher Jones Motorcars, Inc.
 7300 W. SAHARA AVENUE
 LAS VEGAS, NV 89117



Gensler
 5420 LBJ FREEWAY, SUITE 1100
 DALLAS, TX 75240
 TELEPHONE 214.273.1520
 FAX 214.273.1525

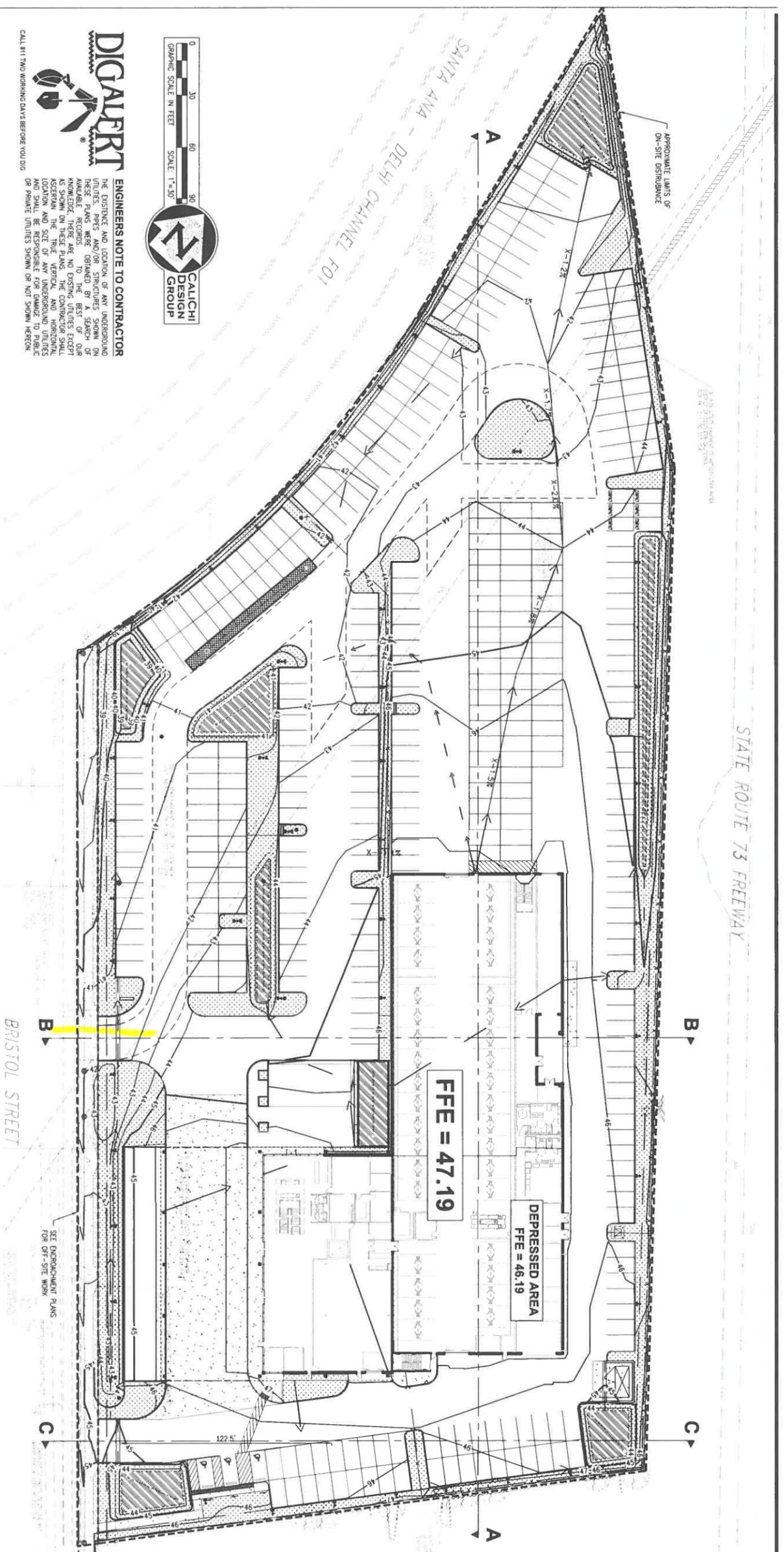
CALICHI DESIGN GROUP
 CIVIL ENGINEERING
 11 N. LASKLE STREET
 SUITE 3950
 CHICAGO, IL 60602
 PHONE 312.940.4393

DATE 03/14/2019 **REVISION SUBMITTAL**
DATE 03/14/2019 **PROGRESS PRINT**
DATE 03/15/2019 **ISSUED FOR DESIGN DEVELOPMENT**
DATE 04/15/2019 **PROGRESS PRINT**

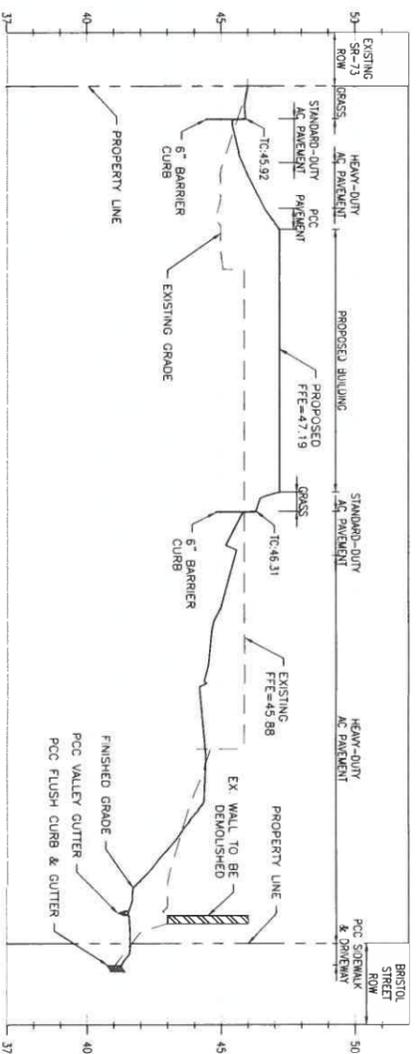
Project Name
 ADD'D OF COSTA MESA
 1275 S BRISTOL STREET
 COSTA MESA, CALIFORNIA 92626
Project Number
 27.0664.000

Description
 GRADING SECTIONS
Scale
 AS SHOWN SHEET SIZE 24" x 36"

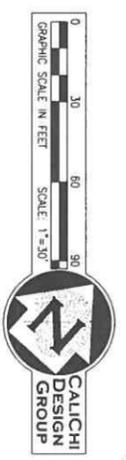
C2.05



SECTION B-B



DIGALERT ENGINEERS NOTE TO CONTRACTOR
 THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE AND BELIEF. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
 CALL 48 HOURS BEFORE YOU DIG



**REVIEWED - CORRECTIONS NOTED
 RESUBMITTAL REQUIRED**
DATE May 7, 2019
W.O. NO.
SUBSTR. JOB NO. 2011-17-029
 THE METROPOLITAN WATER DISTRICT
 OF SOUTHERN CALIFORNIA

Fletcher Jones Motorcars, Inc.
 7300 W. SAHARA AVENUE
 LAS VEGAS, NV 89117



Gensler

5400 LBJ FREEWAY, SUITE 1100
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 TELEPHONE 214.273.1500
 FAX 214.273.1505

CAUCHI DESIGN GROUP
 CIVIL ENGINEERING
 114 LASKALE STREET
 CHICAGO, IL 60607
 PHONE 312.967.0333

Seal / Signature

△ Date Description
 02/04/2019 PLANNING SUBMITTAL
 03/08/2019 PROCESS PRINT
 03/15/2019 ISSUED FOR DESIGN DEVELOPMENT
 04/15/2019 PROCESS PRINT

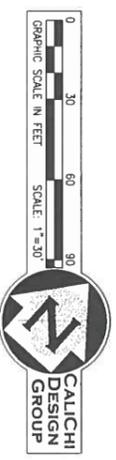
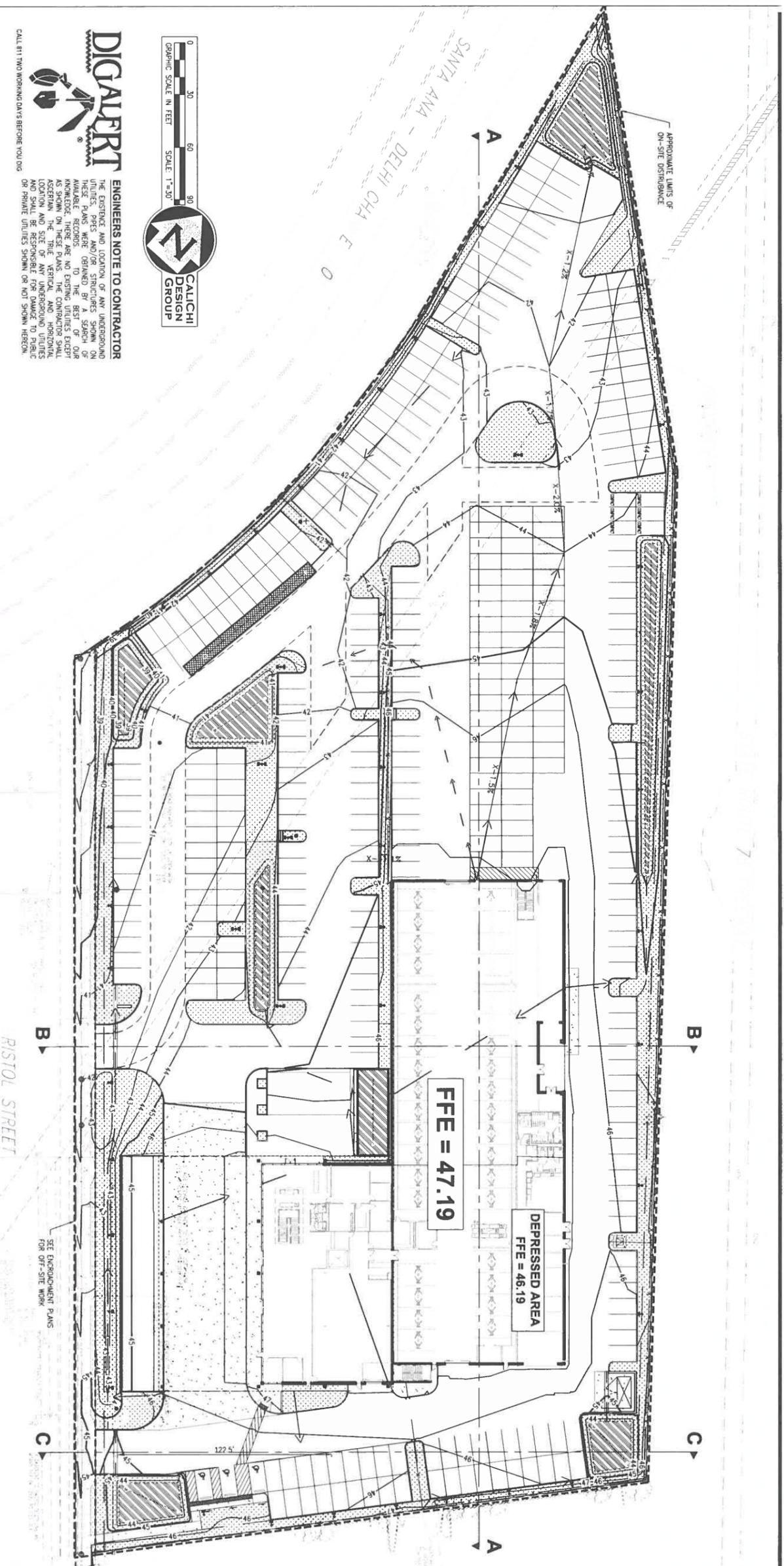
Project Name
 AUDI OF COSTA MESA
 1275 S BRISTOL STREET
 COSTA MESA, CALIFORNIA 92626
 Project Number
 27.6964.000

Description
 GRADING SECTIONS

Scale
 AS SHOWN SHEET SIZE: 24" x 36"

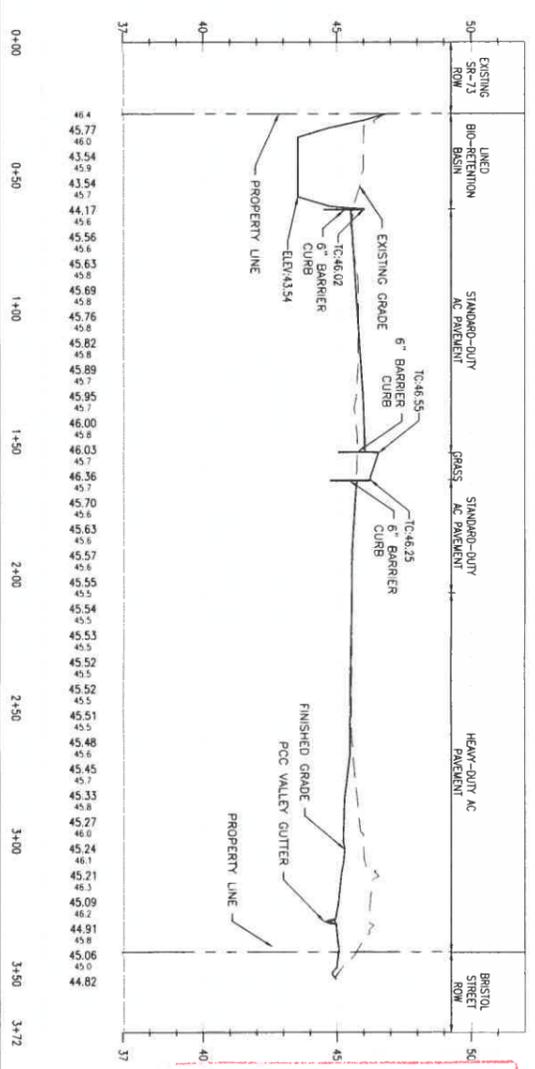
C2.06

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 THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON. CALL 811 TWO WORKING DAYS BEFORE YOU DIG.

SECTION C-C



**REVIEWED - CORRECTIONS NOTED
 RESUBMITTAL REQUIRED**

DATE May 7, 2019
 W.O. NO. _____
 SUBSTR. JOB NO. 2011-17-029
 THE METROPOLITAN WATER DISTRICT
 OF SOUTHERN CALIFORNIA

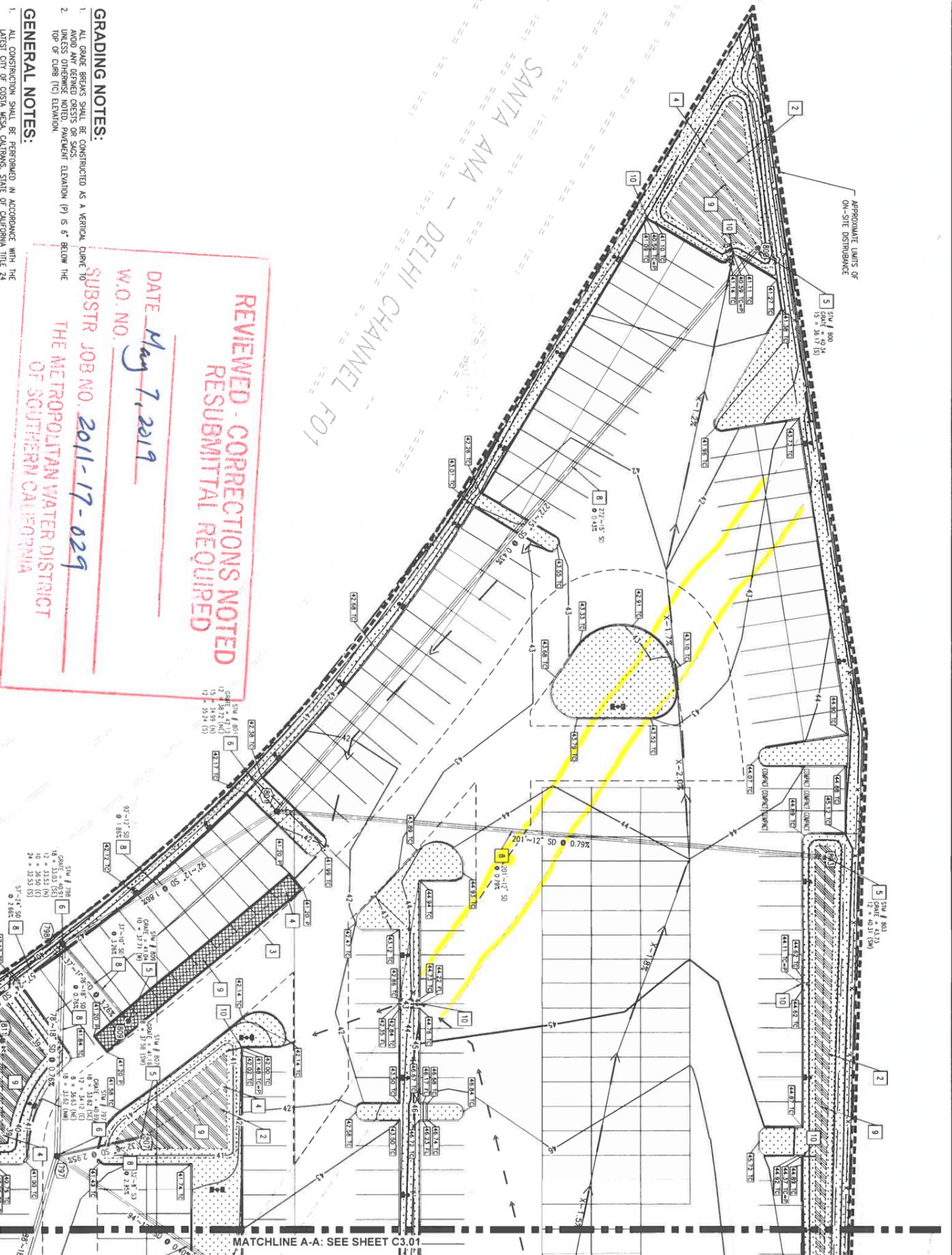
Fletcher Jones
Motorcars, Inc.
7300 W. SAHARA AVENUE
LAS VEGAS, NV 89117



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5420 LBJ FREEWAY SUITE 1100
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TELEPHONE 214.273.1500
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CALLUCHI DESIGN GROUP
CIVIL ENGINEERING
1 N. LASALLE STREET
CHICAGO, IL 60602
PHONE 312.540.4393

DATE: May 7, 2019
W.O. NO. 2011-17-029
SUBSTR JOB NO. 2011-17-029
THE METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA



GRADING NOTES:

1. ALL GRADE BREAKS SHALL BE CONSTRUCTED AS A VERTICAL CURVE TO UNLESS OTHERWISE NOTED. PAVEMENT ELEVATION (P) IS 6" BELOW THE TOP OF CURB (TC) ELEVATION.

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF COSTA MESA ORDINANCES, STATE OF CALIFORNIA TITLE 24 ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE) SHALL BE PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

WORK IN THE RIGHT OF WAY NOTE:

1. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.

UTILITY LOCATION NOTE:

1. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF THE CITY OF COSTA MESA RECORDS AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON.

GRADING & DRAINAGE KEY NOTES

1. CONCRETE AT-GRADE RASSED W/ALD FLOW-THROUGH PAWTR. PER DETAIL 8 ON SHEET C3.02
2. UNED BIORETENTION BASIN. PER DETAIL 8 ON SHEET C3.02
3. CONCRETE FLOW-THROUGH PLANTER WITH TRAFFIC-RATED METAL GRATE. PER DETAIL 10 ON SHEET C3.02
4. INSTALL STORM DRAIN TERMINAL CLEANOUT IN BIORETENTION BMP. PER DETAIL 7 ON SHEET C3.02
5. INSTALL OVERFLOW P/SER WITH YARD DRAIN/RETENGE GRATE. PER DETAIL 6 ON SHEET C3.02
6. INSTALL STORM MANHOLE. PER DETAIL 1 ON SHEET C3.03. RM AND INVERTS PER TABLE
7. INSTALL TRENCH DRAIN. RM AND INVERTS PER TABLE
8. INSTALL RCP STORM SEWER. TRENCH PER DETAIL 2 ON SHEET C3.03. SIZE AND LENGTH PER PLAN
9. INSTALL 4" PERFORATED UNDERDRAIN. MINIMUM SLOPE OF 0.2%
10. INSTALL 2" WIDE CURB CUT/LEAVE-OUT FOR STORM WATER CONVEYANCE. PER DETAIL 8 ON SHEET C3.00
11. CONNECT TO EXISTING CURB INLET. CORE THROUGH THE BACK OF STRUCTURE.

SPOT GRADING LEGEND

- INDICATES ELEVATION TO MATCH EXISTING ITEM
- INDICATES ELEVATION AT TOP OF CURB
- INDICATES ELEVATION AT FINISHED GROUND
- INDICATES ELEVATION AT TOP OF CONCRETE
- INDICATES FLOWLINE ELEVATION OF PIPE, SMALL, OR GUTTER
- INDICATES RAW ELEVATION OF UTILITY
- INDICATES ELEVATION AT TOP OF ASPHALT PAVEMENT
- INDICATES TOP OF CURB EQUAL TO CONCRETE SIDEWALK ELEVATION
- INDICATES TOP OF CURB EQUAL TO ASPHALT PAVEMENT ELEVATION
- INDICATES ELEVATIONS AT BOTTOM OF STAIRS
- INDICATES ELEVATION AT TOP OF STAIRS
- INDICATES ELEVATION AT BOTTOM OF WALL
- INDICATES ELEVATION AT TOP OF WALL
- DRAINAGE ARROW AND PROPOSED SLOPE

LEGEND

- PROPOSED: PROPERTY LINE, EASEMENT LINE, SITE IMPROVEMENTS, 1'-FOOT CONTOUR, 5'-FOOT CONTOUR, WATER LINE, FIRE PROTECTION WATER LINE, SANITARY SEWER LINE, STORM DRAIN LINE, OVERHEAD ELECTRIC, SEE SEE PLANS, UNDERGROUND ELECTRIC, SEE SEE PLANS, GAS SERVICE, UNDERGROUND DATA AND TELEPHONE LINE, FENCE, FIRE LINE, LANDSCAPE SWALE, OVERLAND FLOW ROUTE FOR T&C, TREE, SIGN, WATER VALVE, FIRE HYDRANT/FIRE DEPT CONNECTION, WATER METER OR BOX, SEWER MANHOLE, AREA DRAIN, CATCH BASIN, JUNCTION BOX, OR DRAIN INLET, STORM MANHOLE, STORM CLEANOUT, LIGHT POLE OR UTILITY POLE
- EXISTING: 9, 10

GRADING AND DRAINAGE PLAN-W

Scale: As Shown
SHEET SIZE: 24" x 36"
AS SHOWN

Project Name: AUDI OF COSTA MESA
1275 S BRISTOL STREET
COSTA MESA, CALIFORNIA 92626
Project Number: 27,6664,000

DATE: May 7, 2019
W.O. NO. 2011-17-029
SUBSTR JOB NO. 2011-17-029
THE METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA

DIGALEFT ENGINEERS NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

Scale: AS SHOWN SHEET SIZE: 24" x 36"

C3.00

CalluCHI DESIGN GROUP

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LAS VEGAS, NV 89117



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5420 LBJ FREEWAY, SUITE 1100
DALLAS, TX 75240
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CALICHI DESIGN GROUP
CIVIL ENGINEERING
111 LASALLE STREET
SUITE 3950
CHICAGO, IL 60602
PHONE 312.540.4333

**REVIEWED - CORRECTIONS NOTE
RESUBMITTAL REQUIRED**

RECEIVED
MAY 7 2019
METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA
SUBMITTER JOB NO 2011-17-029

Date: 02/04/2019
Drawing: BRANNING/STANTITZ
03/08/2019 PROGRESS PRINT
03/15/2019 ISSUED FOR DESIGN DEVELOPMENT
04/15/2019 PROGRESS PRINT

Project Name:
AUDI OF COSTA MESA
1275 S. BRISTOL STREET
COSTA MESA, CALIFORNIA 92626
Project Number:
27 6664 000

Discipline:
Grading
Grading and Drainage Plane

Scale:
AS SHOWN SHEET SIZE 24" x 36"

C3.01

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LEGEND

PROPOSED	EXISTING
PROPERTY LINE	---
EASEMENT LINE	---
SITE IMPROVEMENTS	---
1'-FOOT CONTOUR	---
5'-FOOT CONTOUR	---
WATER LINE	---
WATER	---
5"	---
12"	---
18"	---
24"	---
30"	---
36"	---
42"	---
48"	---
54"	---
60"	---
66"	---
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102"	---
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1476"	---
1482"	---
1488"	---
1494"	---
1500"	---

SPOT GRADING LEGEND

90.00-1.00	INDICATES ELEVATION AT TOP OF CURB
90.00-1.00	INDICATES ELEVATION AT FINISHED GROUND
90.00-1.00	INDICATES ELEVATION AT TOP OF CONCRETE AT TOP OF FINISHED GROUND
90.00-1.00	INDICATES FINISH ELEVATION OF PIPE, SINK, OR OTHER
90.00-1.00	INDICATES FIN ELEVATION OF UTILITY
90.00-1.00	INDICATES ELEVATION AT TOP OF ASPHALT SURFACE
90.00-1.00	INDICATES TOP OF CURB EQUAL TO CONCRETE SURFACE ELEVATION
90.00-1.00	INDICATES TOP OF CURB EQUAL TO ASPHALT PAVEMENT ELEVATION
90.00-1.00	INDICATES ELEVATION AT BOTTOM OF STAIRS
90.00-1.00	INDICATES ELEVATION AT BOTTOM OF WALL
90.00-1.00	INDICATES ELEVATION AT TOP OF WALL
90.00-1.00	INDICATES ELEVATION AT TOP OF STAIRS
90.00-1.00	INDICATES ELEVATION AT BOTTOM OF WALL
90.00-1.00	INDICATES ELEVATION AT TOP OF WALL
1.5%	INDICATES ELEVATION AT TOP OF WALL

GRADING & DRAINAGE KEY NOTES

- CONCRETE AT-GRADE BASED WALKED FLOW-THROUGH PLANTER, PER DETAIL 9 ON SHEET C5.02
- LAND BORSTENBROW BASIN, PER DETAIL 8 ON SHEET C5.02
- CONCRETE FLOW-THROUGH PLANTER WITH TRAFFIC-RATED METAL GRATE, PER DETAIL 10 ON SHEET C5.02
- INSTALL STORM DRAIN TERMINAL CLEANOUT IN BORSTENBROW BASIN, PER DETAIL 7 ON SHEET C5.02
- INSTALL OVERFLOW RISER WITH YARD DRAIN/BREEZE GRATE, PER DETAIL 6 ON SHEET C5.02
- INSTALL STORM MANHOLE TYPE 1, PER DETAIL 1 ON SHEET C5.03, RIM AND INVERTS PER TABLE
- INSTALL TRENCH DRAIN RIM AND INVERTS PER TABLE
- INSTALL RCP STORM SEWER, TRENCH PER DETAIL 2 ON SHEET C5.03, SIZE AND LENGTH PER PLAN
- INSTALL 4" PERFORATED UNDERDRAIN, MINIMUM SLOPE OF 0.2%
- INSTALL 2" WIDE CURB CUT/LEAVE-OUT FOR STORM WATER CONVEYANCE, PER DETAIL 6 ON SHEET C3.00
- CONNECT TO EXISTING CURB INLET CORE THROUGH THE BACK OF STRUCTURE
- INSTALL 2" SLOT DRAIN IN WALL TO DRAIN ENCLOSED STARTOWER
- PROPOSED BUILDING DOWNSPOUT LOCATION

DIGALPERT ENGINEERS NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY BEST AVAILABLE KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN THEREON.

CALL 811 (WWW.CALL811.COM) BEFORE YOU DIG



GRAPHIC SCALE IN FEET SCALE: 1"=20'

SEE ENDSHEET PLANS FOR OFF-SITE WORK

BRISTOL STREET
(FORMERLY "PALISADES ROAD")

FFE = 47.19

DEPRESSED AREA
FFE = 46.19

APPROXIMATE LIMITS OF ON-SITE DISTURBANCE

MATCHLINE A-A: SEE SHEET C3.00

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Motorcars, Inc.
7300 W. SAHARA AVENUE
LAS VEGAS, NV 89117



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DALLAS, TX 75240
TELEPHONE 214 273 1500
FAX 214 273 1505

CAUCHI DESIGN
ARCHITECTURE
111 LSALE STREET
SUITE 395
CHICAGO, IL 60602
PHONE 312 540 4393

REVIEWED - CORRECTIONS NOTED
RESUBMITTAL REQUIRED

2011-17-029
MAY 7, 2019
POLYMER WATER DISTRICT
SOUTH SAN JOAQUIN CALIFORNIA

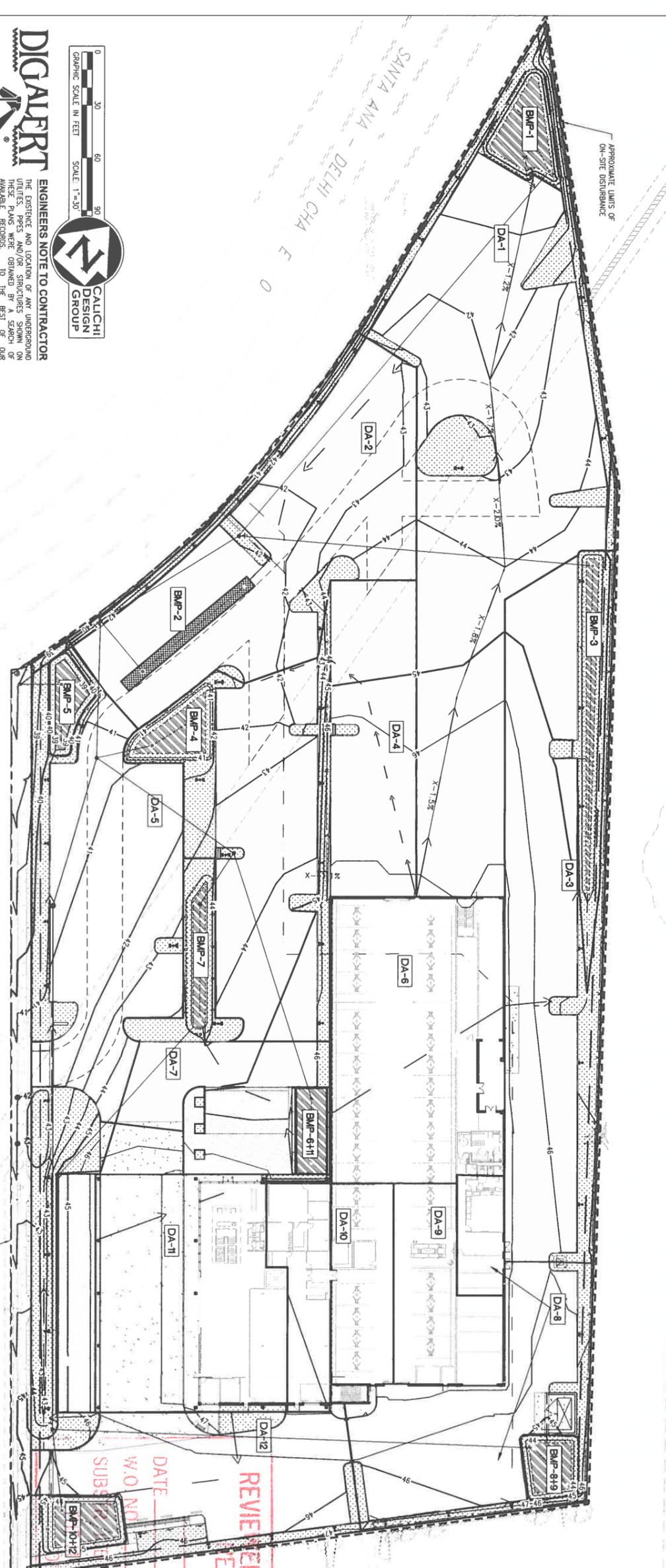
Date: Description
02/04/2019 PLANNING SUBMITTAL
03/08/2019 PROGRESS PRINT
04/15/2019 PROGRESS PRINT

Project Name:
AUDI OF COSTA MESA
1275 S BRISTOL STREET
COSTA MESA, CALIFORNIA 92626
Project Number:
27 6664 000

Storm Water Control Plan (SWCP)

AS SHOWN SHEET SIZE 24" x 36"
C3.02

STATE ROUTE 73 FREEWAY



CAUCHI DESIGN GROUP
SCALE 1"=30'
GRAPHIC SCALE IN FEET

DIGALBERT
ENGINEERS NOTE TO CONTRACTOR
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

SITE DRAINAGE AREAS AND BMPs

BMP	DRAINAGE AREA	BMP TYPE	TOTAL DRAINAGE AREA (SF)	IMPERVIOUS AREAS (SF)	PERCENT PERVIOUS (%)	BMP AREA REQUIRED (SF) - PER CODE	BMP AREA PROVIDED (SF)	COMPLIANCE ACHIEVED?
B1	DA-1	LINED BIORETENTION BASIN (12" TREATMENT DEPTH)	36,044	29,326	81.4	984	1098	YES
B2	DA-2	FLOW-THROUGH PLANTER WITH TRAFFIC-RATED GRATE (12" TREATMENT DEPTH)	19,732	17,557	89.0	579	637	YES
B3	DA-3	LINED BIORETENTION BASIN (6" TREATMENT DEPTH)	22,144	15,783	71.3	884	894	YES
B4	DA-4	LINED BIORETENTION BASIN (12" TREATMENT DEPTH)	25,147	20,272	80.7	681	815	YES
B5	DA-5	LINED BIORETENTION BASIN (12" TREATMENT DEPTH)	22,589	14,157	62.7	503	549	YES
B6-11	DA-6 + DA-11	ABOVE GRADE PLANTER WITH SEAT WALL (6" TREATMENT DEPTH)	31,077	29,845	96.0	742	835	YES
B7	DA-7	LINED BIORETENTION BASIN (12" TREATMENT DEPTH)	13,642	10,912	80.0	367	404	YES
B8-9	DA-8 + DA-9	LINED BIORETENTION BASIN (12" TREATMENT DEPTH)	20,727	17,739	85.6	589	625	YES
B10-12	DA-10 + DA-12	LINED BIORETENTION BASIN (12" TREATMENT DEPTH)	22,189	18,591	83.9	682	750	YES

* ALL BMPs FEATURE 2 OF FREEBOARD

STORMWATER CONTROL LEGEND

- APPROXIMATE BOUNDARY OF DRAINAGE MANAGEMENT AREA
- PROPOSED OVERFLOW DRAIN IN PLANTER
- PROPOSED STORMWATER CLEANSOUT
- PROPOSED DRAINAGE AREA (DA-1, DA-2 ETC.) AND BMP (B1, B2, ETC.) DESIGNATION
- PERFORATED UNDERDRAIN IN PLANTER

ON-SITE FLOW-THROUGH PLANTER MAINTENANCE PLAN

- ROUTINE MAINTENANCE (MONTHLY INSPECTIONS, OR AS NEEDED AFTER STORM EVENTS):
- INSPECT THE PLANTER SURFACE FOR BLOCKAGES AND DEBRIS FOR OBSTRUCTIONS AND TRASH.
- INSPECT THE PLANTER SURFACE FOR EROSION AND SOIL LOSS.
- INSPECT PLANTER BOX AFTER STORMS TO ENSURE STRUCTURAL INTEGRITY OF THE BOX AND THAT THE PLANTER IS NOT CLOGGING, AND IS DRAINING WITHIN 3-4 HOURS AFTER STORM EVENTS. IF PONDING WATER DOES NOT DRAIN, THE SURFACE SOILS SHOULD BE TILLED OR REPLACED AND REPAVED AS NECESSARY. IF MOSQUITO LARVAE ARE OBSERVED, CONTACT THE LOCAL VECTOR CONTROL DISTRICT AT (510) 591-6880.
- INSPECT THE PLANTER SURFACE FOR EROSION AND SOIL LOSS. IF IS FUNCTIONING ADEQUATELY AND THAT THERE IS NO SCOUR OF THE SURFACE WHICH AND REMOVE ANY ACCUMULATION OF SEDIMENT.
- CHECK THAT WHICH IS AT APPROPRIATE DEPTH (2 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY.
- BI-MONTHLY INSPECTION (AT LEAST TWICE A YEAR):
- REMOVE AND REPLACE ANY DEAD OR DYING PLANTS.
- REMOVE AND REPLACE ANY DEAD OR DYING PLANTS.
- TREAT POSSIBLE PLANTS, AS NEEDED, USING PREVENTATIVE AND LOW-TOXIC MEASURES TO THE EXTENT POSSIBLE.
- AVOID THE USE OF PESTICIDES AND QUICK-RELEASE SYNTHETIC FERTILIZERS AND FOLLOW THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). CHECK WITH THE LOCAL JURISDICTION FOR THE PROPER USE OF PESTICIDES AND FERTILIZERS.
- FOR PLANTS THAT REQUIRE SPECIAL CARE, CHECK WITH THE LOCAL JURISDICTION FOR THE AMOUNT OF WATER (IF APPLICABLE).
- ANNUAL INSPECTION (JUST PRIOR TO THE WET SEASON):
- APPLY 1" TO 2" OF COMPOSED MULCH TO BE APPLIED ONCE A YEAR AND WHEN EROSION IS EVIDENT; SPOT MULCHING MAY BE SUFFICIENT FOR RANDOM VOID AREAS.

LEGEND

- PROPERTY LINE
- DESIGN LINE
- THE IMPROVEMENTS
- FOOT CONTOUR
- WATER LINE
- OTICTION WATER LINE
- IRARY SPWER LINE
- RM DRAIN LINE
- LECTRIC, SEE SEE PLANS
- ELECTRIC, SEE SEE PLANS
- GAS SERVICE
- DATA AND TELEPHONE LINE
- FENCE
- FIRE LINE
- LANDSCAPE SWALE
- OVERLAND FLOW ROUTE FOR TAD
- TREE
- SON
- WATER VALVE
- FIRE HYDRANT/FIRE DEPT CONNECTION
- WATER METER OR BOX
- SEWER MANHOLE
- SEWER CLEANSOUT
- STORM MANHOLE
- STORM CLEANSOUT
- LIGHT POLE OR UTILITY POLE

AS SHOWN SHEET SIZE 24" x 36"
C3.02

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FAX 214 273 1505

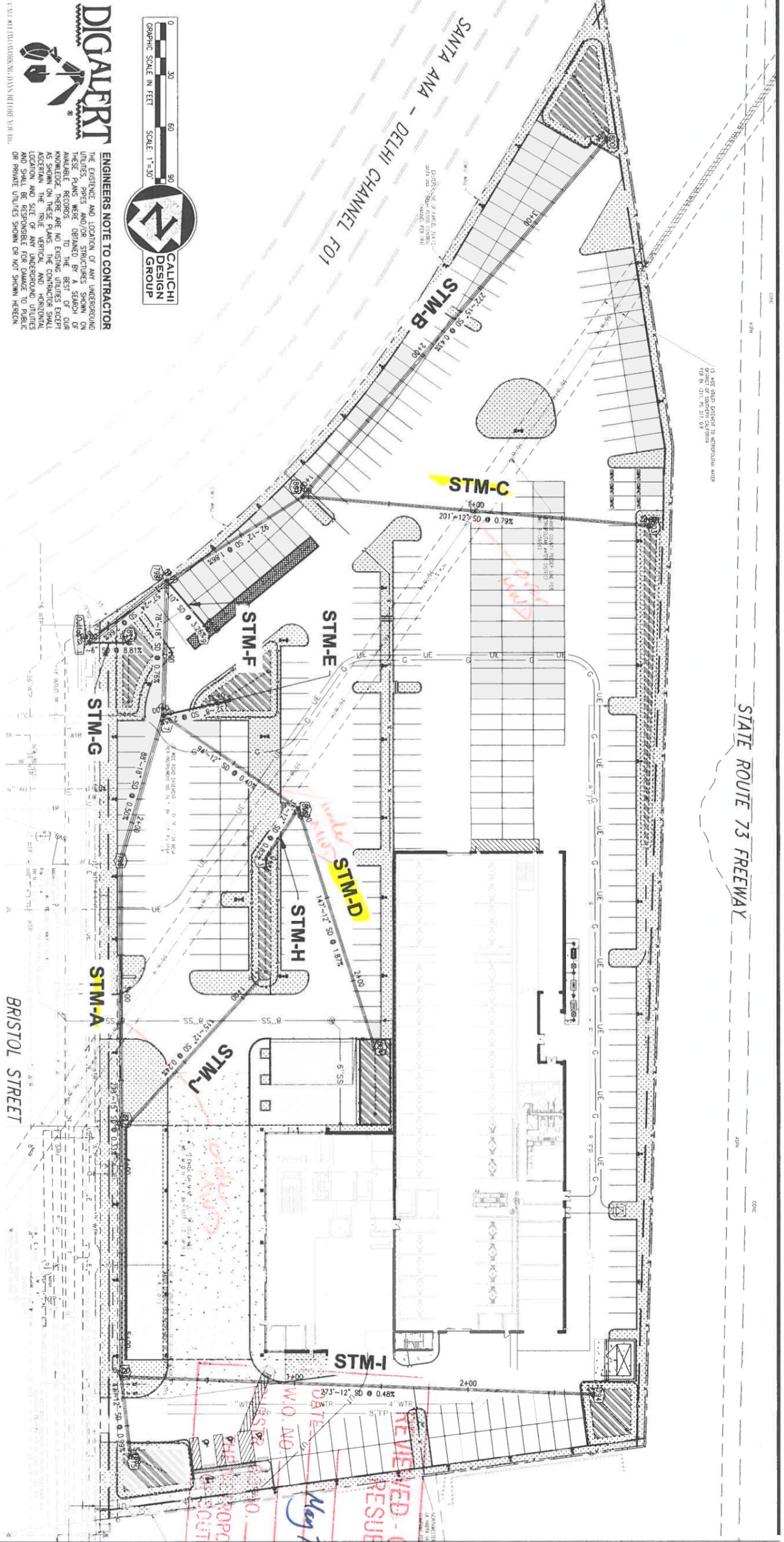
CAULCHI DESIGN
GROUP
CIVIL ENGINEERING
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SUITE 200
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PHONE 312.940.4033

**REVIEWED - CORRECTIONS NOTED
RESUBMITTAL REQUIRED**

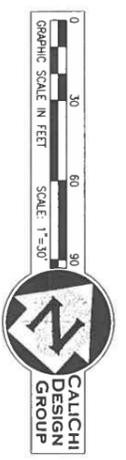
May 7, 2019

2011-17-029

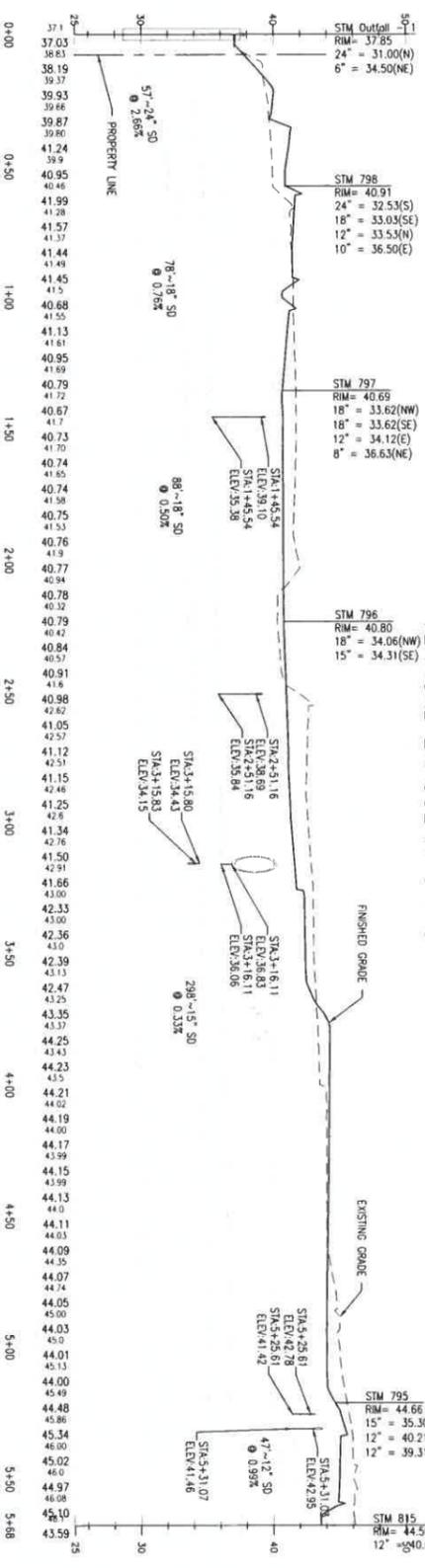
METROPOLITAN WATER DISTRICT
SOUTHERN CALIFORNIA



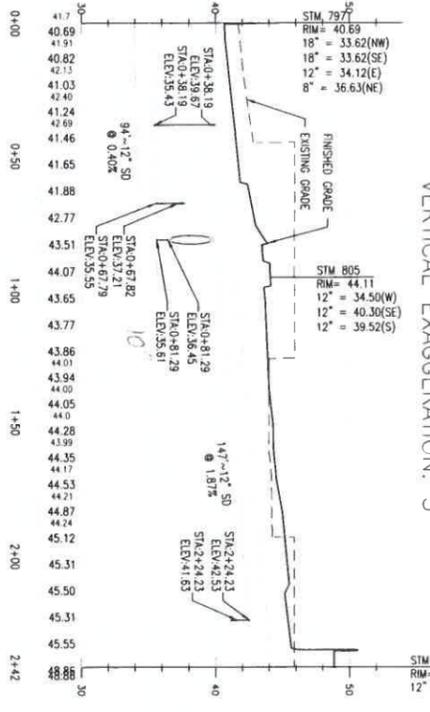
DIGALERT
ENGINEERS NOTE TO CONTRACTOR
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.



PROFILE VIEW: **STM-A**
HORIZONTAL SCALE: 20
VERTICAL SCALE: 4
VERTICAL EXAGGERATION: 5



PROFILE VIEW: **STM-D**
HORIZONTAL SCALE: 20
VERTICAL SCALE: 4
VERTICAL EXAGGERATION: 5



C3.05

Project Name: AUDI OF COSTA MESA, 1275 S BRISTOL STREET, COSTA MESA, CALIFORNIA 92626
Project Number: 27.6664.000
Description: STORM DRAIN PROFILES

Scale: AS SHOWN SHEET SIZE: 24" x 36"

CAULCHI DESIGN GROUP

Fletcher Jones
Motorcars, Inc.
7300 W. SAHARA AVENUE
LAS VEGAS, NV 89117



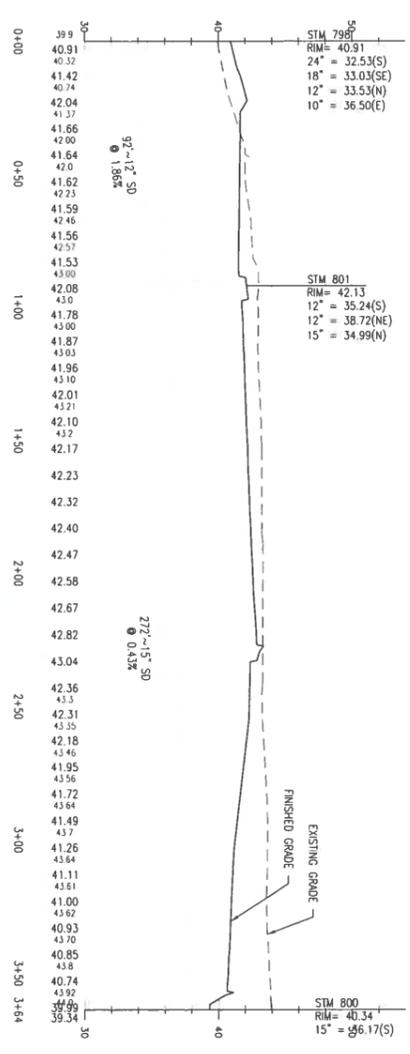
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FAX 214.273.1505

GAUCHI DESIGN
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CHICAGO, IL 60602
PHONE 312.590.4393

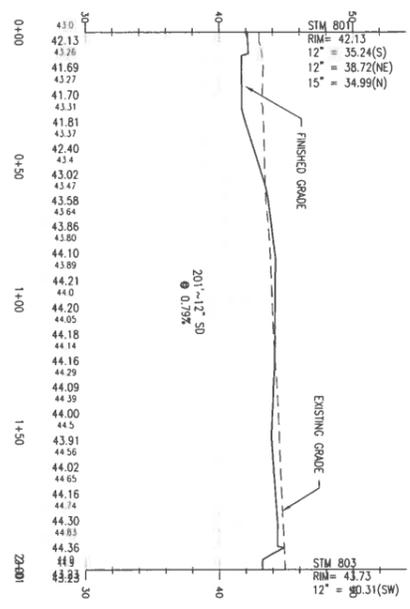
**REVIEWED - CORRECTIONS NOTED
RESUBMITTAL REQUIRED**

DATE May 7, 2019
M.O. NO. _____
SUBSTR. JOB NO. 2011-17-029
THE METROPOLITAN WATER DISTRICT
OF SOUTHERN CALIFORNIA

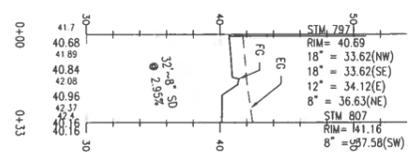
PROFILE VIEW: STM-B
HORIZONTAL SCALE: 20
VERTICAL SCALE: 4
VERTICAL EXAGGERATION: 5



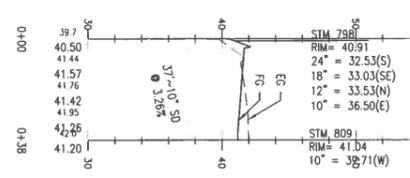
PROFILE VIEW: STM-C
HORIZONTAL SCALE: 20
VERTICAL SCALE: 4
VERTICAL EXAGGERATION: 5



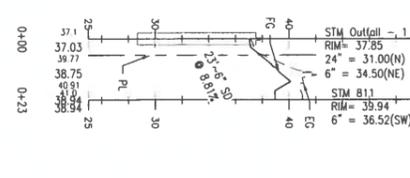
PROFILE VIEW: STM-E
HORIZONTAL SCALE: 20
VERTICAL SCALE: 4
VERTICAL EXAGGERATION: 5



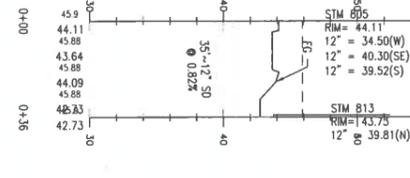
PROFILE VIEW: STM-F
HORIZONTAL SCALE: 20
VERTICAL SCALE: 4
VERTICAL EXAGGERATION: 5



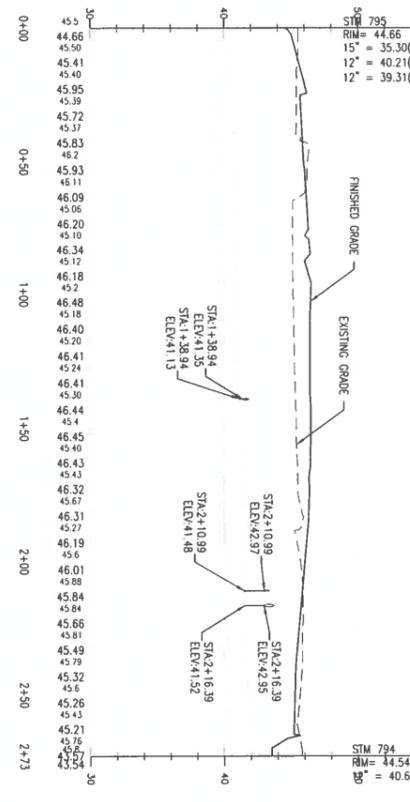
PROFILE VIEW: STM-G
HORIZONTAL SCALE: 20
VERTICAL SCALE: 4
VERTICAL EXAGGERATION: 5



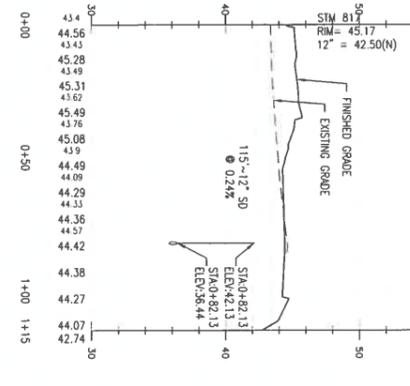
PROFILE VIEW: STM-H
HORIZONTAL SCALE: 20
VERTICAL SCALE: 4
VERTICAL EXAGGERATION: 5



PROFILE VIEW: STM-I
HORIZONTAL SCALE: 20
VERTICAL SCALE: 4
VERTICAL EXAGGERATION: 5



PROFILE VIEW: STM-J
HORIZONTAL SCALE: 20
VERTICAL SCALE: 4
VERTICAL EXAGGERATION: 5



Title
AS SHOWN SHEET SIZE: 24" x 36"

Project Name:
AUDI OF COSTA MESA
1275 S BRISTOL STREET
COSTA MESA, CALIFORNIA 92626
Project Number:
27.6664.000
Description:
STORM DRAIN PROFILES

C3.06



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LAS VEGAS, NV 89117



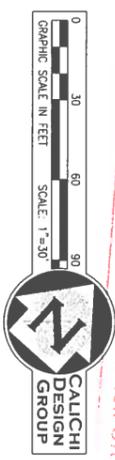
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CAUCHI DESIGN GROUP
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PHONE 312.940.4393

DATE May 7, 2019
W.O. NO. 2011-17-029
SUBSTR. JOB NO. 2011-17-029

**REVIEWED - CORRECTIONS NOTED
RESUBMITTAL REQUIRED**

THE METROPOLITAN WATER DISTRICT
OF SOUTHERN CALIFORNIA



EROSION AND SEDIMENT CONTROL NOTES:

- CONTRACTOR TO PROTECT OPEN UTILITY TRENCHES AND TRENCH SPOILS USING APPROPRIATE BMP'S/MEASURES SHOWN ON THE PLAN.
- PREVENT EROSION AND CONTAIN SEDIMENT ON THE SITE.
- EXCEPT AS OTHERWISE DIRECTED BY THE PROJECT INSPECTOR, ALL EROSION CONTROL AND DRAINAGE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY.
- CLEAN OUT MUD AND SILT IN SEDIMENT CONTROL DRAINAGE DEVICES AFTER EACH RAIN OR AS DIRECTED BY THE PROJECT INSPECTOR.
- REPAIR AND MAINTAIN ALL EROSION CONTROL DEVICES SHOWN ON THIS PLAN. ONLY BE REMOVED WHEN THE PROJECT HAS COMPLETED AND STABILIZATION.
- GRADED AREAS ADJACENT TO SLOPES MUST DRAIN AWAY FROM THE TOP OF SLOPE AT CONCLUSION OF EACH WORKING DAY WHEN THERE IS A FORECAST OF RAIN.
- ALL LOOSE SOIL AND DEBRIS, WHICH MAY CREATE A POTENTIAL HAZARD TO OFFSITE PROPERTY, SHALL BE REMOVED FROM THE SITE.
- DESIGNING BUSINESS SHALL BE DRAINED OR PAVED OR, WITHIN 24 HOURS AFTER EACH STORAGE CAPACITY IS MET.
- THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE WITHIN THE SITE SHALL BE LEFT TO THE DISCRETION OF THE PROJECT INSPECTOR AND CONTRACTOR.
- EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF DEMAND NECESSARY BY SITE INSPECTION. ADDITIONAL MEASURES WILL BE INSTALLED.
- ALL EROSION AND SEDIMENTATION CONTROL DEVICES SHALL CONFORM TO THE LATEST REGULATIONS FOR THE CITY, COUNTY AND STATE.
- THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO THE PUBLIC RIGHT-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO THE PUBLIC ROADWAY OR INTO THE PUBLIC STORM DRAIN SHALL BE REMOVED IMMEDIATELY.
- PRIOR TO COMMENCEMENT OF LAND DISTURBING ACTIVITIES, THE LIMITS OF LAND DISTURBANCE SHALL BE DEMARCATED BY APPROPRIATE MEANS. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE DEMARCATED LIMITS.
- THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITIONS AND EROSION. ALL SEDIMENT CONTROLS WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION.
- THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN IT IS WITHIN 1/2 OF THE TOP OF THE PERMANENT VEGETATION.
- THE CONTRACTOR SHALL OPERATE AND MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN THE PREVENTION OF OPERATED OR UNOPERATED VEHICLES FROM LEAVING THE SITE.
- CONSTRUCTION BEING STOPPED UNTIL SUCH MEASURES ARE CORRECTED.
- A COPY OF ALL APPROVED PERMITS AND PLANS SHALL BE MAINTAINED ON SITE FOR THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN AN ON-SITE DAILY LOG OF ALL MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES. LOG SHALL BE MADE AVAILABLE FOR INSPECTION AT ALL TIMES.
- CONTRACTOR SHALL ENSURE ALL VEHICLES/EQUIPMENT EXITING THE SITE ARE FREE OF DIRT AND DEBRIS TO PREVENT SEDIMENT TRACKING ONTO PUBLIC ROADWAYS.
- PERMITS, EROSION CONTROL MEASURES TO BE USED AS NECESSARY BY THE CONTRACTOR TO CONTROL SEDIMENT RUNOFF, INCLUDING AROUND UTILITY TRENCHES. BMP'S TO CONTROL PERMITS SHALL BE THEIR TOLLS AND GRAVEL BARS.
- PERMITS SHALL BE USED TO CONTROL SEDIMENT AT ALL TIMES. TRUCK WASHES, PREVENT SPREADING, AND ALL OTHER NECESSARY BMP'S SHALL BE USED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONTRACTOR TO PROTECT OPEN TRENCHES WITH APPROPRIATE BMP'S, INCLUDING BUT NOT LIMITED TO GRAVEL BAR, FRENCH PROTECTION.
- CONTRACTOR TO PROTECT TRENCH DRAINS WITH APPROPRIATE BMP'S.

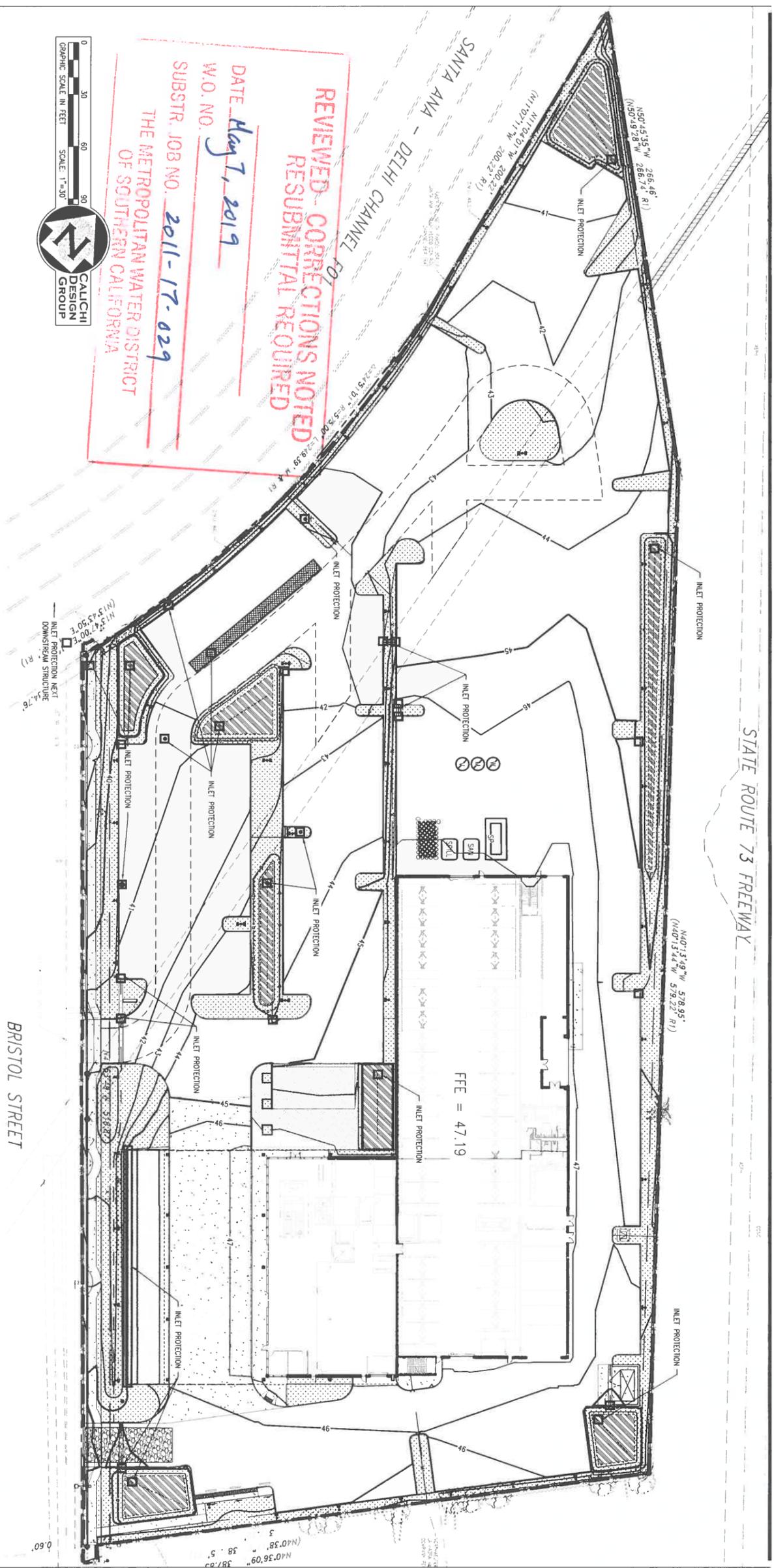
EROSION CONTROL LEGEND

- INLET PROTECTION - REFER TO CDSA BMP FACT SHEET SE-10; AND DETAILS 2 AND 3 ON SHEET CS-02
- STRIP MAT/FIBER ROLL OR SANDING BARRIER - REFER TO CDSA BMP FACT SHEET SE-5 & SE-6; AND DETAIL 4 ON SHEET CS-02
- TEMPORARY CONCRETE WASHOUT EQUIPMENT - REFER TO CDSA BMP FACT SHEET WM-8; CALTRANS STANDARD PLAN 15; AND DETAIL 5 ON SHEET CS-02
- CONTRACTOR TO LOCATE AS PROJECT CONSTRUCTION REQUIRES.
- TEMPORARY CONSTRUCTION ENTRANCE - REFER TO CDSA BMP FACT SHEET TC-1; CALTRANS STANDARD PLAN 15B; AND DETAIL 1 ON SHEET CS-02
- TEMPORARY SANITARY FACILITIES - REFER TO CDSA BMP FACT SHEET WM-9
- CONTRACTOR TO LOCATE AS PROJECT CONSTRUCTION REQUIRES.
- STOCKPILE MANAGEMENT STAGING AREA - REFER TO CDSA BMP FACT SHEET WM-3; CALTRANS STANDARD PLAN 15; AND DETAIL 6 ON SHEET CS-02
- VEHICLE AND EQUIPMENT CLEANING, FUELING, AND MAINTENANCE STAGING AREA - REFER TO CDSA BMP FACT SHEETS NS-8, NS-9 AND NS-10 (RESPECTIVELY). CONTRACTOR TO LOCATE AS PROJECT CONSTRUCTION REQUIRES.
- MATERIAL DELIVERY AND STORAGE STAGING AREA - REFER TO CDSA BMP FACT SHEET WM-1; CONTRACTOR TO LOCATE AS PROJECT CONSTRUCTION REQUIRES.
- SMALL PREVENTION MATERIALS STAGING AREA - REFER TO CDSA BMP FACT SHEET WM-4; CONTRACTOR TO LOCATE AS PROJECT CONSTRUCTION REQUIRES.
- WASTE STORAGE AREA - CONTRACTOR TO LOCATE AS PROJECT CONSTRUCTION REQUIRES.

LEGEND

- | PROPOSED | EXISTING |
|---|--|
| <ul style="list-style-type: none"> PROPERTY LINE EASEMENT LINE SITE IMPROVEMENTS 1'-FOOT CONTOUR 5'-FOOT CONTOUR WATER LINE FIRE PROTECTION WATER LINE SANITARY SEWER LINE STORM DRAIN LINE OVERHEAD ELECTRIC - SEE SEE PLANS UNDERGROUND ELECTRIC - SEE SEE PLANS CAS SERVICE UNDERGROUND DATA AND TELEPHONE LINE FENCE FIRE LINE LANDSCAPE SWALE OVERLAND FLOW ROUTE FOR T/C TREE SIGN WATER VALVE FIRE HYDRANT/FIRE DEPT CONNECTION WATER METER OR BOX SEWER MANHOLE SEWER CLEANOUT CATCH BASIN, JUNCTION BOX, OR DROP INLET STORM MANHOLE STORM CLEANOUT LIGHT POLE OR UTILITY POLE | <ul style="list-style-type: none"> PROPERTY LINE EASEMENT LINE 1'-FOOT CONTOUR 5'-FOOT CONTOUR WATER LINE FIRE PROTECTION WATER LINE SANITARY SEWER LINE STORM DRAIN LINE OVERHEAD ELECTRIC - SEE SEE PLANS UNDERGROUND ELECTRIC - SEE SEE PLANS CAS SERVICE UNDERGROUND DATA AND TELEPHONE LINE FENCE FIRE LINE LANDSCAPE SWALE OVERLAND FLOW ROUTE FOR T/C TREE SIGN WATER VALVE FIRE HYDRANT/FIRE DEPT CONNECTION WATER METER OR BOX SEWER MANHOLE SEWER CLEANOUT CATCH BASIN, JUNCTION BOX, OR DROP INLET STORM MANHOLE STORM CLEANOUT LIGHT POLE OR UTILITY POLE |

BRISTOL STREET



Project Name
AUDI OF COSTA MESA
1275 S BRISTOL STREET
COSTA MESA, CALIFORNIA 92628
Project Number
27.6664.000

EROSION AND SEDIMENT CONTROL PLAN

Scale
AS SHOWN SHEET SIZE: 24" x 36"

C3.08



Fletcher Jones
Motorcars, Inc.
7300 W SAHARA AVENUE
LAS VEGAS, NV 89117

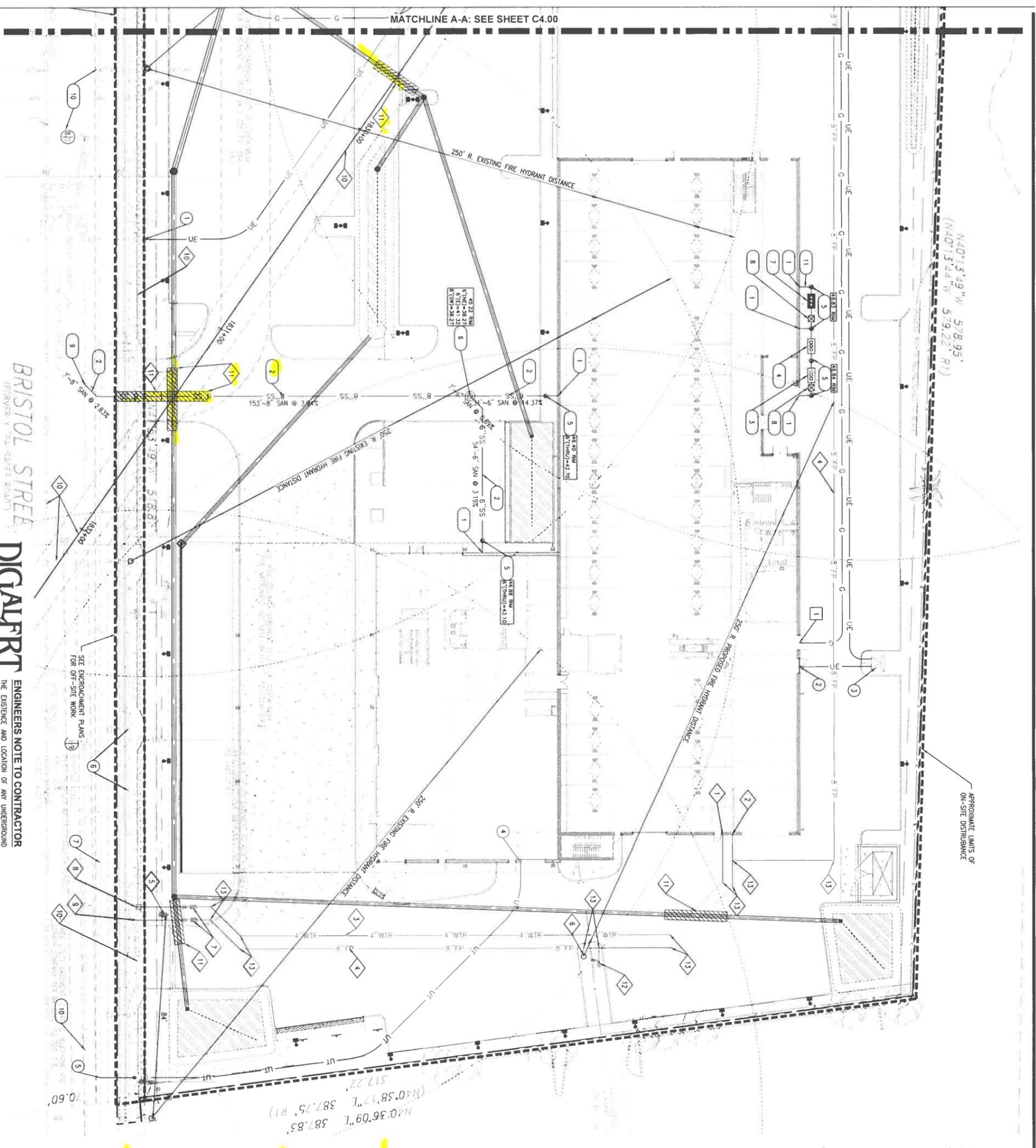


Gensler
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SUITE 3850
CHICAGO IL 60622
PHONE 312.940.4393

**REVIEWED - CORRECTIONS NOTED
RESUBMITTAL REQUIRED**

DATE: 11/17/2019
BY: [Signature]
CITY WATER DISTRICT
CALIFORNIA



PROPOSED	EXISTING	LEGEND
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	SITE IMPROVEMENTS
---	---	1-FOOT CONTROL
---	---	5-FOOT CONTROL
---	---	WATER LINE
---	---	FIRE PROTECTION WATER LINE
---	---	SANITARY SEWER LINE
---	---	STORM DRAIN LINE
---	---	OVERHEAD ELECTRIC SEE SEE PLANS
---	---	UNDERGROUND ELECTRIC SEE SEE PLANS
---	---	GAS SERVICE
---	---	UNDERGROUND DATA AND TELEPHONE LINE
---	---	FENCE
---	---	FIRE LINE
---	---	LANDSCAPE SWALE
---	---	OVERLAND FLOW ROUTE FOR 1%IC
---	---	TREE
---	---	SON
---	---	WATER VALVE
---	---	FIRE HYDRANT/FIRE DEPT CONNECTION
---	---	WATER METER OR BOX
---	---	SEWER MANHOLE
---	---	SEWER CLEANOUT
---	---	AREA DRAIN, CATCH BASIN, JUNCTION BOX, OR DROP-INLET
---	---	STORM MANHOLE
---	---	STORM CLEANOUT
---	---	LIGHT POLE OR UTILITY POLE

- CONNECT PROPOSED 4" DOMESTIC WATER SERVICE TO BUILDING SERVICE STUB. SEE PLUMBING PLANS FOR CONTINUATION.
- CONNECT PROPOSED 8" FIRE WATER PROTECTION SERVICE TO BUILDING SERVICE STUB. FC TO BE LOCATED ON BUILDING WALL. SEE PLUMBING PLANS FOR CONTINUATION.
- PROPOSED 4" DOMESTIC WATER SERVICE LINE TRENCH PER DETAIL 4 ON SHEET C03.04
- PROPOSED 8" DEDICATED FIRE WATER SERVICE LINE TRENCH PER DETAIL 4 ON SHEET C03.04
- PROPOSED DEDICATED FIRE DEPARTMENT CONNECTION ON A SHARED RELIEF EXISTING POSSIBLE.
- PROPOSED FIRE HYDRANT, PER DETAIL 7 ON SHEET C03.04 TO BE PROVIDED BY CITY WATER DISTRICT COSTA MESA FIRE DEPARTMENT
- PROPOSED DATE VALVE/BACK FLOW PREVENTER ASSEMBLY, PER DETAIL 1, 2, AND 3 ON SHEET C03.04
- CONNECT PROPOSED DOMESTIC WATER SERVICE TAP FROM EXISTING WATER LINE TO BUILDING SERVICE STUB. SEE PLUMBING PLANS FOR CONTINUATION AND DETAIL, IF POSSIBLE. SEE PLUMBING PLANS FOR CONTINUATION.
- CONNECT PROPOSED FIRE WATER PROTECTION SERVICE TAP FROM EXISTING WATER LINE TO BUILDING SERVICE STUB. SEE PLUMBING PLANS FOR CONTINUATION.
- CONTRACTOR TO PROTECT EXISTING WATER LINE/STRUCTURE TO REMAIN.
- SLICE NON-POURABLE UTILITY (STORM DRAIN/SANITARY SEWER) WITH BUILT-UP JOINTED HOPE FOR 10' O.C. OF CONTACT WHEN UTILITY SEPARATION OF 1' FOOT IS NOT ACHIEVABLE. INSTALL PERFORMED EXPANSION JOINT FILLER PER MANHOLES STANDARD DETAIL C-1183Z. INSTALL POST INDICATION VALVE AS SHOWN.
- PROPOSED BR/NT/EE WITH RIGID BLOCK, PER DETAIL 8 ON SHEET C03.03
- PROPOSED BR/NT/EE WITH RIGID BLOCK, PER DETAIL 8 ON SHEET C03.03
- CONNECT SANITARY SEWER LATERAL TO BUILDING. SEE BUILDING PLUMBING PLANS FOR CONTINUATION.
- PROPOSED VCP SANITARY SEWER SERVICE PIPE. SIZE, LENGTH AND SLOPE PER PLAN.
- TRENCH PER DETAIL 8 ON SHEET C03.03
- PROPOSED 1,500 GALLON RECYCLED PPELE BLEN OIL/WATER SEPARATION UNIT. SEE BUILDING PLUMBING PLANS FOR DETAILS.
- PROPOSED 1,500 GALLON RECYCLED PPELE BLEN OIL/WATER SEPARATION UNIT. SEE BUILDING PLUMBING PLANS FOR DETAILS.
- PROPOSED TWO-WAY SANITARY SEWER CLEANOUT, PER DETAIL 5 ON SHEET C03.03
- PROPOSED 48" SANITARY SEWER MANHOLE WITH FRAME AND COVER, PER DETAIL 3 ON SHEET C03.03
- PROPOSED CARRYAWAY RECLAIMED WATER CARRIER. SEE BUILDING PLUMBING PLANS FOR DETAILS.
- PROPOSED SAMPLING BOX.
- CONNECT PROPOSED VCP SANITARY SEWER TO EXISTING MAIN, PER DETAIL 4 ON SHEET C03.03
- EXISTING SANITARY SEWER/STRUCTURE TO REMAIN, SITE PER PLAN. LOCATION PER RECORDS, NOT FIELD VERIFIED. GENERAL CONTRACTOR TO CONFIRM DEPTH, SIZE AND LOCATION - PROTECT IN PLACE.
- PROPOSED 6" ONLY WASTE VCP SANITARY SEWER SERVICE PIPE. TRENCH PER DETAIL 6 ON SHEET C03.03

- ### PRIVATE SANITARY SEWER KEY NOTES
- PROPOSED CONNECTION POINT OF PROPOSED UNDERGROUND ELECTRICAL CONDUITS TO EXISTING PUBLIC DISTRIBUTION, COORDINATE ROUNDING AND POINT OF CONNECTION. SEE RECORDS FOR EXISTING ELECTRICAL SERVICE CONDUITS FROM TRANSFORMER TO BUILDING. SET ON-SITE ELECTRICAL PLANS AND ROUTING DETAILS.
 - PROPOSED PRIMATE TRANSFORMER PER SEE STANDARDS. SEE MEP PLANS.
 - PROPOSED JOINT TRENCH FOR DATA AND TELEPHONE PVC SERVICE CONDUITS TO BUILDING. SET ON-SITE ELECTRICAL PLANS AND DATA PROVIDER PLANS FOR NUMBER OF CONDUITS, COORDINATE ROUNDING AND POINT OF CONNECTION. SEE RECORDS FOR EXISTING ELECTRICAL SERVICE CONDUITS FROM TRANSFORMER TO BUILDING. SET ON-SITE ELECTRICAL PLANS AND ROUTING DETAILS.
 - ASSUMED CONNECTION POINT OF PROPOSED UNDERGROUND DATA AND TELEPHONE CONDUITS TO EXISTING DISTRIBUTION. COORDINATE ROUNDING AND POINT OF CONNECTION WITH DATA AND TELEPHONE SERVICE PROVIDER PRIOR TO CONSTRUCTION. NEW WALL/PULL BOXES WILL BE REQUIRED.
 - CONTRACTOR TO PROTECT EXISTING ELECTRICAL SERVICE/STRUCTURE TO REMAIN.
 - CONTRACTOR TO PROTECT EXISTING DATA/TELEPHONE SERVICE/STRUCTURE TO REMAIN.

- ### DRY UTILITY KEY NOTES
- PROPOSED CONNECTION POINT OF PROPOSED UNDERGROUND ELECTRICAL CONDUITS TO EXISTING PUBLIC DISTRIBUTION, COORDINATE ROUNDING AND POINT OF CONNECTION. SEE RECORDS FOR EXISTING ELECTRICAL SERVICE CONDUITS FROM TRANSFORMER TO BUILDING. SET ON-SITE ELECTRICAL PLANS AND ROUTING DETAILS.
 - PROPOSED PRIMATE TRANSFORMER PER SEE STANDARDS. SEE MEP PLANS.
 - PROPOSED JOINT TRENCH FOR DATA AND TELEPHONE PVC SERVICE CONDUITS TO BUILDING. SET ON-SITE ELECTRICAL PLANS AND DATA PROVIDER PLANS FOR NUMBER OF CONDUITS, COORDINATE ROUNDING AND POINT OF CONNECTION. SEE RECORDS FOR EXISTING ELECTRICAL SERVICE CONDUITS FROM TRANSFORMER TO BUILDING. SET ON-SITE ELECTRICAL PLANS AND ROUTING DETAILS.
 - ASSUMED CONNECTION POINT OF PROPOSED UNDERGROUND DATA AND TELEPHONE CONDUITS TO EXISTING DISTRIBUTION. COORDINATE ROUNDING AND POINT OF CONNECTION WITH DATA AND TELEPHONE SERVICE PROVIDER PRIOR TO CONSTRUCTION. NEW WALL/PULL BOXES WILL BE REQUIRED.
 - CONTRACTOR TO PROTECT EXISTING ELECTRICAL SERVICE/STRUCTURE TO REMAIN.
 - CONTRACTOR TO PROTECT EXISTING DATA/TELEPHONE SERVICE/STRUCTURE TO REMAIN.

GAS SERVICE KEY NOTES

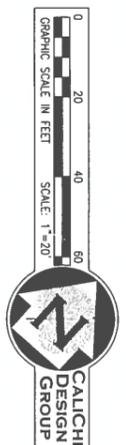
- CONNECT PROPOSED GAS SERVICE TO BUILDING. SEE ARCHITECTURAL AND PLUMBING PLANS FOR CONTINUATION.
- CONNECT PROPOSED GAS SERVICE TO EXISTING GAS MAIN.
- CONTRACTOR TO PROTECT EXISTING GAS LINE TO REMAIN.

BRISTOL STREET



ENGINEERS NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY SEARCH OF AVAILABLE RECORDS AND FIELD SURVEY. THE ENGINEERS KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES SHOWN ON THIS DRAWING HEREON.



Scale: AS SHOWN SHEET SIZE: 24" x 36"
C4.01

Utility PLANE

27.6664.000

1275 S BRISTOL STREET
COSTA MESA, CALIFORNIA 92626

02/04/2019 PLANNING SUBMITTAL
03/08/2019 PROGRESS PRINT
03/15/2019 ISSUED FOR DESIGN DEVELOPMENT
04/15/2019 PROGRESS PRINT

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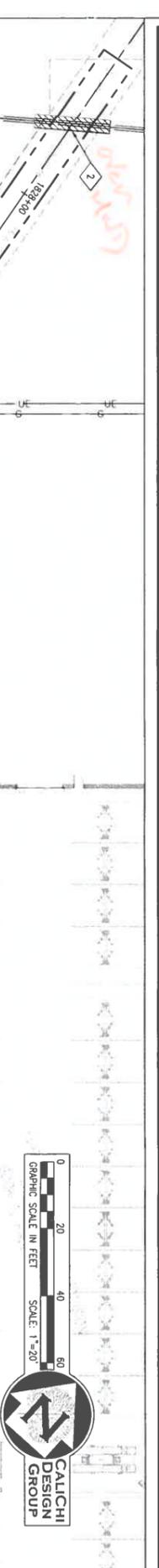
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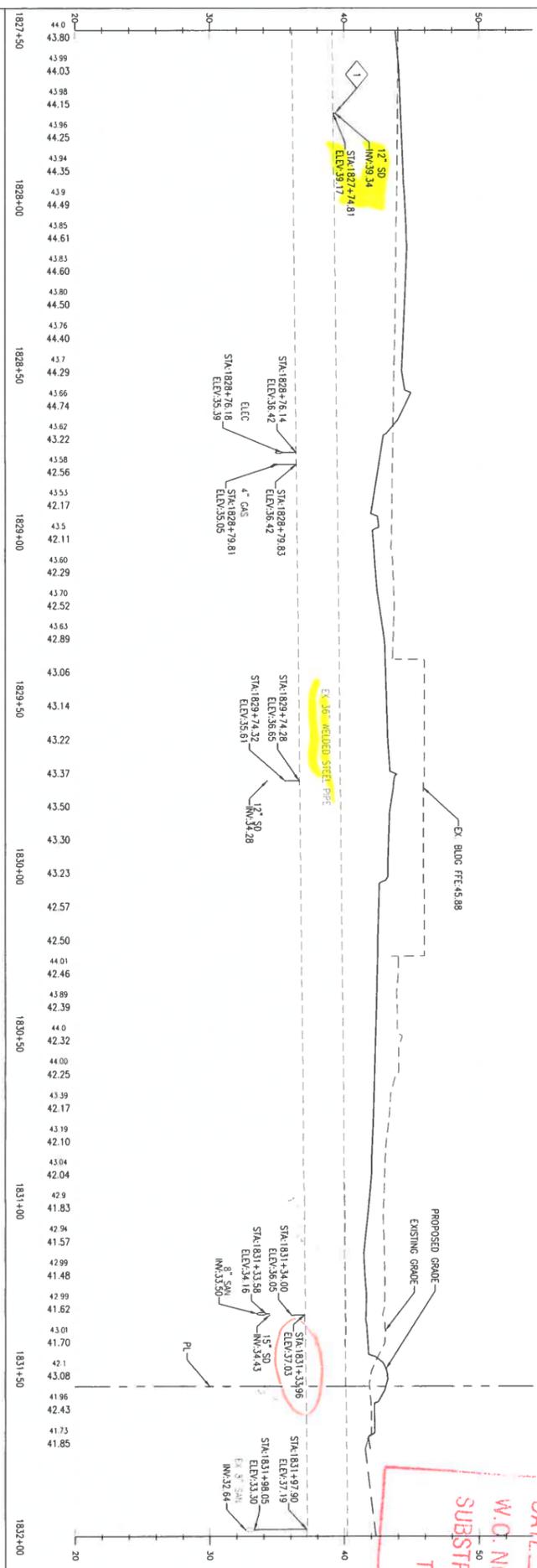
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02/04/2019 PLANNING SUBMITTAL
03/08/2019 PROGRESS PRINT
03/15/2019 ISSUED FOR DESIGN DEVELOPMENT
04/15/2019 PROGRESS PRINT



PROFILE VIEW: EX 36-INCH WELDED STEEL WTR MAIN
 HORIZONTAL SCALE: 20
 VERTICAL SCALE: 5
 VERTICAL EXAGGERATION: 4



PROPOSED	EXISTING
PROPERTY LINE	---
EASEMENT LINE	---
SITE IMPROVEMENTS	---
1'-FOOT CONTOUR	---
5'-FOOT CONTOUR	---
WATER LINE	---
FIRE PROTECTION WATER LINE	---
SANITARY SEWER LINE	---
STORM DRAIN LINE	---
OVERHEAD ELECTRIC: SEE SEE PLANS	---
UNDERGROUND ELECTRIC: SEE SEE PLANS	---
GAS SERVICE	---
UNDERGROUND DATA AND TELEPHONE LINE	---
FENCE	---
FIRE LINE	---
LANDSCAPE SWALE	---
OVERLAND FLOW ROUTE FOR TOIC	---
TREE	---
SIGN	---
WATER VALVE	---
FIRE HYDRANT/FIRE DEPT CONNECTION	---
WATER METER OR BOX	---
SEWER MANHOLE	---
SEWER CLEANOUT	---
AREA DRAIN, CATCH BASIN, JUNCTION BOX, OR DROP INLET	---
STORM MANHOLE	---
STORM CLEANOUT	---
LIGHT POLE OR UTILITY POLE	---

WATER KEY NOTES

1 WHERE 1" ADVANCE OVER EXISTING WMOG MAIN NOT POSSIBLE, PRE REDUCE TO 3/4" ADVANCE OVER EXISTING WMOG MAIN. SEE STANDARD C-1152 FOR DETAIL.

2 SLOPE NON-POROUS UTILITY (STORM DRAIN/SANITARY SEWER) WITH BOTTOM-POINTED HOPE FOR 10' O.C. OF CONDUIT.

METRO WATER DISTRICT NOTE:

NOTIFY ORANGE COUNTY WATER SYSTEMS OPERATION TEAM, CELL NUMBER 714-577-5094, AT LEAST TWO WORKING DAYS PRIOR TO STARTING ANY WORK IN THE MOUNTAIN OF WMOG FACILITIES.

POTHOLING NOTE:

THE ORANGE COUNTY FEDER WMO WATERLINE WAS LOCATED BY SPECTRUM GEOPHYSICS IN THE FIELD ON JANUARY 8, 2018.

**REVIEWED - CORRECTIONS NOTED
 RESUBMITTAL REQUIRED**

DATE: May 7, 2019
 W.C. NO. _____
 SUBSTR. JOB NO. 2011-17-029

**THE METROPOLITAN WATER DISTRICT
 OF SOUTHERN CALIFORNIA**

DIGALERT ENGINEERS NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

ALL HIT TWO WORKING DAYS BEFORE YOU DIG

**Fletcher Jones
 Motorcars, Inc.**
 7300 W. SAHARA AVENUE
 LAS VEGAS, NV 89117



Gensler
 5420 LBJ FREEWAY, SUITE 1100
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CAUCHI DESIGN GROUP
 CIVIL ENGINEERING
 111 LASALLE STREET
 SUITE 3800
 CHICAGO, IL 60602
 PHONE 312.500.4930

Seal/Signature

Date	Description
02/04/2019	PLANNING/SUBMITTAL
03/06/2019	PROGRESS PRINT
03/15/2019	ISSUED FOR DESIGN DEVELOPMENT
04/15/2019	PROGRESS PRINT

Project Name
 AUDI OF COSTA MESA
 1273 S BRISTOL STREET
 COSTA MESA, CALIFORNIA 92626
 Project Number
 27,6664,000

Description
 UTILITY PROFILES

Scale
 AS SHOWN SHEET SIZE 24" X 36"
C4.03

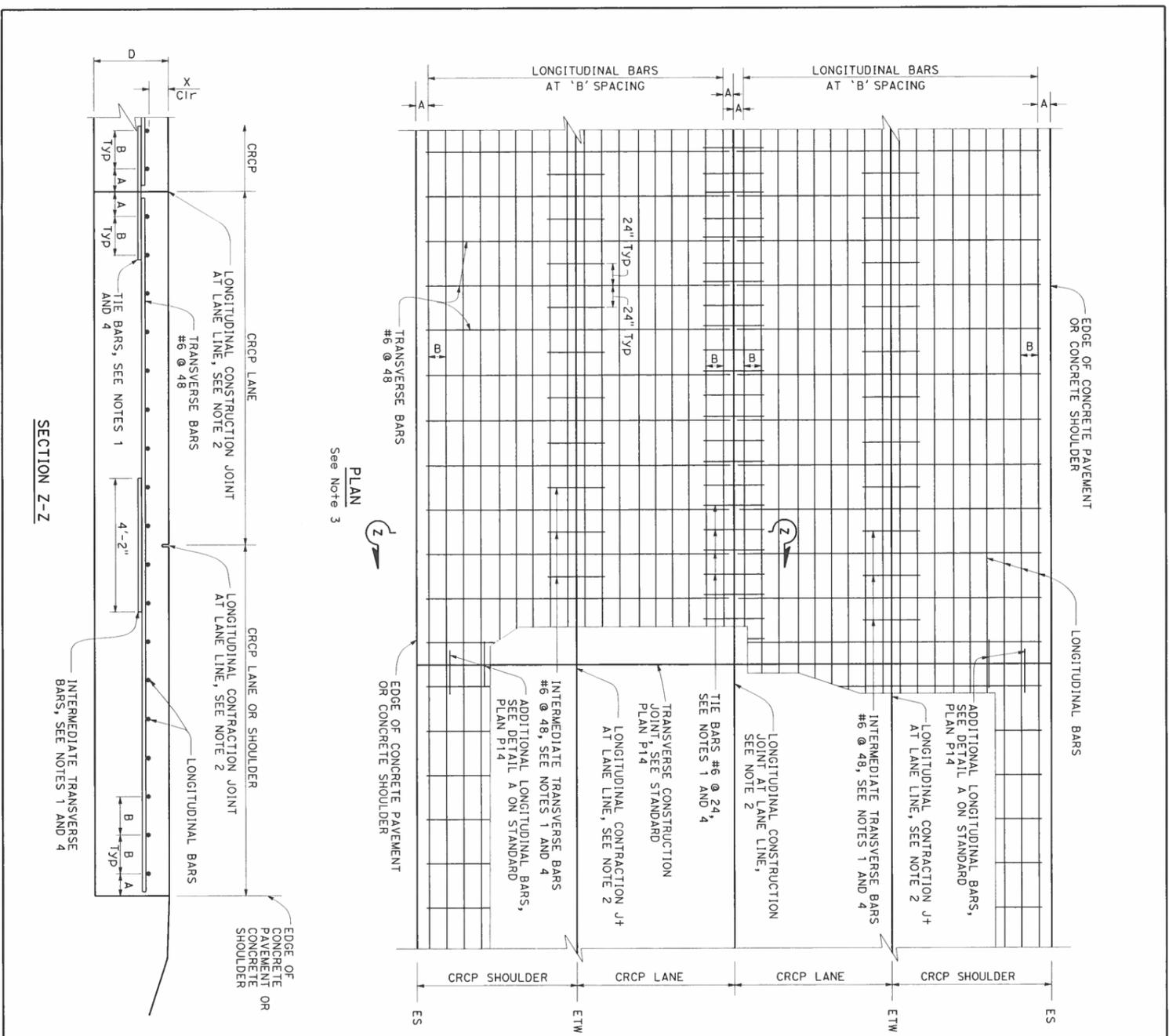


TABLE NO. 1 LONGITUDINAL BAR REINFORCEMENT

D	SLAB THICKNESS AND BAR SIZE	FIRST SPACING AT EDGE OR JOINT	REGULAR BARS	ADDITIONAL BARS AT TRANSVERSE CONSTRUCTION JOINT	CIP
.75'	#6	3" TO 4"	8.0"	SPACING 2 X B	X
.80'	#6	3" TO 4"	7.5"	16"	4"
.85'	#6	3" TO 4"	7.0"	15"	4"
.90'	#6	3" TO 4"	6.5"	14"	4"
.95'	#6	3" TO 4"	6.25"	13"	4"
1.00'	#6	3" TO 4"	6.0"	12.5"	4"
1.05'	#6	3" TO 4"	5.75"	12"	5"
1.10'	#6	3" TO 4"	5.5"	11.5"	5.5"

- NOTES:**
- Place tie bars and intermediate transverse bars parallel to and in the same plane as transverse bars.
 - For longitudinal contraction and construction joint details, see Standard Plan P16.
 - For curved lane layout see Standard Plan P16.
 - For the bar and intermediate transverse bar details, see Standard Plan P16.

ABBREVIATION:
D = Thickness of CRCP

STATE OF CALIFORNIA
DEPARTMENT OF TRANSPORTATION
**CONTINUOUSLY REINFORCED
CONCRETE PAVEMENT**
NO SCALE

P4

DATE: MAY 31, 2018
PROJECT: 9-30-19
SHEET NO.: 158
TOTAL SHEETS: 160

Duke Ruffino
REGISTERED CIVIL ENGINEER
No. 68149
EXPIRES 9-30-19

REGISTERED PROFESSIONAL ENGINEER
Duke Ruffino
No. 68149
EXPIRES 9-30-19

PLANS APPROVAL DATE: MAY 31, 2018
THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION
DESIGNED BY: [Signature]
CHECKED BY: [Signature]
CONTRACT NO. 9-30-19