

**CITY OF COSTA MESA
PUBLICATION**

NOTICE IS HEREBY GIVEN that the Costa Mesa Zoning Administrator will render a decision on **Thursday, June 4, 2020**, or as soon as possible thereafter, on the following item:

Application No.: PA-17-11 A1 (ZA-20-09)

Applicant/Agent: George Dominguez/Vanguard University for Southern California

Site Address: 55 Fair Drive

Zone: I&R (Institutional & Recreational District)

Description: Zoning Application 20-09 is a request for a Master Plan Amendment to the Vanguard University Master Plan (PA-17-11) to allow for the installation of a 662-square-foot greenhouse structure adjacent to the Natural Sciences Lab Building in the center of the Campus. The purpose of the green house is to support the Natural Sciences Lab.

Environmental Determination: The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Class 1), Existing Facilities.

Additional Information: For more information, call (714) 754-5245, or email planninginfo@costamesaca.gov Planning Division staff are available from 8:00 AM to 5:00 PM Monday through Friday, except specified holidays. There will be **no public hearing** on this request. Any written correspondence must be emailed to ZAPublicComments@costamesaca.gov prior to **12:00 PM** on the day of the decision date (see above). The decision letter can be downloaded from the City's website following the decision date at: <http://www.costamesaca.gov/index.aspx?page=940> If you challenge this action in court, you may be limited to raising only those issues you, or someone else raised, prior to the decision date.



VANGUARD UNIVERSITY

VANGUARD UNIVERSITY EAST ANNEX PHASE II GREENHOUSE AND SITE WORK



DEFERRED APPROVAL ITEMS

INSTALLATION OF THE DEFERRED APPROVAL ITEMS SHALL NOT BE STARTED UNTIL DETAIL PLANS, SPECIFICATIONS AND ENGINEERING CALCULATIONS HAVE BEEN ACCEPTED AND SIGNED BY THE ARCHITECT OR THE PROFESSIONAL ENGINEER IN GENERAL CHARGE OF THE DESIGN AND THE SIGNATURE OF THE ARCHITECT OR PROFESSIONAL ENGINEER WHO HAS BEEN DELEGATED RESPONSIBILITY COVERING THE WORK SHOWN ON A PARTICULAR PLAN OR SPECIFICATION AND APPROVED BY THE AUTHORITY HAVING JURISDICTION.

OBTAINING ALL DEFERRED APPROVALS THROUGH THE AUTHORITY HAVING JURISDICTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR THROUGH THE ARCHITECT'S OFFICE.

DEFERRED APPROVAL ITEMS FOR THIS PROJECT:

- NONE

SCOPE OF WORK

- NEW GREENHOUSE BUILDING ON NEW CONCRETE FOUNDATION SYSTEM.
- MINOR CONCRETE PAVING MODIFICATIONS.
- MINOR LANDSCAPE & IRRIGATION MODIFICATIONS
- ELECTRICAL CONNECTIONS.
- PLUMBING CONNECTIONS.

| SHEET LIST | |
|------------------------------|-----------------------------------|
| Sheet Number | Sheet Name |
| A0.01 | TITLE SHEET |
| A0.02 | GENERAL NOTES |
| A1.00 | CAMPUS SITE PLAN |
| A1.01 | OVERALL SITE PLAN |
| A1.02 | ENLARGED SITE PLAN |
| A1.03 | SITE DETAILS |
| A2.03 | RESTROOM FLOOR PLAN / DETAILS |
| E2.1 | ELECTRICAL FLOOR PLAN |
| S1 | FOUNDATION PLAN / DETAILS / NOTES |
| S2 | MISCELLANEOUS DETAILS |
| Grand total: 10 | |
| GREENHOUSE BUILDING DRAWINGS | |
| 001 | COVER - SE ISOMETRIC ELEVATION |
| 002A | LEFT GABLE ELEVATION |
| 002B | RIGHT GABLE ELEVATION |
| 002C | RIGHT SIDE ELEVATION |
| 002D | LEFT SIDE ELEVATION |
| 003A | PLAN VIEW |
| 003B | FOUNDATION PLAN VIEW |
| 004 | DETAILS |
| 005 | DETAILS |
| 006 | DETAILS |
| Sub total: 10 | |
| Project total: 20 | |

MJK ARCHITECTURE
MICHAEL J. KANTARCHITECT
A PROFESSIONAL CORPORATION

P.O. BOX 1120
VISTA, CA
92085-1120
(760) 941-4647
www.mjkarchitecture.com

LICENSED ARCHITECT
MICHAEL J. KANT
No. C17944
EXP. 06/21
STATE OF CALIFORNIA

CONSULTANT:

PROJECT NAME:
GREENHOUSE BUILDING



PROJECT ADDRESS:
**55 Fair Drive
Costa Mesa, CA
92626-9601**



| PROJECT DIRECTORY | |
|---|--|
| OWNER: VANGUARD UNIVERSITY OF SOUTHERN CALIFORNIA 55 FAIR DRIVE COSTA MESA, CA 92626-9601 PHONE: (714) 566-3601 | ARCHITECTURAL: MJK ARCHITECTURE P.O. BOX 1120 VISTA, CA 92085-1120 PHONE: (760) 941-4647 |
| SITE CONTRACTOR: G.A. DOMINGUEZ GENERAL ENGINEERING & CONTRACTING PHONE: (760) 294-4116 CELL: (619) 977-5611 | STRUCTURAL: AM ENGINEERING 325 W. 3RD AVENUE, SUITE 205 ESCONDIDO, CA 92025 PHONE: (760) 741-7306 |
| GREENHOUSE BUILDING MANUFACTURER: GOTHIC ARCH GREENHOUSES, INC. P.O. BOX 1564 MOBILE, AL 36633 PHONE: (800) 531-4769 | |

| REVISIONS: | | |
|------------|----------|----------------------------------|
| MARK | DATE | DESCRIPTION |
| △ | 03/24/20 | GAD REDLINE PLAN CHECK SUBMITTAL |
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| △ | | |

DATE: MARCH 24, 2020 REV NO: PLAN CHK.
PROJECT NO: 2020-05

CAD DWG FILE: M:\2020-05 - VU East Annex Phase II
Greenhouse\ContDocs\2020-05 - VU East Annex Phase II
Greenhouse-Site Plans.rvt

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CHK'D BY: MJK

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SHEET TITLE:
TITLE SHEET

SHEET NO:
A0.01

1 ABBREVIATIONS

Table of abbreviations for architectural symbols, including JAN (Janitor), BLDG (Building), and EXIST (Existing).

2 FIRE & LIFE SAFETY NOTES

- 1. AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A10BC SHALL BE PROVIDED WITHIN THE MAXIMUM TRAVEL DISTANCE FOR EACH 3,000 S.F. OR PORTION THEREOF ON EACH FLOOR (CFC 906, NFPA10).

GENERAL NOTES

- 1. THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF MJK ARCHITECTURE.

3 MISC. FINISH NOTES

- 1. ALL CEILING HEIGHT DIMENSIONS SHALL BE MEASURED TO FINISH SURFACES, UNLESS NOTED OTHERWISE.

EQUIPMENT ANCHORAGE NOTES

All mechanical and electrical equipment shall be anchored and installed per the details on the DSA approved construction documents. Where no detail is indicated, the following components shall be anchored or braced to meet the force and displacement requirements prescribed in the 2013 CBC, Sections 1616A.1.18 through 1616A.1.26 and ASCE 7-10 Chapter 6 and 30.

4 APPLICABLE CODES - 2016 CBC

- 2016 CALIFORNIA ADMINISTRATIVE CODE (PART 1, TITLE 24 C.C.R.)

PARTIAL LIST OF APPLICABLE STANDARDS

Table listing applicable standards such as NFPA 13 AUTOMATIC FIRE SPRINKLER SYSTEMS, NFPA 17 STANDBY PIPE AND HOSE SYSTEMS, and NFPA 17A WET CHEMICAL EXTINGUISHING SYSTEMS.

5 TYPICAL SYMBOLS

Diagram showing typical symbols for SHEET NUMBER (A3.01), ROOM IDENTIFICATION TAG (101), DOOR TAG (101), WINDOW TAG (11), EQUIPMENT TAG (11), KEYNOTE TAG (201), and GRAPHIC SCALE.

CODE ANALYSIS

Table for CODE ANALYSIS showing OCCUPANCY CLASSIFICATION (CHAPTER 3) as "U", AREA OF 18'-10" X 35'-2" BUILDING as 662 SF, and TOTAL ADJUSTED BUILDING AREA as 662 SF.

MJK ARCHITECTURE logo and contact information: MICHAEL J. KANTARCHITECT, A PROFESSIONAL CORPORATION, P.O. BOX 1120, VISTA, CA 92085-1120.

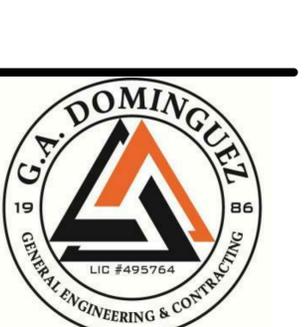
CONSULTANT: MICHAEL J. KANT ARCHITECT logo and contact information.

PROJECT NAME: GREENHOUSE BUILDING



PROJECT ADDRESS:

55 Fair Drive, Costa Mesa, CA 92626-9601



REVISIONS table with columns for MARK, DATE, and DESCRIPTION.

Table with project metadata: DATE: MARCH 24, 2020, REV NO: PLAN CHK, PROJECT NO: 2020-05.

SHEET TITLE: GENERAL NOTES

SHEET NO: A0.02

VANGUARD UNIVERSITY MASTER PLAN
EXISTING CAMPUS STRUCTURES

| BLDG. NO. | BUILDING NAME | AREA S.F. | PROPOSED |
|----------------------------|---------------------------------------|----------------|------------------------------|
| 1 | Scott Academic Center | 23,076 | Remodeled and addition |
| 4 | Huntington Hall | 33,650 | To remain |
| 5 | Laguna Hall | 33,650 | To remain |
| 6 | Gymnasium | 13,700 | New gym at existing location |
| 7 | The Cove/ Bookstore | 4,000 | To be demolished |
| 8 | The Café | 9,900 | To be demolished |
| 9 | Newport Hall | 33,943 | To remain |
| 10 | Balboa Hall | 33,943 | To remain |
| 11 | Catalina Hall | 41,989 | To remain |
| 12 | Theater Modular | | To be demolished |
| 13 | Library/Lyceum Theater | 15,900 | To be demolished/repurposed |
| 14 | Information Technology | 8,264 | To be demolished |
| 14a | Human Resources (see 14) | | To be demolished |
| 15 | Smith Hall | 16,500 | To remain |
| 16 | Natural Sciences Offices | 4,000 | To be demolished |
| 16a | Music Studios (see 16) | | To be demolished |
| 17 | Natural Sciences | 7,600 | To be demolished |
| 18 | Needham Chapel | 4,737 | To remain |
| 18a | Forrest Room / Campus Safety (see 18) | | To remain |
| 19 | Fine Arts Offices | 4,000 | To be demolished |
| 20 | Newport Mesa Church | 32,251 | To remain |
| 21 | Scott Annex Mail Room | 4,800 | To be demolished |
| 22 | Social Sciences Offices | 11,340 | To be demolished |
| 22a | Psychology Offices (see 22) | | To be demolished |
| 23 | Grad Clinical Psych (see 23) | | To be demolished |
| 23a | Classrooms (see 23) | | To be demolished |
| 24 | Maintenance Central Plant | 7,000 | To be demolished |
| 25 | NMC Dome | 3,500 | To be demolished |
| 26 | Heath Academic Center | 38,776 | To remain |
| 27 | Nursing Annex and Chemical Services | 4,200 | To be demolished |
| TOTAL EXISTING AREA | | 390,758 | |

SQUARE FOOTAGE CALCULATION

| | | |
|---|--------------------|-----------|
| Building to be removed: | | |
| Kinesiology Building MM 24x40 DSA | -960 sf. | |
| Social Science Classroom Building 14x60 HCD | -840 sf. | |
| Social Science Building 48x60 HCD | -2,880 sf. | |
| Undergrad Psych Building 24x60 HCD | -1,656 sf. | |
| Grad Psych Building 84x60 HCD | -5,040 sf. | |
| Total sf. removed: | -11,376 sf. | |
| New buildings: | | |
| Mobile Modular Leased Building 36x60 HCD | 2,160 sf. | |
| Mobile Modular Leased Building 84x60 HCD | 5,040 sf. | |
| Mobile Modular Leased Building 60x60 HCD | 3,600 sf. | |
| Total sf. added: | 10,800 sf. | |
| Relocated building on campus: | | |
| Nursing Building 72x60 HCD | 4,320 sf. | Net 0 sf. |
| Net Buildings Square Footage: | -576 sf. | |

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DATE: MARCH 24, 2020 REV NO: PLAN CHK.
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Greenhouse/ContDocs\2020-05 - VU East Annex Phase II
Greenhouse - Site Plan.rvt
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SHEET TITLE:
CAMPUS SITE PLAN

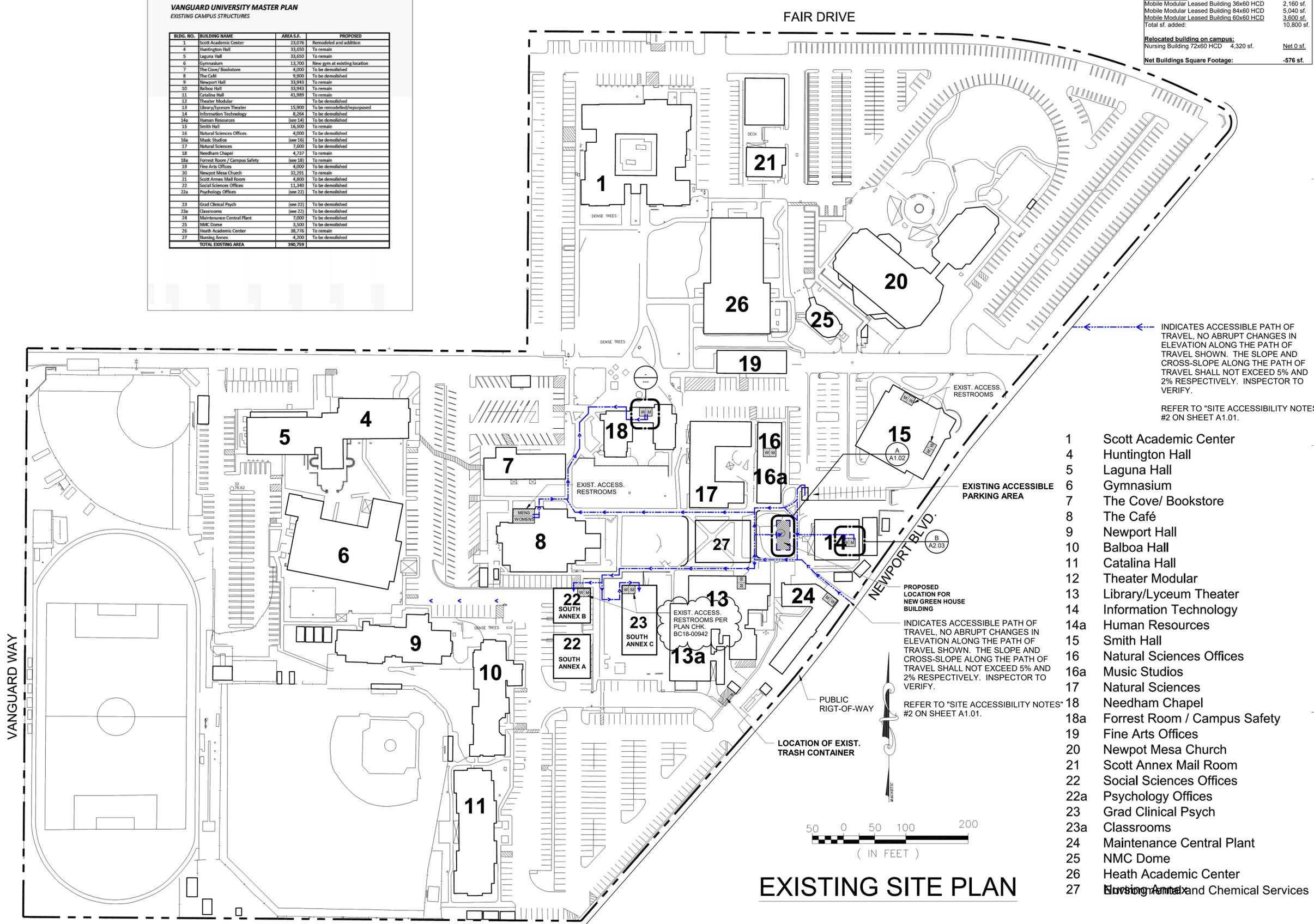
SHEET NO:
A1.00

A

B

C

D



- 1 Scott Academic Center
- 4 Huntington Hall
- 5 Laguna Hall
- 6 Gymnasium
- 7 The Cove/ Bookstore
- 8 The Café
- 9 Newport Hall
- 10 Balboa Hall
- 11 Catalina Hall
- 12 Theater Modular
- 13 Library/Lyceum Theater
- 14 Information Technology
- 14a Human Resources
- 15 Smith Hall
- 16 Natural Sciences Offices
- 16a Music Studios
- 17 Natural Sciences
- 18 Needham Chapel
- 18a Forrest Room / Campus Safety
- 19 Fine Arts Offices
- 20 Newport Mesa Church
- 21 Scott Annex Mail Room
- 22 Social Sciences Offices
- 22a Psychology Offices
- 23 Grad Clinical Psych
- 23a Classrooms
- 24 Maintenance Central Plant
- 25 NMC Dome
- 26 Heath Academic Center
- 27 Nursing Annex and Chemical Services

INDICATES ACCESSIBLE PATH OF TRAVEL, NO ABRUPT CHANGES IN ELEVATION ALONG THE PATH OF TRAVEL SHOWN. THE SLOPE AND CROSS-SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 5% AND 2% RESPECTIVELY. INSPECTOR TO VERIFY.

REFER TO "SITE ACCESSIBILITY NOTES" #2 ON SHEET A1.01.

INDICATES ACCESSIBLE PATH OF TRAVEL, NO ABRUPT CHANGES IN ELEVATION ALONG THE PATH OF TRAVEL SHOWN. THE SLOPE AND CROSS-SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 5% AND 2% RESPECTIVELY. INSPECTOR TO VERIFY.

REFER TO "SITE ACCESSIBILITY NOTES" #2 ON SHEET A1.01.

EXISTING SITE PLAN



CONSULTANT:

PROJECT NAME:
GREENHOUSE BUILDING



PROJECT ADDRESS:

55 Fair Drive
Costa Mesa, CA
92626-9601



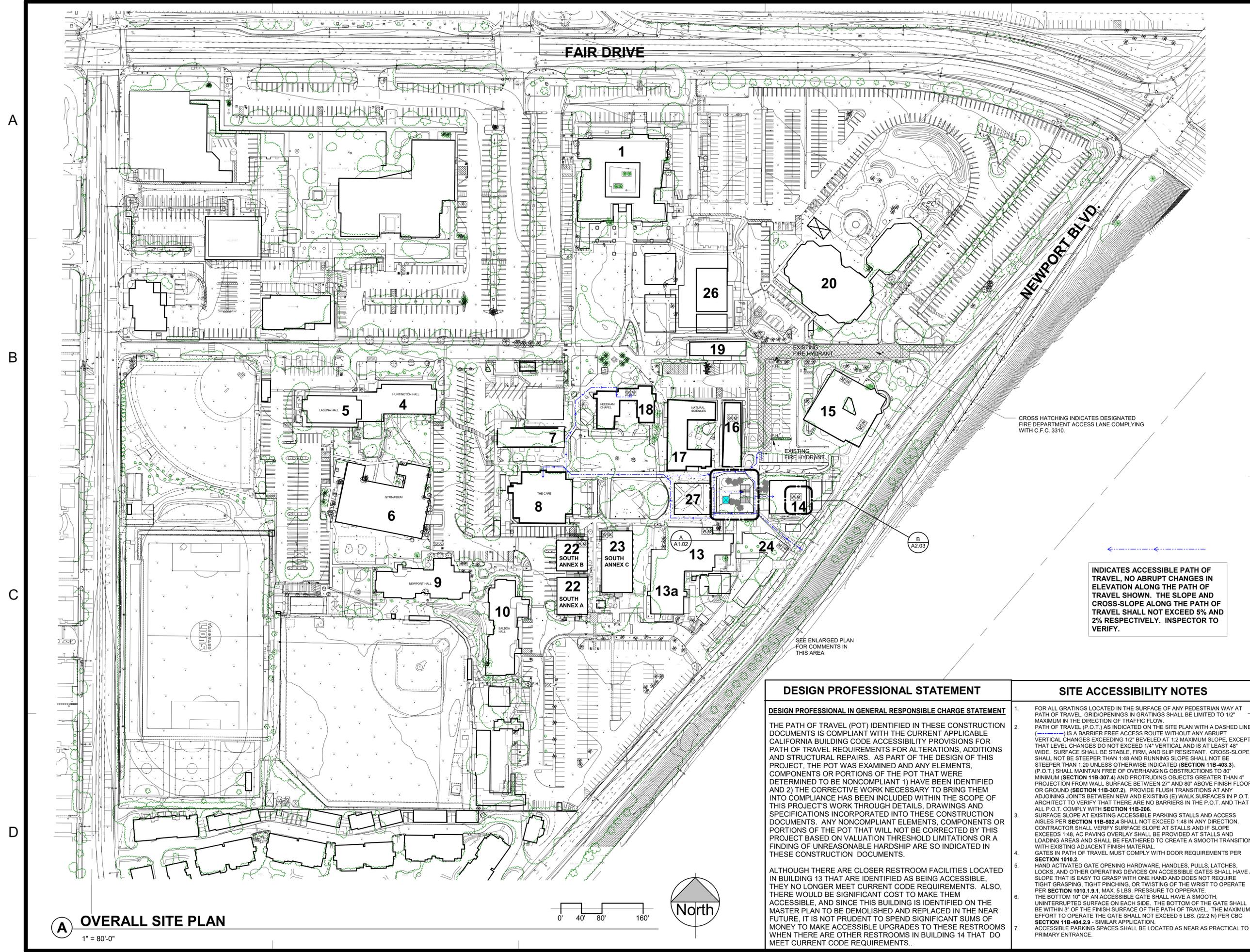
REVISIONS:

| MARK | DATE | DESCRIPTION |
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| DATE: | MARCH 24, 2020 | REV NO.: | PLAN CHK. |
| PROJECT NO.: | | DATE: | 2020-05 |
| CAD DWG FILE: | M:\2020-05 - VU East Annex Phase II Greenhouse/ContDocs/2020-05 - VU East Annex Phase II Greenhouse - Site Plan.rvt | | |
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SHEET TITLE:
OVERALL SITE PLAN

SHEET NO.:
A1.01



CROSS HATCHING INDICATES DESIGNATED FIRE DEPARTMENT ACCESS LANE COMPLYING WITH C.F.C. 3310.

INDICATES ACCESSIBLE PATH OF TRAVEL, NO ABRUPT CHANGES IN ELEVATION ALONG THE PATH OF TRAVEL SHOWN. THE SLOPE AND CROSS-SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 5% AND 2% RESPECTIVELY. INSPECTOR TO VERIFY.

DESIGN PROFESSIONAL STATEMENT

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT

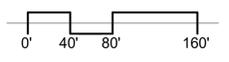
THE PATH OF TRAVEL (POT) IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

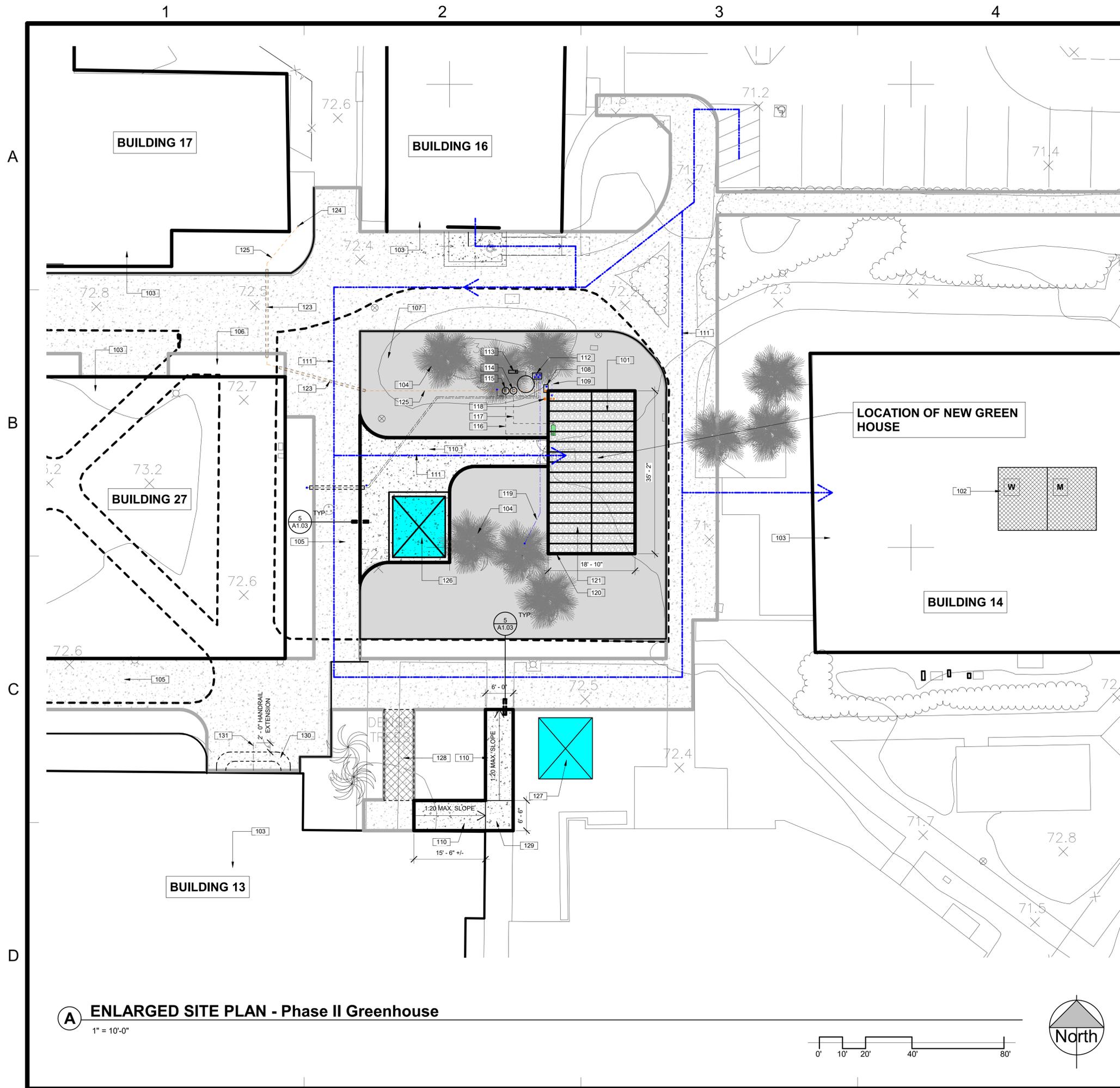
ALTHOUGH THERE ARE CLOSER RESTROOM FACILITIES LOCATED IN BUILDING 13 THAT ARE IDENTIFIED AS BEING ACCESSIBLE, THEY NO LONGER MEET CURRENT CODE REQUIREMENTS. ALSO, THERE WOULD BE SIGNIFICANT COST TO MAKE THEM ACCESSIBLE, AND SINCE THIS BUILDING IS IDENTIFIED ON THE MASTER PLAN TO BE DEMOLISHED AND REPLACED IN THE NEAR FUTURE, IT IS NOT PRUDENT TO SPEND SIGNIFICANT SUMS OF MONEY TO MAKE ACCESSIBLE UPGRADES TO THESE RESTROOMS WHEN THERE ARE OTHER RESTROOMS IN BUILDING 14 THAT DO MEET CURRENT CODE REQUIREMENTS.

SITE ACCESSIBILITY NOTES

- FOR ALL GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY AT PATH OF TRAVEL, GRID/OPENINGS IN GRATINGS SHALL BE LIMITED TO 1/2" MAXIMUM IN THE DIRECTION OF TRAFFIC FLOW.
- PATH OF TRAVEL (P.O.T.) AS INDICATED ON THE SITE PLAN WITH A DASHED LINE (---) IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE. EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE SHALL BE STABLE, FIRM, AND SLIP RESISTANT. CROSS-SLOPE SHALL NOT BE STEEPER THAN 1:48 AND RUNNING SLOPE SHALL NOT BE STEEPER THAN 1:20 UNLESS OTHERWISE INDICATED (SECTION 11B-403.3). (P.O.T.) SHALL MAINTAIN FREE OF OVERHANGING OBSTRUCTIONS TO 30" MINIMUM (SECTION 11B-307.4) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL SURFACE BETWEEN 27" AND 80" ABOVE FINISH FLOOR OR GROUND (SECTION 11B-307.2). PROVIDE FLUSH TRANSITIONS AT ANY ADJOINING JOINTS BETWEEN NEW AND EXISTING (E) WALK SURFACES IN P.O.T. ARCHITECT TO VERIFY THAT THERE ARE NO BARRIERS IN THE P.O.T. AND THAT ALL P.O.T. COMPLY WITH SECTION 11B-206.
- SURFACE SLOPE AT EXISTING ACCESSIBLE PARKING STALLS AND ACCESS AISLES PER SECTION 11B-502.4 SHALL NOT EXCEED 1:48 IN ANY DIRECTION. CONTRACTOR SHALL VERIFY SURFACE SLOPE AT STALLS AND IF SLOPE EXCEEDS 1:48, AC PAVING OVERLAY SHALL BE PROVIDED AT STALLS AND LOADING AREAS AND SHALL BE FEATHERED TO CREATE A SMOOTH TRANSITION WITH EXISTING ADJACENT FINISH MATERIAL.
- GATES IN PATH OF TRAVEL MUST COMPLY WITH DOOR REQUIREMENTS PER SECTION 1010.2.
- HAND ACTIVATED GATE OPENING HARDWARE, HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE GATES SHALL HAVE A SLOPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE PER SECTION 1010.1.9.1. MAX. 5 LBS. PRESSURE TO OPERATE.
- THE BOTTOM 10" OF AN ACCESSIBLE GATE SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE ON EACH SIDE. THE BOTTOM OF THE GATE SHALL BE WITHIN 3" OF THE FINISH SURFACE OF THE PATH OF TRAVEL. THE MAXIMUM EFFORT TO OPERATE THE GATE SHALL NOT EXCEED 5 LBS. (22.2 N) PER CBC SECTION 11B-404.2.9 - SIMILAR APPLICATION.
- ACCESSIBLE PARKING SPACES SHALL BE LOCATED AS NEAR AS PRACTICAL TO PRIMARY ENTRANCE.

A OVERALL SITE PLAN
1" = 80'-0"





A ENLARGED SITE PLAN - Phase II Greenhouse

1" = 10'-0"

ENLARGED SITE PLAN KEY NOTES

| Key Value | Keynote Text |
|-----------|---|
| 101 | NEW 19' X 35' GREENHOUSE BUILDING BY GOTHIC ARCH GREENHOUSES ON CONCRETE FOUNDATION. |
| 102 | INDICATES LOCATION FOR EXISTING ACCESSIBLE RESTROOMS IN BUILDING 14. REFER TO "B" ON SHEET A2.03. |
| 103 | EXISTING BUILDING TO REMAIN. |
| 104 | EXISTING TREE(S) TO REMAIN. |
| 105 | EXISTING CONCRETE PAVING TO REMAIN. |
| 106 | EXISTING PLANTER AREA TO REMAIN. |
| 107 | SHADING INDICATES AREA TO RECEIVE NEW IRRIGATION GRASS SEED AND SEED COVER. |
| 108 | EXISTING VALVE BOX. |
| 109 | NEW 3/4" IRRIGATION LINE. |
| 110 | NEW 5" THICK CONCRETE PAVING, JOIN FLUSH WITH EXISTING CONC. SIDEWALK. REFER TO DETAILS 1, 2, 3 & 5 ON SHEET A1.03. |
| 111 | DASHED LINE INDICATES ACCESSIBLE PATH OF TRAVEL. PATH OF TRAVEL IS A BARRIER FREE ACCESS WITHOUT ANY ABRUPT VERT. CHANGES EXCEEDING 1/2" @ 1:2 MAX. SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL. ALL PAVED SURFACES ON THIS SITE WHICH SERVE AS THE ROUTE OF TRAVEL TO SITE FACILITIES, ENTRANCES, RESTROOMS, DRINKING FOUNTAINS, ETC. ARE BARRIER FREE. REFER TO "SITE ACCESSIBILITY NOTES" ON SHEET A1.02. |
| 112 | EXISTING (FUTURE) IRRIGATION STUB-UPS. |
| 113 | EXISTING PUMP CONTROLLER. |
| 114 | EXISTING COMMUNICATION HANDHOLE. |
| 115 | EXISTING 50 AMP, 2P, 120/240 V. CIRCUIT. |
| 116 | 1" PVC, 3-#6 CU AND 1-#8 GROUND WIRE. |
| 117 | 1" PVC CONDUIT ONLY. |
| 118 | PRESSURE REGULATOR. |
| 119 | NEW 1" IRRIGATION LINE. |
| 120 | OUTLINE OF EXTERIOR CONCRETE BUILDING FOUNDATION. |
| 121 | 6" THICK CRUSHED ROCK OVER FILTER FABRIC. |
| 123 | EXISTING PVC SLEEVE. |
| 124 | P.O.C. TO EXISTING 2" GAS LINE (BEFORE THE REGULATOR). |
| 125 | NEW 1" POLY GAS LINE. |
| 126 | RE-INSTALL GAZEBO OVER NEW CONCRETE FLATWORK. |
| 127 | TEMPORARY GAZEBO LOCATION. |
| 128 | HATCHING INDICATES PORTION OF EXISTING SLOPED WALK TO BE REMOVED. |
| 129 | NEW CONCRETE LANDING, MATCH SIDEWALK THICKNESS AND REINFORCING. |
| 130 | NEW CONCRETE STAIRS TO BE REMOVED AND REPLACED TO MATCH EXISTING (7" MAX. RISE, MATCH EXISTING RUN - 11" MIN.). REFER TO DETAIL 8 & 9 ON SHEET A1.03. |
| 131 | EXISTING HANDRAIL AT CENTER OF STAIRS TO BE REMOVED AND REPLACED. REFER TO DETAIL 10 ON SHEET A1.03. |

PLANNING CONDITIONS OF APPROVAL

- THE USE SHALL BE LIMITED TO THE TYPE OF OPERATION AS DESCRIBED IN THE STAFF REPORT. ANY CHANGE IN THE OPERATIONAL CHARACTERISTICS INCLUDING, BUT NOT LIMITED TO, THE HOURS OF OPERATION AND ADDITIONAL SERVICES PROVIDED, SHALL REQUIRE REVIEW BY THE PLANNING DIVISION AND MAY REQUIRE AN AMENDMENT TO THE MINOR CONDITIONAL USE PERMIT, SUBJECT TO EITHER ZONING ADMINISTRATOR OR PLANNING COMMISSION APPROVAL, DEPENDING ON THE NATURE OF THE PROPOSED CHANGE. THE APPLICANT IS REMINDED THAT CODE ALLOWS THE PLANNING COMMISSION TO MODIFY OR REVOKE ANY PLANNING APPLICATION BASED ON FINDINGS RELATED TO PUBLIC NUISANCE AND/OR NONCOMPLIANCE WITH CONDITIONS OF APPROVAL (TITLE 13, SECTION 13-29(O)).
- A COPY OF THE CONDITIONS OF APPROVAL FOR THE CONDITIONAL USE PERMIT MUST BE KEPT ON PREMISES AND PRESENTED TO ANY AUTHORIZED CITY OFFICIAL UPON REQUEST. NEW BUSINESS/PROPERTY OWNERS SHALL BE NOTIFIED OF CONDITIONS OF APPROVAL UPON TRANSFER OF BUSINESS OR OWNERSHIP OF LAND.
- ANY CHANGE IN THE OPERATIONAL CHARACTERISTICS OF THE USE SHALL BE SUBJECT TO PLANNING DIVISION REVIEW AND MAY REQUIRE AN AMENDMENT TO THE MINOR CONDITIONAL USE PERMIT, SUBJECT TO EITHER ZONING ADMINISTRATOR OR PLANNING COMMISSION APPROVAL, DEPENDING ON THE NATURE OF THE PROPOSED CHANGE.
- THE APPLICANT SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE CITY, ITS ELECTED AND APPOINTED OFFICIALS, AGENTS, OFFICERS AND EMPLOYEES FROM ANY CLAIM, ACTION, OR PROCEEDING (COLLECTIVELY REFERRED TO AS "PROCEEDINGS") BROUGHT AGAINST THE CITY, ITS ELECTED AND APPOINTED OFFICIALS, AGENTS, OFFICERS OR EMPLOYEES ARISING OUT OF CITY'S APPROVAL OF THE PROJECT, INCLUDING BUT NOT LIMITED TO ANY PROCEEDING UNDER THE AMERICANS WITH DISABILITIES ACT OR THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. THE INDEMNIFICATION SHALL INCLUDE, BUT NOT BE LIMITED TO, DAMAGES, FEES AND/OR COSTS AWARDED AGAINST THE CITY, IF ANY, AND COST OF SUIT, ATTORNEY'S FEES, AND OTHER COSTS, LIABILITIES AND EXPENSES INCURRED IN CONNECTION WITH SUCH PROCEEDING WHETHER INCURRED BY THE APPLICANT, THE CITY AND/OR THE PARTIES INITIATING OR BRINGING SUCH PROCEEDING. THIS INDEMNITY PROVISION SHALL INCLUDE THE APPLICANT'S OBLIGATION TO INDEMNIFY THE CITY FOR ALL THE CITY'S COSTS, FEES, AND DAMAGES THAT THE CITY INCURS IN ENFORCING THE INDEMNIFICATION PROVISIONS SET FORTH IN THIS SECTION. CITY SHALL HAVE THE RIGHT TO CHOOSE ITS OWN LEGAL COUNSEL TO REPRESENT THE CITY'S INTERESTS, AND APPLICANT SHALL INDEMNIFY CITY FOR ALL SUCH COSTS INCURRED BY CITY.

MJK ARCHITECTURE
 MICHAEL J. KANTARCHITECT
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 LICENSED ARCHITECT
 MICHAEL J. KANT
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CONSULTANT:
 PROJECT NAME:
GREENHOUSE BUILDING



PROJECT ADDRESS:
**55 Fair Drive
 Costa Mesa, CA
 92626-9601**



REVISIONS:

| MARK | DATE | DESCRIPTION |
|------|----------|----------------------------------|
| △ | 03/24/20 | GAD REDLINE PLAN CHECK SUBMITTAL |
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DATE: MARCH 24, 2020 REV NO: PLAN CHK.
 PROJECT NO: 2020-05
 CAD DWG FILE: M:\2020-05 - VU East Annex Phase II Greenhouse\ContDocs\2020-05 - VU East Annex Phase II Greenhouse - Site Plan.rvt
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 CHKD BY: MJK
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SHEET TITLE:
ENLARGED SITE PLAN

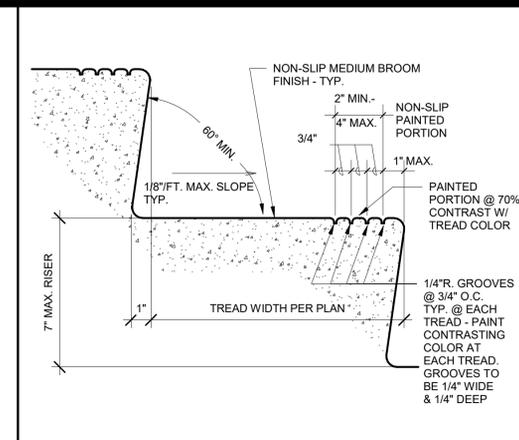
SHEET NO:
A1.02

A

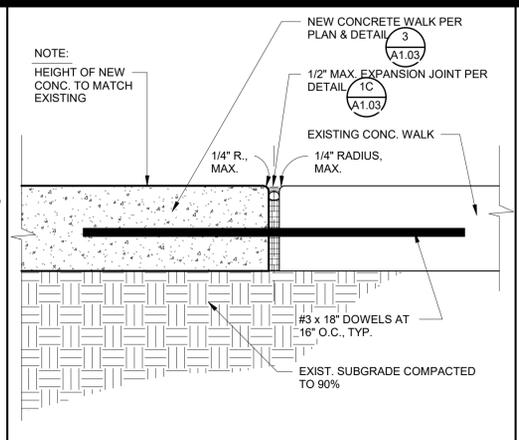
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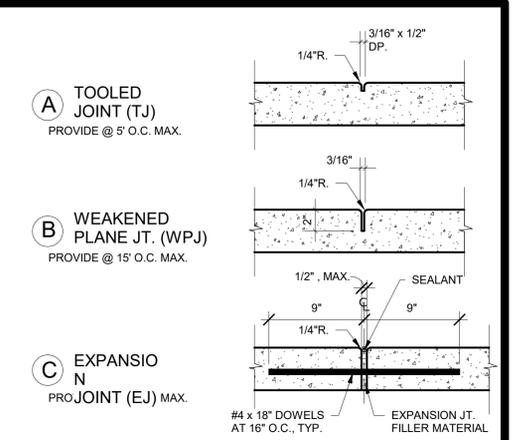
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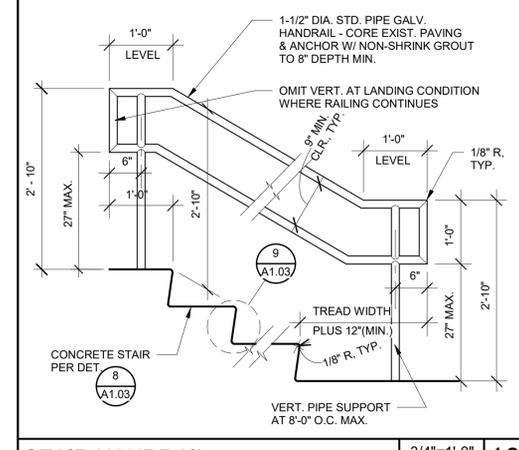
CONCRETE TREAD GROOVING 3"=1'-0" ESI-106 9



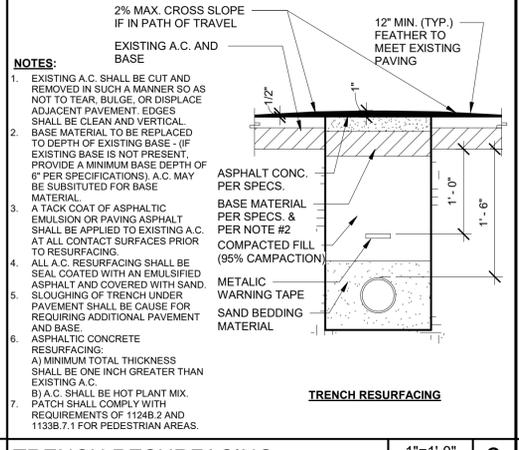
NEW CONC. WALK TO EXISTING 3"=1'-0" ESI-136a 5



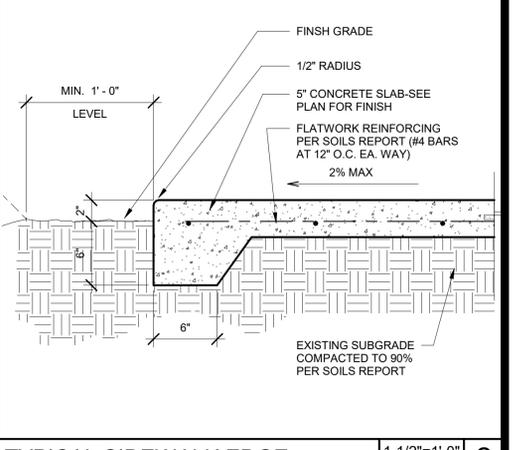
TYPICAL CONCRETE JOINTS 1-1/2"=1'-0" ESI-101 1



STAIR HANDRAIL 3/4"=1'-0" EHC-216 10



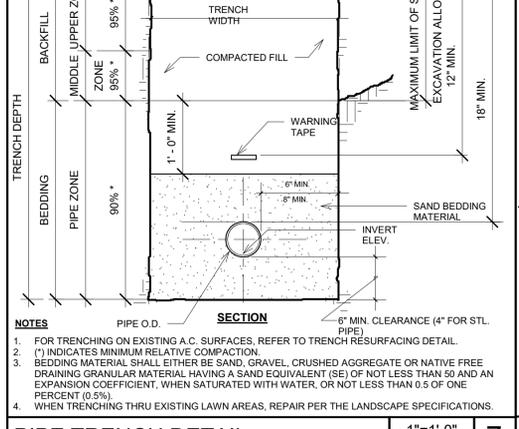
TRENCH RESURFACING 1"=1'-0" ESI-129a 6



TYPICAL SIDEWALK EDGE 1-1/2"=1'-0" ESI-108 2



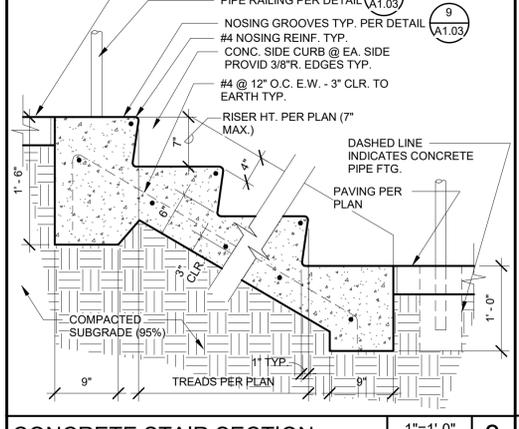
PIPE TRENCH DETAIL 1"=1'-0" ESI-137a 7



CONCRETE PAVING 1-1/2"=1'-0" ESI-150 3



CONCRETE STAIR SECTION 1"=1'-0" ESI-105 8



CONCRETE TO A.C. PAVING 3"=1'-0" ESI-103a 4

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SHEET TITLE:
SITE DETAILS

SHEET NO:
A1.03

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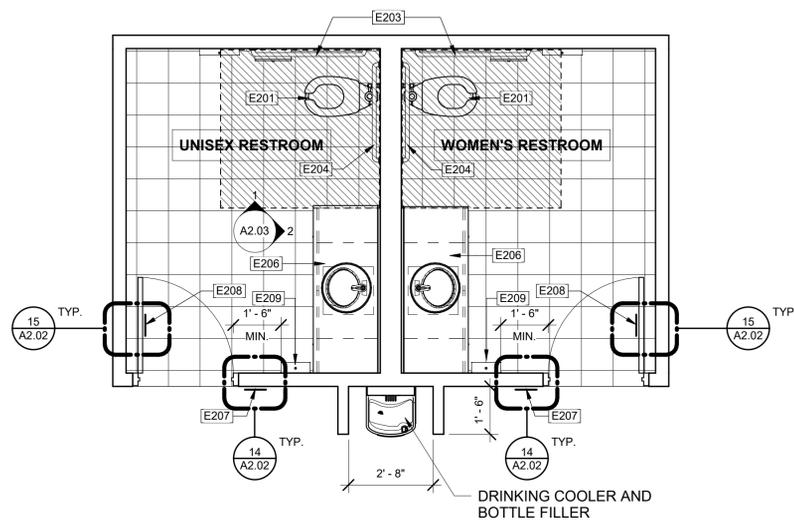
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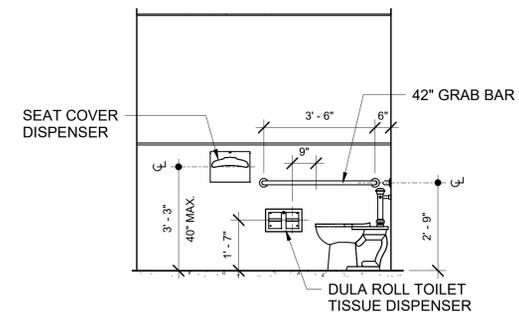
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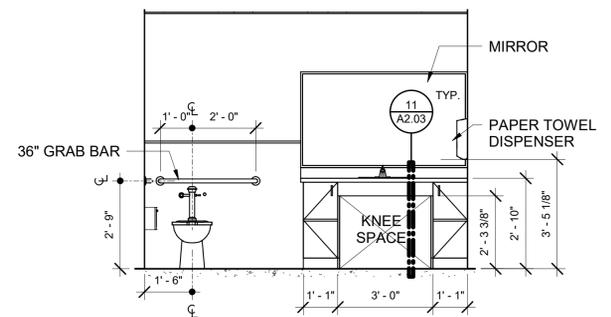
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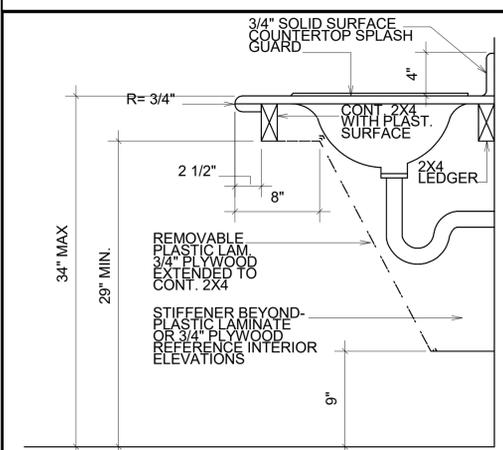
B RESTROOM FLOOR PLAN - BLDG. 14
3/8" = 1'-0"



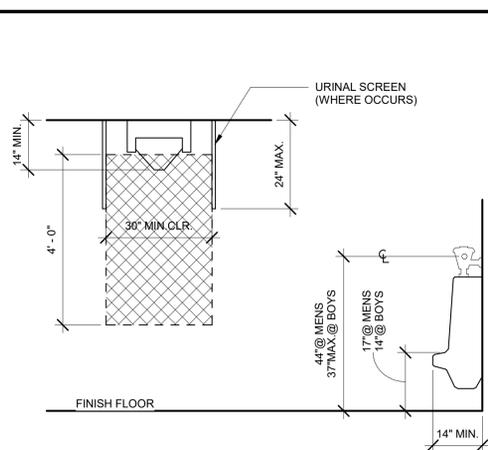
1 ELEVATION 1-A
3/8" = 1'-0"



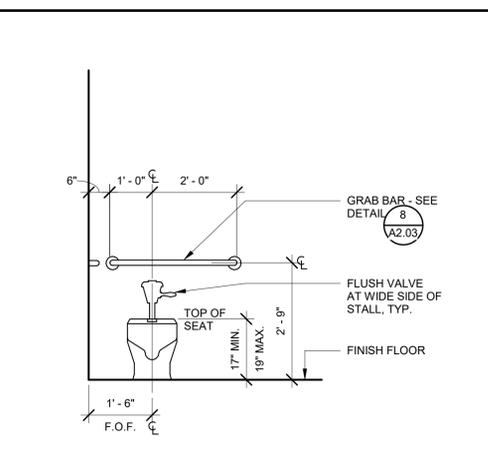
2 ELEVATION 1-B
3/8" = 1'-0"



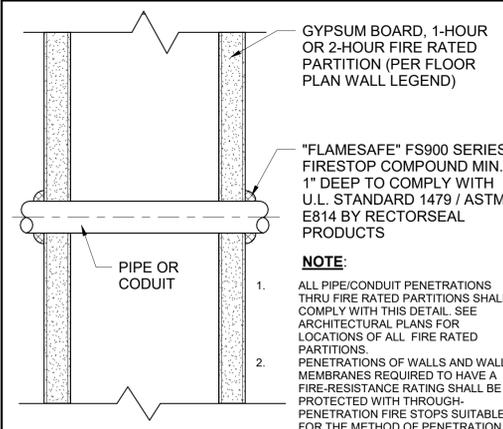
COUNTERTOP SECTION 1/2"=1'-0" IHC-109



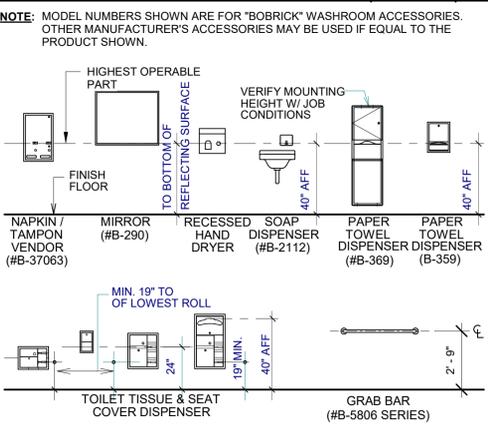
ACCESSIBLE URINAL 1/2"=1'-0" IHC-105



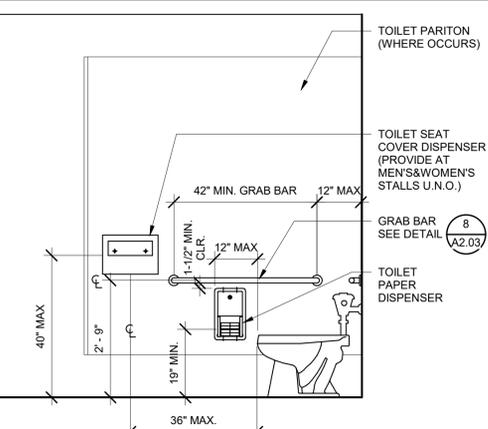
ACCESSIBLE STALL FRONT ELEVATION 1/2"=1'-0" IHC-103fm



PENETRATION @ RATED WALL 6"=1'-0" FRA-222



ACCESSORIES MOUNTING HGTS. 1/4"=1'-0" IHC-108



ACCESSIBLE STALL SIDEWALL ELEVATION 1/2"=1'-0" IHC-104fm

| ENLARGED PLANS KEY NOTES | |
|--------------------------|---|
| Key Value | Keynote Text |
| E201 | EXISTING ACCESSIBLE TOILET CONFORMING WITH CBC SECTION 11B-604. REFER TO REFERENCE DETAILS 3 & 4 ON SHEET A2.03. |
| E202 | EXISTING NON-ACCESSIBLE TOILET AND STALL. |
| E203 | EXISTING 42" LONG GRAB BAR (CENTERED 33" A.F.F.) CONFORMING TO CBC SECTION 11B-604.5 (FIGURE 11B-604.5.1). |
| E204 | EXISTING 36" LONG GRAB BAR (CENTERED 33" A.F.F.) CONFORMING TO CBC SECTION 11B-604.5 (FIGURE 11B-604.5.2). |
| E205 | EXISTING ACCESSIBLE WALL MOUNTED URINAL CONFORMING TO CBC SECTION 11B-605. REFER REFERENCE TO DETAIL 7/A2. |
| E206 | EXISTING COUNTERTOP LAVATORIES CONFORMING TO CBC SECTION 11B-606. REFER TO DETAIL 11/A2. |
| E207 | EXISTING WALL MOUNTED RESTROOM SIGNAGE. REFER TO REFERENCE DETAILS 12 & 18 ON SHEET A2.03. |
| E208 | EXISTING DOOR MOUNTED RESTROOM SIGNAGE. REFER TO REFERENCE DETAILS 12 & 14 ON SHEET A2.03. |
| E209 | EXISTING WALL MOUNTED PAPER TOWEL DISPENSER. RELOCATE AS REQUIRED TO MAINTAIN 18" MIN. CLEARANCE FROM EDGE OF DOOR FRAME. |

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G.A. DOMINGUEZ
GENERAL ENGINEERING & CONTRACTING
LIC #495764

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SHEET TITLE:
RESTROOM FLOOR PLAN / DETAILS

SHEET NO:
A2.03



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REVISIONS:

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DATE: MARCH 24, 2020 REV NO: PLAN CHK. 2020-05

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CHK'D BY: GD

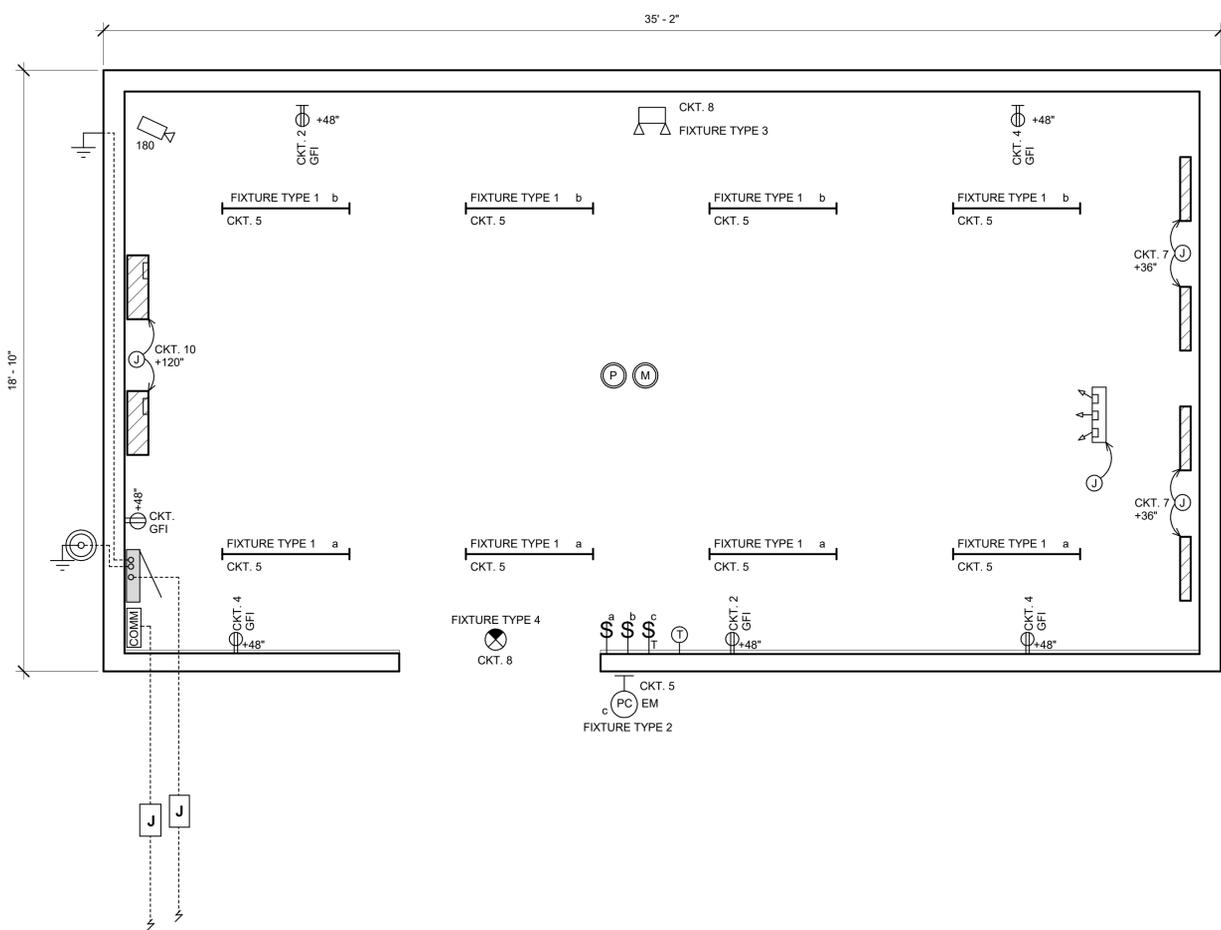
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SHEET TITLE: ELECTRICAL FLOOR PLAN

SHEET NO:
E2.1

| PANEL (A2) 100 AMP MB 120/208 VOLTAGE 1-PHASE 3-WIRE NEMA 1 (10,000 AIC) | | | | | | | | |
|--|----------|----------|--------------|--------------|----------|----------|------|----------------------------|
| DESCRIPTION | CKT. NO. | BKR SIZE | PHASE A (VA) | PHASE B (VA) | BKR SIZE | CKT. NO. | QNTY | DISCRIPTION |
| FORCED AIR HEATER | 1 | 20 | 482 | | | 1 | 1 | |
| INTERIOR DPLX RECPT. | 3 | 20 | 900 | 540 | 20 | 2 | 3 | INTERIOR DPLX RECPT. MISC. |
| INTER / EXT LIGHTING | 5 | 20 | 315 | 540 | 20 | 4 | 9 | |
| INTAKE SHUTTERS # T-STATS | 7 | 20 | 690 | | | 6 | 0 | SPARE |
| SPARE | 9 | 20 | | 17 | 20 | 8 | 2 | EMERGENCY # EXIT LIGHTING |
| SPARE | 11 | 20 | | 1,311 | 20 | 10 | 2 | EXHAUST FANS |
| | | | | | | 12 | 0 | SPARE |
| TOTAL VA PER PHASE | | | 2,387 | 2,408 | 4,795 | WATTS | | |
| CONTINUOUS LOAD FACTOR (.25 X 385.00) | | | 79 | 18 | 96 | WATTS | | |
| TOTAL LOADED VA | | | | | 4,891 | WATTS | | |
| TOTAL AMPERS | | | 240 | 4,891 | 20.38 | AMPS | | |

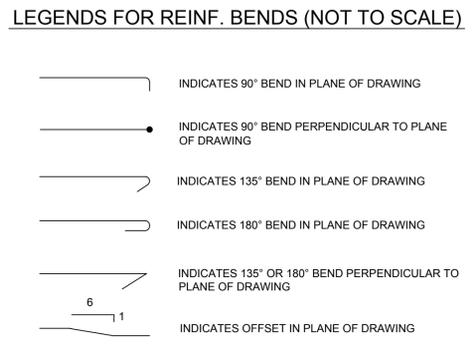
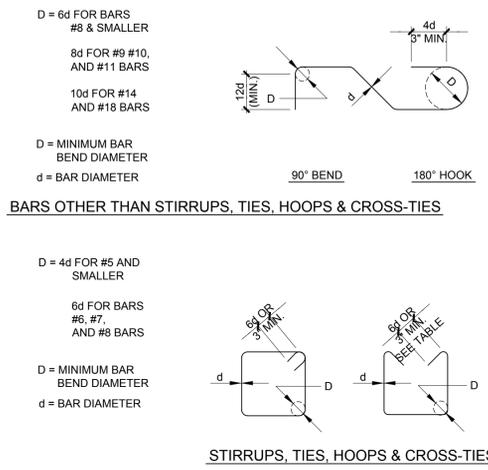
| FIXTURE SCHEDULE | | | |
|---|----------|---------|--------|
| DESCRIPTION | FIX TYPE | VOLTAGE | WATAGE |
| Bronze Dusk-to-Dawn Outdoor Integrated LED Rectangular Wall pack Light-DW10239AZ8-C | 1 | 115 V | 35 W |
| 4ft. 2-light White LED Shop Light with T8 LED 5000K Tubes | 2 | 115 V | 35 W |
| 90 Minute Emergency Flood Lights, Extronix LED-90 | 3 | 115 V | 3 W |
| 90 Minute White Integrated LED Exit Sign and Emergency Lighting | 4 | 115 V | 14W |



E ELECTRICAL FLOOR PLAN - GREENHOUSE BUILDING
3/8" = 1'-0"

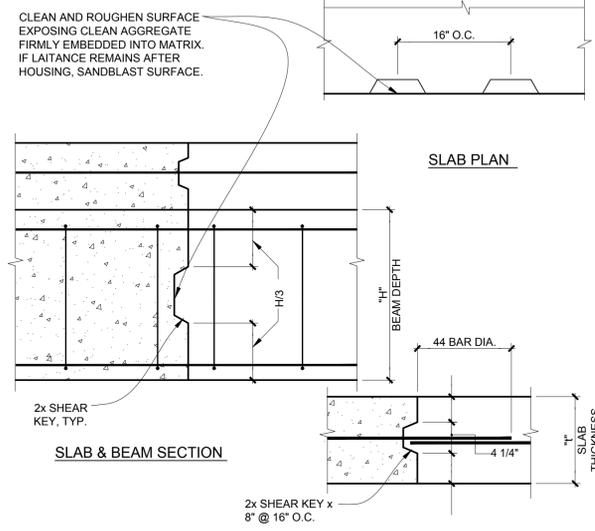
- ⌚ SINGLE POLE SWITCH
- ⌚ SINGLE POLE ASTRONOMICAL TIMMER SWITCH
- ⌚ DUPLEX RECEPTICAL GFI PROTECTED
- ⌚ JUNCTION BOX
- ⌚ 100 AMP SINGLE PHASE 120/208V PANLE A2
- ⌚ COMMUNICATIONS JUCTION BOX
- ⌚ (E) CONCRETE HONDHOLE
- ⌚ UFFER GROUND
- ⌚ 8" X 5/8" GROUND ROD # TEST WELL
- ⌚ 90 MIN. EMERGENCY FLOOD LIGHT
- ⌚ 4' LED STRIP LIGHT
- ⌚ ILLUMINATED EXIT SIGN W/EMERGENCY FLOOD LIGHT # DOWN LIGHT.
- ⌚ EXTERIOR WALL MOUNTED LIGHT W/PHOTOCELL # EM BATTERY BACKUP
- ⌚ AREA PHOTO SENSOR
- ⌚ AREA OCCUPANCY SENSOR
- ⌚ SECURITY CAMERA
- ⌚ FORCED AIR HEATER
- ⌚ INTAKE SHUTTERS
- ⌚ THERMAST AT
- ⌚ EXHAUST FAN
- (E) EXISTING
- (EM) EMERGENCY

| MIN. BAR BEND DIAMETER "D" AND STANDARD HOOK EXTENSION "L" IN INCHES | | | | | |
|--|----------|--------|---------|---------|---------|
| BARS OTHER THAN STIRRUPS, TIES, HOOPS AND CROSS-TIES | BAR SIZE | "D" | 180 "L" | 135 "L" | 90 "L" |
| | #3 | 2 1/4" | 3" MIN. | - | 4 1/2" |
| | #4 | 3" | 3" MIN. | - | 6" |
| | #5 | 3 3/4" | 3" MIN. | - | 7 1/2" |
| | #6 | 4 1/2" | 3" | - | 9" |
| | #7 | 5 1/4" | 3 1/2" | - | 10 1/2" |
| | #8 | 6" | 4" | - | 12" |
| | #9 | 9" | 4 1/2" | - | 13 1/2" |
| | #10 | 10" | 5" | - | 15" |
| #11 | 11" | 5 1/2" | - | 16 1/2" | |
| #14 | 17 1/2" | 7" | - | 21" | |
| #18 | 22 1/2" | 9" | - | 27" | |
| STIRRUPS, TIES, HOOPS AND CROSS-TIES | #3 | 1 1/2" | - | 3" MIN. | 3" MIN. |
| | #4 | 2" | - | 3" | 3" |
| | #5 | 2 1/2" | - | 3 3/4" | 3 3/4" |
| | #6 | 4 1/2" | - | 4 1/2" | 9" |
| | #7 | 5 1/4" | - | 5 1/4" | 10 1/2" |
| | #8 | 6" | - | 6" | 12" |

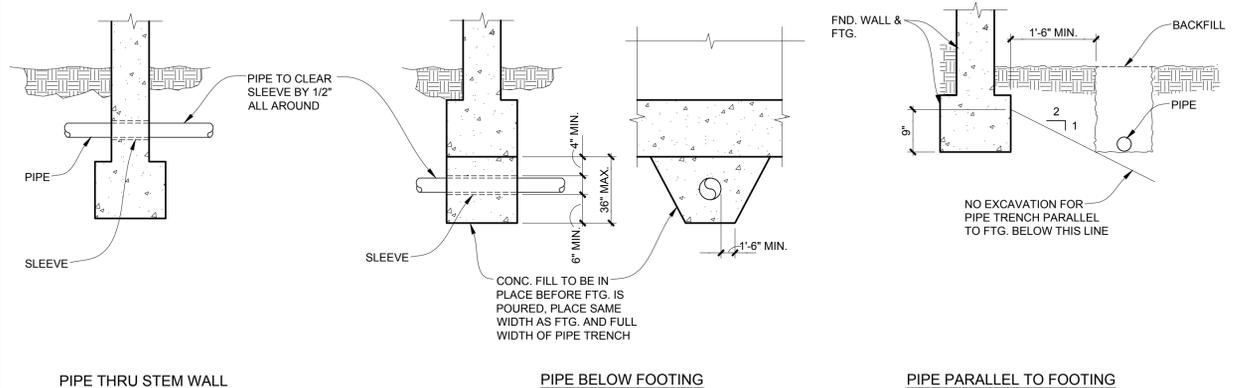


REINFORCING BAR BENDS

SCALE: 1"=1'-0"

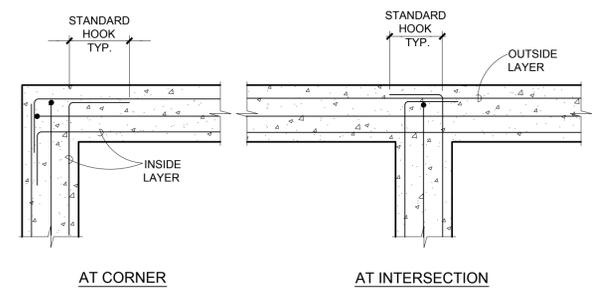


- NOTES:**
- PROVIDE NON-CORROSIVE METAL SLEEVES WITH INNER DIAMETER GREATER THAN THE OUTER DIAMETER OF THE PIPE.
 - IF PIPE IS IN PLACE PRIOR TO POURING CONCRETE, WRAP PIPE WITH STYROFOAM INSULATION BEFORE POURING CONCRETE IN LIEU OF SLEEVE.



TYP. CONTROL JOINTS IN GRADE BEAMS

SCALE: 1"=1'-0"



- NOTE:**
- FOR FOOTING WITH A SINGLE LAYER OF REINFORCEMENT, USE THE OUTSIDE LAYER AT CENTER OF THE FOOTING.
 - WHERE THERE ARE MORE THAN TWO CURTAINS OF REINFORCEMENT, THE INTERMEDIATE REINFORCEMENT SHALL BE EXTENDED AS FAR AS POSSIBLE WITH A STANDARD HOOK AT THE ENDS.
 - SEE SCHEDULE FOR DEVELOPMENT/SPLICE LENGTH WHERE REQUIRED.

REINF. AT FOOTING INTERSECTIONS & SPLICES

SCALE: 1"=1'-0"

REVISIONS

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AM ENGINEERS
CONSULTING STRUCTURAL ENGINEERS
325 W. 3rd AVE. SUITE 205 ESCONCIDO, CA 92025
(760) 741-7306 FAX (760) 738-8364
EMAIL: AMIRTA@AOL.COM



EAST ANNEX PHASE II GREENHOUSE
55 FAIR DRIVE, COSTA MESA, CA 92626

| | | | |
|-------|-----------|-------------|---------|
| DATE: | DRAWN BY: | CHECKED BY: | JOB NO. |
| | | AHMAD | |
| | | | |

| Submitted For: | Submitted On: | Rev. Description |
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Engineer Loads & Stamp (as required):



DATED: FEB. 27 2020
EXPIRES: 12/31/2021



Product: TR 18 34 TW

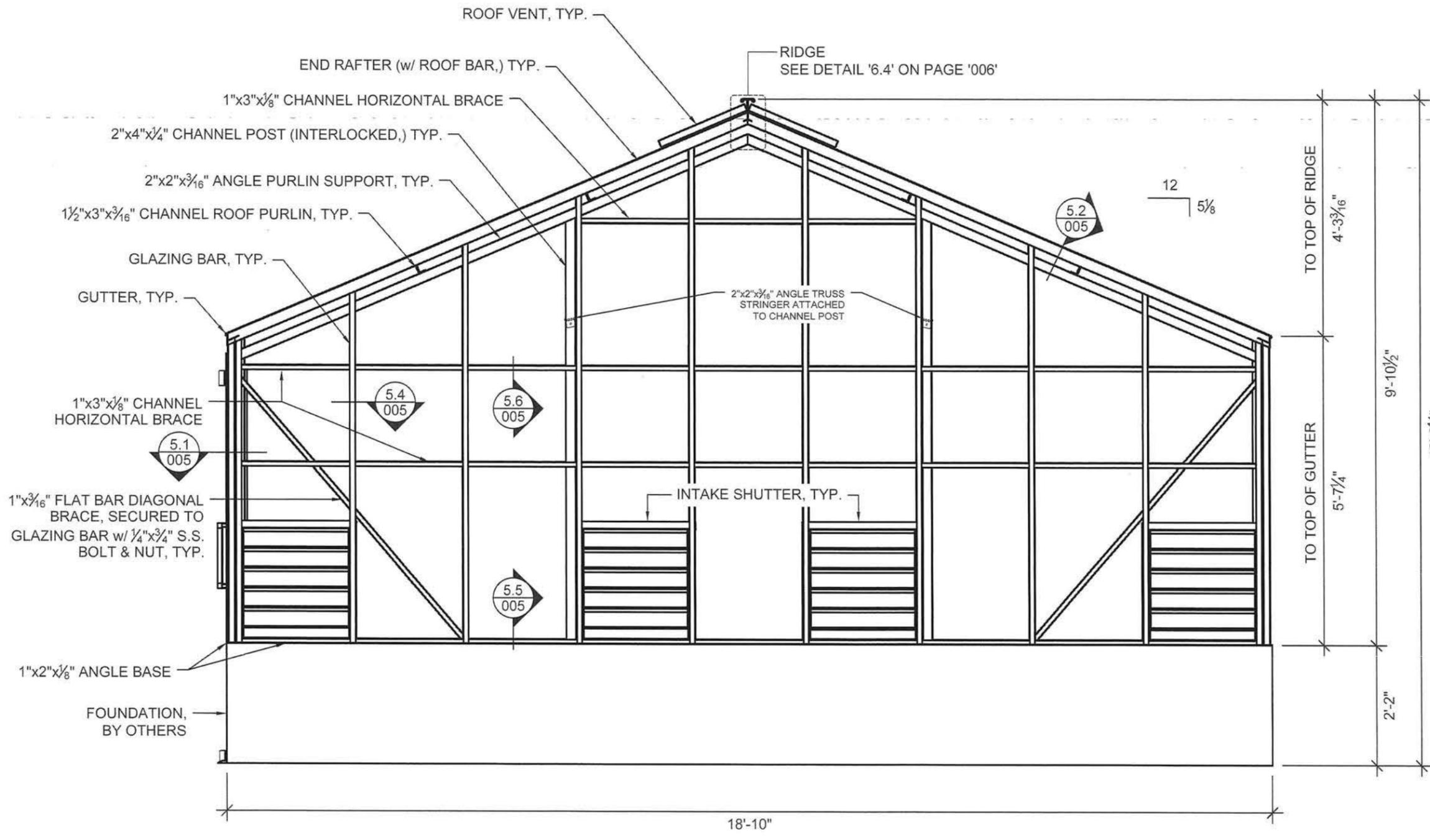
Customer: DR. TARA SIRVENT
VANGUARD UNIVERSITY
55 FAIR DRIVE
COSTA MESA, CA 92626

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Checked By: G.B.

Page No.: 002B

of: 006



RIGHT GABLE ELEVATION
Scale: 1/2" = 1' - 0"

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|----------------|---------------|------------------|
| Engineering | 2020 FEB 26 | |
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Product: TR 18 34 TW

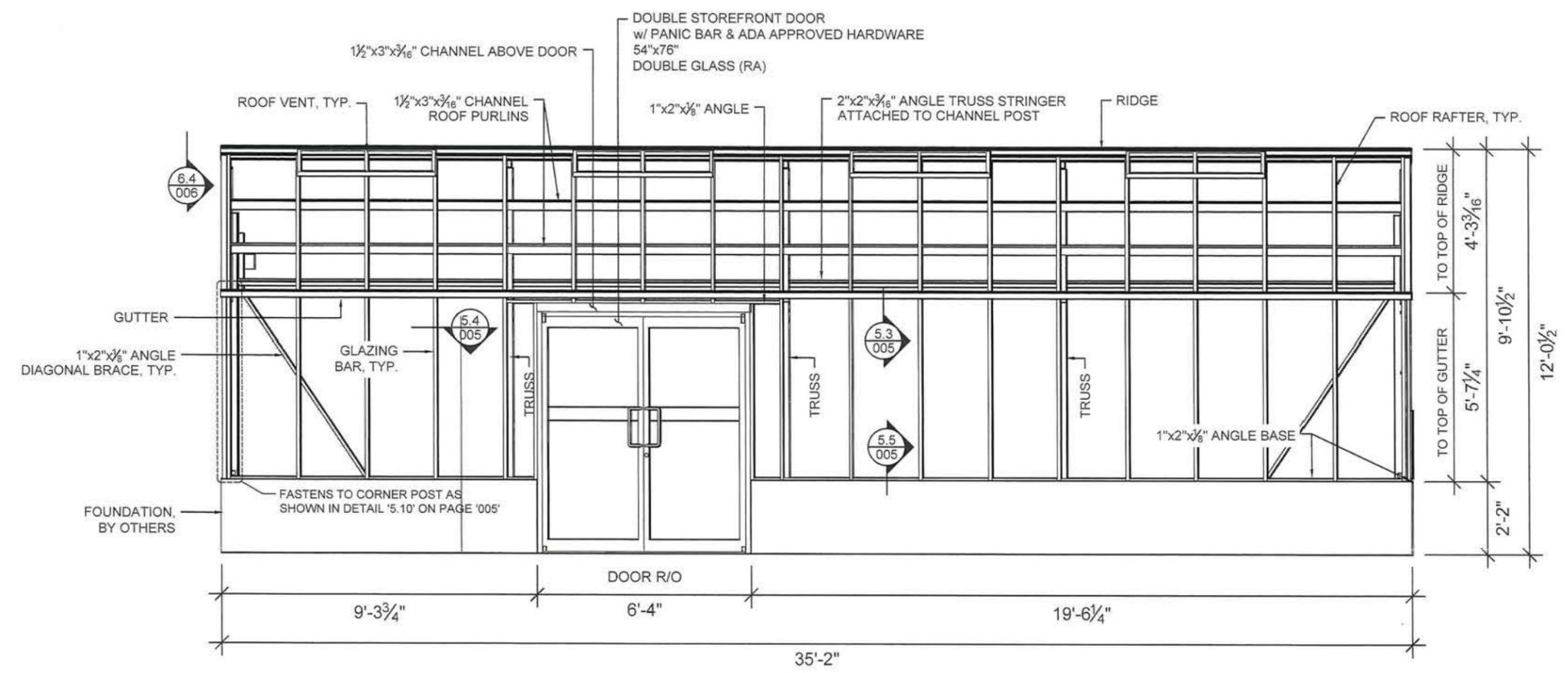
Customer:
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55 FAIR DRIVE
COSTA MESA, CA 92626

Drawn By: E.D.

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of: 006



RIGHT SIDE ELEVATION
Scale: 1/4" = 1' - 0"

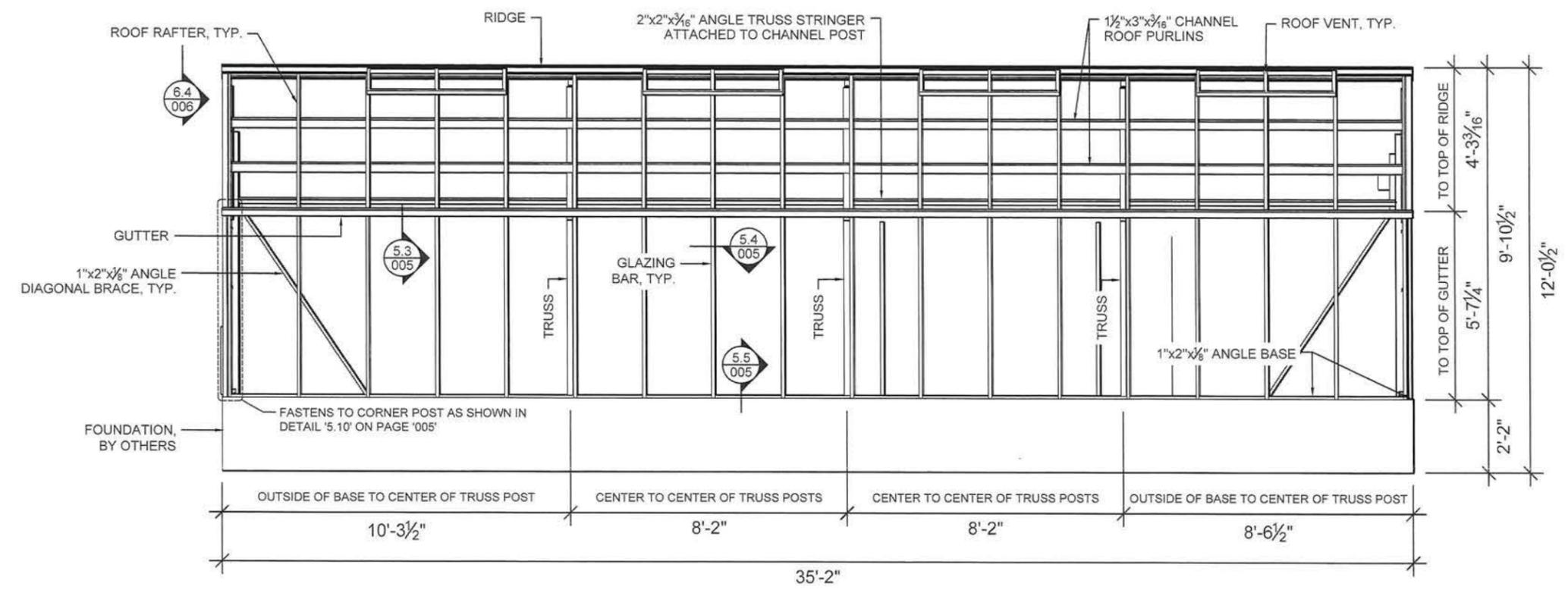
IMPORTANT NOTE:
• FOR GREENHOUSES THAT REQUIRE A "DOOR DROP" THIS IS DONE BY SIMPLY LOWERING THE DOOR FRAME & HEADER SO THAT THE DOOR BARS PROTRUDE BELOW THE BASE ANGLE.

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Engineer Loads & Stamp (as required):



DATED: FEB. 27 2020
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LEFT SIDE ELEVATION
Scale: 1/4" = 1' - 0"



Product: TR 18 34 TW

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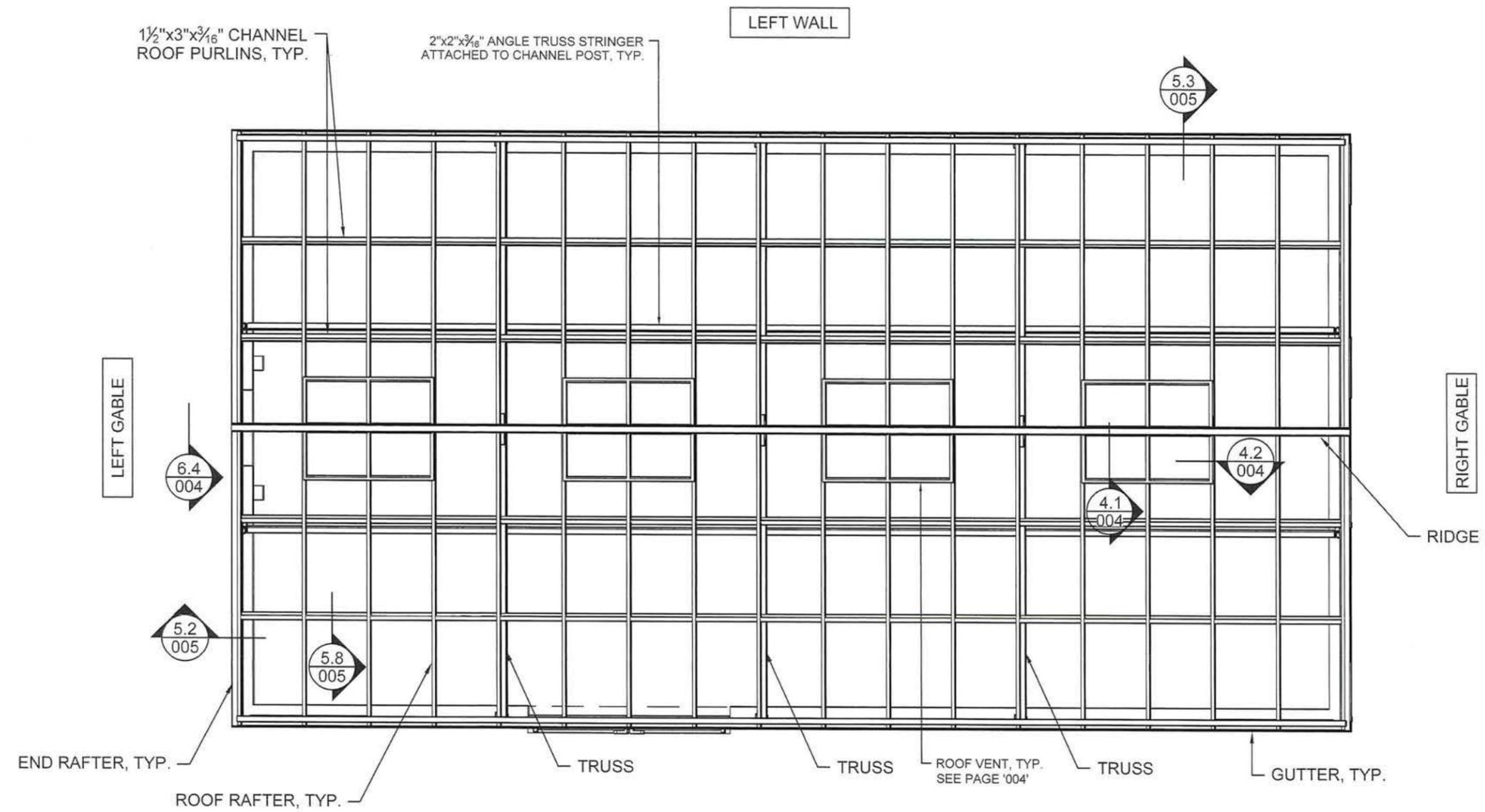
Customer:
DR. TARA SIRVENT
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55 FAIR DRIVE
COSTA MESA, CA 92626

Drawn By: E.D.

Checked By: G.B.

Page No.: 003A

of: 006



RIGHT WALL

PLAN VIEW
Scale: 3/8" = 1' - 0"

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|----------------|---------------|------------------|
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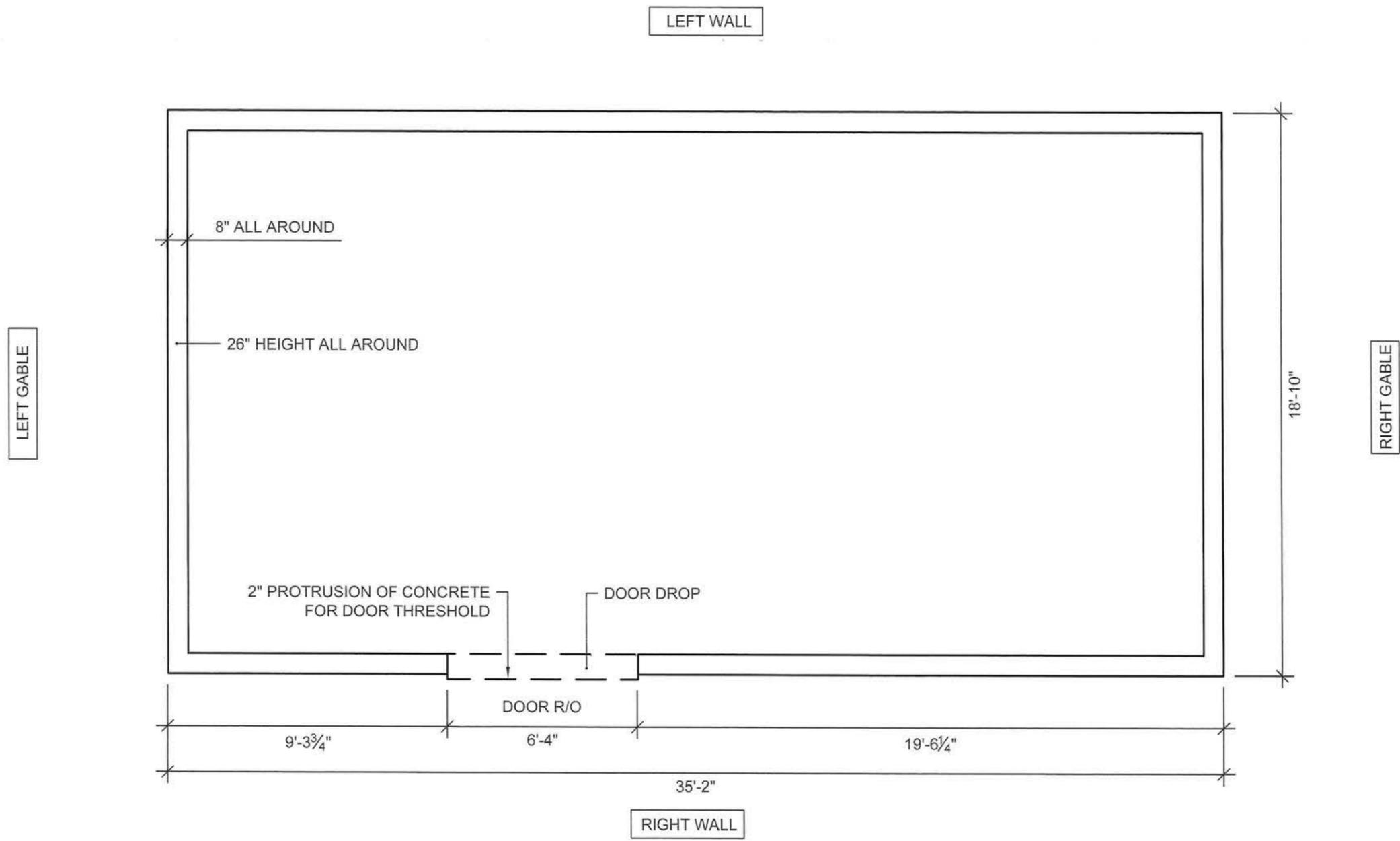
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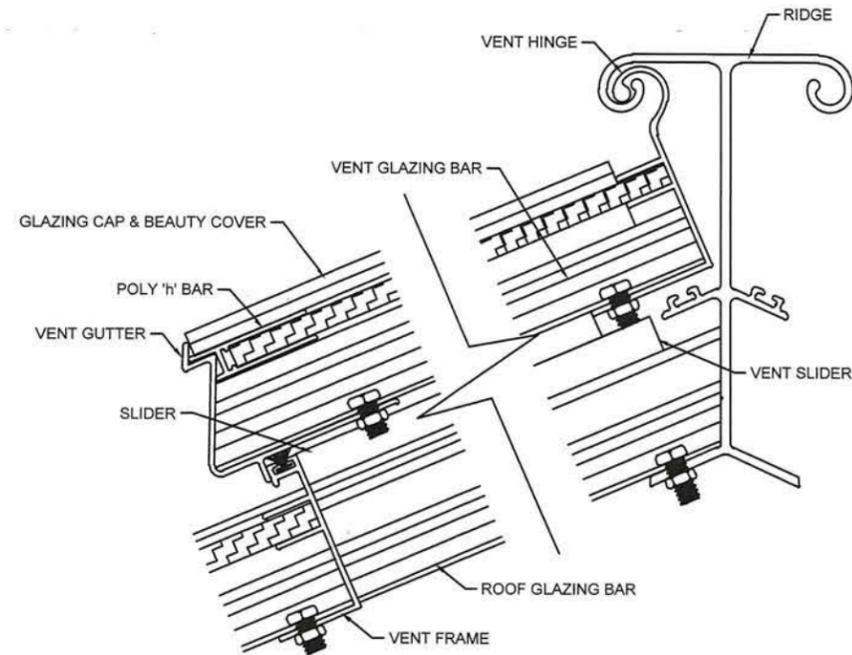


FOUNDATION PLAN VIEW
Scale: 1/8" = 1' - 0"

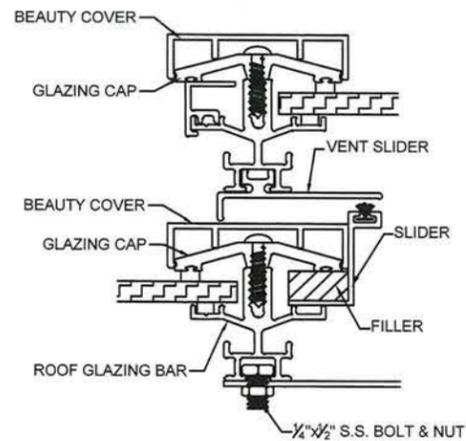
NOTE: FOUNDATION BY OTHERS

IMPORTANT NOTE:

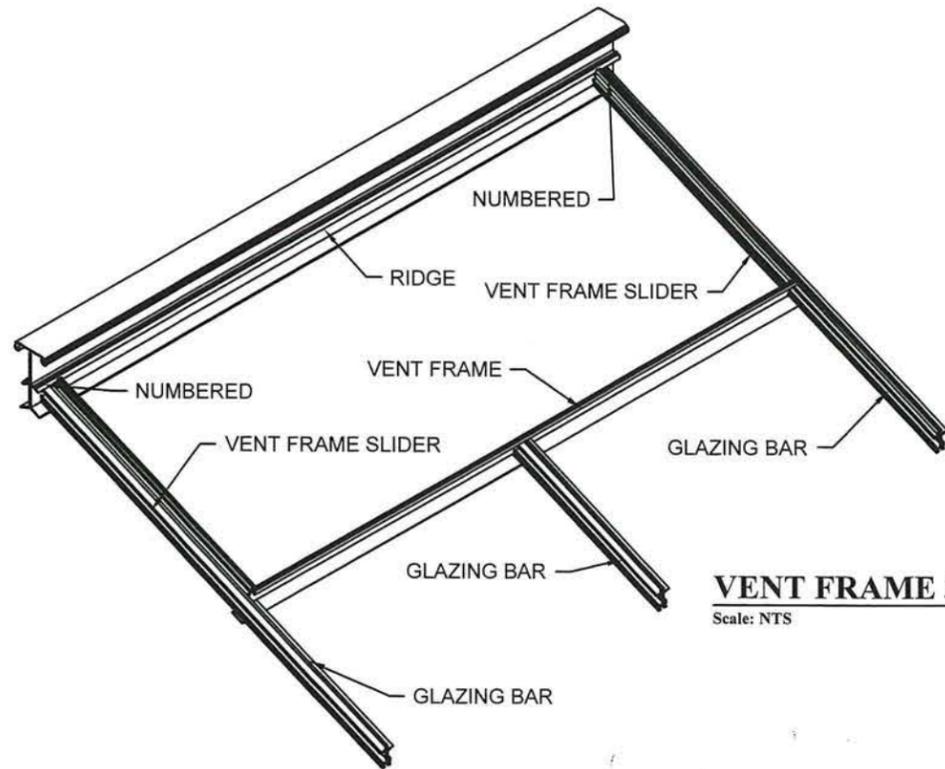
- GLAZING BARS MUST FIT TIGHT AGAINST RIDGE VERTICAL WHEN BOLTING.
- VENT FRAME SLIDER MUST BUTT TIGHT TO LIP OF RIDGE.
- VENT FRAME MUST FIT TIGHT AGAINST VENT FRAME SLIDERS.



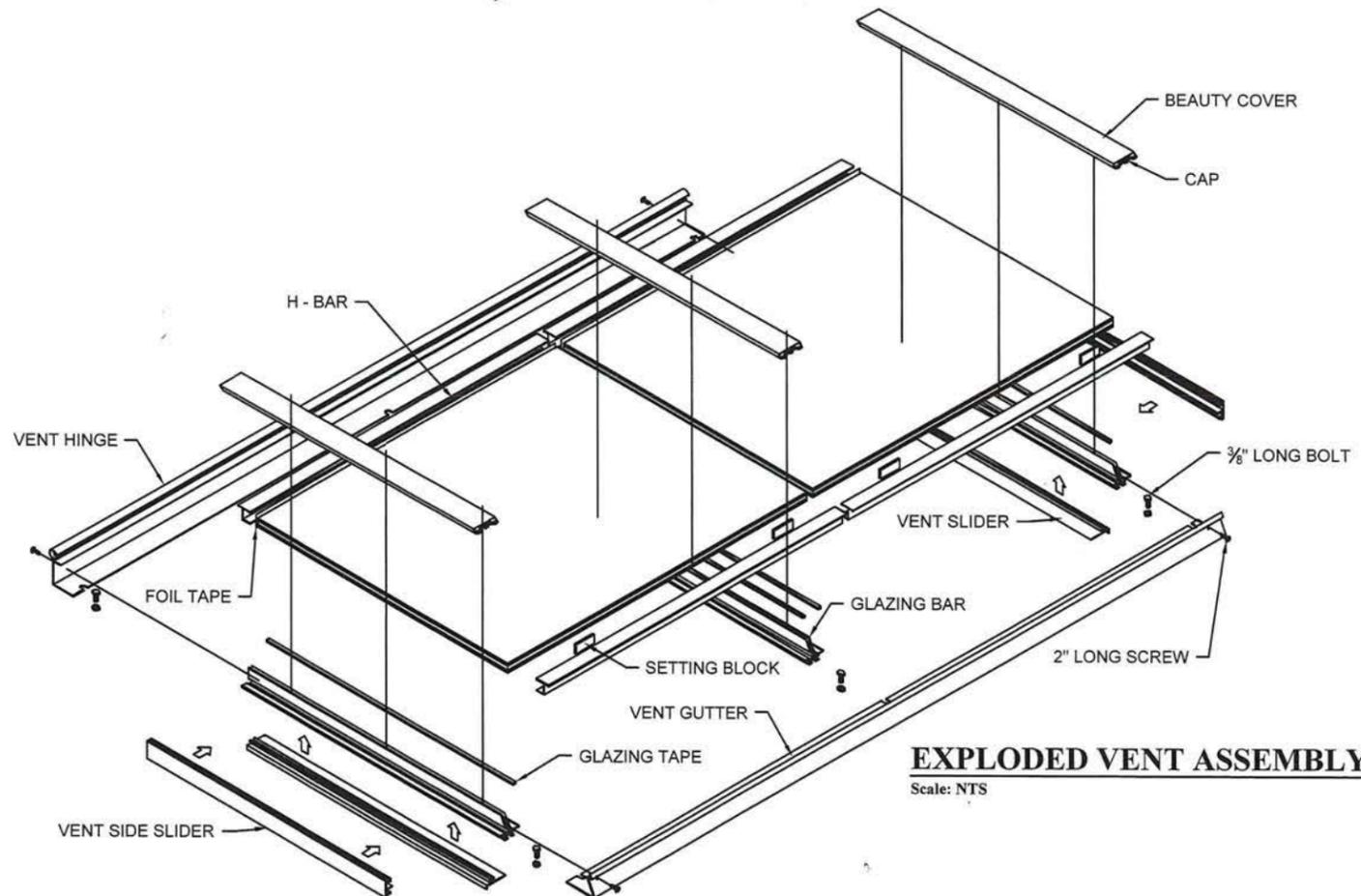
4.1 VENT & RIDGE SECTION
Scale: 6" = 1' - 0"



4.2 ROOF VENT FRAME SECTION
Scale: 6" = 1' - 0"



VENT FRAME 3D VIEW
Scale: NTS



EXPLODED VENT ASSEMBLY
Scale: NTS

| Submitted For: | Submitted On: | Rev. Description |
|----------------|---------------|------------------|
| Engineering | 2020 FEB 26 | |
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Engineer Loads & Stamp (as required):



DATED: FEB. 27 2020
EXPIRES: 12/31/2021



Product: TR 18 34 TW

Customer: DR. TARA SIRVENT
VANGUARD UNIVERSITY
55 FAIR DRIVE
COSTA MESA, CA 92626

Drawn By: E.D.

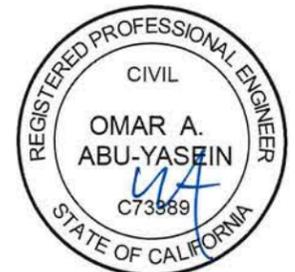
Checked By: G.B.

Page No.: 004

of: 006

| Submitted For: | Submitted On: | Rev. Description |
|----------------|---------------|------------------|
| Engineering | 2020 FEB 26 | |
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Engineer Loads & Stamp (as required):

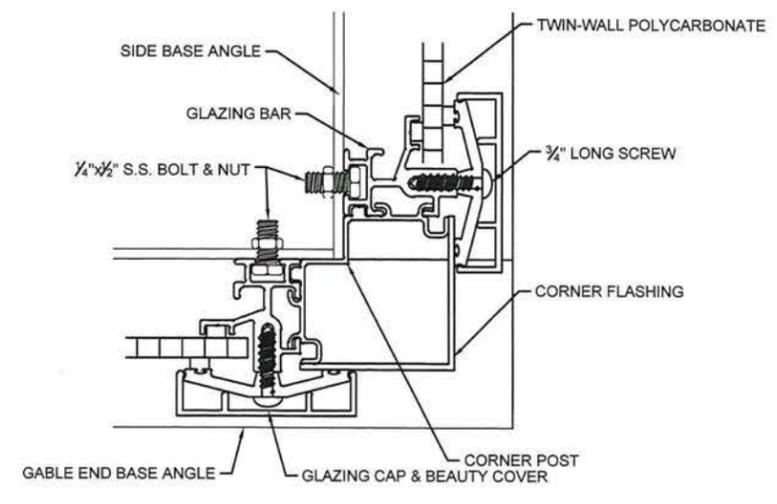


DATED: FEB. 27 2020
EXPIRES: 12/31/2021

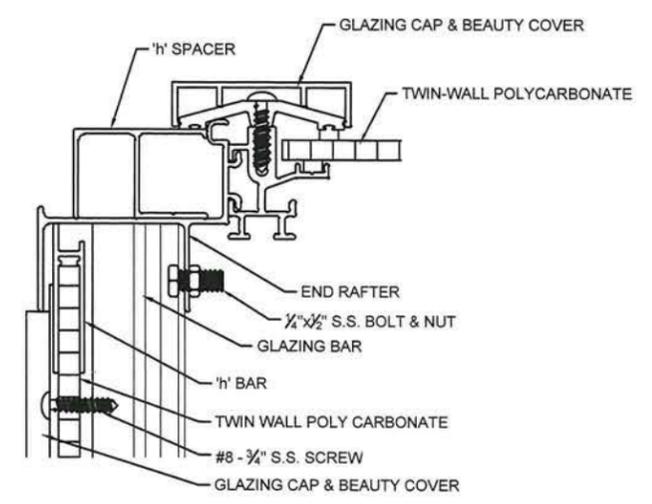


Product: TR 18 34 TW
Customer: DR. TARA SIRVENT
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55 FAIR DRIVE
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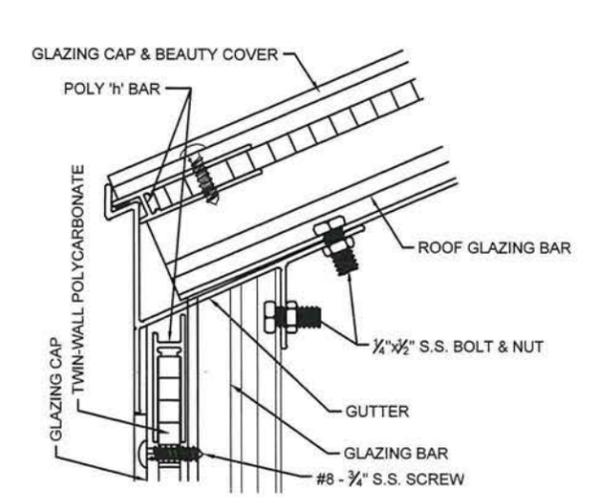
Drawn By: E.D.
Checked By: G.B.
Page No.: 005
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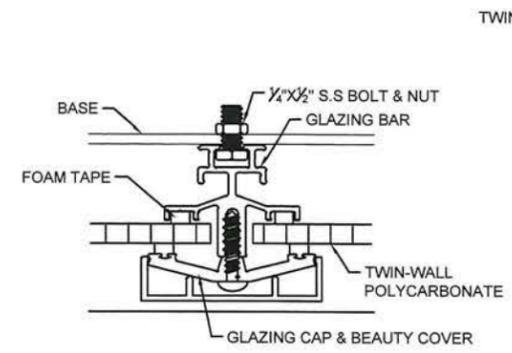
5.1 CORNER DETAIL
Scale: 6" = 1' - 0"



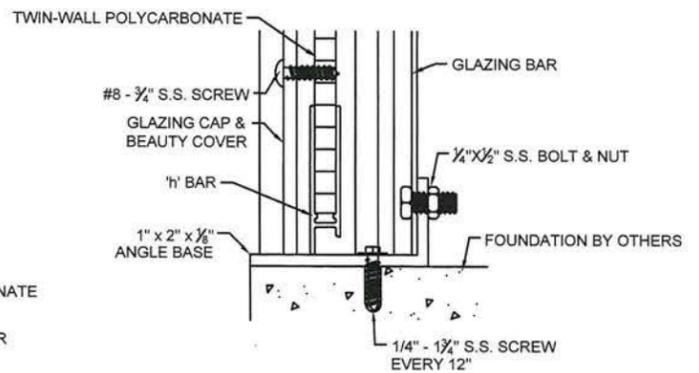
5.2 END RAFTER SECTION
Scale: 6" = 1' - 0"



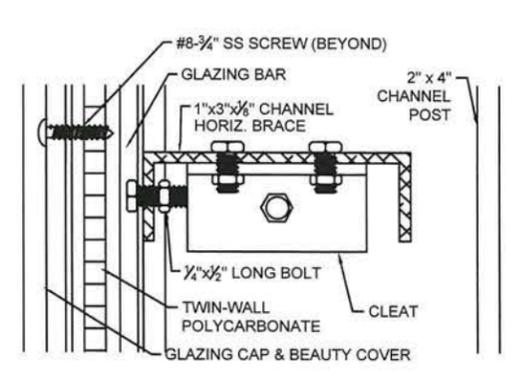
5.3 GUTTER SECTION
Scale: 6" = 1' - 0"



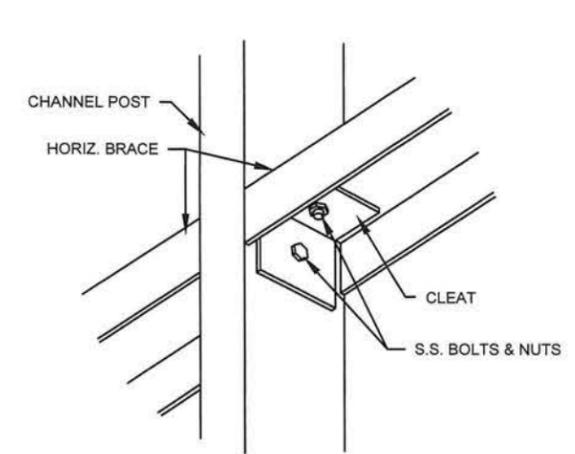
5.4 GLAZING BAR
Scale: 6" = 1' - 0"



5.5 BASE SECTION
Scale: 6" = 1' - 0"

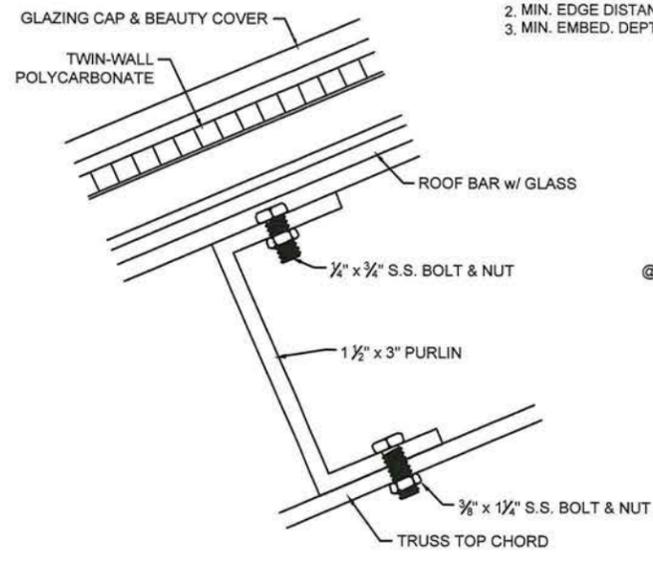


5.6 GABLE BRACE CONNECTION DETAIL
Scale: 6" = 1' - 0"

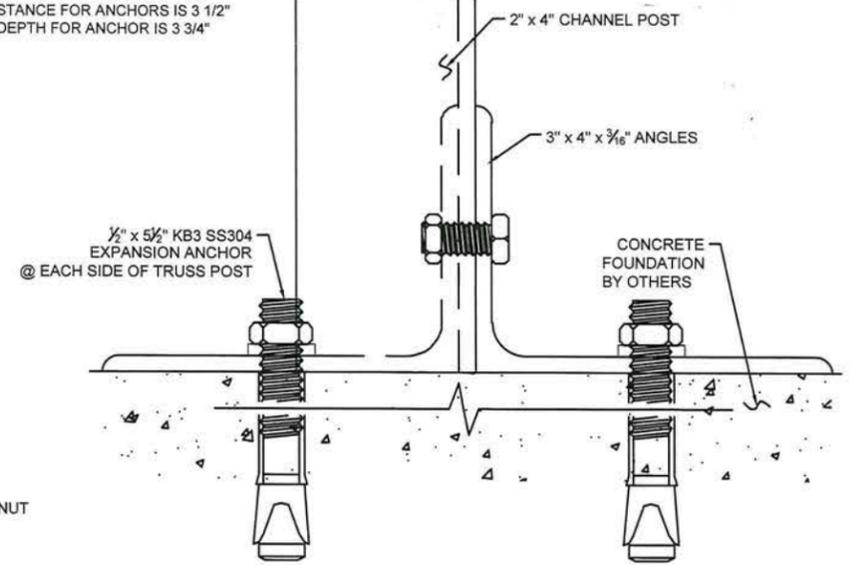


5.7 INTERLOCKED DETAIL
Scale: NTS

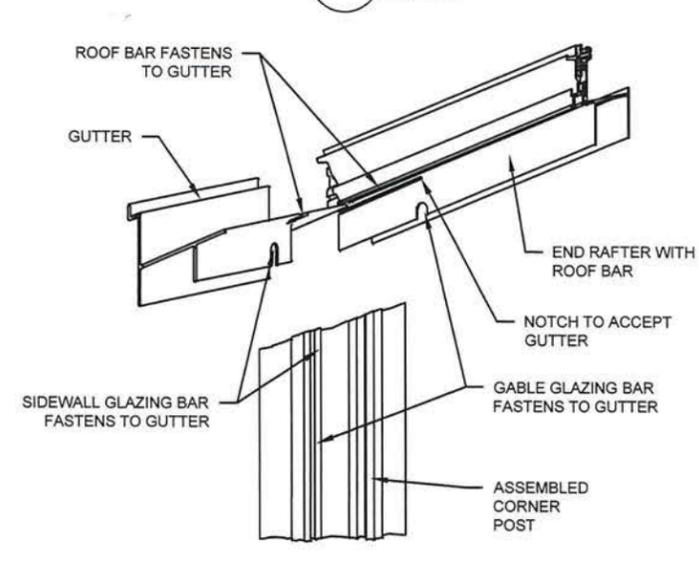
ANCHOR NOTES:
1. MIN. EDGE DISTANCE FOR SCREW IS 1 1/2"
2. MIN. EDGE DISTANCE FOR ANCHORS IS 3 1/2"
3. MIN. EMBED. DEPTH FOR ANCHOR IS 3 3/4"



5.8 ROOF PURLIN SECTION
Scale: 6" = 1' - 0"



5.9 POST ANCHOR DETAIL
Scale: NTS



5.10 3D CORNER ASSEMBLY DETAIL
Scale: NTS



Gothic Arch Greenhouses, Inc.
PO Box 1564
Mobile, AL 36633
800-531-4769 (toll-free)
251-471-5238 (local)
251-471-5465 (fax)

Greenhouse Proposal



Model: 1 ea. TR-18x 34-TW ~ TR-Series Free-Standing Greenhouse Enclosure

Frame: Standard CC Aluminum Frame

Dimensions: OD Approx. 18' 10" W x 35' 2" L x 9' 10-1/2" Ridge Hgt. x 5' 6" Side Wall Hgt.
(These dimensions do not include the 26" tall wall the building sets on.)

Eave Design: Straight Eave Design

Roof Pitch: 5/12 Pitch

Ridge Vents: 8 ea. 24" x 48" Roof Vents w/H.D. Triple-Spring Auto. Openers

Glazing: Twin-Wall 6MM Insulated Polycarbonate ~ Roof & Walls

Doors:

Commercial Storefront Doors

Tough, insulated and storm proof construction is important to you. Many customers wish to shut out the elements and maintain the optimum environment in the greenhouse. With that, many choose to upgrade the standard storm door with our commercial storefront door option. The commercial storefront door offers the best function combined with high style.

If the greenhouse is part of the overall security envelope of your home, this fully assembled professional aluminum door is insulated with tempered safety glass and durable keyed deadbolt lock. Every door comes with your option of custom color and finish, door pulls, hardware, and panic bars.

